



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**APPLICATION ID**

HDC2026-00272

## PROPERTY INFORMATION

**ADDRESS(ES):** 12526 Dexter Ave

**HISTORIC DISTRICT:** Russell Woods-Sullivan

### SCOPE OF WORK: (Check ALL that apply)

- |   |  |  |  |   |                                |
|---|--|--|--|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/<br>Doors | <input checked="" type="checkbox"/> Walls/<br>Siding | <input type="checkbox"/> Painting        | <input checked="" type="checkbox"/> Roof/Gutters/<br>Chimney | <input type="checkbox"/> Porch/Deck/Balcony   | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition                   | <input type="checkbox"/> Signage                     | <input type="checkbox"/> New<br>Building | <input type="checkbox"/> Addition                            | <input type="checkbox"/> Site Improvements<br>(landscape, trees, fences,<br>patios, etc.) |                                |

### BRIEF PROJECT DESCRIPTION:

12526 Dexter Ave is a contributing historic building to the Russell Woods – Sullivan local historic district. This historic retail building is planned to continue to serve retail functions as a Studio of shared artist workspaces. While the facade remains standing, the facade has been deemed unsound and needs to be rebuilt. The building is currently vacant and the roof behind has caved in. Existing Storefronts and windows have been heavily modified over the years. This proposal seeks to reconstruct the facade and roof beyond. The brick portion will be new brick and mortar selected to match the oldest brick portion as much as possible. The existing stone is planned to be salvaged and reused at the façade, The rebuilt storefronts will reflect the character and appearance typical of the 1940s.

## APPLICANT IDENTIFICATION

**TYPE OF APPLICANT:** Architect/Engineer/Consultant

**NAME:** Analise Pietras

**COMPANY NAME:** McIntosh Poris Architects

**ADDRESS:** 111 W. Willis St.

**CITY:** Detroit

**STATE:** MI

**ZIP:** 48201

**PHONE:** +1 (313) 946-0432

**EMAIL:** apietras@mcintoshporis.com

## I AGREE TO AND AFFIRM THE FOLLOWING:

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.   |
| <input checked="" type="checkbox"/> | I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.   |
| <input checked="" type="checkbox"/> | I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.  |
| <input checked="" type="checkbox"/> | As required by the state Local Historic Districts Act, <a href="#">Act 169 of 1970</a> (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, <a href="#">1972 PA 230, MCL 125.1501 to 125.1531</a> |

DocuSigned by:

0A9BA40566734D9

SIGNATURE

05/18/2026

DATE





**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**


**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

<b>ePLANS PERMIT NUMBER:</b> (only applicable if you've already applied for permits through ePLANS)	N/A
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**GENERAL**

<p><b>1. DESCRIPTION OF EXISTING CONDITION</b>  <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>The existing facade is a brick and storefront which has had many modifications over time. A structural engineer has deemed the facade structurally unsound. See attached in the photographs.</p>	
<p><b>2. PHOTOGRAPHS</b>  <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p><b>3. DESCRIPTION OF PROJECT</b>  <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>The facade is proposed to be rebuilt with replacement brick and reclaimed stone and new storefronts. See attached in the Detailed Scope of Work.</p>	
<p><b>4. DETAILED SCOPE OF WORK</b>  <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>See Attached Detailed Scope of Work</p>	
<p><b>5. BROCHURES/CUT SHEETS</b>  <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

### ADDITIONAL DETAILS

<b>6. WINDOWS/DOORS</b> <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i>	

# 12526 DEXTER AVE - RETAIL

## DETROIT, MI 48206

### PROPOSED PROJECT






12526 Dexter Ave is a contributing historic building to the Russell Woods – Sullivan local historic district. This historic retail building is planned to continue to serve retail functions as an Artist Market of shared artist workspaces. While the facade remains standing, the facade has been deemed unsound and needs to be rebuilt. The building is currently vacant and the roof behind has caved in. Existing Storefronts and windows have been heavily modified over the years. This proposal seeks to reconstruct the facade and roof beyond. The brick portion will be new brick and mortar selected to match the oldest brick portion as much as possible. The existing stone is planned to be salvaged and reused at the façade, The rebuilt storefronts will reflect the character and appearance typical of the 1940s.

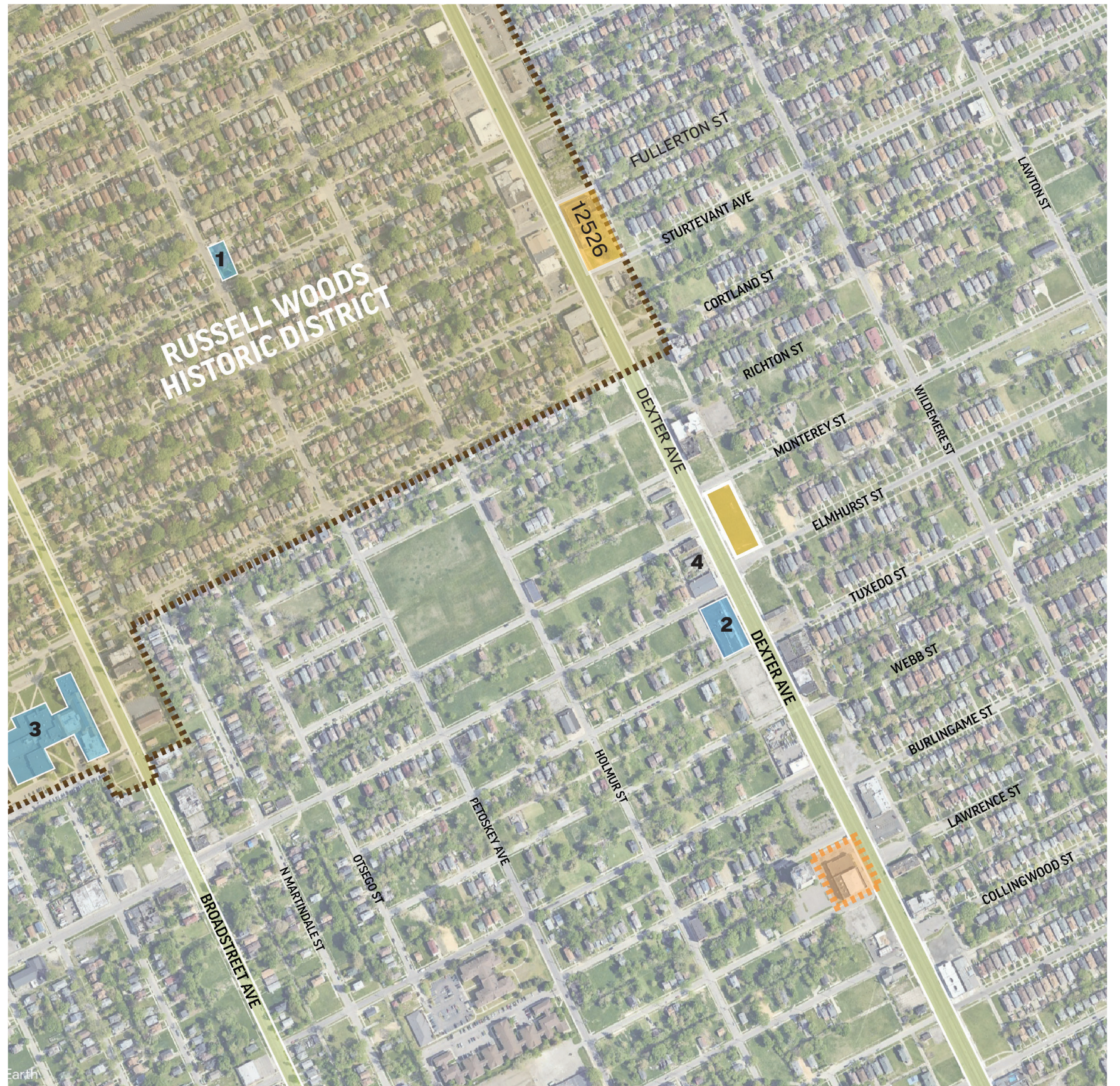


## RUSSELL WOODS - SULLIVAN LOCAL HISTORIC DISTRICT

The Russell Woods-Sullivan Historic District is a significant early- to mid-20th-century Detroit neighborhood that reflects the city's suburban expansion, architectural richness, and evolving cultural history. Developed in two phases between 1916 and the 1940s, the district contains more than 1,000 residences in styles such as Neo-Tudor, Colonial Revival, Moderne, and Arts and Crafts, many built by prominent Detroit contractors. As the report notes, the area "continues to provide an atmosphere of peaceful spaciousness for urban residents," with its tree-lined streets, distinctive homes, and anchors such as Winterhalter School and Broadstreet Presbyterian Church.

Socially and culturally, the district illustrates Detroit's demographic shifts. Initially home to Anglo and Jewish middle-class families, Russell Woods-Sullivan became a center of African American homeownership by the late 1950s, attracting notable residents including poet Dudley Randall and members of The Supremes. The neighborhood's architectural integrity, combined with its association with influential Detroiters and its reflection of broader patterns in the city's growth, make it an important historic landscape.

-  PROJECT SITE
-  SIGNIFICANT STRUCTURES
-  THOROUGHFARES
-  RUSSELL WOODS - SULLIVAN HISTORIC DISTRICT
-  B'NAI MOSHE-ST. PAUL A.M.E. ZION
- 1** BELLA MANDELL HOUSE
- 2** HELEN MOORE COMMUNITY CENTER
- 3** HOPE ACADEMY
- 4** VAUGHN BOOKS





**ARCHITECTURAL SITE PLAN**

SCALE: 1" = 40'-0"





<b>12546 DEXTER AVE</b>	<b>12526 DEXTER AVE</b>	<b>12512 DEXTER AVE</b>
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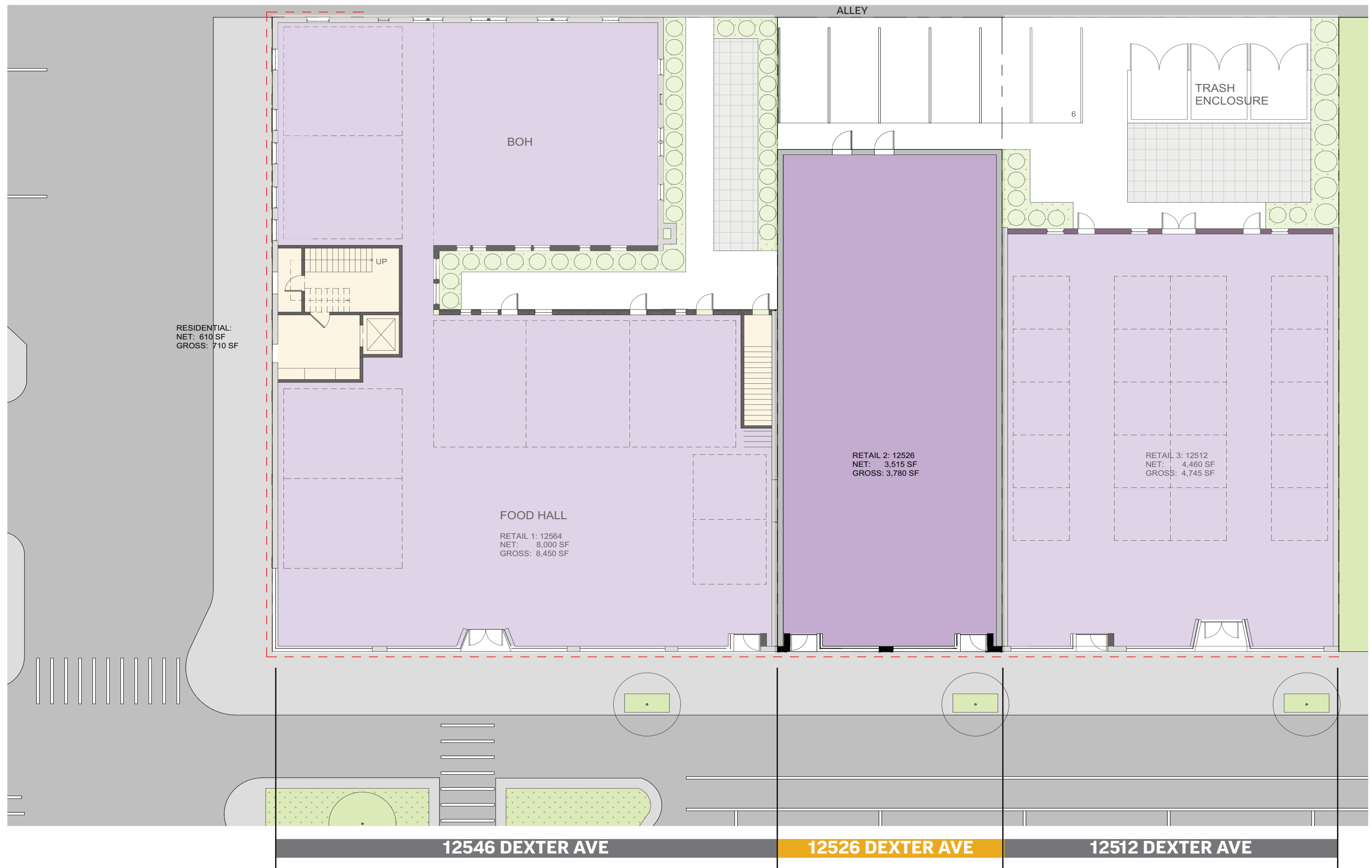
## BUILDING B 12526 DEXTER AVE

The building at 12526 Dexter Avenue is a one-story, two-bay commercial structure that has served the Dexter Avenue corridor since the early 20th century and is a contributing resource within the Russell Woods-Sullivan Historic District. Originally constructed with two storefronts and an automobile garage at the rear, the building featured a brick façade with stone accents, decorative brickwork, and likely traditional early-20th-century storefront compositions—recessed entrances, large plate-glass display windows, transoms, and stone or brick knee walls. By the mid-century period, the building underwent significant alterations, including the infill of original storefront windows with red Roman brick, the addition of stone veneer at the base, and the construction of a recessed southern storefront and integrated planter. These changes reflect evolving commercial tastes of the 1950s–60s and the building’s long-term adaptation to new tenants, including Burton Bros., whose painted signage remains visible on the alley façade.

Although much of the original storefront fabric has been lost, the building retains important Art Deco-influenced parapet features, including stone finials, decorative brickwork, and stone medallions above the storefronts. These elements, along with the building’s scale, massing, and rhythm of openings, continue to convey its historic character. The rear CMU façade and infilled openings reflect its utilitarian function, while the surviving mid-century storefront materials document a later but still historically meaningful layer of the building’s evolution.



**EXISTING CONDITIONS  
BUILDING B - 12526 DEXTER AVE**



**PLAN SYMBOL KEY**

- EXISTING WALL
- NEW WALL
- HISTORIC FEATURE

**GROUND FLOOR**

RESIDENTIAL  
 NET 610 SF  
 GROSS 710 SF

RETAIL  
 NET 15,975 SF  
 GROSS 16,975 SF

**OVERALL**

TOTAL GROSS  
 RETAIL & RESIDENTIAL  
 26,915 SF

**PARKING**

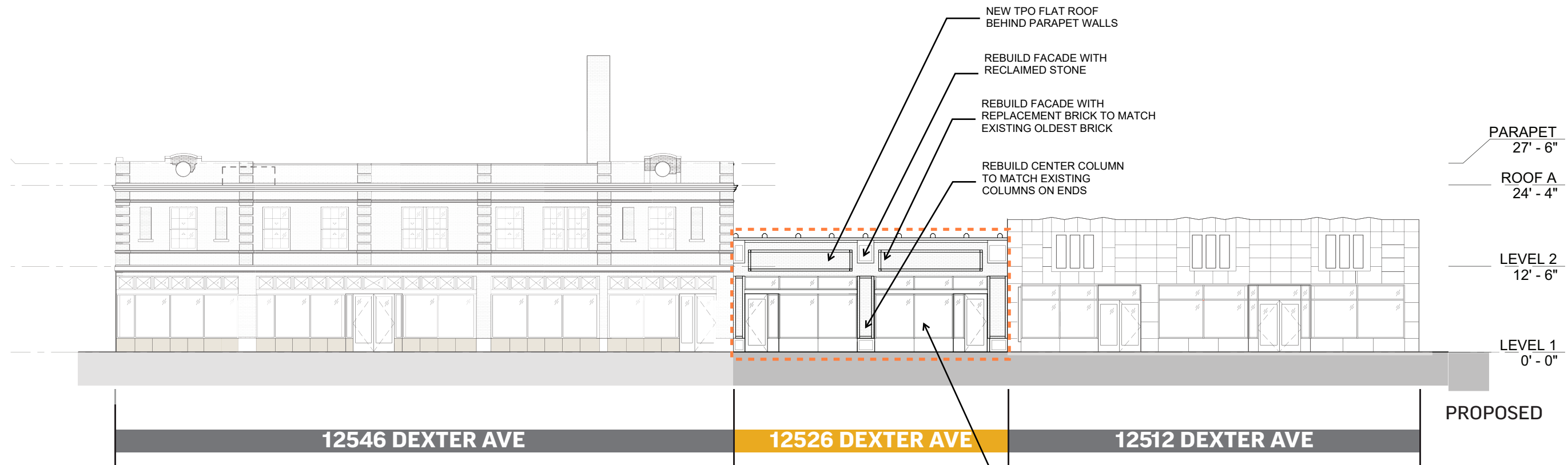
SPACES  
 CURRENTLY 0  
 per Sec 50-14-7  
 Off Street parking exemption  
 Historic Non Conforming

PROVIDED OFF-STREET 6  
 ON-STREET 7  
 MUNICIPAL LOT 18





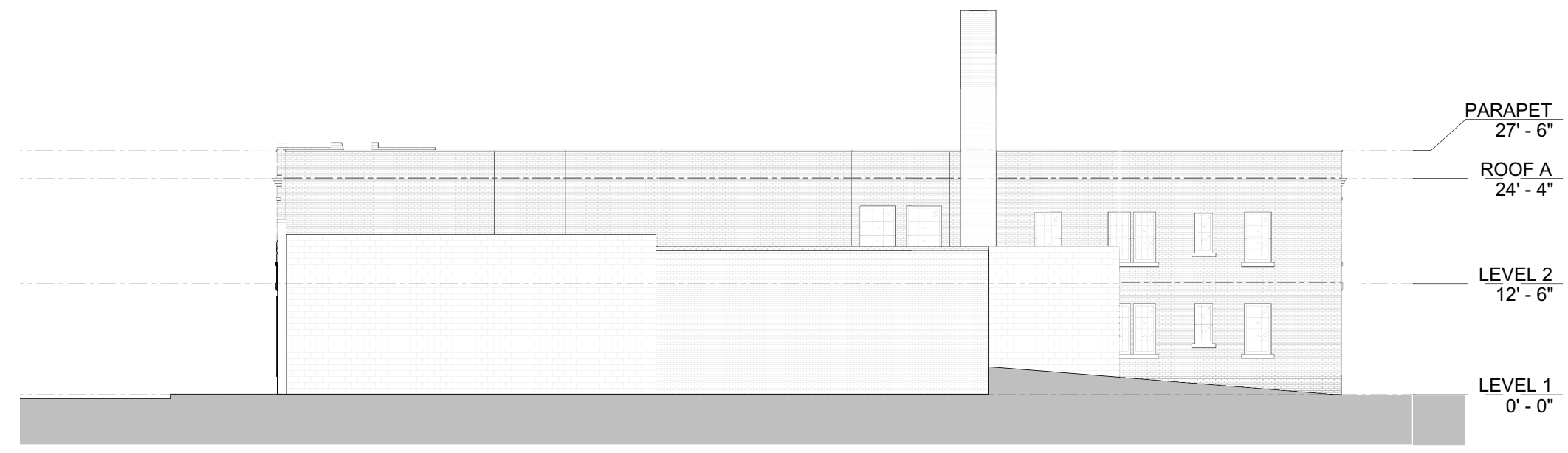
EXISTING BUILDING SCAN



NEW STOREFRONTS WITH RECESSED ENTRIES ON NEW BASE WALL WITH METAL PANEL TO MATCH FRAME



EXISTING



PROPOSED

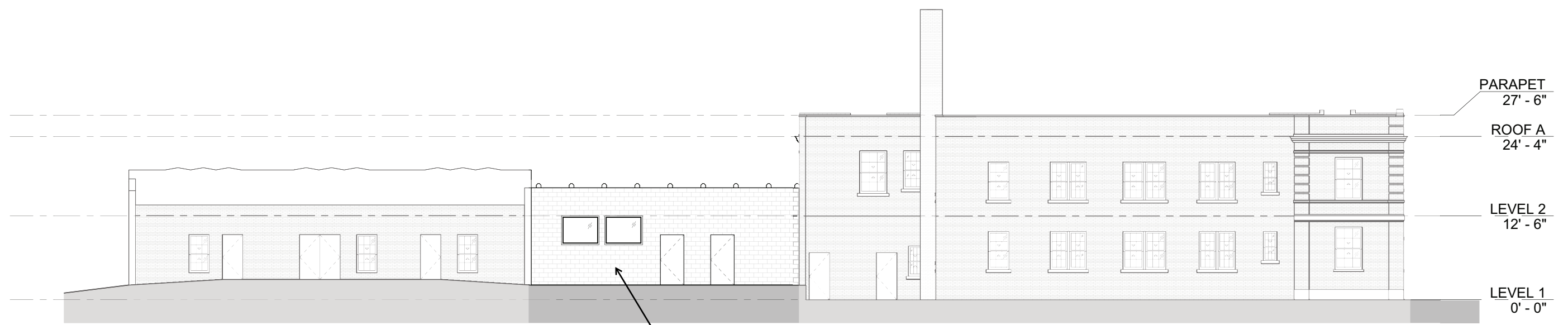


### STURTVANT (SOUTH) ELEVATION

SCALE: 1/16" = 1'-0"



EXISTING

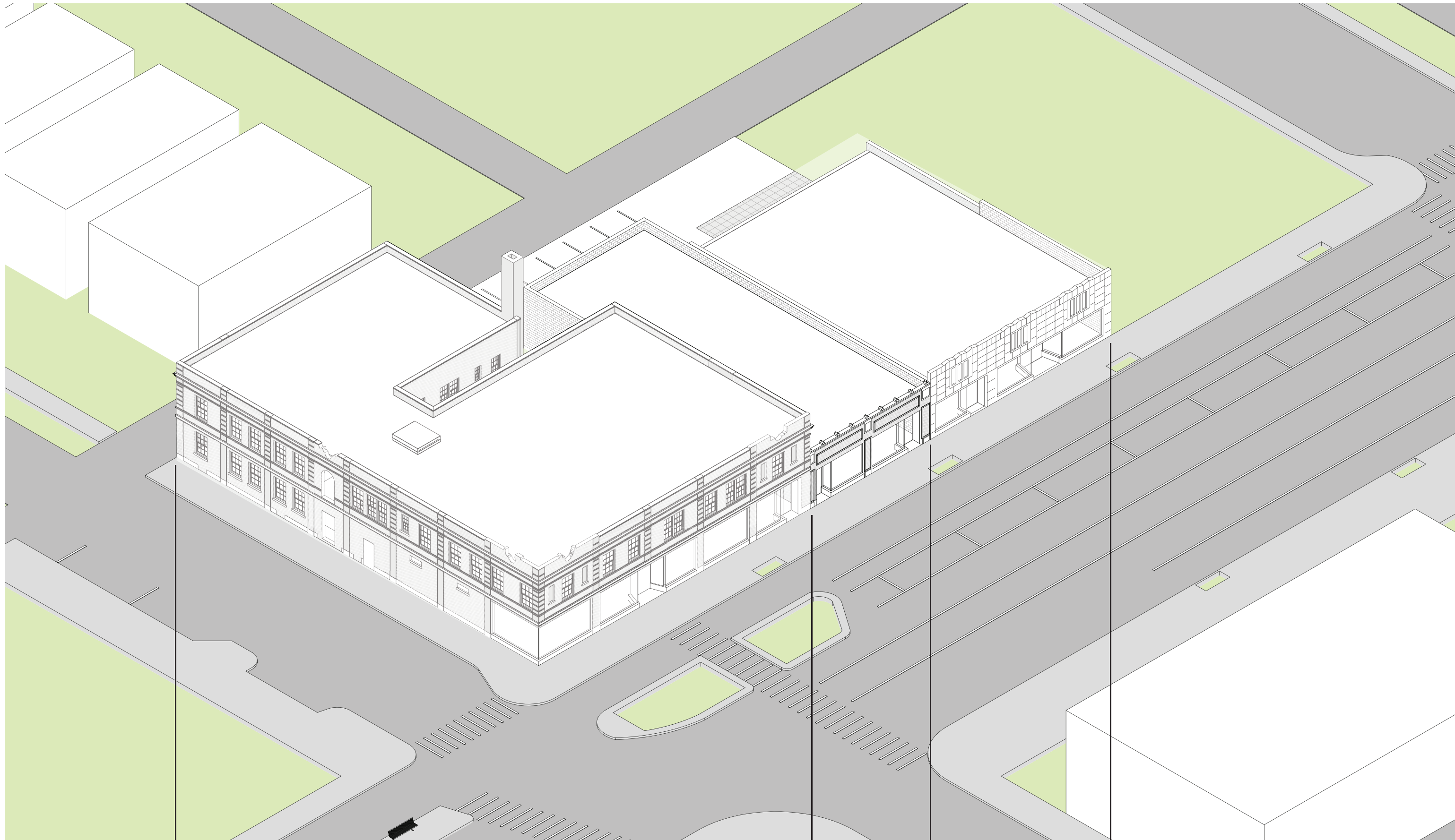


PROPOSED



### ALLEY (EAST) ELEVATION

SCALE: 1/16" = 1'-0"



12546 DEXTER AVE

12526 DEX

12512 DEXTER AVE







## ELEMENTS OF DESIGN

### Sec. 21-2-168. Russell Woods-Sullivan Historic District.

(Code 1984, § 25-2-131; Ord. No. 33-99, § 1(25-2-131), eff. 11-12-1999)

The proposed rehabilitation of the existing building at 12526 Dexter Ave is located within the boundaries of the Russell Woods-Sullivan Historic District.

(d) The elements of design, as defined in Section 21-2-2 of this Code, shall be as follows:

- (1) *Height.* The dominant residential structures in the Russell Woods-Sullivan Historic District range from 1½ to 2½ stories tall, with those of two to 2½ forming a substantial majority. One-and-a-half-story houses typically have a very steep roof pitch, increasing the overall height. A few one-story houses exist but are not characteristic of the district. Additions to existing buildings shall be related to existing structure. Commercial and institutional structures on Dexter Boulevard and one apartment building adjacent to Dexter Boulevard depart from these norms, ranging in height from one to four stories. New single-family and two-family residences shall meet the following standards:
  - a. Eight adjoining houses on the same block face, excluding any one-story houses, shall be used to determine an average height.
  - b. The level of the eaves of the proposed new structure has as much or more significance for compatibility as the roof height.

Response:

The height of the roof, parapet and cornices is proposed to remain the same.

- (2) *Proportion of buildings' front façades.* The typical front façade of a single or two-unit house in the Russell Woods-Sullivan Historic District is approximately as tall to its eaves as it is wide. One-and-a-half-story houses sometimes have façades wider than tall, but balanced by a steeply pitched roof resulting in a balanced overall composition. The two terrace buildings are wider than tall along Petoskey; multi-story apartment buildings are taller than wide. Commercial buildings that contribute to the Historic District on Dexter Boulevard, where they exist adjacent to similar buildings, form a horizontal row.

Response:

Building is proposed to maintain the existing proportions of the building's front façades.

- (3) *Proportion of openings within the façades.* In residential buildings, openings amount to between 20 percent and 35 percent of the front façade, with the majority ranging from 25 percent to 30 percent. Buildings of the "moderne art deco" styles will have a percentage of openings in the upper portion of the general range. Typical openings are taller than wide. It is not uncommon for several windows, which are taller than wide, to fill a single opening, which is wider than tall. Houses built later in the period of development sometimes have individual windows which are balanced or somewhat wider than tall; such a window is often the main opening of the first floor front façade.

Response:

12526 Dexter, as this façade, being found to be structurally unsound, will be rebuilt with a new brick which will match the existing older brick size, color and texture. Bricks are being sourced and a sample board is being made for the HDC meeting. During construction mortar will be analyzed and test samples made to confirm closest match. New bricks will also be photographed with the current façade for the HDC meeting. Existing Stone as it was around the 1940's. No photos exist, however the brick hints at what it might have been before a brick infill occurred in a later time period.

- (4) *Rhythm of solid to voids in front façades.* In Four-Square-style buildings and buildings derived from Classical precedents, voids are usually arranged in a symmetrical and evenly-spaced manner within the façades. In examples of other styles, particularly those of English Medieval inspiration, voids are arranged with more freedom, but usually result in a balanced composition. On Dexter Boulevard, the repetitive flow of storefront openings, where they exist, create a rhythm along the commercial frontage.

Response:

12526 Dexter proposes to restore the solid and voids in the front facade which was most likely what was there in the 1940's.

- (5) *Rhythm of spacing of buildings on streets.* In the Russell Woods-Sullivan Historic District, the spacing of the buildings is generally determined by lot sizes and setbacks from side lot lines. There is a general regularity in the widths of subdivision lots from one block to another. The residential lots generally range from 35 feet to 40 feet wide, with the exception of Broadstreet Boulevard, where the majority of lots range from 48 feet to 68 feet in width, the larger being the corner lots. Also, with the exception of Broadstreet Boulevard, houses are usually situated close to the western lot line, allowing for just enough space for a side driveway along the eastern lot line.

Response:

It is proposed to retain the existing building's spacing.

- (6) *Rhythm of entrance and/or porch projections.* Porch types relate to the type and style of the building. Buildings with an upper and lower unit, primarily on Cortland Avenue, Buena Vista Avenue, Tyler Avenue and Waverly Avenue, often have two-story porches that project from the main wall surface. One common entrance arrangement on vernacular English Revival single-family houses is that of a slightly projecting, steeply-gabled vestibule, either enclosed or open, entered through an arched opening. The first-floor wall surface of the front façade is sometimes extended to contain either a narrow arched opening for pedestrians to pass through or a car-width-sized opening serving as an entrance over the driveway for a car to pass through. Another common arrangement, predominately at the eastern end of the district in the Sullivan Subdivision, is the open porch with metal awning frames overhead. In general, a variety of residential porch types exist in the district; most tend to be shallow, are not always covered, and vary in placement on the front façade. They create an interesting rhythm along the streetscape, especially where a number of any one kind exist in a row.

Response:

Storefront entrances are in historic locations as much as possible. Some interpretation is made at 12526 where the façade is being rebuilt.

- (7) *Relationship of materials.* The majority of houses are faced with brick, often combined with wood, stone or stucco. Some houses on Glendale and Waverly Avenues in the Russell Woods Subdivision are entirely of wood; very few houses are entirely stucco. Stone trim is common, and wood is almost universally used for window frames and other functional trim. Windows are commonly either metal casements or wooden sash. Original metal awning shades and balustrades exist. Roofs on the majority of the buildings in the Russell Woods-Sullivan Historic District are now asphalt shingled, whereas many were likely originally shingled in wood. Only two apartment buildings on Broadstreet Boulevard and the Broadstreet Presbyterian Church retain their slat roofs.

Response:

All three buildings are proposed to maintain their existing materials—brick, stone, and enameled metal panels—in a manner that reflects their original historic appearance.

## ELEMENTS OF DESIGN

- (8) *Relationship of textures.* The major texture is that of brick laid in mortar, often juxtaposed with wood or smooth or rough-faced stone elements and trim. Textured brick and brick laid in patterns creates considerable interest, as does half-timbering, leaded and subdivided windows, and wood-shingled or horizontal-sided elements. Slate and wood shingle roofs have particular textural values where they exist. Asphalt shingles generally have little textural interest, even in those types which purport to imitate some other variety.

Response:

12526 will be rebuilt with new bricks to match the oldest existing texture of brick found on the façade. The mortar joint texture, spacing and profile will also match the existing as found in the oldest portion of the façade (top).

- (9) *Relationship of colors.* Natural brick colors, such as red, yellow, brown and buff, predominate in wall surfaces. Natural stone colors also exist. Where stucco or concrete exists, it usually remains in its natural state, or is painted in a shade of cream. Roofs are in natural colors (tile and slate colors, and natural and stained wood colors), and asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style. The buildings derived from Classical precedents, particularly those of Neo-classical styles, generally have woodwork painted white, cream, or in the range of those colors. Colors known to have been in use on similar buildings of this style in the 18<sup>th</sup> Century or early 20<sup>th</sup> Century may be considered for appropriateness. Buildings of vernacular English Revival styles generally have painted woodwork and window frames of a dark brown or cream color. Half timbering is almost always stained dark brown. Tile, mosaics, and stained glass, where it exists as decoration visible on the front façade, contribute to the artistic interest of the buildings. The original colors of any building, as determined by professional analysis, are always acceptable for a house, and may provide guidance for similar houses.

Response:

12526 will be rebuilt with new brick and reclaimed stone colors found on the building. The brick color will remain the same as the upper, oldest and unpainted portion. Bricks are being sourced and a sample board is being made for the HDC meeting. Photos will be taken with the current façade for reference in the HDC meeting. The intent is to match as much as possible.

- (10) *Relationship of architectural details.* The architectural elements and details of each structure generally relate to its style. Residential buildings derived from Classical styles display modest detail, mostly in wood. Porches, shutters, window frames, cornices, and dormer windows are commonly, although not always, treated. Characteristic elements and details displayed on vernacular English-Revival-influenced buildings include arched windows and door openings, steeply pitched gables, towers, and sometimes half-timbering. Artistic touches, including stained glass, tile, and mosaics, provide artistic decoration. Bungalows and Arts and Crafts style buildings feature wide porches and overhangs. Commercial buildings along Dexter Avenue range in style from Neo-Georgian to Art Deco and Art Moderne. Institutional buildings on Dexter Boulevard are Art Moderne or modern in appearance. Broadstreet Presbyterian Church is vernacular Late Neo-Gothic in style. In general, the district is rich in early to mid-20<sup>th</sup> Century architectural styles.

Response:

12526 propose to maintain its existing architectural details by reclaiming all of the stone accents, and repeating the details found on the façade's currently.

- (11) *Relationship of roof shapes.* The Russell Woods-Sullivan Historic District is primarily composed of houses displaying a variety of roof shapes relating to style. Common are the multiple steeply sloped, gables, and substantial chimneys present on vernacular English-Revival-influenced houses. Typical houses built in the 1930s in the Sullivan Subdivision often have turrets and gables projecting above the roof line. Classically-inspired buildings display pitched roofs, with

or without dormers; some have front or side-facing gambrels. Roofs of houses built later in the period of development of the district tend to have significantly lower slopes. Commercial buildings on Dexter have flat roofs that are not visible from the street.

Response:

As Commercial buildings the caved in flat roofs are to be rebuilt and unseen behind parapet walls as they were.

- (12) *Walls of continuity.* The common setbacks of the houses on the residential streets and the placement of commercial buildings on Dexter at the front lot line create very strong walls of continuity.

Response:

No change is made to the setbacks of the buildings along Dexter with their zero lot line.

- (13) *Relationship of significant landscape features and surface treatments.* The typical treatment of individual properties is a flat front lawn area in grass turf, subdivided by a straight or curving walk leading to the front entrance and a single width side driveway leading to a garage at the rear of the lot. Recent front yard steel lamp posts with round globes are common on some blocks. Foundation plantings, often of a deciduous nature and characteristic of the period 1920-1960, are present virtually without exception. Large evergreen trees shield some houses from view. There is variety in the landscape treatment of individual properties. Hedges and fencing between properties are not common, although rear yards are commonly fenced. There is a wide range in the type of fencing with chain-link common. The placement of trees on the tree lawn between the public sidewalk and curb varies from block to block or street to street, and is not consistent, although rows of maple trees have been planted to replace the mature maples on Cortland. Lack of street trees on some blocks likely reflects loss through disease of the American elms once common in the City. Replacement trees should be characteristic of the area and period. Plantings of new trees should be directed to "tree lawns" and medians. If an American elm is planted, it should be disease resistant. Street lighting throughout the district is mounted on wooden utility poles, except around Russell Woods Park, where tall steel standards are located on the periphery of the park. On corner lots, garages and driveways face the side streets. Alleys have been vacated.

Response:

No additional change is planned to Dexter Avenue. The street went through a significant street improvement which added street trees and bike lanes. A planting row is proposed in the rear to conceal any trash enclosures which could be viewed from the sides.

- (14) *Relationship of open space to structures.* The Russell Woods-Sullivan Historic District has as its main open space Russell Woods Park, bounded by Old Mill Place, Fullerton Avenue, Broadstreet Boulevard, and Leslie Avenue. Another public recreational area exists at the northeast corner of the district between Waverly Avenue and West Davison Avenue. All houses have rear yards as well as front yards. Additional open space on Dexter Boulevard and West Davison Avenue is a result of building demolition and the existence of parking lots.

Response:

No change is proposed to the neighboring open spaces.

- (15) *Scale of façades and façade elements.* The Russell Woods-Sullivan Historic District comprises a neighborhood of moderate-scaled houses and multi-unit buildings and a low-scale commercial strip along Dexter Avenue. Single-family houses on Broadstreet Boulevard are generally larger in scale than houses elsewhere in the district, with the exception of some comparably-scaled houses on corner lots. Elements and details within the district are appropriately scaled, dependent on the style of the building. Broadstreet Presbyterian Church is a small-scale religious institution.

## ELEMENTS OF DESIGN

Response:

No change is proposed to the scale of the facades as they are proposed to be rebuilt as they were found.

- (16) *Directional expression of front elevations.* Most single-family houses in the Russell Woods-Sullivan Historic District are neutral in directional expression, with the exception of a few of Neo-Tudor revival houses on Broadstreet and more recent houses in the ranch and tri-level styles, which express themselves horizontally. Multi-story apartment buildings are vertical in directional expression; institutional buildings and commercial buildings, especially where they exist in rows, are horizontal in directional expression.

Response:

No change is proposed to the existing directional expression of front elevations.

- (17) *Rhythm of building setbacks.* Front and side yard setbacks are consistent on each residential street in the Russell Woods-Sullivan Historic District; the contributing commercial buildings on Dexter Boulevard are set at the front or side yard setback. Setbacks for institutional buildings vary.

Response:

No change is proposed to the existing rhythm of the building setbacks.

- (18) *Relationship of lot coverages.* The lot coverage for the single- and two-family residential structures ranges generally from 25 percent to 35 percent, including the usual freestanding garage. The multi-unit structures adjacent to Petoskey Street have about 60 percent lot coverage, while the apartment building at Dexter Boulevard and Tyler Avenue has a lot coverage of approximately 80 percent. Commercial buildings on Dexter Boulevard have a range of lot coverages from approximately 20 percent to 100 percent, with contributing structures ranging generally from 60 percent to 80 percent. They are typically placed at the front lot line, but may not fill the lot at the rear. The commercial structures on Dexter Boulevard that have a lot coverage as low as 20 percent are usually the more recent structures which provide paved areas on the property; lot coverage for the institutional buildings in the district varies considerably. Broadstreet Presbyterian Church occupies approximately 40 percent of its property; its siting at the rear lot line creates a substantial green space in front.

Response:

No change is proposed to the existing lot coverages.

- (19) *Degree of complexity within the façades.* The façades within the Russell Woods-Sullivan Historic District range from very simple to quite complex, depending on style, but are straightforward in its arrangement of elements and details; overall, there is a low degree of complexity.

Response:

12526 renovations to the façade from structural damage is intended to be of the same degree of complexity which might have been there during the 1940's prior to a brick infill in the 1950's.

- (20) *Orientation, vistas, overviews.* The orientation of buildings and streets were created by the subdivision plans, which place the large lots and houses and a north-south street, Broadstreet Boulevard, and adjacent to a park, and assign smaller lot sizes and houses to adjacent east-west streets. Individual houses are oriented toward the street, almost without exception; even the multiple-unit buildings located on Buena Vista Street and Tyler Street at Petoskey Street have been given more fully developed façades facing the main residential streets. The residential neighborhood is

sandwiched between two major commercial thoroughfares, Dexter Boulevard on the east and Livernois Avenue on the west.

Response:

No change is proposed to the existing orientation, vistas or overviews.

- (21) *Symmetric or asymmetric appearance.* Front façades of buildings range from complete symmetrical to asymmetrical but are balanced.

Response:

As no photo shows what might have been back in 1940's, the rebuilt façade proposes what might have been the existing symmetric and asymmetric appearance prior to later time period alterations.

- (22) *General environmental character.* The Russell Woods-Sullivan Historic District is a fully developed middle-class residential area of the second quarter of the 20<sup>th</sup> Century, with a planned hierarchy of housing stock ranging from the largest houses on Broadstreet and adjacent to the park to the smaller, including double houses, located on the east-west streets. Its straight streets and consistent lot sizes on each street create a comfortable and handsome, urban residential environment.

Response:

The renovation of the building's façade proposes to restore the general historic environmental character.

(Code 1984, § 25-2-131; Ord. No. 33-99, § 1(25-2-131), eff. 11-12-1999)



KAWNEER'S MEDIUM BRONZE  
12526 STOREFRONT FRAME AND  
PANELING FINISH



CLEAR GLASS  
12526 STOREFRONTS



12526 EXISTING STONE  
TO BE RECLAIMED

**BRICK:**

Replacement brick, to match oldest existing brick, is being sourced with a sample board being made. The sample board will be photographed with the existing façade. The sample boards will be brought to the HDC meeting.

**MORTAR**

Type N, 50/50 blend of Portland cement and lime is planned. Onsite test areas will be tried in different areas to match color and aggregate specifically.



12526 REPLACEMENT BRICK TO  
MATCH EXISTING OLDEST BRICK  
(AT TOP)



## EXISTING STOREFRONT AND WINDOW CONDITION

Currently the building shows significant alterations, including the infill of original storefront windows with red Roman brick, the addition of stone veneer at the base, and the construction of a recessed southern storefront and integrated planter. the only windows today have been infilled with glass block.

## PROPOSED STOREFRONT

The brick facade has been deemed structurally unsound and will need to be rebuilt. This presents an opportunity to replace the lower portion of the facade more like it was originally constructed with two storefronts which were likely traditional early-20th-century storefront compositions—recessed entrances, large plate-glass display windows, transoms, and stone or brick knee walls.

Aluminum storefronts are proposed with recessed entries.

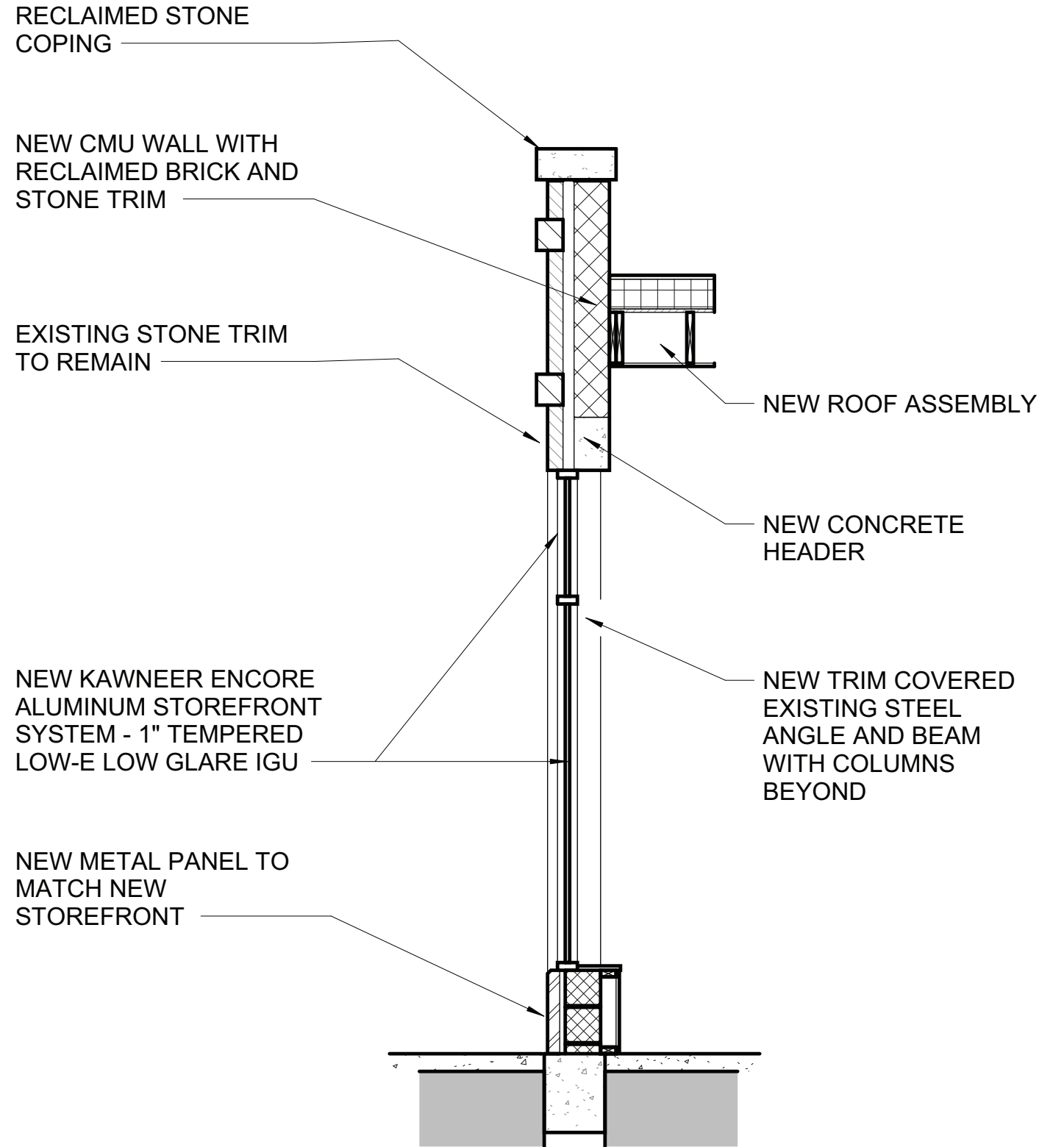
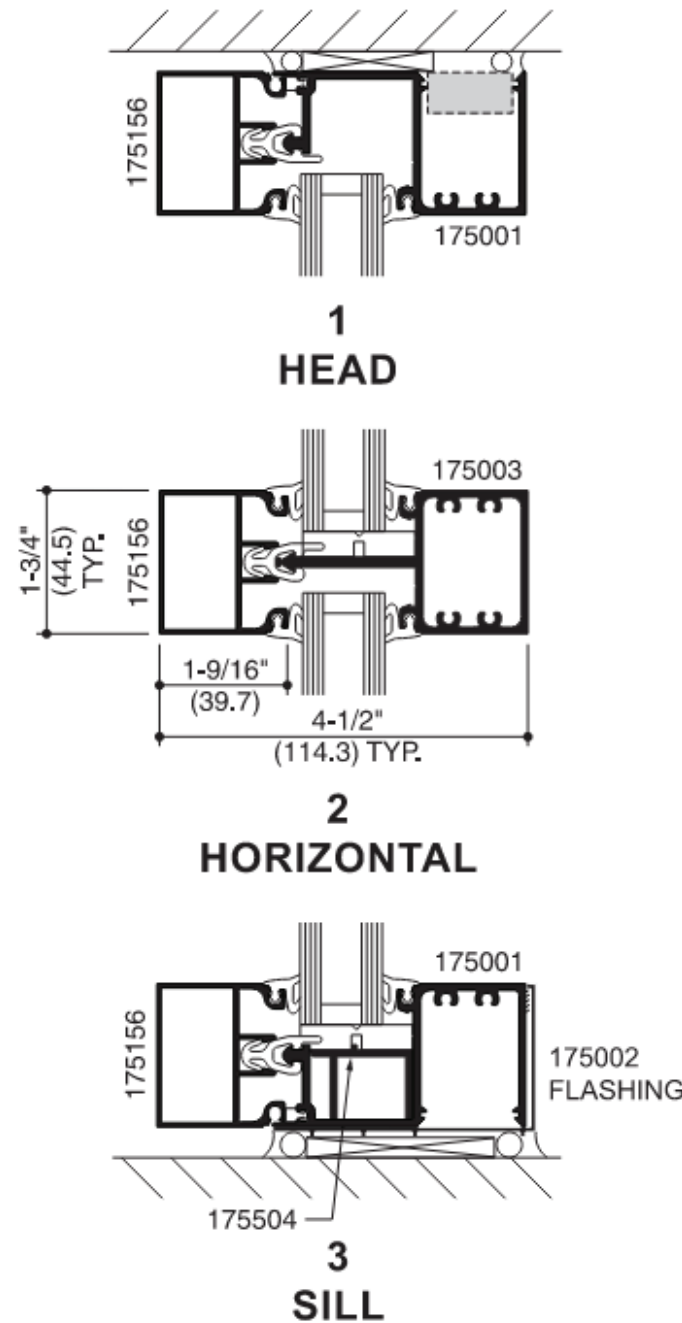
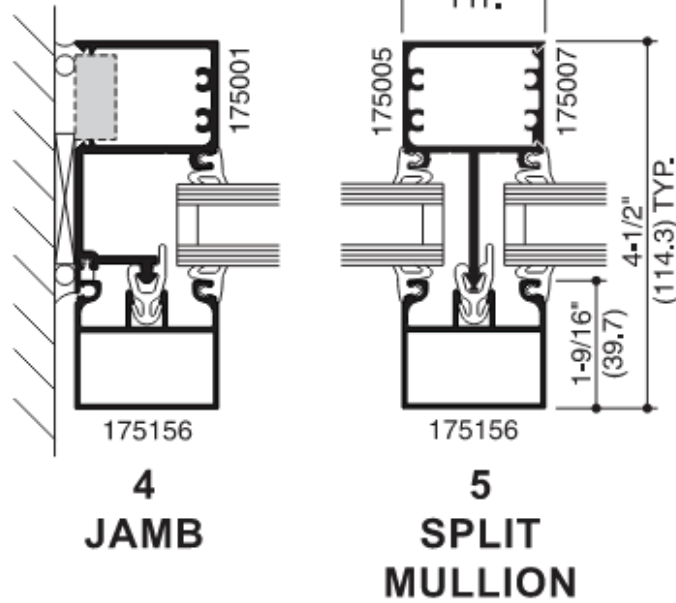
Storefront and window type and specifics follows in the included brochures and details

# PROPOSED 12526 STOREFRONT

KAWNEER "ENCORE"  
1-3/4" X 4-1/2" FRAME  
CENTER GLAZED



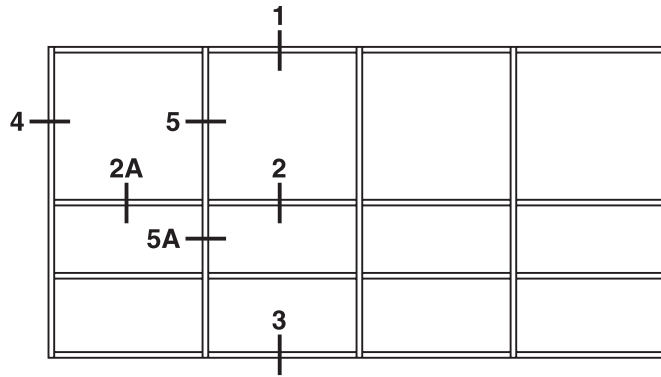
KAWNEER'S MEDIUM BRONZE  
FRAME COLOR



Additional information and CAD details are available at [www.kawneer.com](http://www.kawneer.com)

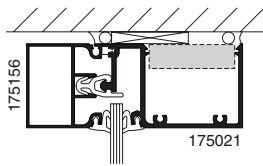
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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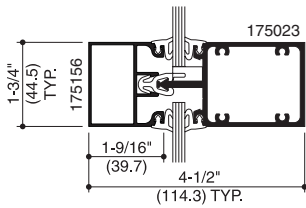


ELEVATION IS NUMBER KEYED TO DETAILS

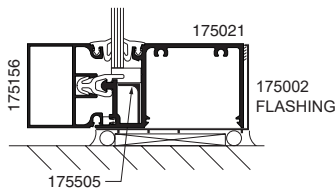
**1/4" INFILL**



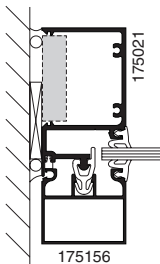
**1 HEAD**



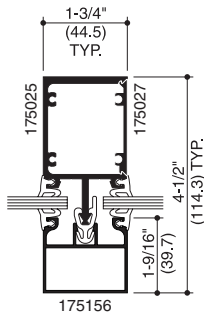
**2 HORIZONTAL**



**3 SILL**

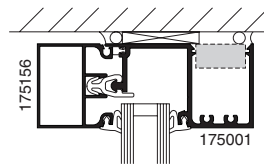


**4 JAMB**

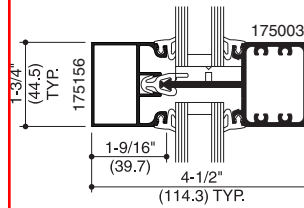


**5 MULLION**

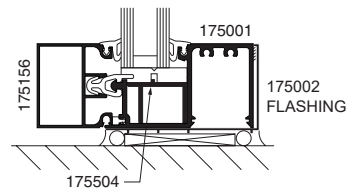
**1" INFILL**



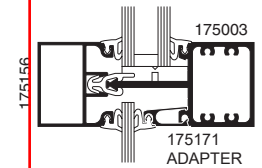
**1 HEAD**



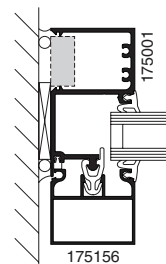
**2 HORIZONTAL**



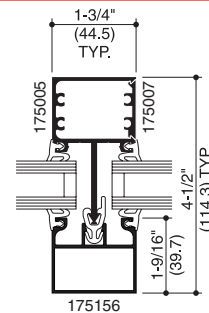
**3 SILL**



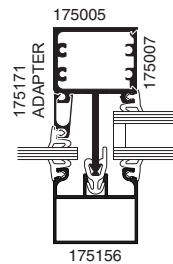
**2A HORIZONTAL W/ 1/4" ADAPTER**



**4 JAMB**



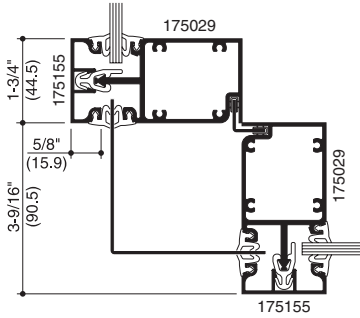
**5 SPLIT MULLION**



**5A SPLIT MULLION W/ 1/4" ADAPTER**

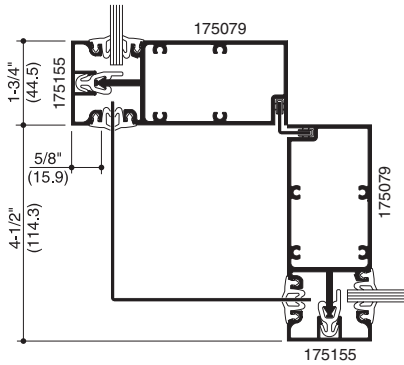
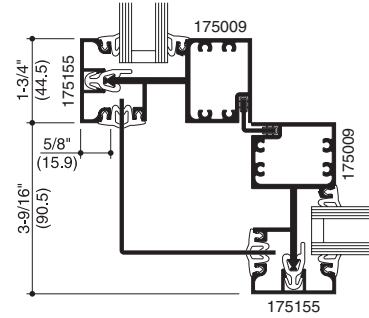
Additional information and CAD details are available at [www.kawneer.com](http://www.kawneer.com)

**1/4" INFILL**

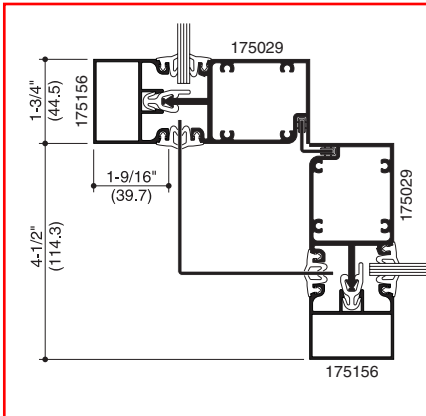
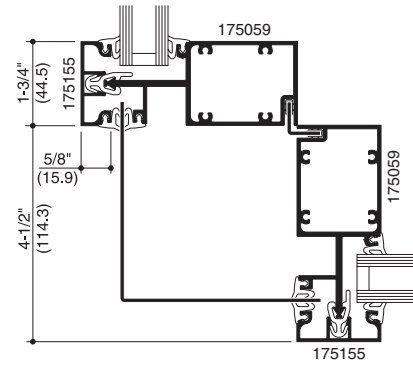


**3-9/16" SYSTEM**

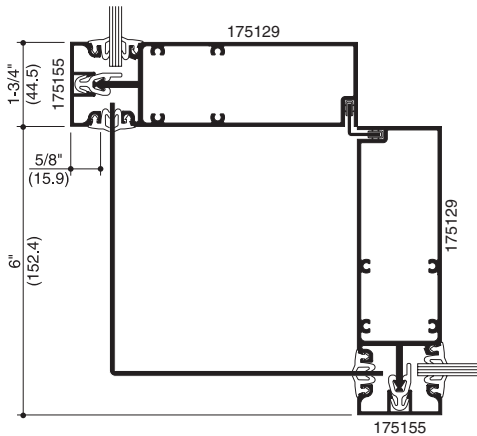
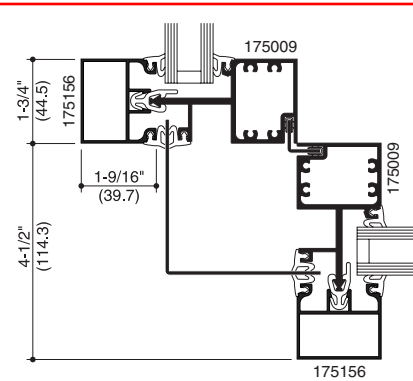
**1" INFILL**



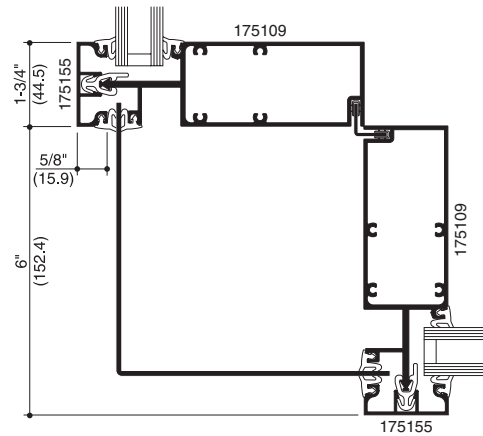
**4-1/2" SYSTEM**



**4-1/2" SYSTEM  
CENTER GLAZED**



**6" SYSTEM**

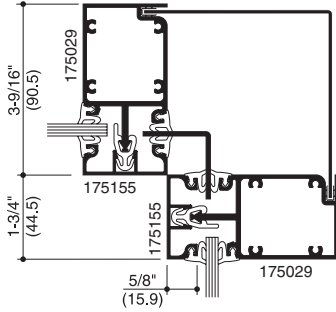


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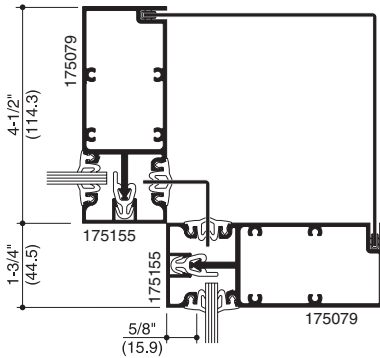
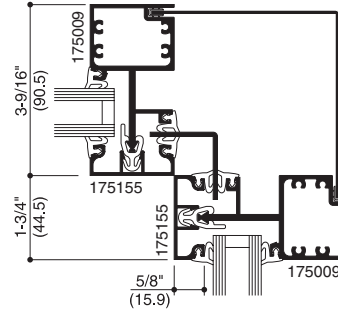
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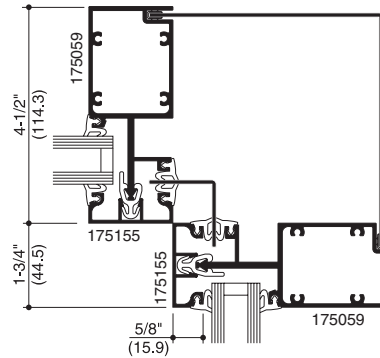
### 1/4" INFILL



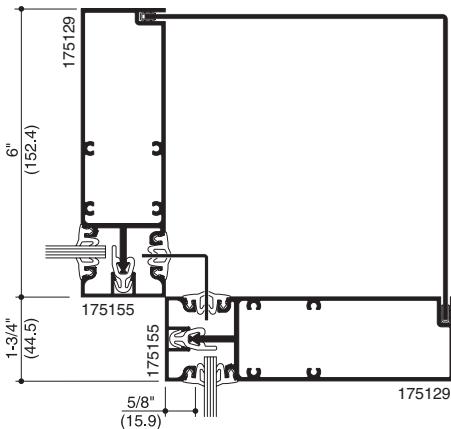
### 3-9/16" SYSTEM



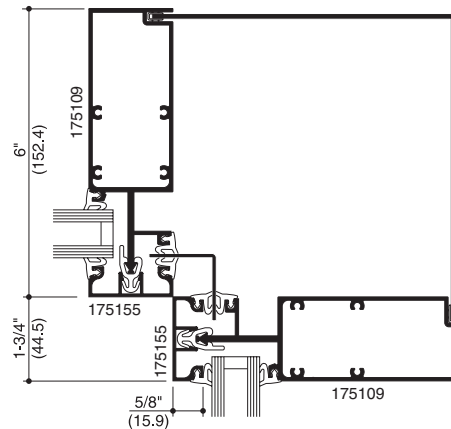
### 4-1/2" SYSTEM



### 4-1/2" SYSTEM CENTER GLAZED



### 6" SYSTEM

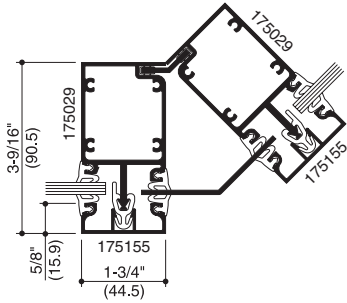


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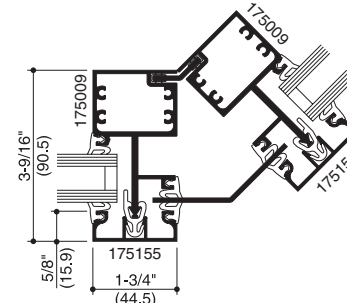
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### 1/4" INFILL

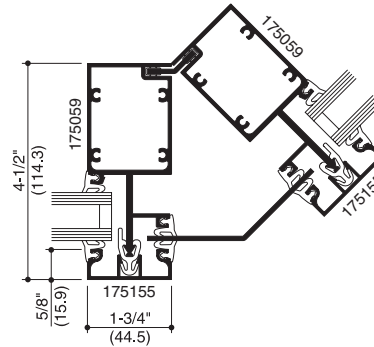
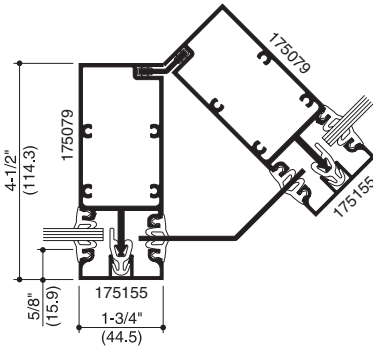


### 3-9/16" SYSTEM

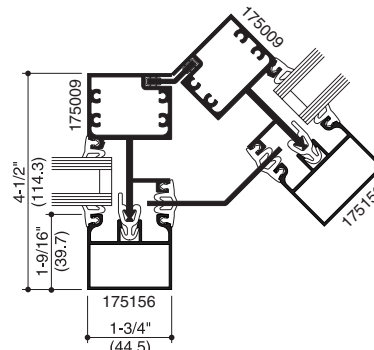
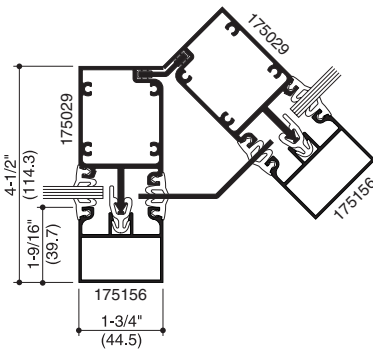
### 1" INFILL



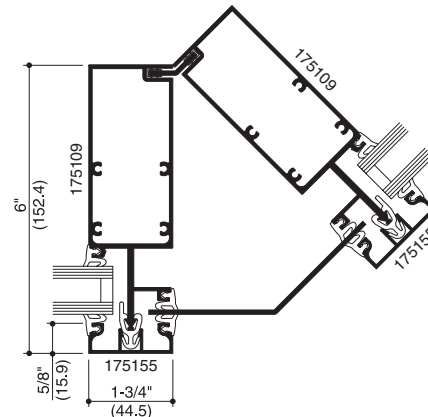
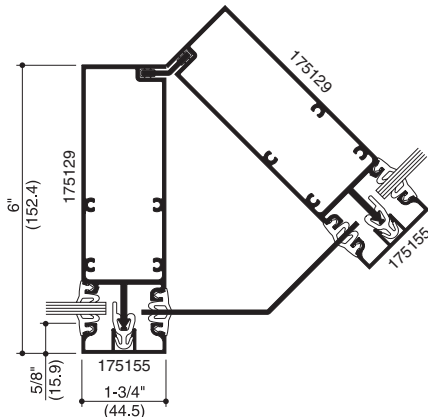
### 4-1/2" SYSTEM



### 4-1/2" SYSTEM CENTER GLAZED



### 6" SYSTEM

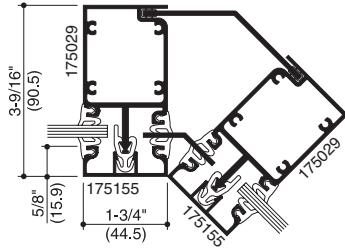


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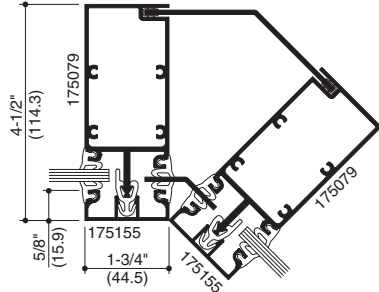
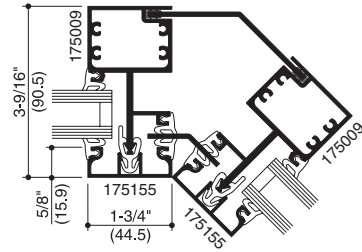
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### 1/4" INFILL

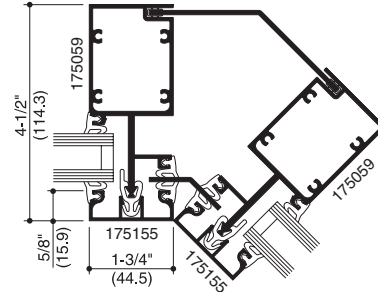


### 3-9/16" SYSTEM

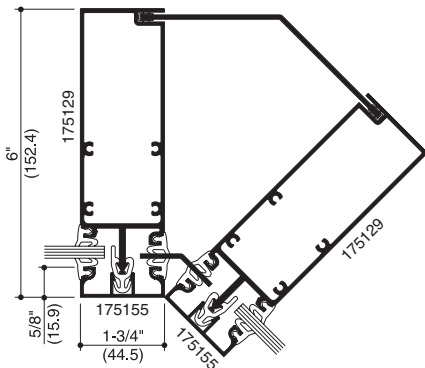
### 1" INFILL



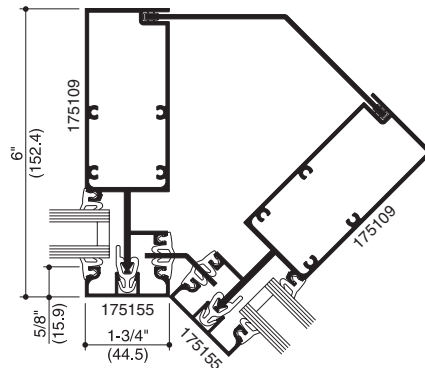
### 4-1/2" SYSTEM



### 4-1/2" SYSTEM CENTER GLAZED



### 6" SYSTEM



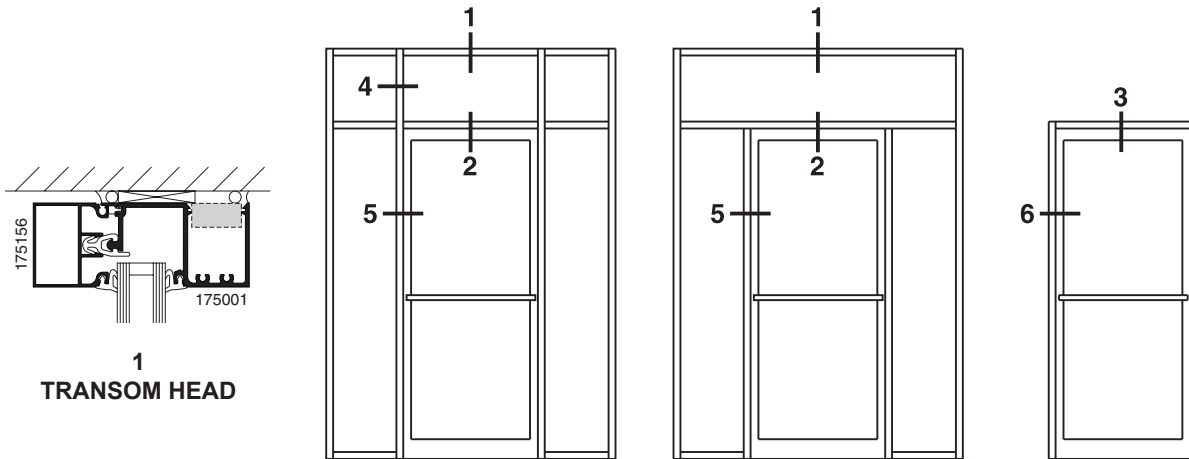
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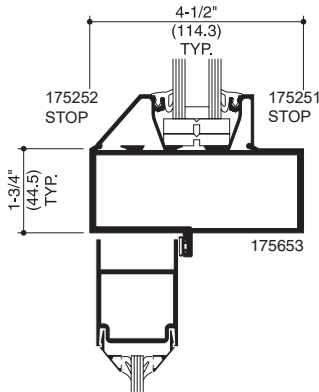
### EnCORE<sup>®</sup> FRAMING INCORPORATING KAWNEER "190" DOORS.

**NOTE:** Other types of Kawneer doors may be used with this framing. See the Entrance Section for additional information.

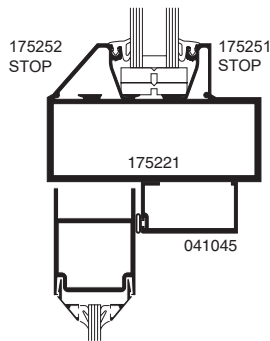


**1**  
**TRANSOM HEAD**

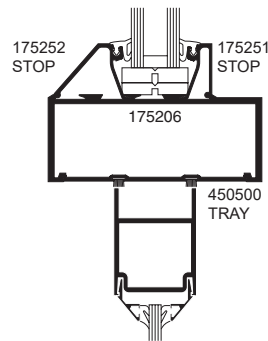
ELEVATION IS NUMBER KEYED TO DETAILS



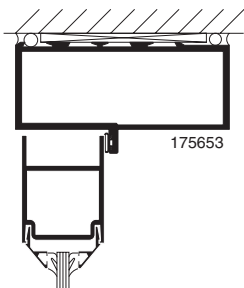
**2**  
**OFFSET PIVOT/  
BUTT HUNG  
TRANSOM BAR**



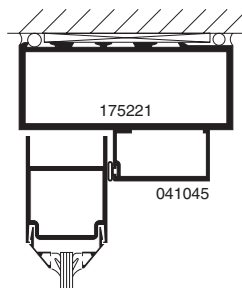
**2**  
**S/A OFFSET ARM  
OFFSET PIVOT/  
BUTT HUNG  
TRANSOM BAR**



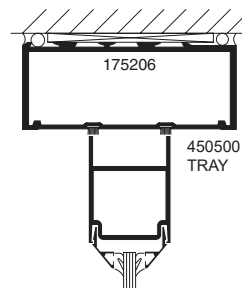
**2**  
**C.O.C.  
CENTER PIVOT  
TRANSOM BAR**



**3**  
**OFFSET PIVOT/  
BUTT HUNG  
HEADER**



**3**  
**S/A OFFSET ARM  
OFFSET PIVOT/  
BUTT HUNG  
HEADER**



**3**  
**C.O.C.  
CENTER PIVOT  
HEADER**

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PERMADIZE® HARDCOAT FINISHES



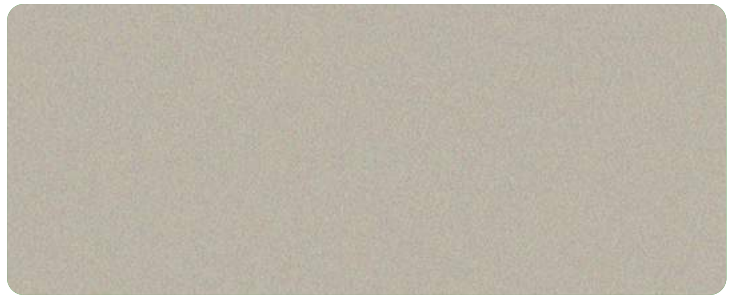
**LIGHT SEQUIN - 379A1453**



**BLACK - 789G035**



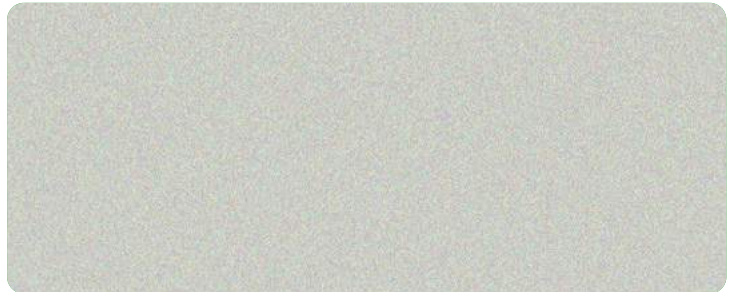
**GOLD - 379A1451**



**CHAMPAGNE - 379A1455**



**DARK BRONZE - 379A1456**



**STERLING GRAY - 789G018**



**MEDIUM BRONZE - 379A1457**