



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2026-00271

PROPERTY INFORMATION

ADDRESS(ES): 12546 Dexter Ave

HISTORIC DISTRICT: Russell Woods-Sullivan

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|-------------------------------------------------------|-------------------------------------------|------------------------------------------|--------------------------------------------------------------|-------------------------------------------------------------------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

12546 Dexter Ave is a contributing historic building to the Russell Woods – Sullivan local historic district historic. This historic retail building with apartments above is planned to continue to serve retail functions as a food hall with loft apartments above. While the facades remain standing, the building is currently vacant, with deteriorated roofs and failing interior walls. Storefronts and windows have been removed and are presently boarded over. This proposal seeks to revive the building by restoring the storefronts and windows within their existing openings. The facade of 12546 will be repaired and renovated. The rebuilt storefront will reflect the character and appearance typical of the 1940s.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Analise Pietras

COMPANY NAME: McIntosh Poris Architects

ADDRESS: 111 W. Willis St.

CITY: Detroit

STATE: MI

ZIP: 48201

PHONE: +1 (313) 946-0432

EMAIL: apietras@mcintoshporis.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- | | |
|-------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> | I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application. |
| <input checked="" type="checkbox"/> | I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work. |
| <input checked="" type="checkbox"/> | I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent. |
| <input checked="" type="checkbox"/> | As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531 |

DocuSigned by:

0A9BA40566734D9

SIGNATURE

05/18/2026

DATE

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

The existing facade of brick and stone has boarded up storefronts and windows above on the second floor. See attached in the Photographs.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

the facade is proposed to have the storefronts and double hung windows above replaced in existing openings. See attachment in Detailed Scope of Work.

4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")




5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<p>6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i></p>	

12546 DEXTER AVE - MIXED USE

DETROIT, MI 48206






PROPOSED PROJECT

12546 Dexter Ave is a contributing historic building to the Russell Woods – Sullivan local historic district. This historic retail building with apartments above is planned to continue to serve retail functions as a food hall with loft apartments above. While the facades remain standing, the building is currently vacant, with deteriorated roofs and failing interior walls. Storefronts and windows have been removed and are presently boarded over. This proposal seeks to revive the building by restoring the storefronts and windows within their existing openings. The facade of 12546 will be repaired and renovated. The rebuilt storefront will reflect the character and appearance typical of the 1940s.



RUSSELL WOODS - SULLIVAN LOCAL HISTORIC DISTRICT

The Russell Woods-Sullivan Historic District is a significant early- to mid-20th-century Detroit neighborhood that reflects the city's suburban expansion, architectural richness, and evolving cultural history. Developed in two phases between 1916 and the 1940s, the district contains more than 1,000 residences in styles such as Neo-Tudor, Colonial Revival, Moderne, and Arts and Crafts, many built by prominent Detroit contractors. As the report notes, the area "continues to provide an atmosphere of peaceful spaciousness for urban residents," with its tree-lined streets, distinctive homes, and anchors such as Winterhalter School and Broadstreet Presbyterian Church. Socially and culturally, the district illustrates Detroit's demographic shifts. Initially home to Anglo and Jewish middle-class families, Russell Woods-Sullivan became a center of African American homeownership by the late 1950s, attracting notable residents including poet Dudley Randall and members of The Supremes. The neighborhood's architectural integrity, combined with its association with influential Detroiters and its reflection of broader patterns in the city's growth, make it an important historic landscape.

-  PROJECT SITE
-  SIGNIFICANT STRUCTURES
-  THOROUGHFARES
-  RUSSELL WOODS - SULLIVAN HISTORIC DISTRICT
-  B'NAI MOSHE-ST. PAUL A.M.E. ZION
- 1** BELLA MANDELL HOUSE
- 2** HELEN MOORE COMMUNITY CENTER
- 3** HOPE ACADEMY
- 4** VAUGHN BOOKS





ARCHITECTURAL SITE PLAN

SCALE: 1" = 40'-0"



12546 Dexter Ave 12546 Dexter Ave





12546 DEXTER AVE	12526 DEXTER AVE	12512 DEXTER AVE
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BUILDING A 12546 DEXTER AVE

The property at 12546 Dexter Avenue is a contributing commercial-residential building within the Russell Woods-Sullivan Historic District, constructed as a mixed-use structure with ground-floor storefronts and twelve apartments above. Designed in a C-shaped plan and clad primarily in orange-red face brick with stone accents, the building originally featured five storefront bays along Dexter and Fullerton, each framed by cast-stone surrounds, brick pilasters, stone plinths, and transoms with the distinctive X-shaped muntin pattern. A 1946 photograph shows the Dex-Fullerton Market occupying two central bays with recessed entrances, large plate-glass display windows, stone knee walls, and fabric awnings—elements typical of early-20th-century Detroit commercial architecture. The building also once displayed decorative brick-and-stone pediments with roundels at its corners and above the residential entrance, all removed around 2017.

Over time, the building experienced significant alteration and deterioration. Nearly all storefront windows, doors, and transoms have been boarded or infilled, though fragments of the original stone surrounds and transom framing survive. The residential windows—historically wood 6-over-6 units—are gone, and the eastern portion of the structure has suffered a roof collapse, leaving the rear façade in poor condition with missing brick, CMU infill, and structural failure in parts of the internal alley. Despite this, the building retains enough of its historic massing, masonry, and storefront rhythm to convey its architectural character and remains an important example of the early commercial fabric that supported the Russell Woods community.



1946 photograph



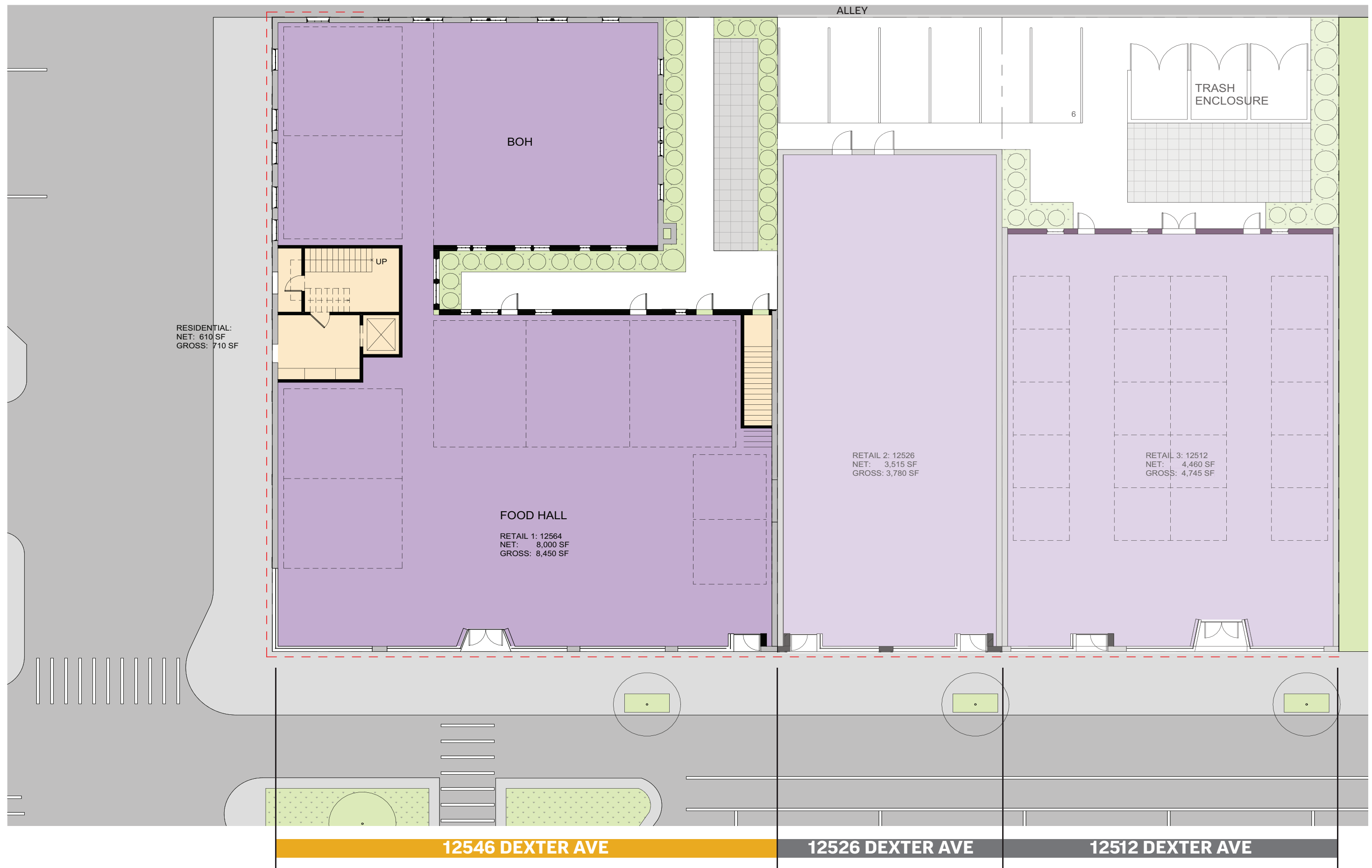
Figure 23. Transom window framing and a fragment of the X mullion that remain at the corner storefront.



Figure 9. Extant transom window sashes with X-shaped muntins.



EXISTING CONDITIONS
BUILDING A - 12546 DEXTER AVE



PLAN SYMBOL KEY

- EXISTING WALL
- NEW WALL
- HISTORIC FEATURE

GROUND FLOOR

RESIDENTIAL
 NET 610 SF
 GROSS 710 SF

RETAIL
 NET 15,975 SF
 GROSS 16,975 SF

OVERALL

TOTAL GROSS
 RETAIL & RESIDENTIAL
 26,915 SF

PARKING

SPACES CURRENTLY 0
 per Sec 50-14-7
 Off Street parking exemption
 Historic Non Conforming

PROVIDED OFF-STREET 6
 ON-STREET 7
 MUNICIPAL LOT 18

RESIDENTIAL:
 NET: 610 SF
 GROSS: 710 SF

BOH

FOOD HALL

RETAIL 1: 12564
 NET: 8,000 SF
 GROSS: 8,450 SF

RETAIL 2: 12526
 NET: 3,515 SF
 GROSS: 3,780 SF

RETAIL 3: 12512
 NET: 4,460 SF
 GROSS: 4,745 SF

TRASH ENCLOSURE

ALLEY

12546 DEXTER AVE

12526 DEXTER AVE

12512 DEXTER AVE





PLAN SYMBOL KEY

- EXISTING WALL
- NEW WALL
- HISTORIC FEATURE

UPPER LEVEL

10 UNITS
 NET: 7,355 SF
 GROSS: 9,230 SF

OVERALL

TOTAL UNITS	10
1 BEDS	8
2 BEDS	2

1

2

3

4

A

12546 DEXTER AVE

12526 DEXTER AVE

12512 DEXTER AVE



PROPOSED SECOND FLOOR

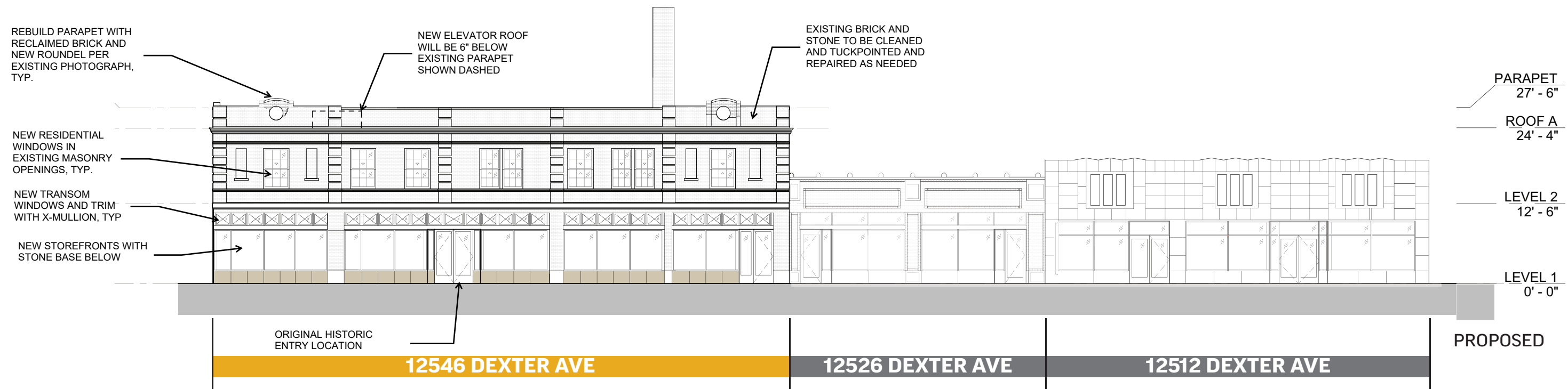
SCALE: 1/16" = 1'-0"



**MCINTOSH
 PORIS
 ARCHITECTS**

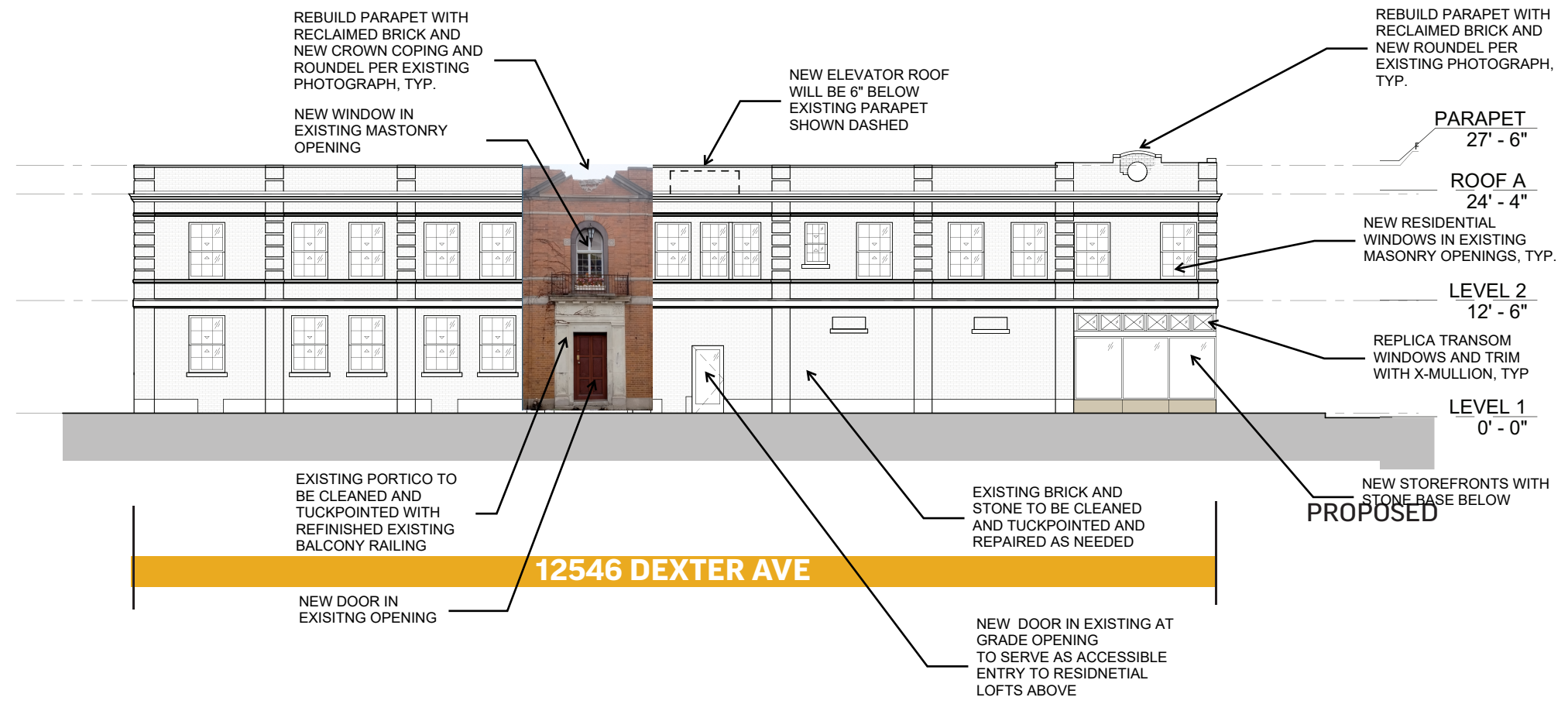


EXISTING BUILDING SCAN





EXISTING



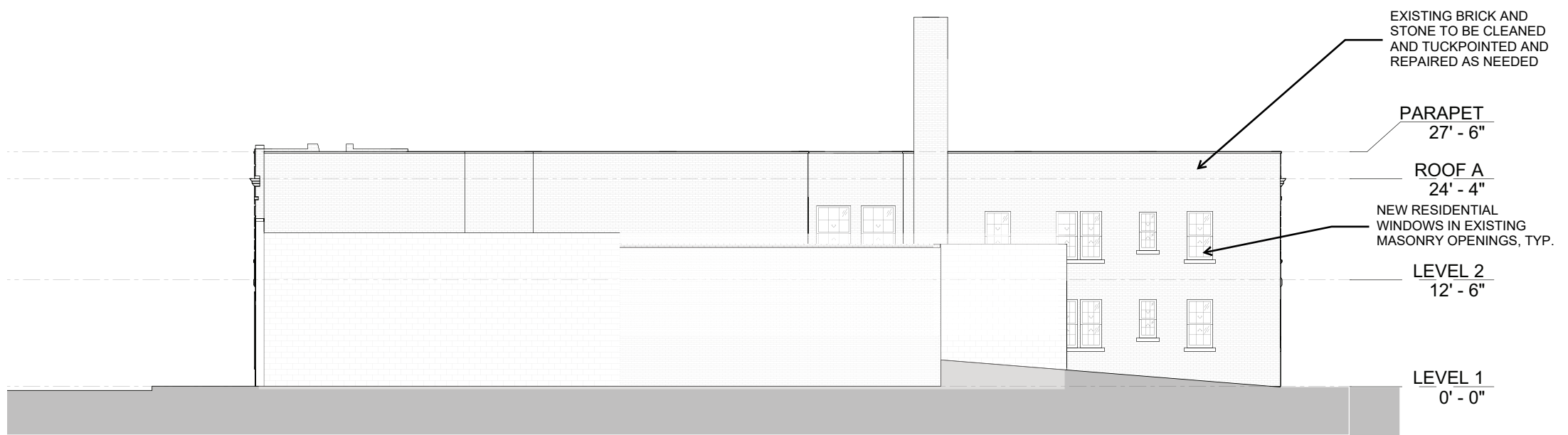
PROPOSED

FULLERTON (NORTH) ELEVATIONS

SCALE: 1/16" =1'-0"



EXISTING



PROPOSED

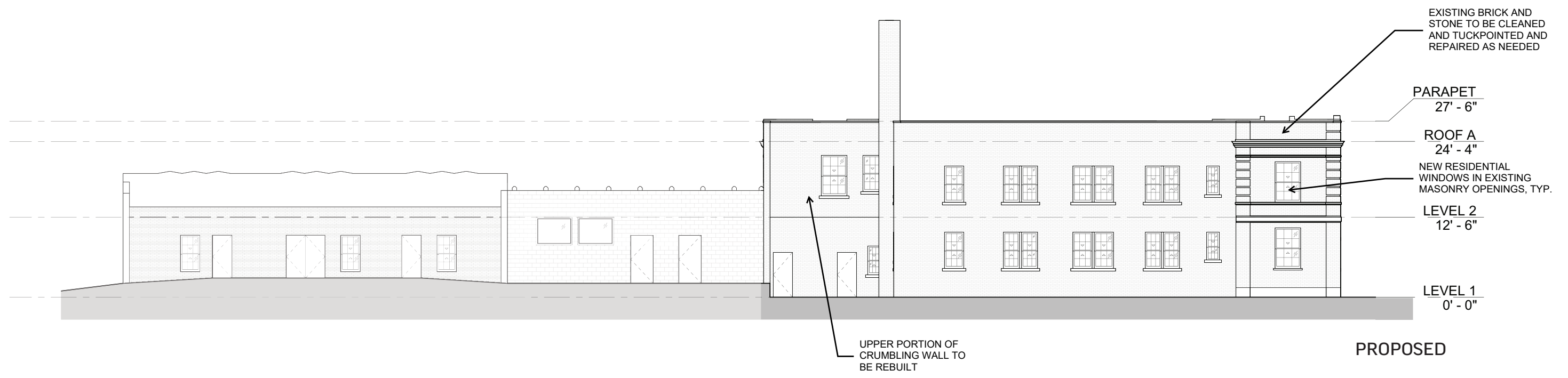


STURTVANT (SOUTH) ELEVATION

SCALE: 1/16" = 1'-0"



EXISTING

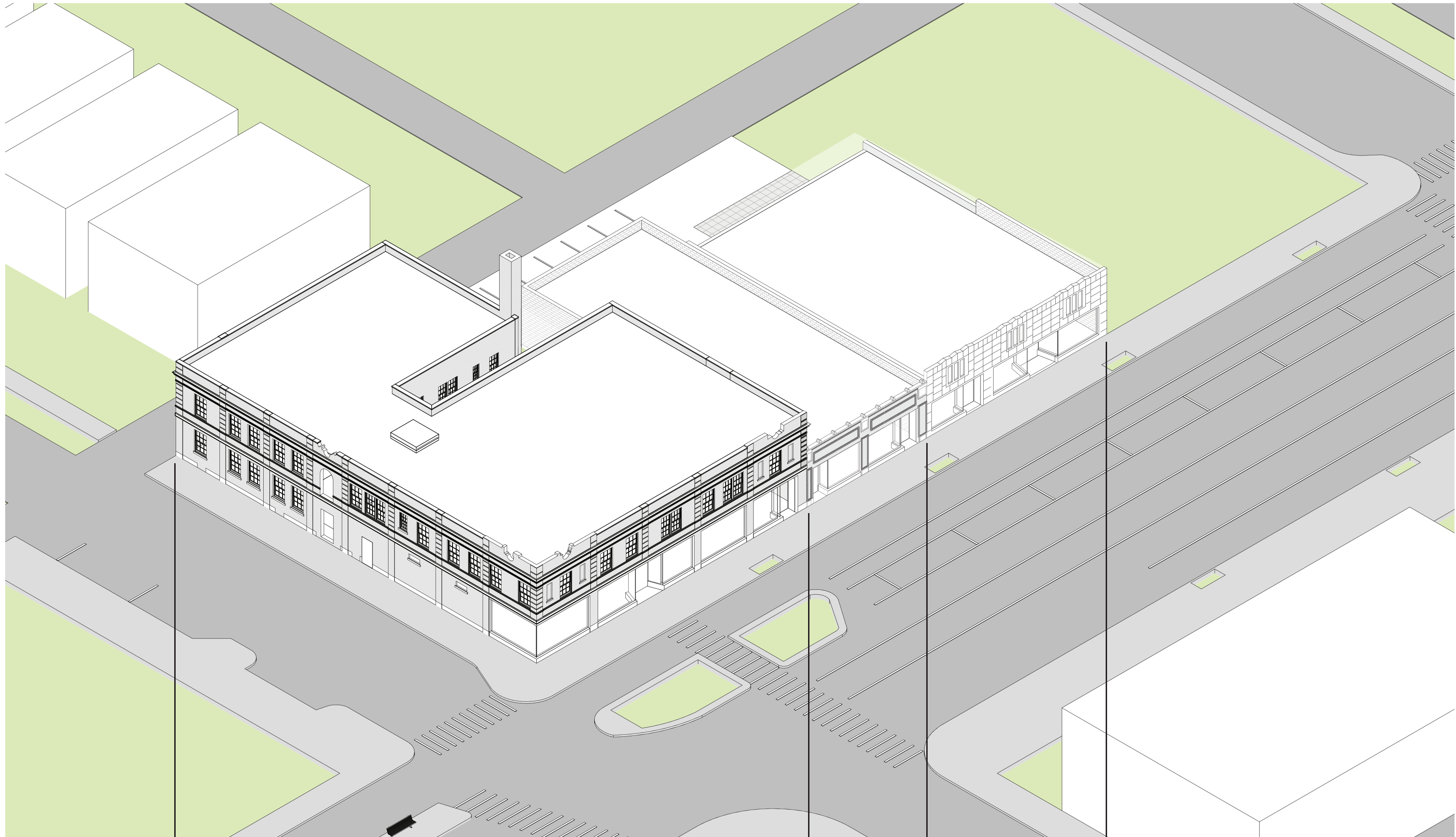


PROPOSED



ALLEY (EAST) ELEVATION

SCALE: 1/16" = 1'-0"



12546 DEXTER AVE 12526 DEX 12512 DEXTER AVE





PROPOSED NEW 12546 DEXTER AVENUE ELEVATION



ELEMENTS OF DESIGN

Sec. 21-2-168. Russell Woods-Sullivan Historic District.

(Code 1984, § 25-2-131; Ord. No. 33-99, § 1(25-2-131), eff. 11-12-1999)

The proposed rehabilitation of the existing building at 12546 Dexter Ave is located within the boundaries of the Russell Woods-Sullivan Historic District.

(d) The elements of design, as defined in Section 21-2-2 of this Code, shall be as follows:

- (1) *Height.* The dominant residential structures in the Russell Woods-Sullivan Historic District range from 1½ to 2½ stories tall, with those of two to 2½ forming a substantial majority. One-and-a-half-story houses typically have a very steep roof pitch, increasing the overall height. A few one-story houses exist but are not characteristic of the district. Additions to existing buildings shall be related to existing structure. Commercial and institutional structures on Dexter Boulevard and one apartment building adjacent to Dexter Boulevard depart from these norms, ranging in height from one to four stories. New single-family and two-family residences shall meet the following standards:
 - a. Eight adjoining houses on the same block face, excluding any one-story houses, shall be used to determine an average height.
 - b. The level of the eaves of the proposed new structure has as much or more significance for compatibility as the roof height.

Response:

The height of the roof, parapet and cornices is proposed to remain the same. The new elevator with overrun and roof will finish 6" below the existing parapet that the perimeter of the 12546 building.

- (2) *Proportion of buildings' front façades.* The typical front façade of a single or two-unit house in the Russell Woods-Sullivan Historic District is approximately as tall to its eaves as it is wide. One-and-a-half-story houses sometimes have façades wider than tall, but balanced by a steeply pitched roof resulting in a balanced overall composition. The two terrace buildings are wider than tall along Petoskey; multi-story apartment buildings are taller than wide. Commercial buildings that contribute to the Historic District on Dexter Boulevard, where they exist adjacent to similar buildings, form a horizontal row.

Response:

Building is proposed to maintain the existing proportions of the building's front facades.

- (3) *Proportion of openings within the façades.* In residential buildings, openings amount to between 20 percent and 35 percent of the front façade, with the majority ranging from 25 percent to 30 percent. Buildings of the "moderne art deco" styles will have a percentage of openings in the upper portion of the general range. Typical openings are taller than wide. It is not uncommon for several windows, which are taller than wide, to fill a single opening, which is wider than tall. Houses built later in the period of development sometimes have individual windows which are balanced or somewhat wider than tall; such a window is often the main opening of the first floor front façade.

Response:

12546 Dexter proposes to restore the missing storefronts and windows as they were in the 1946 historic photograph.

- (4) *Rhythm of solid to voids in front façades.* In Four-Square-style buildings and buildings derived from Classical precedents, voids are usually arranged in a symmetrical and evenly-spaced manner within the façades. In examples of other styles, particularly those of English Medieval inspiration, voids are arranged with more freedom, but usually result in a balanced composition. On Dexter Boulevard, the repetitive flow of storefront openings, where they exist, create a rhythm along the commercial frontage.

Response:

12546 Dexter proposes to restore the 1940's solid and voids of the existing storefronts in the façades..

- (5) *Rhythm of spacing of buildings on streets.* In the Russell Woods-Sullivan Historic District, the spacing of the buildings is generally determined by lot sizes and setbacks from side lot lines. There is a general regularity in the widths of subdivision lots from one block to another. The residential lots generally range from 35 feet to 40 feet wide, with the exception of Broadstreet Boulevard, where the majority of lots range from 48 feet to 68 feet in width, the larger being the corner lots. Also, with the exception of Broadstreet Boulevard, houses are usually situated close to the western lot line, allowing for just enough space for a side driveway along the eastern lot line.

Response:

It is proposed to retain the buildings spacing.

- (6) *Rhythm of entrance and/or porch projections.* Porch types relate to the type and style of the building. Buildings with an upper and lower unit, primarily on Cortland Avenue, Buena Vista Avenue, Tyler Avenue and Waverly Avenue, often have two-story porches that project from the main wall surface. One common entrance arrangement on vernacular English Revival single-family houses is that of a slightly projecting, steeply-gabled vestibule, either enclosed or open, entered through an arched opening. The first-floor wall surface of the front façade is sometimes extended to contain either a narrow arched opening for pedestrians to pass through or a car-width-sized opening serving as an entrance over the driveway for a car to pass through. Another common arrangement, predominately at the eastern end of the district in the Sullivan Subdivision, is the open porch with metal awning frames overhead. In general, a variety of residential porch types exist in the district; most tend to be shallow, are not always covered, and vary in placement on the front façade. They create an interesting rhythm along the streetscape, especially where a number of any one kind exist in a row.

Response:

Storefront entrances are in historic locations as much as possible.

- (7) *Relationship of materials.* The majority of houses are faced with brick, often combined with wood, stone or stucco. Some houses on Glendale and Waverly Avenues in the Russell Woods Subdivision are entirely of wood; very few houses are entirely stucco. Stone trim is common, and wood is almost universally used for window frames and other functional trim. Windows are commonly either metal casements or wooden sash. Original metal awning shades and balustrades exist. Roofs on the majority of the buildings in the Russell Woods-Sullivan Historic District are now asphalt shingled, whereas many were likely originally shingled in wood. Only two apartment buildings on Broadstreet Boulevard and the Broadstreet Presbyterian Church retain their slat roofs.

Response:

All three buildings are proposed to maintain their existing materials—brick, stone, and enameled metal panels—in a manner that reflects their original historic appearance.

ELEMENTS OF DESIGN

- (8) *Relationship of textures.* The major texture is that of brick laid in mortar, often juxtaposed with wood or smooth or rough-faced stone elements and trim. Textured brick and brick laid in patterns creates considerable interest, as does half-timbering, leaded and subdivided windows, and wood-shingled or horizontal-sided elements. Slate and wood shingle roofs have particular textural values where they exist. Asphalt shingles generally have little textural interest, even in those types which purport to imitate some other variety.

Response:

12546 brick and stone are proposed to remain and have the same texture.

- (9) *Relationship of colors.* Natural brick colors, such as red, yellow, brown and buff, predominate in wall surfaces. Natural stone colors also exist. Where stucco or concrete exists, it usually remains in its natural state, or is painted in a shade of cream. Roofs are in natural colors (tile and slate colors, and natural and stained wood colors), and asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style. The buildings derived from Classical precedents, particularly those of Neo-classical styles, generally have woodwork painted white, cream, or in the range of those colors. Colors known to have been in use on similar buildings of this style in the 18th Century or early 20th Century may be considered for appropriateness. Buildings of vernacular English Revival styles generally have painted woodwork and window frames of a dark brown or cream color. Half timbering is almost always stained dark brown. Tile, mosaics, and stained glass, where it exists as decoration visible on the front façade, contribute to the artistic interest of the buildings. The original colors of any building, as determined by professional analysis, are always acceptable for a house, and may provide guidance for similar houses.

Response:

12546 brick is proposed to remain and with the same color. The stone is proposed to remain and with the same natural color. Where painted portions are found, the paint will be removed.

- (10) *Relationship of architectural details.* The architectural elements and details of each structure generally relate to its style. Residential buildings derived from Classical styles display modest detail, mostly in wood. Porches, shutters, window frames, cornices, and dormer windows are commonly, although not always, treated. Characteristic elements and details displayed on vernacular English-Revival-influenced buildings include arched windows and door openings, steeply pitched gables, towers, and sometimes half-timbering. Artistic touches, including stained glass, tile, and mosaics, provide artistic decoration. Bungalows and Arts and Crafts style buildings feature wide porches and overhangs. Commercial buildings along Dexter Avenue range in style from Neo-Georgian to Art Deco and Art Moderne. Institutional buildings on Dexter Boulevard are Art Moderne or modern in appearance. Broadstreet Presbyterian Church is vernacular Late Neo-Gothic in style. In general, the district is rich in early to mid-20th Century architectural styles.

Response:

12546 proposes to maintain its existing architectural details.

- (11) *Relationship of roof shapes.* The Russell Woods-Sullivan Historic District is primarily composed of houses displaying a variety of roof shapes relating to style. Common are the multiple steeply sloped, gables, and substantial chimneys present on vernacular English-Revival-influenced houses. Typical houses built in the 1930s in the Sullivan Subdivision often have turrets and gables projecting above the roof line. Classically-inspired buildings display pitched roofs, with or without dormers; some have front or side-facing gambrels. Roofs of houses built later in the period of development of the district tend to have significantly lower slopes. Commercial buildings on Dexter have flat roofs that are not visible from the street.

Response:

As Commercial buildings, the caved in flat roofs are to be rebuilt and unseen behind existing parapet walls as they were originally located. The new elevator at 12546 will have a flat roof and be 6" lower than the surrounding existing parapet walls.

- (12) *Walls of continuity.* The common setbacks of the houses on the residential streets and the placement of commercial buildings on Dexter at the front lot line create very strong walls of continuity.

Response:

No change is made to the setbacks of the buildings along Dexter and Fullerton with their zero lot line.

- (13) *Relationship of significant landscape features and surface treatments.* The typical treatment of individual properties is a flat front lawn area in grass turf, subdivided by a straight or curving walk leading to the front entrance and a single width side driveway leading to a garage at the rear of the lot. Recent front yard steel lamp posts with round globes are common on some blocks. Foundation plantings, often of a deciduous nature and characteristic of the period 1920-1960, are present virtually without exception. Large evergreen trees shield some houses from view. There is variety in the landscape treatment of individual properties. Hedges and fencing between properties are not common, although rear yards are commonly fenced. There is a wide range in the type of fencing with chain-link common. The placement of trees on the tree lawn between the public sidewalk and curb varies from block to block or street to street, and is not consistent, although rows of maple trees have been planted to replace the mature maples on Cortland. Lack of street trees on some blocks likely reflects loss through disease of the American elms once common in the City. Replacement trees should be characteristic of the area and period. Plantings of new trees should be directed to "tree lawns" and medians. If an American elm is planted, it should be disease resistant. Street lighting throughout the district is mounted on wooden utility poles, except around Russell Woods Park, where tall steel standards are located on the periphery of the park. On corner lots, garages and driveways face the side streets. Alleys have been vacated.

Response:

No additional change is planned to Dexter Avenue. The street went through a significant street improvement which added street trees and bike lanes. A planting row is proposed in the rear to conceal any trash enclosures which could be viewed from the sides.

- (14) *Relationship of open space to structures.* The Russell Woods-Sullivan Historic District has as its main open space Russell Woods Park, bounded by Old Mill Place, Fullerton Avenue, Broadstreet Boulevard, and Leslie Avenue. Another public recreational area exists at the northeast corner of the district between Waverly Avenue and West Davison Avenue. All houses have rear yards as well as front yards. Additional open space on Dexter Boulevard and West Davison Avenue is a result of building demolition and the existence of parking lots.

Response:

No change is proposed to the neighboring open spaces.

- (15) *Scale of façades and façade elements.* The Russell Woods-Sullivan Historic District comprises a neighborhood of moderate-scaled houses and multi-unit buildings and a low-scale commercial strip along Dexter Avenue. Single-family houses on Broadstreet Boulevard are generally larger in scale than houses elsewhere in the district, with the exception of some comparably-scaled houses on corner lots. Elements and details within the district are appropriately scaled, dependent on the style of the building. Broadstreet Presbyterian Church is a small-scale religious institution.

Response:

No change is proposed to the scale of the facades as they are proposed to remain.

ELEMENTS OF DESIGN

- (16) *Directional expression of front elevations.* Most single-family houses in the Russell Woods-Sullivan Historic District are neutral in directional expression, with the exception of a few of Neo-Tudor revival houses on Broadstreet and more recent houses in the ranch and tri-level styles, which express themselves horizontally. Multi-story apartment buildings are vertical in directional expression; institutional buildings and commercial buildings, especially where they exist in rows, are horizontal in directional expression.

Response:

No change is proposed to the existing directional expression of front elevations.

- (17) *Rhythm of building setbacks.* Front and side yard setbacks are consistent on each residential street in the Russell Woods-Sullivan Historic District; the contributing commercial buildings on Dexter Boulevard are set at the front or side yard setback. Setbacks for institutional buildings vary.

Response:

No change is proposed to the existing rhythm of the building setbacks.

- (18) *Relationship of lot coverages.* The lot coverage for the single- and two-family residential structures ranges generally from 25 percent to 35 percent, including the usual freestanding garage. The multi-unit structures adjacent to Petoskey Street have about 60 percent lot coverage, while the apartment building at Dexter Boulevard and Tyler Avenue has a lot coverage of approximately 80 percent. Commercial buildings on Dexter Boulevard have a range of lot coverages from approximately 20 percent to 100 percent, with contributing structures ranging generally from 60 percent to 80 percent. They are typically placed at the front lot line, but may not fill the lot at the rear. The commercial structures on Dexter Boulevard that have a lot coverage as low as 20 percent are usually the more recent structures which provide paved areas on the property; lot coverage for the institutional buildings in the district varies considerably. Broadstreet Presbyterian Church occupies approximately 40 percent of its property; its siting at the rear lot line creates a substantial green space in front.

Response:

No change is proposed to the existing lot coverages.

- (19) *Degree of complexity within the façades.* The façades within the Russell Woods-Sullivan Historic District range from very simple to quite complex, depending on style, but are straightforward in its arrangement of elements and details; overall, there is a low degree of complexity.

Response:

The degree of complexity within the façade is proposed to be similar as seen in 12546 photograph from the 1940's.

- (20) *Orientation, vistas, overviews.* The orientation of buildings and streets were created by the subdivision plans, which place the large lots and houses and a north-south street, Broadstreet Boulevard, and adjacent to a park, and assign smaller lot sizes and houses to adjacent east-west streets. Individual houses are oriented toward the street, almost without exception; even the multiple-unit buildings located on Buena Vista Street and Tyler Street at Petoskey Street have been given more fully developed façades facing the main residential streets. The residential neighborhood is sandwiched between two major commercial thoroughfares, Dexter Boulevard on the east and Livernois Avenue on the west.

Response:

No change is proposed to the existing orientation, vistas or overviews.

- (21) *Symmetric or asymmetric appearance.* Front façades of buildings range from complete symmetrical to asymmetrical but are balanced.

Response:

No change is proposed to the existing symmetric and asymmetric appearance.

- (22) *General environmental character.* The Russell Woods-Sullivan Historic District is a fully developed middle-class residential area of the second quarter of the 20th Century, with a planned hierarchy of housing stock ranging from the largest houses on Broadstreet and adjacent to the park to the smaller, including double houses, located on the east-west streets. Its straight streets and consistent lot sizes on each street create a comfortable and handsome, urban residential environment.

Response:

The renovation of the buildings proposes to restore the general historic environmental character.

(Code 1984, § 25-2-131; Ord. No. 33-99, § 1(25-2-131), eff. 11-12-1999)



CLEAR GLASS
12546 STOREFRONTS &
DH WINDOWS



KAWNEER'S MEDIUM BRONZE
12546 STOREFRONT FRAME COLOR



PELLA'S BROWN
12546 DOUBLE HUNG
WINDOW FRAME COLOR



12546 EXISTING STONE
TO REMAIN

BRICK:

Repair and infill areas to utilize reclaimed brick
Plenty available onsite.

MORTAR

Type N, 50/50 blend of Portland cement and
lime is planned. Onsite test areas will be tried
in different areas to match color and aggregate
specifically.



12546 EXISTING BRICK
TO REMAIN



EXISTING STOREFRONT AND WINDOW CONDITION

The building originally featured five storefront bays along Dexter and Fullerton, each framed by cast-stone surrounds, brick pilasters, stone plinths, and transoms with the distinctive X-shaped muntin pattern. A 1946 photograph shows the Dex-Fullerton Market occupying two central bays with recessed entrances, large plate-glass display windows, stone knee walls.

Nearly all storefront windows, doors, and transoms have been boarded or infilled, though fragments of the original stone surrounds and transom framing survive. The residential windows—historically wood 6-over-6 units—are gone.

PROPOSED STOREFRONT AND WINDOWS

Aluminum Storefront windows are proposed in the existing opening locations. Where openings have been blocked over it is planned to be removed. Transoms with the distinctive X-shaped muntin pattern are planned to also be replaced in their original location. The bays and central entrance are also planned to be in their original locations.

Replacement metal clad - wood windows are proposed for the residential windows—historically wood 6-over-6 units as in the 1946 photograph.

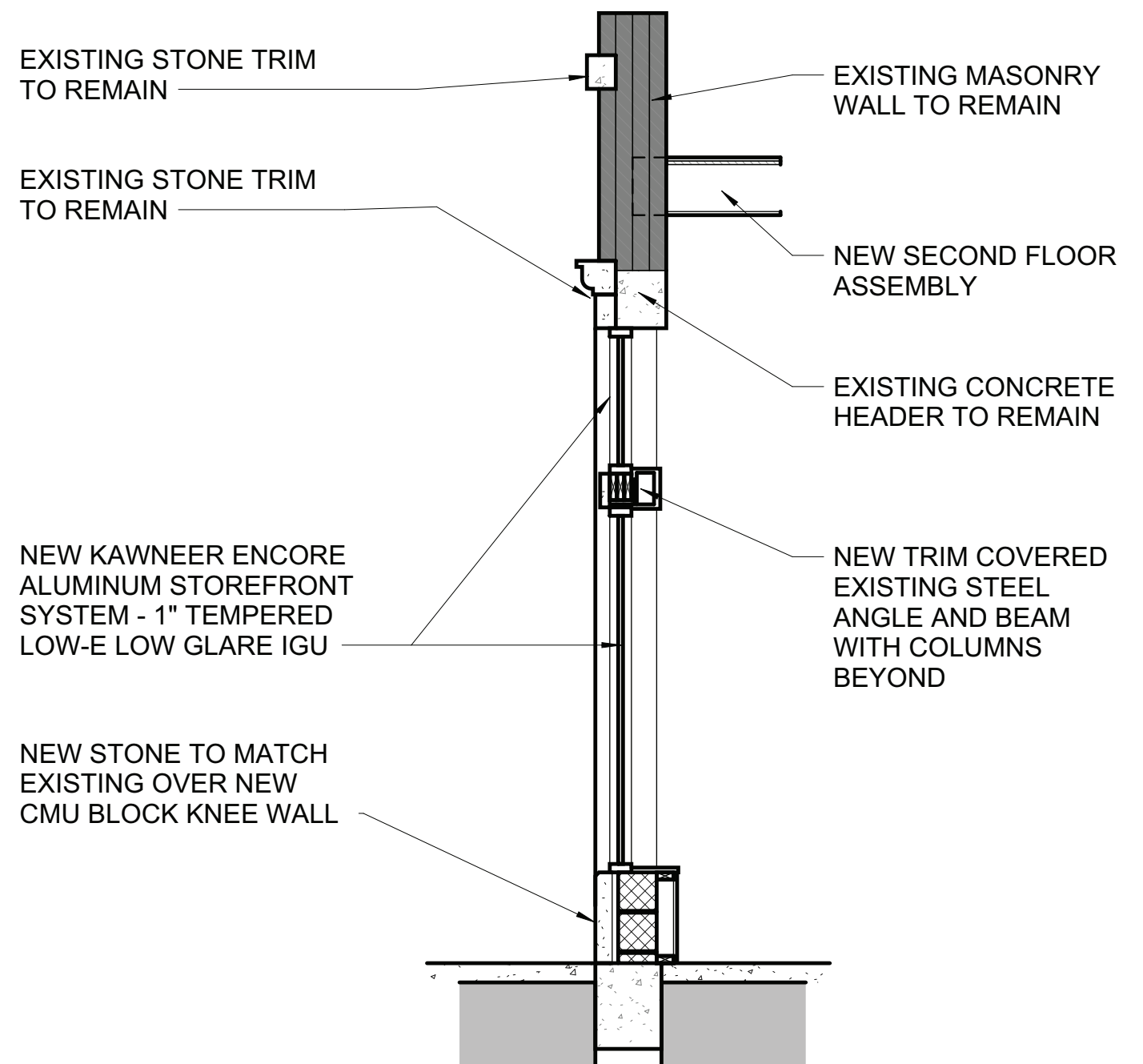
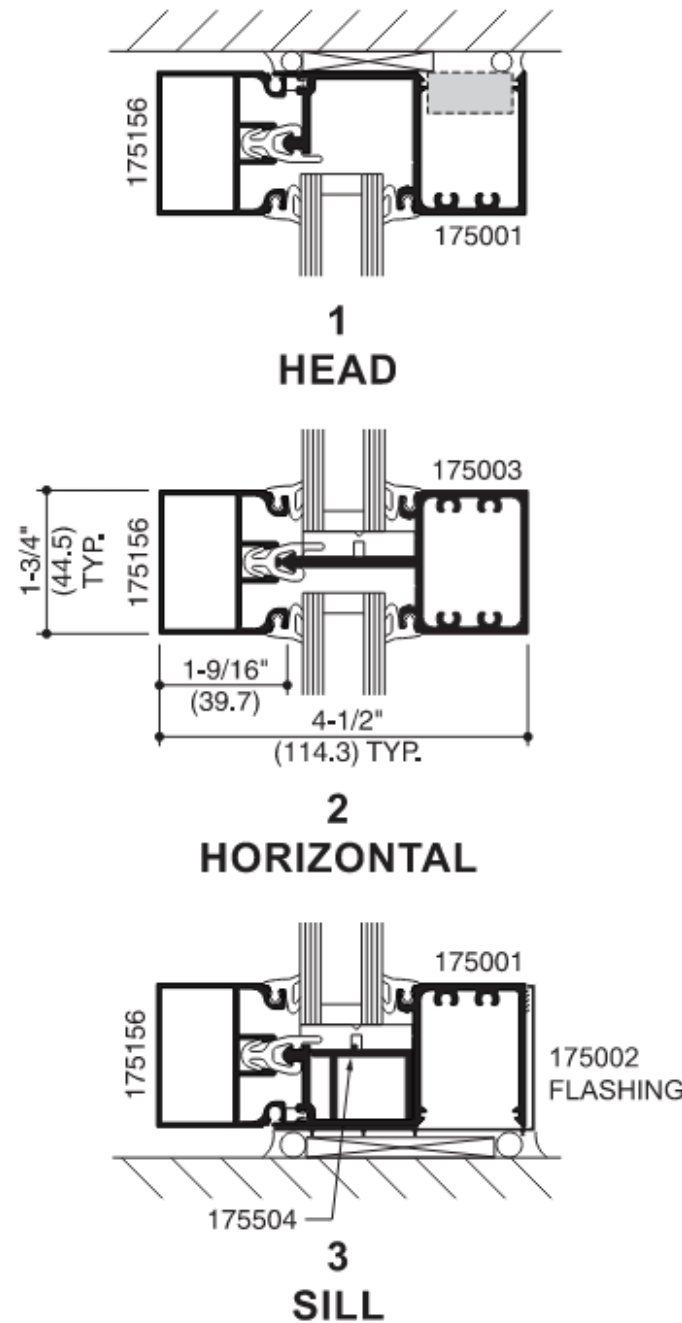
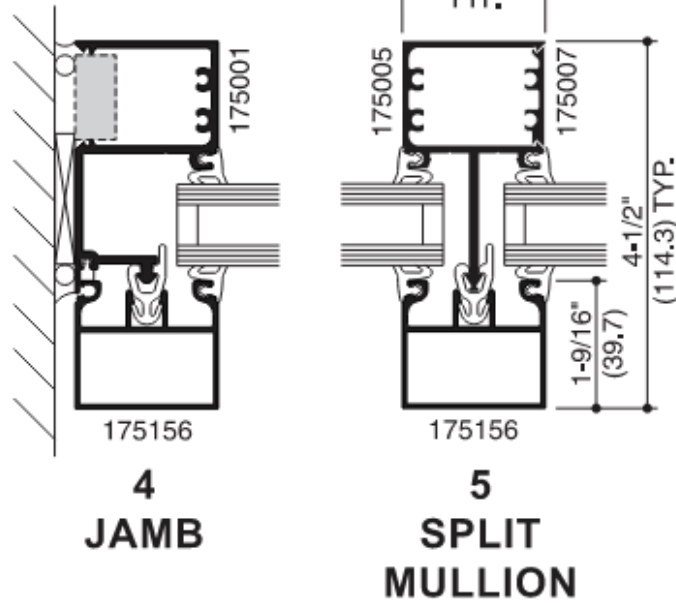
Storefront and window type and specifics follows in the included brochures and details

PROPOSED 12526 STOREFRONT

KAWNEER "ENCORE"
1-3/4" X 4-1/2" FRAME
CENTER GLAZED



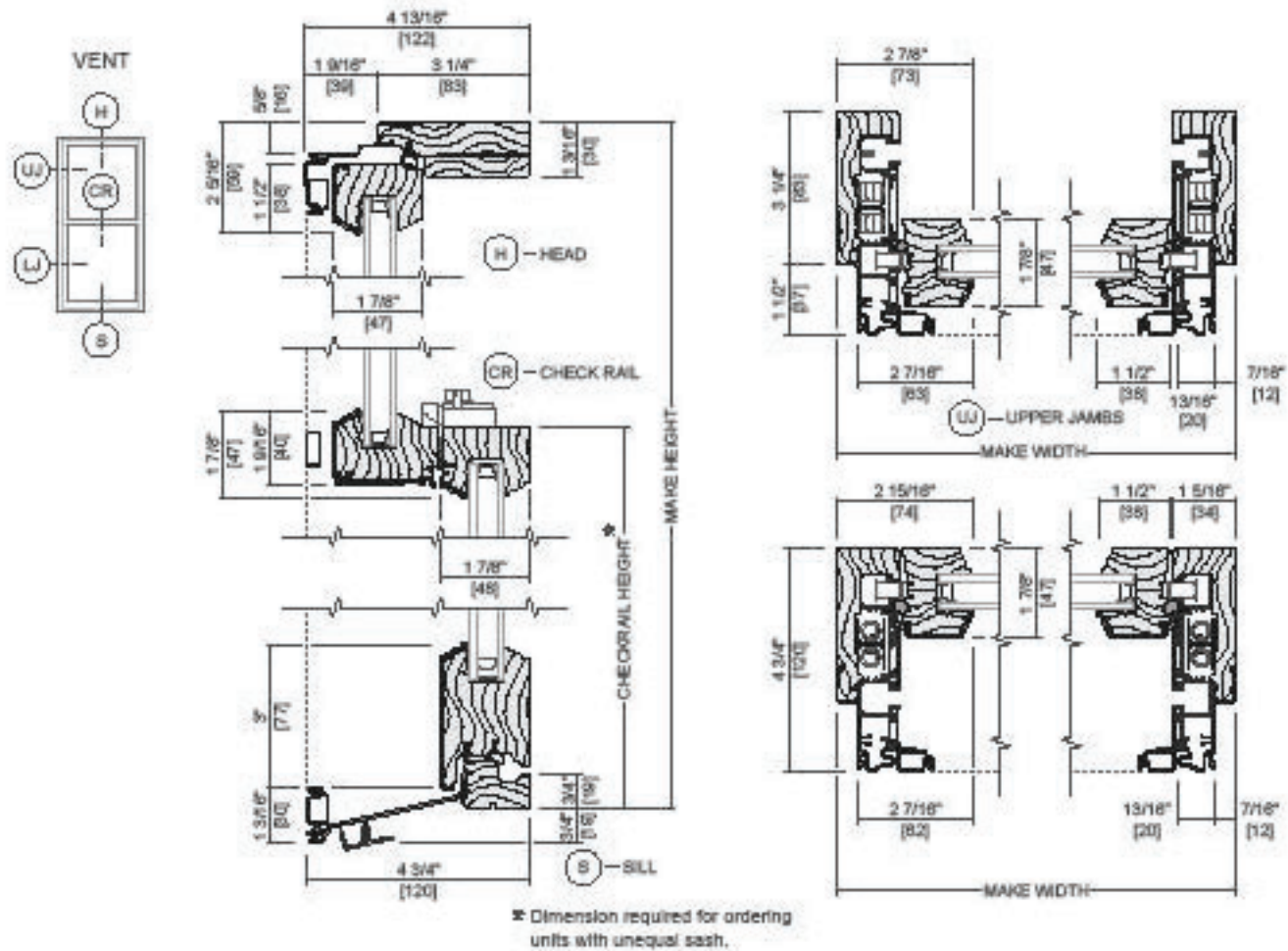
KAWNEER'S MEDIUM BRONZE
FRAME COLOR



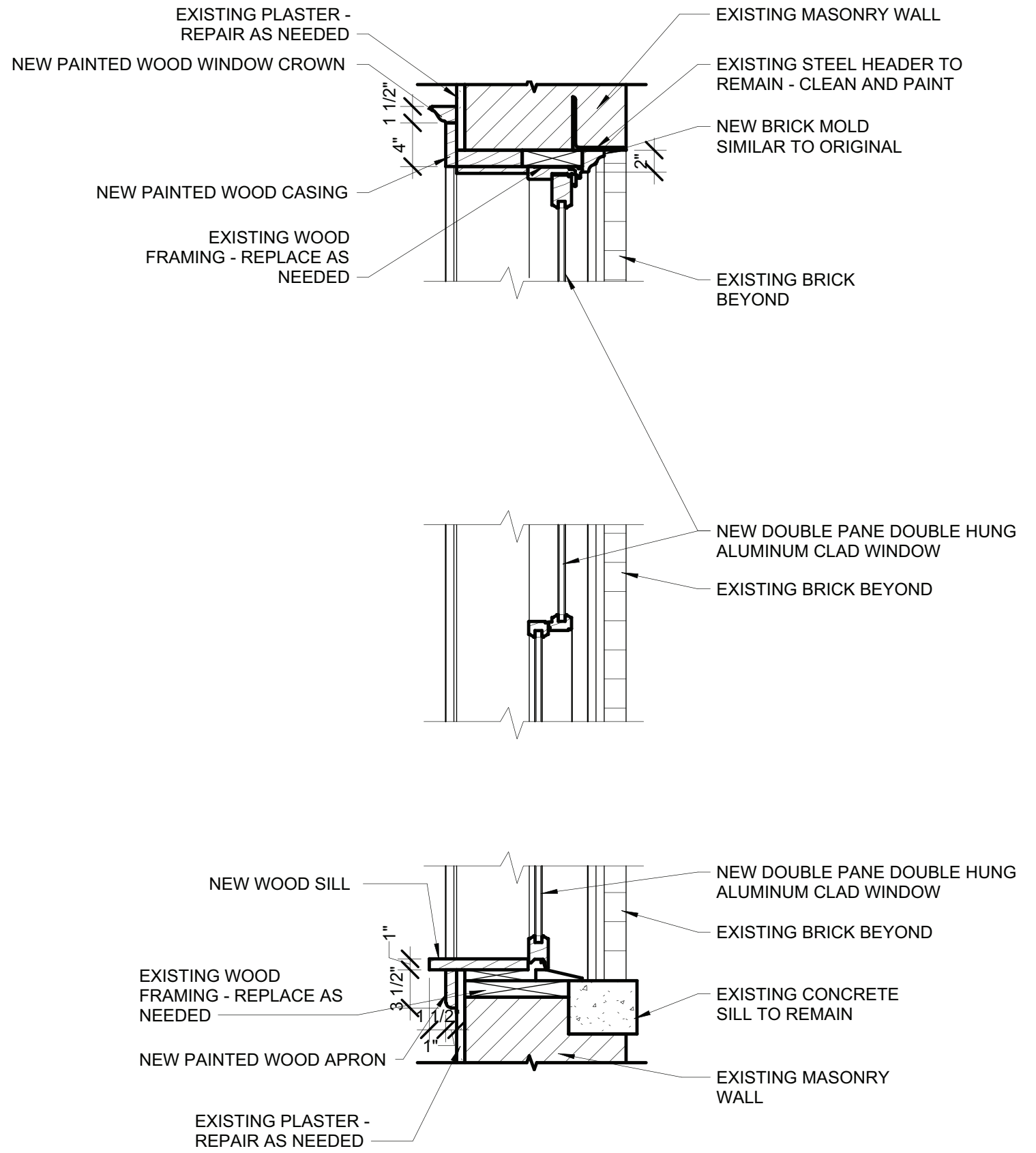


Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile



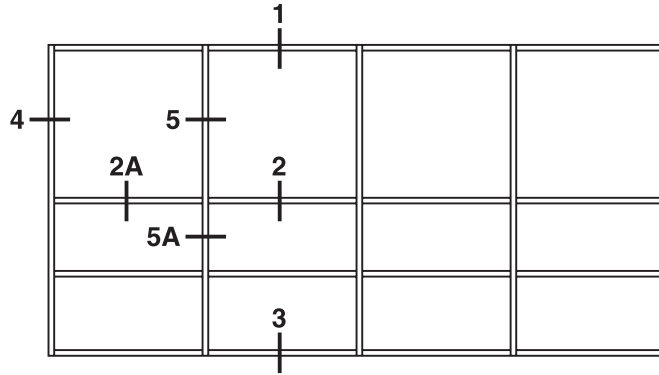
PELLA'S BROWN
12546 DOUBLE HUNG
WINDOW FRAME COLOR



NEW 12546 DEXTER AVE DH WINDOW SECTION

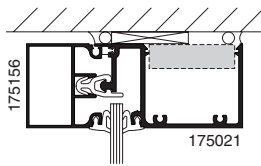
SCALE: 1" = 1'-0"

Additional information and CAD details are available at www.kawneer.com

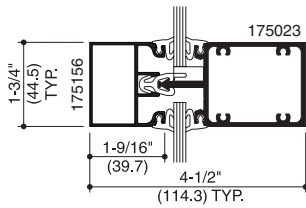


ELEVATION IS NUMBER KEYED TO DETAILS

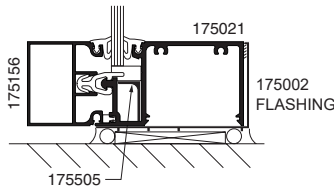
1/4" INFILL



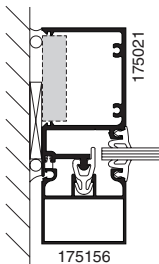
1 HEAD



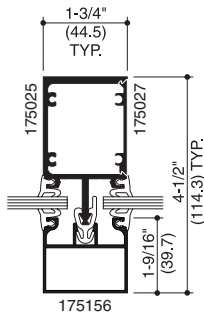
2 HORIZONTAL



3 SILL

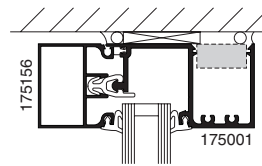


4 JAMB

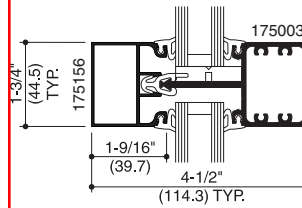


5 MULLION

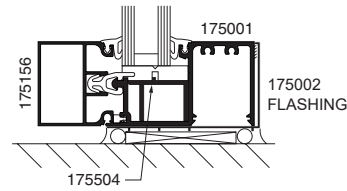
1" INFILL



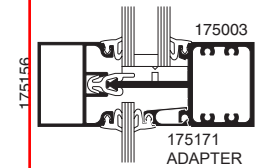
1 HEAD



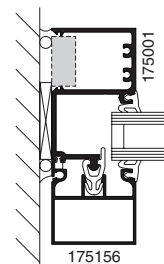
2 HORIZONTAL



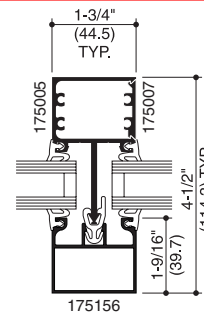
3 SILL



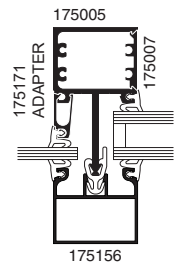
2A HORIZONTAL W/ 1/4" ADAPTER



4 JAMB



5 SPLIT MULLION



5A SPLIT MULLION W/ 1/4" ADAPTER

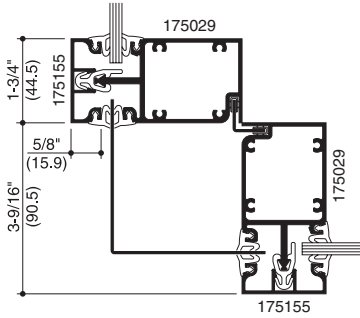
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

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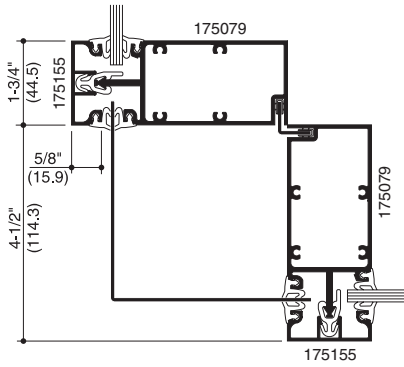
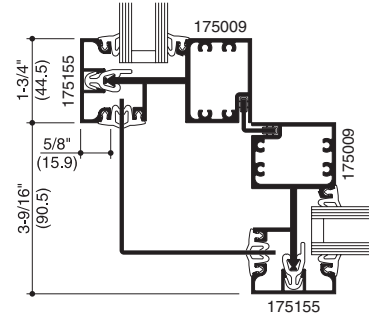
Additional information and CAD details are available at www.kawneer.com

1/4" INFILL

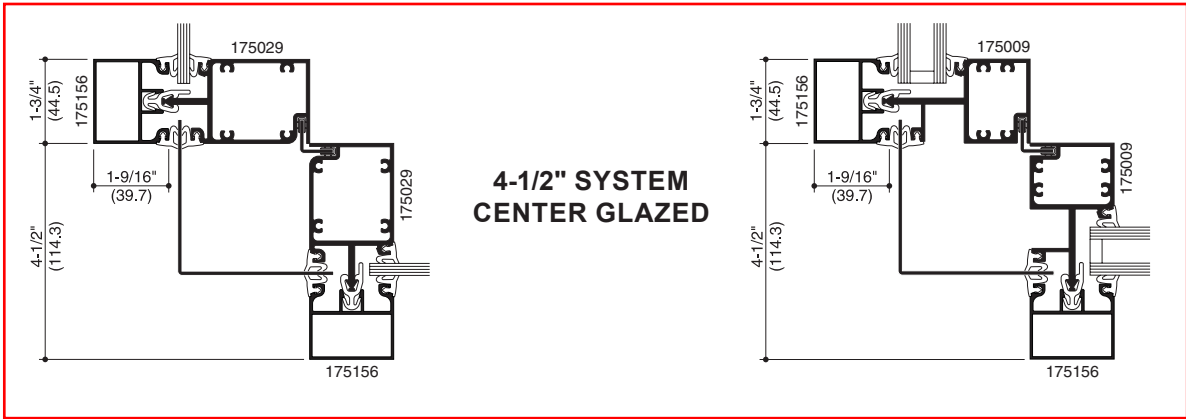
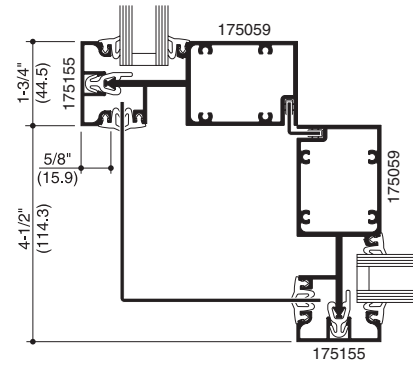


3-9/16" SYSTEM

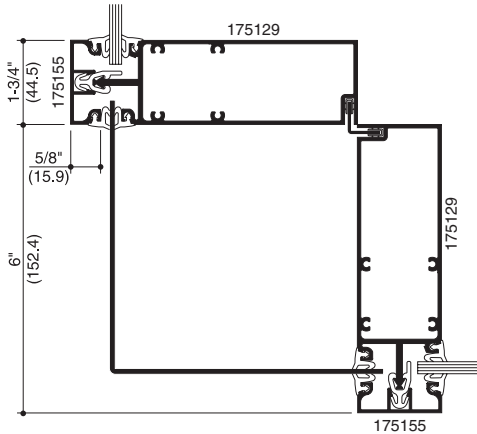
1" INFILL



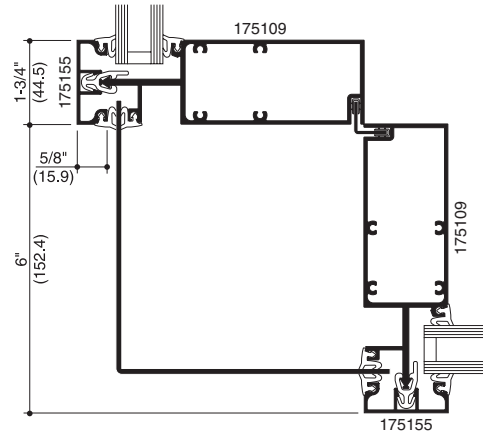
4-1/2" SYSTEM



4-1/2" SYSTEM CENTER GLAZED



6" SYSTEM

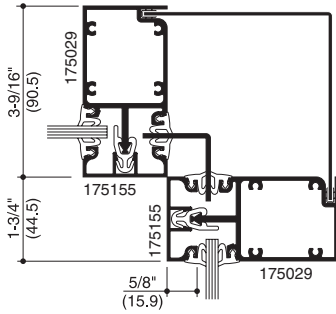


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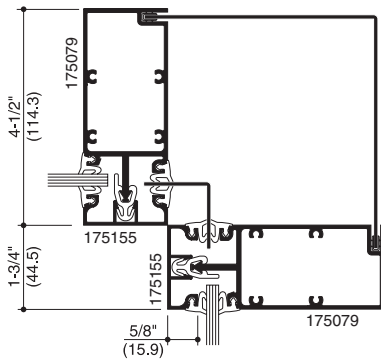
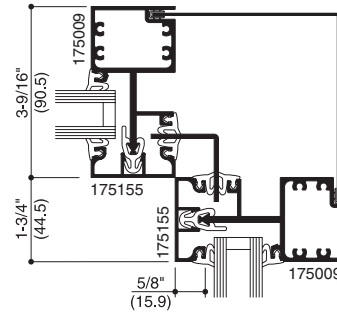
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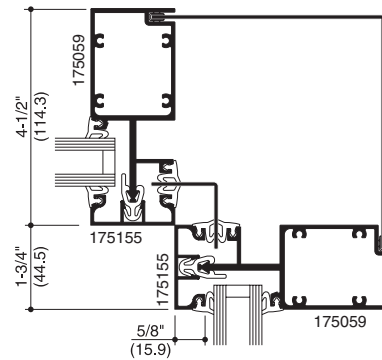
1/4" INFILL



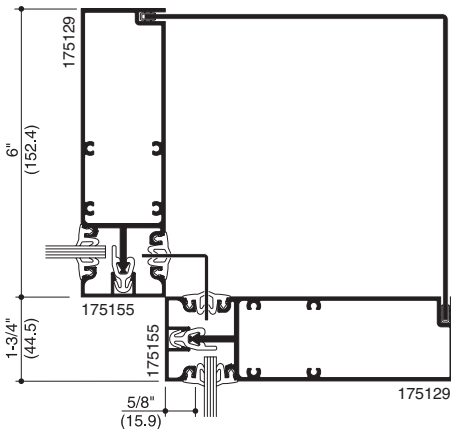
3-9/16" SYSTEM



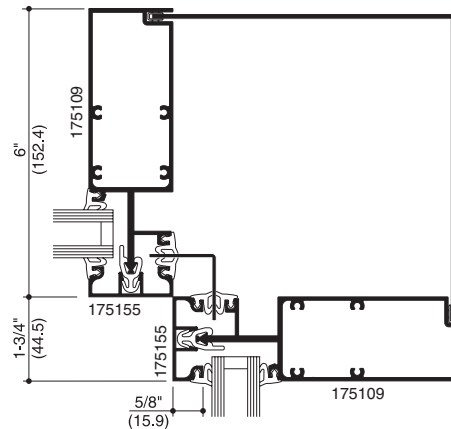
4-1/2" SYSTEM



4-1/2" SYSTEM CENTER GLAZED



6" SYSTEM

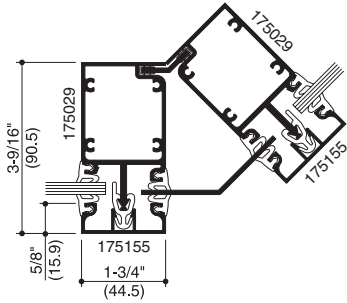


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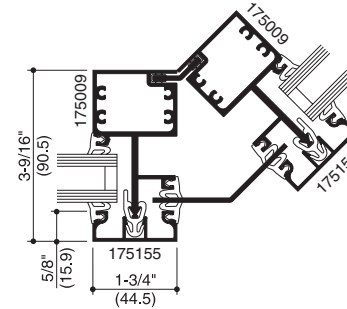
Additional information and CAD details are available at www.kawneer.com

1/4" INFILL

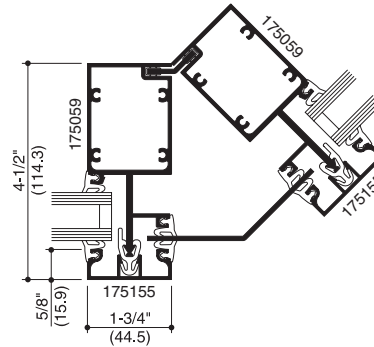
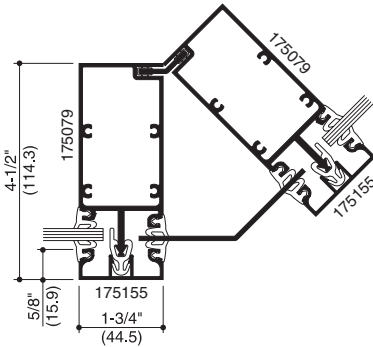


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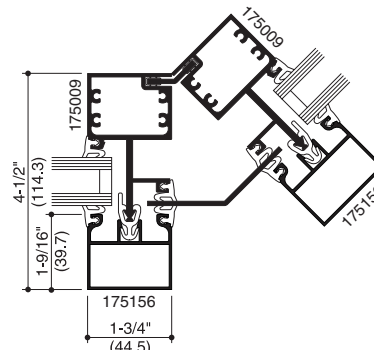
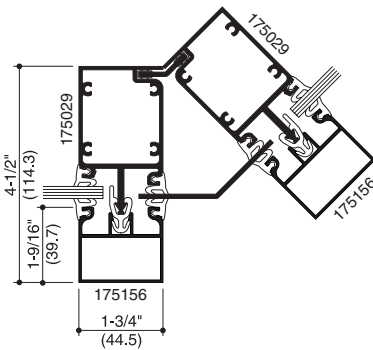
1" INFILL



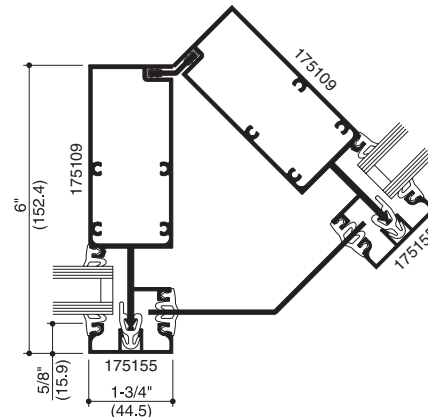
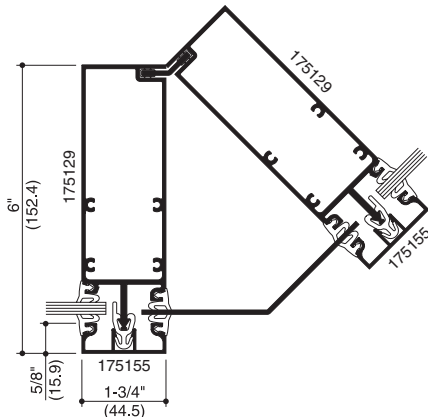
4-1/2" SYSTEM



4-1/2" SYSTEM
CENTER GLAZED



6" SYSTEM

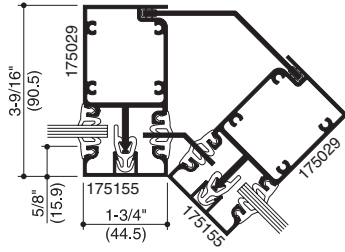


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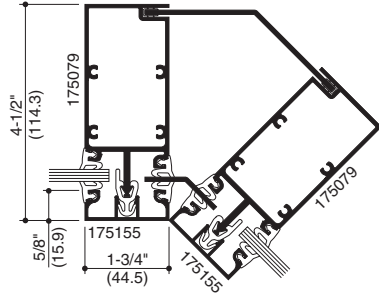
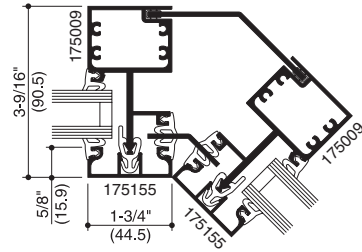
Additional information and CAD details are available at www.kawneer.com

1/4" INFILL

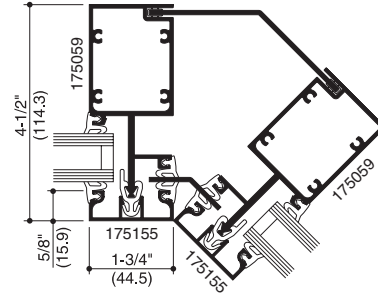


3-9/16" SYSTEM

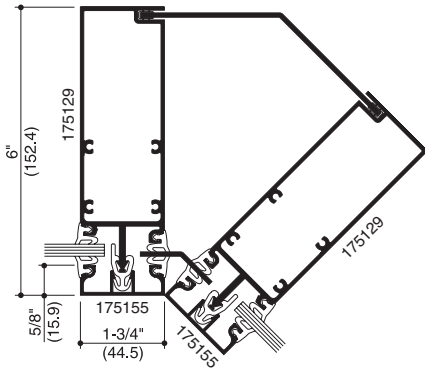
1" INFILL



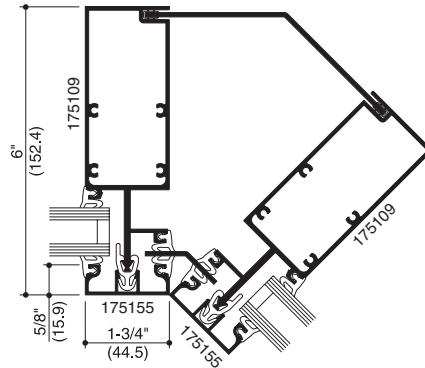
4-1/2" SYSTEM



4-1/2" SYSTEM CENTER GLAZED



6" SYSTEM



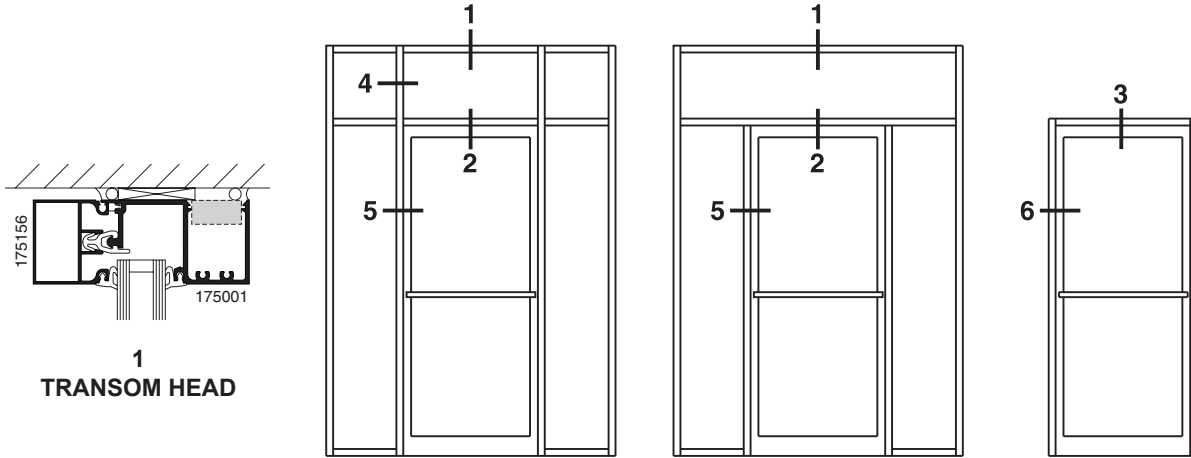
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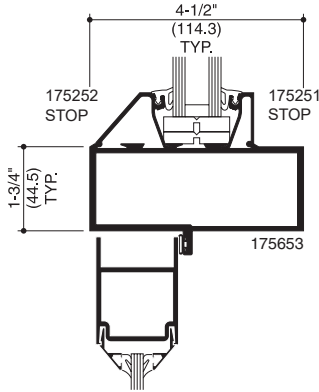
EnCORE[®] FRAMING INCORPORATING KAWNEER "190" DOORS.

NOTE: Other types of Kawneer doors may be used with this framing. See the Entrance Section for additional information.

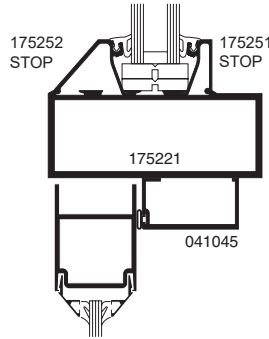


1
TRANSOM HEAD

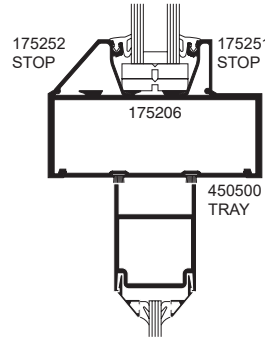
ELEVATION IS NUMBER KEYED TO DETAILS



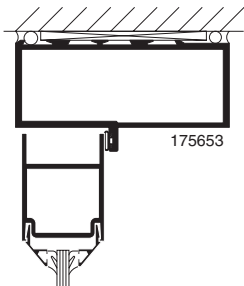
2
OFFSET PIVOT/
BUTT HUNG
TRANSOM BAR



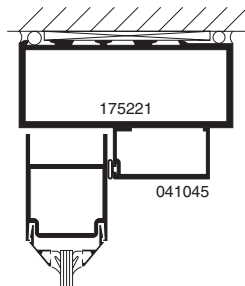
2
S/A OFFSET ARM
OFFSET PIVOT/
BUTT HUNG
TRANSOM BAR



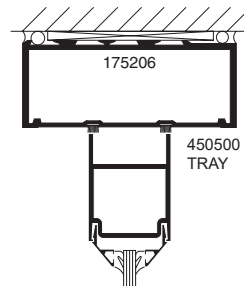
2
C.O.C.
CENTER PIVOT
TRANSOM BAR



3
OFFSET PIVOT/
BUTT HUNG
HEADER



3
S/A OFFSET ARM
OFFSET PIVOT/
BUTT HUNG
HEADER



3
C.O.C.
CENTER PIVOT
HEADER

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HIGHLIGHT YOUR ARCHITECTURAL ACHIEVEMENTS TODAY

PERMADIZE® HARDCOAT FINISHES



LIGHT SEQUIN - 379A1453



BLACK - 789G035



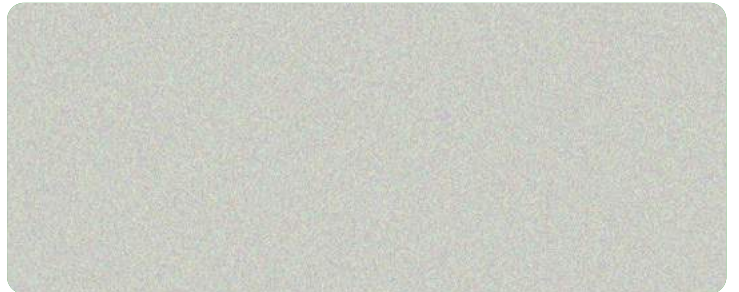
GOLD - 379A1451



CHAMPAGNE - 379A1455



DARK BRONZE - 379A1456



STERLING GRAY - 789G018



MEDIUM BRONZE - 379A1457

Pella® Reserve™

Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- Easy-to-learn Pella Steady Set™ interior installation system**
 Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows.¹ The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality.² Available on select windows.
- Historical Details**
 Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
 Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**
 Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**
 The award-winning Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**
 To help you save time on the jobsite, interior finish options are available in a variety of colors, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified³**
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**
 All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.
- Best limited lifetime warranty⁴**
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.⁴

Available in these window and patio door styles:



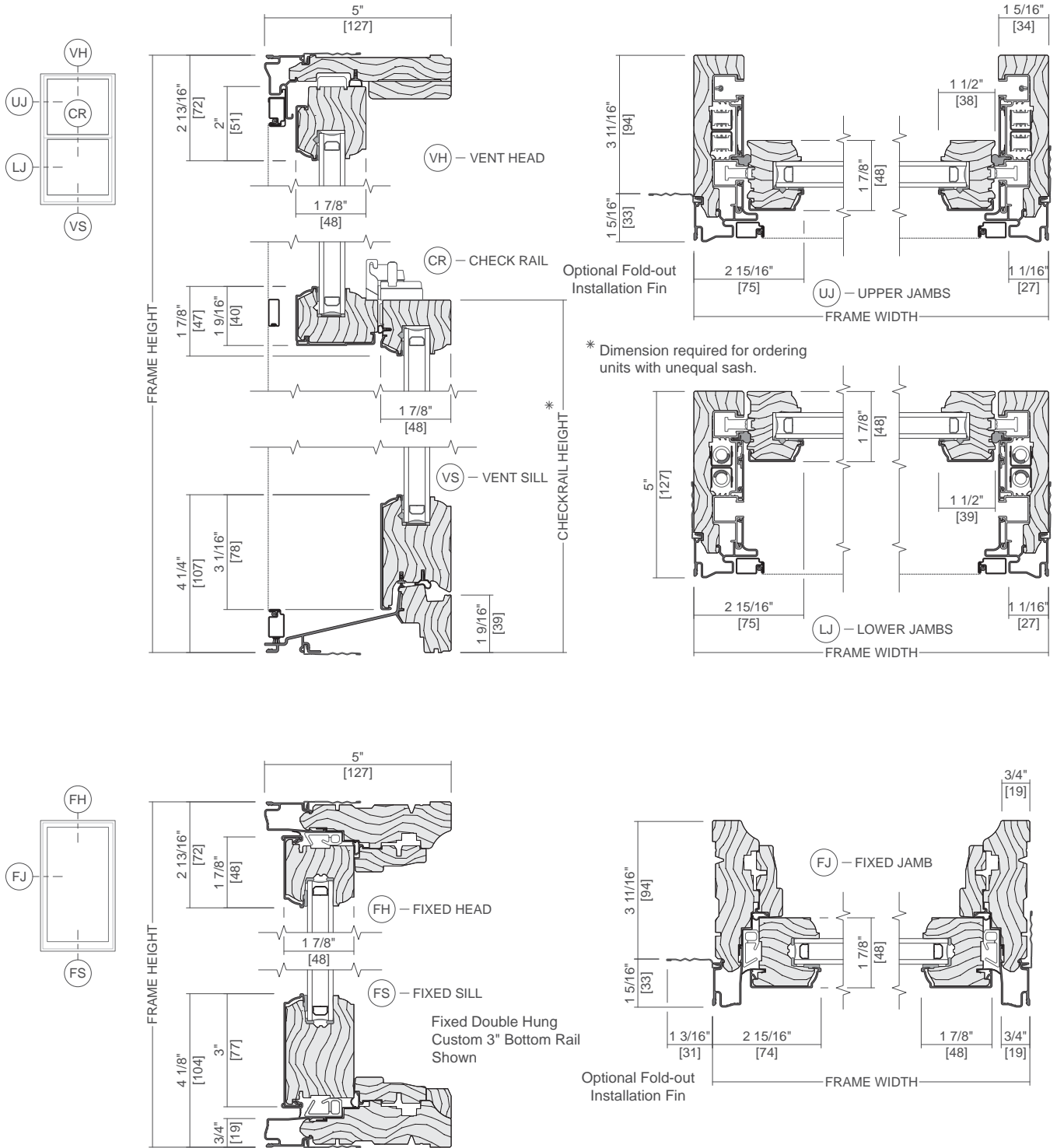
Special shape windows also available.

^{1,2,3,4} See back cover for disclosures.



Pella® Reserve™ Traditional Hung Window

Unit Sections - Aluminum-Clad Ogee Exterior Glazing Profile



Scale 3" = 1' 0"

All dimensions are approximate.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	59"	59"	LC30 - CW50	0.25-0.29	0.18-0.47	27-35	Pella Steady Set [®] ; Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Casement	13-3/4"	13-3/4"	47"	108"	R35-CW50	0.25-0.29	0.18-0.47	27-34	
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	
Double-Hung	14"	24-3/8"	48"	96"	CW30-CW50	0.25-0.30	0.19-0.53	28-35	
Precision Fit Double-Hung	13-1/2"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
Monumental Hung	13-3/4"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Sliding Patio Door (OX, XO)	60"	74"	120"	120"	R20-LC50	0.26-0.31	0.20-0.51	0.28-0.33	
Sliding Patio Door (OXO)	90"	74"	180"	120"	R20-LC35	0.26-0.31	0.20-0.51	—	
Sliding Patio Door (OXXO)	117"	74"	237"	120"	R20-LC35	0.26-0.31	0.20-0.51	—	
Multi-Slide Patio Door	40-1/4"	50-1/2"	701-5/8"	119-1/2"	R15-LC25 ³	0.30-0.36	0.15-0.46	31	For more info visit PellaADM.com
Bifold Patio Door	31-3/4"	55-1/2"	312"	119-1/2"	R15-LC25 ³	0.26-0.44	0.13-0.45	—	

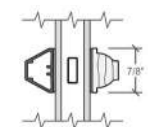
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit PellaADM.com.

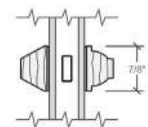
Grilles

Integral Light Technology[®]

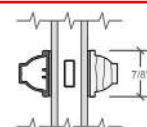
Choose the look of true divided light without sacrificing energy performance.



Putty Glaze Exterior with Ogee Interior⁴
7/8", 1-1/4" or 2"



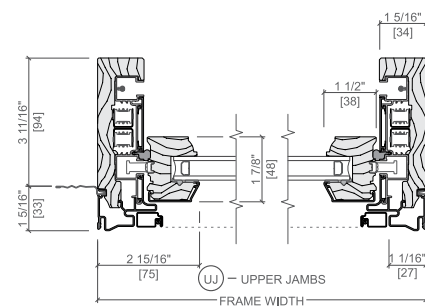
Putty Glaze Exterior with Ogee Interior⁴
7/8", 1-1/4" or 2"



Ogee Exterior with Ogee Interior⁴
7/8", 1-1/4" or 2"

Cross Sections

Cross Sections



Optional Fold-out Installation Fin

The double-hung cross sections provide visual reference to the historic putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.

^{3, 4} See back cover for disclosures.

Window Hardware

Classic Collection

Get a timeless look with authentic styles in classic finishes.

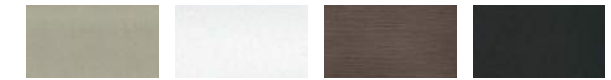


Fold-away Crank
Antiek



Spoon-Style Lock

Finishes:



Champagne White Brown Matte Black



Oil-Rubbed Bronze Satin Nickel Satin Brass

Rustic Collection

Create a distinct and charming look with distressed finishes.



Fold-away Crank
Antiek



Spoon-Style Lock

Finishes:



Distressed Bronze Distressed Nickel

Essential Collection

Select from popular designs and finishes to suit every style.

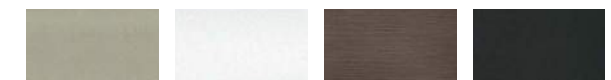


Fold-away Crank



Cam-Action Lock

Finishes:



Champagne White Brown Matte Black



Oil-Rubbed Bronze Satin Nickel Satin Brass

Patio Door Hardware

Classic Collection

Choose timeless pieces, created in collaboration with Baldwin[®] Hardware, for a look that will never go out of style.

BALDWIN



Hinged & Bifold Patio Door Handle
Virago



Sliding & Multi-Slide Patio Door Handle
Ambrose



Multi-Slide Patio Door Handle^{5, 6}

Finishes:



Matte Black Oil-Rubbed Bronze Satin Nickel Satin Brass

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged & Bifold Patio Door Handle
Standard



Sliding Patio Door Handle
Standard



Multi-Slide Patio Door Handle^{5, 6}

Finishes:



Champagne White Brown Matte Black



Oil-Rubbed Bronze Satin Nickel Satin Brass

Additional hardware collections available. Visit PellaADM.com for more information.

^{5, 6} See back cover for disclosures.

Colors

Wood Types

Choose the wood species that best complements your project's interior.

Custom solutions:



Pine



Douglas Fir



Mahogany



White Oak



Red Oak



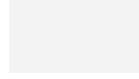
Cherry



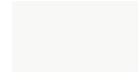
Maple

Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Natural



Golden Oak



Early American



Provincial



Dark Mahogany



Charcoal



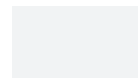
Black

Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁷



Black



White



Brown



Fossil



Iron Ore



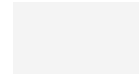
Portobello



Putty



Almond



Classic White



Brick Red



Hartford Green



Pearl Gray



Soft Linen



Satin Steel



Matte Gray



Wolf Gray



Spice Red



Sage



Frost Blue



Blue Ash



Custom colors are also available.

Screens

Rolscreen®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows.

Integrated Rolscreen®

A concealed retractable screen that moves seamlessly with the sash of a single- or double-hung window – appearing when you open the window and rolling out of sight when you close it.

TuffScreen® by Phifer®

The TuffScreen® is 2.5x stronger than a standard screen.⁸ It is tear, puncture and damage resistant, standing up to pets, children and harsh weather. Available on sliding patio doors.

*All trademarks are property of their respective owners

Flat

InView™ screens are clearer than conventional screens and come standard.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service.

³ Ratings are contingent on product configurations.

⁴ Color-matched to your product's interior and exterior color. Offering may vary by product type. See Pella sales representative for details.

⁵ Flush multi-slide handle is a Pella exclusive design.

⁶ Flush multi-slide handle is not available in Champagne.

⁷ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

⁸ Based on the composite results of a 5-panel strength analysis comparing TuffScreen and standard screening.

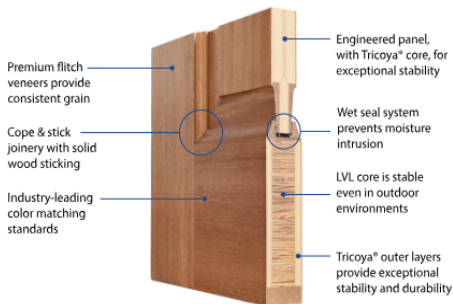
12546 Dexter Ave
Residential Stiar Door
along Fullerton

TruStile (TS) Series

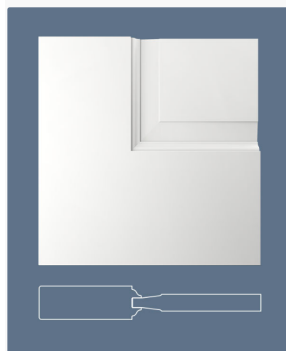
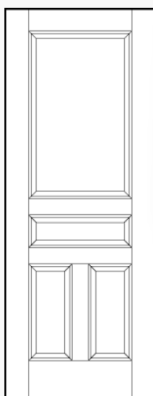
TS4200

Sticking:	Bevel (BV)
Panel:	Raised (A)
Panel Replacement:	None
Material:	Quarter Sawn White Oak
Finish:	Nutmeg

STILE & RAIL CONSTRUCTION



Cross section of Reserve Wood Entry System™ stile & rail construction.



Panel: A – Raised Panel
Sticking: OG – Roman Ogee