



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID
HDC2026-00210

PROPERTY INFORMATION

ADDRESS(ES): 206 E. Grand River Ave
HISTORIC DISTRICT: Broadway Avenue

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|--|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

<p>BRIEF PROJECT DESCRIPTION:</p> <p>Amendment to previous COA DHDC 23-8327, adding information on rooftop addition, storefront, signage, canopy and awnings scope.</p>
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APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant			
NAME: Blake Drouillard		COMPANY NAME: Kraemer Design Group	
ADDRESS: 1420 Broadway		CITY: Detroit	STATE: MI ZIP: 48226
PHONE: +1 (313) 965-3399		EMAIL: blake.drouillard@thekraemeredge.com	

I AGREE TO AND AFFIRM THE FOLLOWING:

<input checked="" type="checkbox"/>	I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
<input checked="" type="checkbox"/>	I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
<input checked="" type="checkbox"/>	I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.
<input checked="" type="checkbox"/>	As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531

Signed by:
Blake Drouillard

04/24/2026

SIGNATURE _____ DATE _____

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

BLD2026-00391

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")



4. DETAILED SCOPE OF WORK


In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

ADDITIONAL DETAILS

6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i>	

Historic District Commission Application Amendment



1. Historic Precedents of Grand River Canopy and Signage, Looking East. 1941.



2. Historic Precedents of Grand River Canopy and Signage, Looking Southeast. 1924.

Merchants Building
206 E. Grand River, Detroit, MI

Historic District Commission Application Amendment



3. Historic Precedents of Corner Signage, West Façade, Looking East.



4. Historic Precedents of Corner Signage, Looking Southeast.

Merchants Building
206 E. Grand River, Detroit, MI

Historic District Commission Application Amendment



5. Exterior, North Elevation, Looking South. c. 2022.
Location of historic canopy, tieback connections still on façade.

Merchants Building
206 E. Grand River, Detroit, MI

April 24, 2026

City of Detroit Historic District Commission Staff
City of Detroit
Historic District Commission
Suite 808
Detroit, MI 48226

RE: Merchants Building – HDC Submission Amendment

Dear City of Detroit Historic District Commission Staff:

Kraemer Design Group (KDG) is writing to submit information to the Detroit Historic District Commission (HDC), on behalf of Method Development, regarding an amendment to the previously approved application for the rehabilitation of the Merchants Building located at 206 E. Grand River Ave. This amendment pertains to the addition of a rooftop bar as well as the final design to the storefront and canopies at the ground floor level.

Storefront

At the time of the initial HDC application, no work was proposed on the storefront due to the lack of a tenant to inform the opening layout. Now that the ground floor has been planned, the storefront design could be done. Further survey and investigation of the storefront has been conducted by Kraemer Design Group and PCI Daly Construction since this application in an effort to document the existing dimensions, profiles and general layout of the storefront, transoms and sills. The storefront system is a mix of the original wood system with multiple newer, non-historic aluminum sections that have been added in overtime. Multiple areas of the transom have been removed or infilled to allow for tenant HVAC exhaust grilles. The remaining wood storefront is in poor condition.

The existing storefront will be removed in its entirety and replaced with a new storefront system to fit the new hotel and restaurant use while maintaining its historic character without appearing falsely historic. The new storefront system will be painted metal panels at grade for durability to match the size and profiles of the existing wood panels. The whole system will be finished black to match the windows above.

Canopies and Awnings

A new canopy will be installed at the original entrance on Grand River. The canopy will be of similar shape and size as the historic canopy. The canopy will be made of contemporary materials to complement the historic character of the building without drawing attention away from the existing historic material or appearing falsely historic. The canopy will be lit from below with recessed can lighting.

A new canopy will be added to the new main entrance on Broadway and will be of similar shape to the historic canopy on Grand River. This new canopy will be located below the transom band, be part of the storefront system, and be minimal in size, only projecting out three feet.

A new awning will be added back to the façade above the restaurant seating on Broadway. The awning will be made of contemporary materials to complement the historic character of the building, and it will be located below the transom band and span between the columns within the bay.

With the exception of the historic canopy on Grand River, more information will be submitted to HDC via an amendment at a later date once the hotel branding is determined. This will include any additional canopies and awnings to review prior to construction.

Rooftop Enclosure and Deck

A rooftop enclosure will be constructed to service the new exterior roof deck and provide access, additional seating, a full-service kitchen, and restrooms.

The enclosure will span between the two existing elevator penthouses and will have operable glazing on the north and west facades along with access to the new roof deck. The enclosure has been sized and located to maximize usable space for the tenant while not detracting from the view of the building from the street. The rooftop addition will be clad in new buff colored brick to match the adjacent historic property, allowing the addition to remain visually unobtrusive within the



overall streetscape. As indicated in the attached sightline study, the roof enclosure will be minimally visible when viewed from any of the public streets within a block of the building.

A new roof deck is proposed as an outdoor food and beverage gathering and event space for the hotel. The roof deck finish will be 2'x2' porcelain tile pavers on an adjustable pedestal system. The pedestals will be mounted to the steel structure. Structure for the roof deck will be located above the existing roof and will be visible from the new roof deck. New steel structure will be galvanized and painted grey so as to blend in with the new roofing materials. The roof deck will be held back one structural bay on each side from the parapet with moveable seating for the remainder of the area. As indicated in the attached sightline study, the roof deck will be minimally visible, one story in height, and fit within the existing context.

Signage

It is anticipated that a corner blade sign will be installed along with branding on the lower awnings. The blade sign will be similar in size and location to historic precedents and will be located no higher on the building than the second-floor water table. More information related to the hotel and restaurant signage will be submitted to HDC via an amendment for review prior to installation.

Conclusion

The items listed above provide a synopsis of the revised scope at the Merchants Building. We kindly request a Certificate of Appropriateness for the work proposed. Further detail is provided in the attached drawings which include a sight line study of the 9th floor addition.

Sincerely,

Kraemer Design Group, LLC



Blake Drouillard
Senior Project Architect



MERCHANTS BUILDING HOTEL BUILD OUT

Rooftop Addition Study

04-24-26



Based on the guidelines given in the NPS brief for rooftop additions the current design:

01 Is **minimally visible** except in a few areas along the Broadway corridor.

02 The addition is **set back a full structural bay** on both the Grand River and Broadway elevations.

03 The addition is only **one story** in height.

04 **The surrounding context** (Harvard Square, 230 E. Grand River, the Z Deck and a portion of the Opera House parking deck) **is as tall or taller** than Merchants building.

05 **Ceiling heights in the space are kept as low as possible** to minimize total height of addition.

Designing a New Exterior Addition to a Historic Building

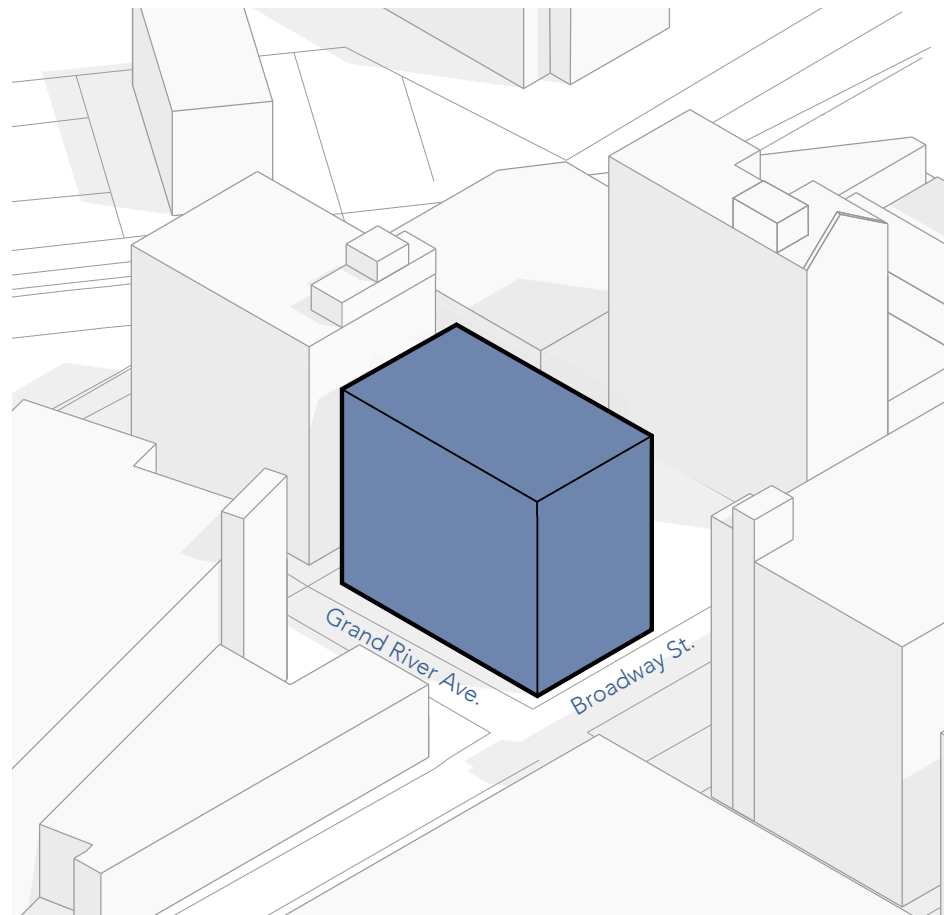
This guidance should be applied to help in designing a compatible new addition that that will meet the *Secretary of the Interior's Standards for Rehabilitation*:

- A new addition should be simple and unobtrusive in design, and should be distinguished from the historic building—a recessed connector can help to differentiate the new from the old.
- A new addition should not be highly visible from the public right of way; a rear or other secondary elevation is usually the best location for a new addition.
- The construction materials and the color of the new addition should be harmonious with the historic building materials.
- The new addition should be smaller than the historic building—it should be subordinate in both size and design to the historic building.

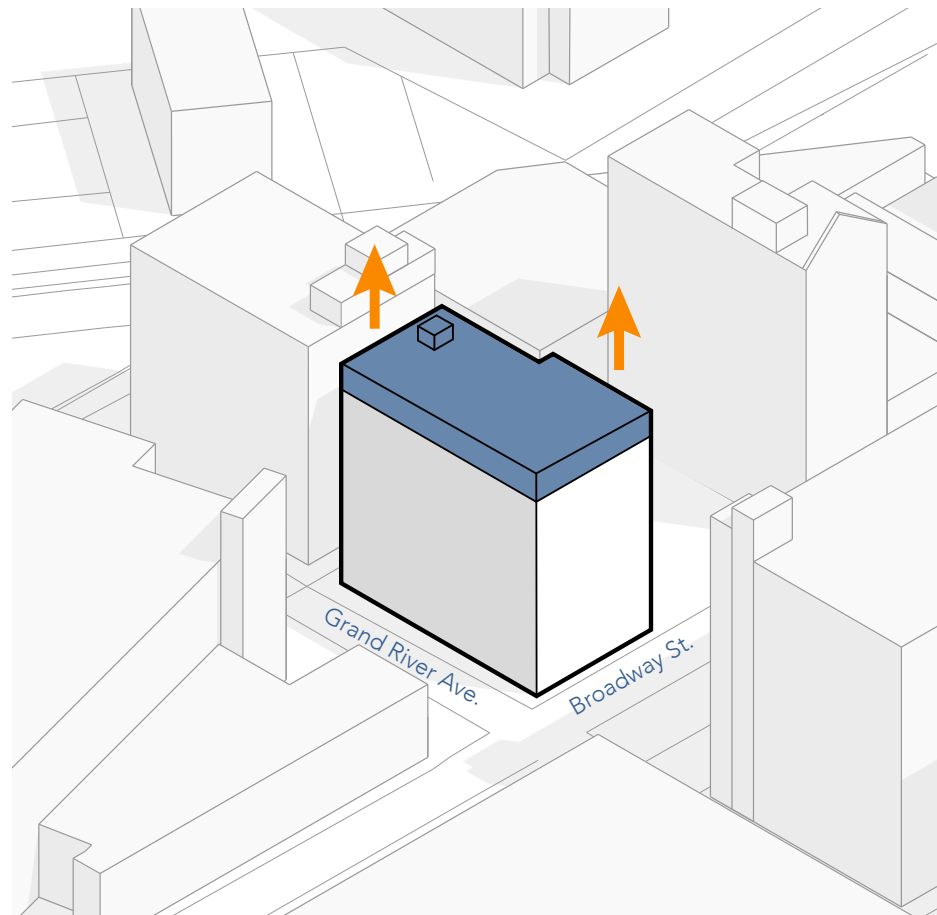
The same guidance should be applied when designing a compatible **rooftop** addition, plus the following:

- A rooftop addition is generally not appropriate for a one, two or three-story building—and often is not appropriate for taller buildings.
- A rooftop addition should be minimally visible.
- Generally, a rooftop addition must be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is freestanding or highly visible.
- Generally, a rooftop addition should not be more than one story in height.
- Generally, a rooftop addition is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.

NPS Preservation Brief 14: New Exterior Additions to Historic Buildings (pg. 14)

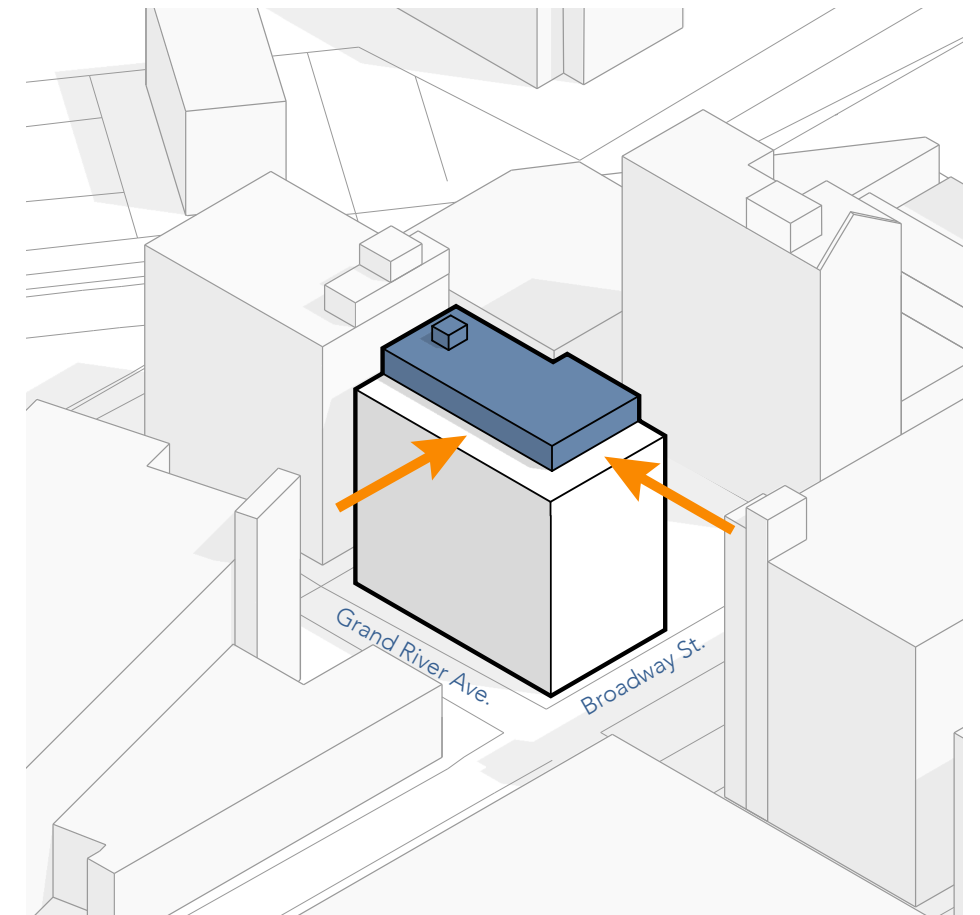


01 Existing Merchants Building



02 Rooftop Addition

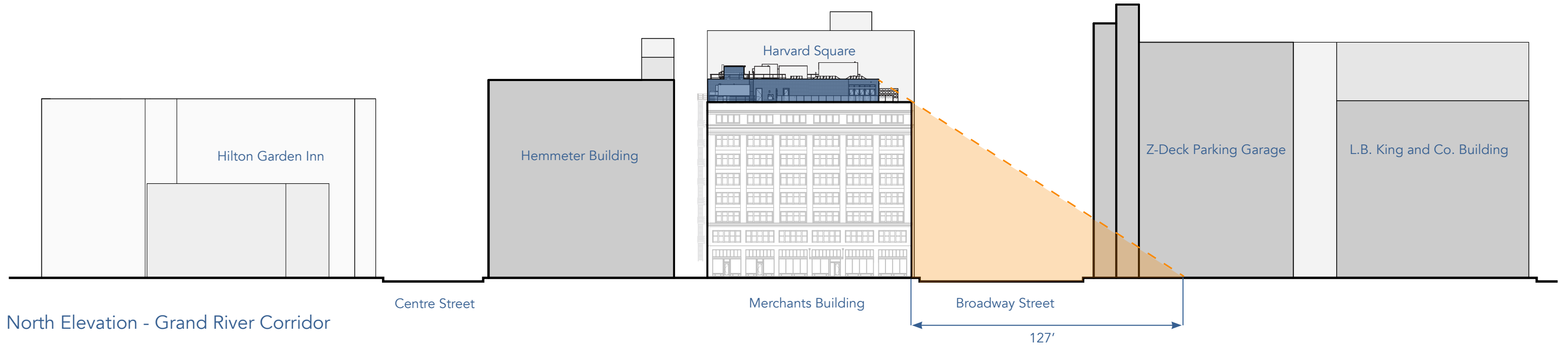
The addition is only 1 story in height.



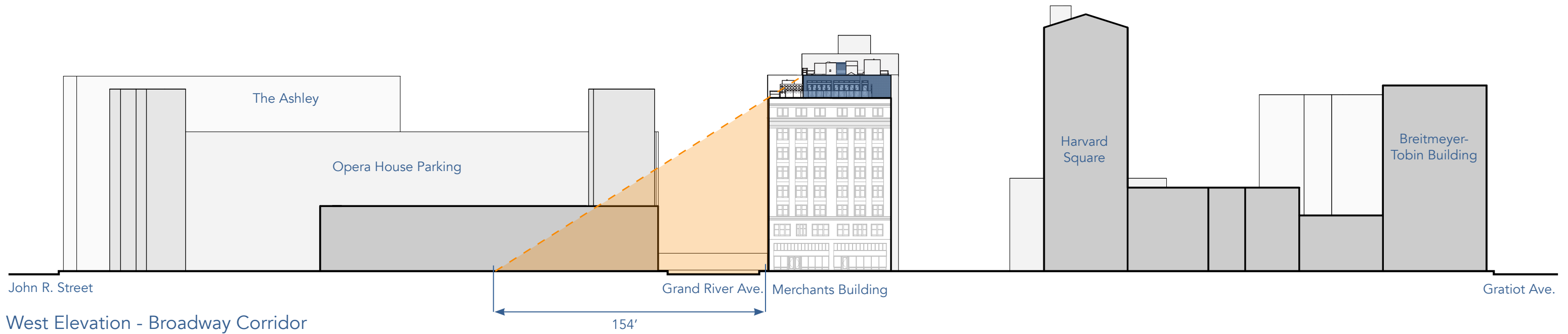
03 Set Back Rooftop Addition

Addition is set back a full structural bay on both the Grand River and Broadway elevation.

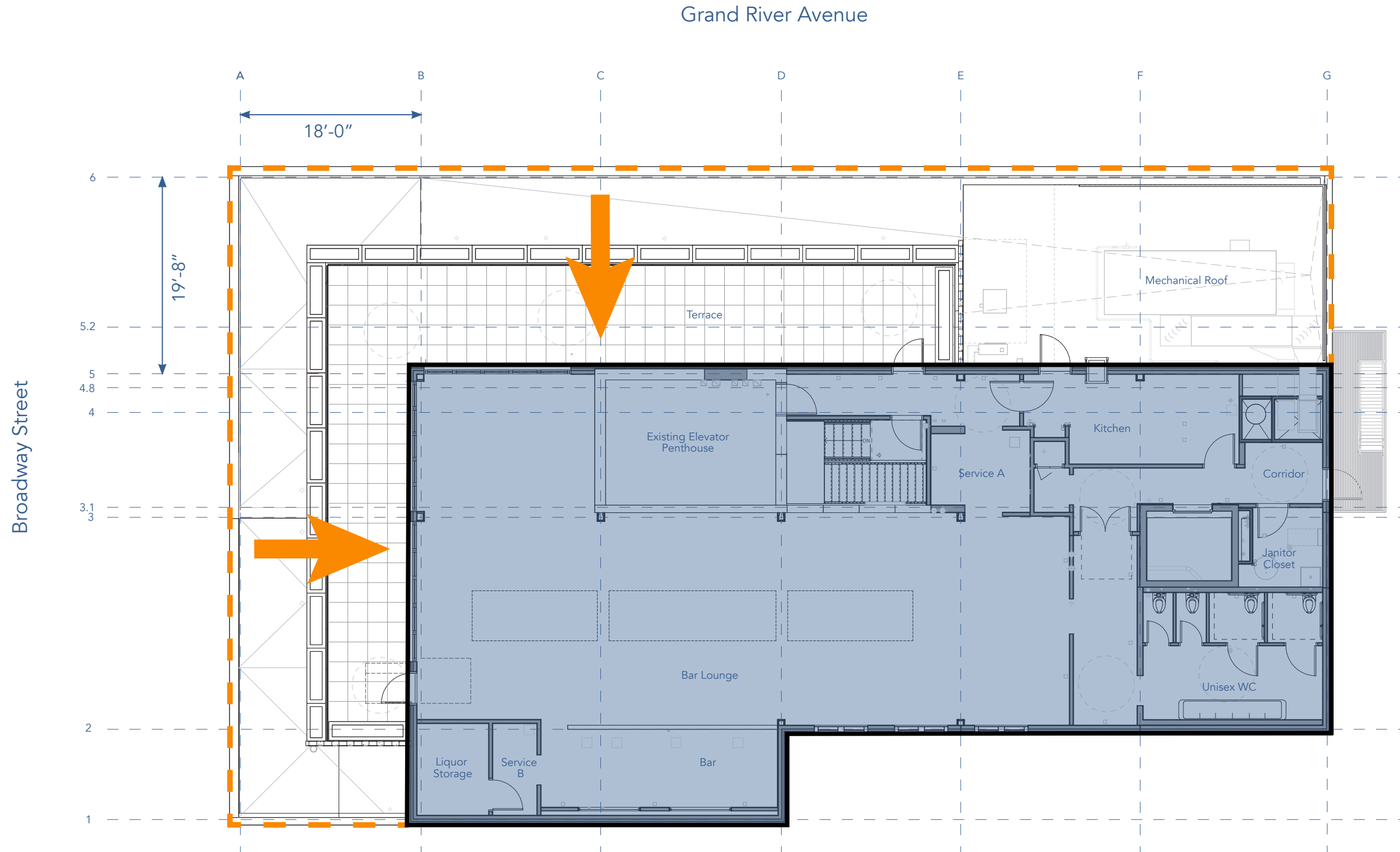
 Addition is fully obscured by parapet



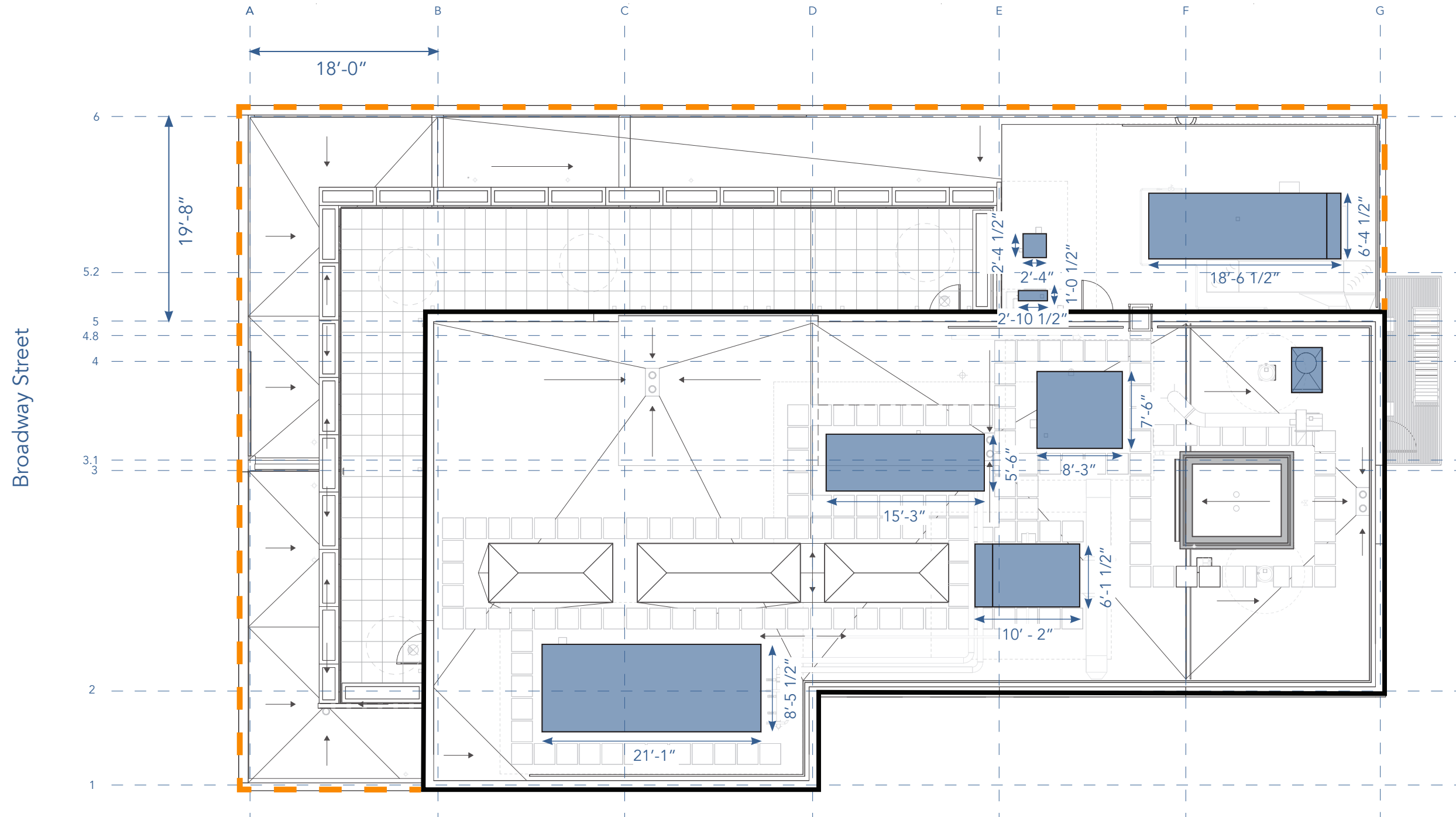
North Elevation - Grand River Corridor



West Elevation - Broadway Corridor



Grand River Avenue





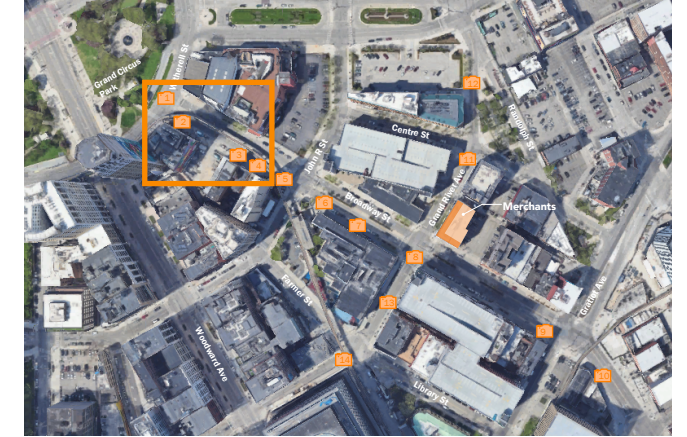
Photos

1. Grand Circus Park
2. Corner of Broadway St. and Witherell St.
3. 200' South of Witherell St.
4. 230' South of Witherell St.
5. Corner of Broadway St. and John R St.
6. 70' South of John R St.
7. 160' South of John R St.
8. Corner of Broadway St. and Grand River Ave.
9. Corner of Broadway St. and Gratiot Ave.
10. 80' South of Gratiot Ave.
11. Corner of Grand River Ave. and Centre St.
12. Corner of Grand River Ave. and Randolph St.
13. 120' South of Broadway St.
14. Corner of Grand River Ave. and Farmer St.

1. Grand Circus Park



2. Corner of Broadway St. and Witherell St.



3. 200' South of Witherell St.



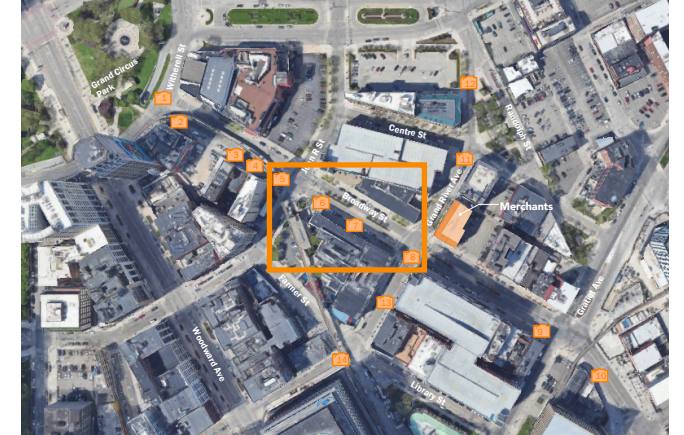
4. 230' South of Witherell St.



5. Corner of Broadway St. and John R St.



6. 70' South of John R St.



7. 160' South of John R St.



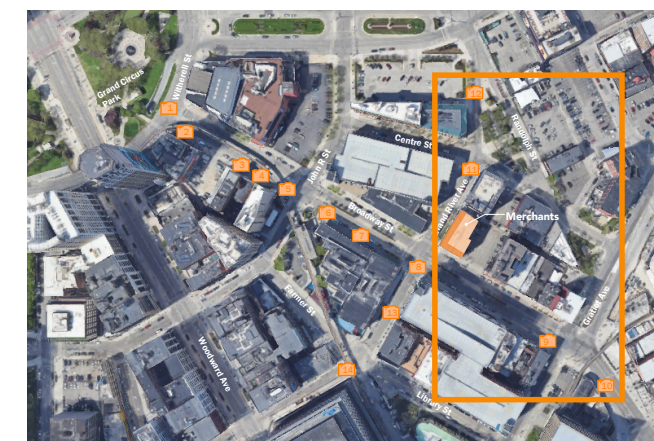
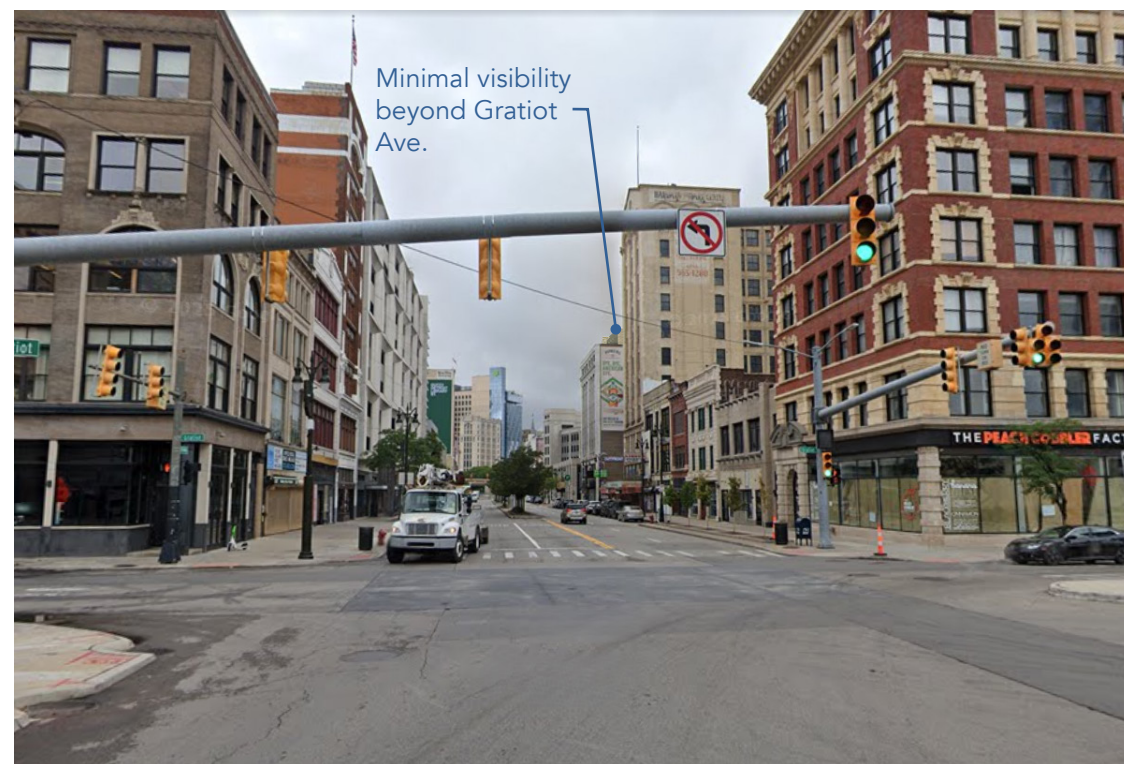
8. Corner of Broadway St. and Grand River Ave.



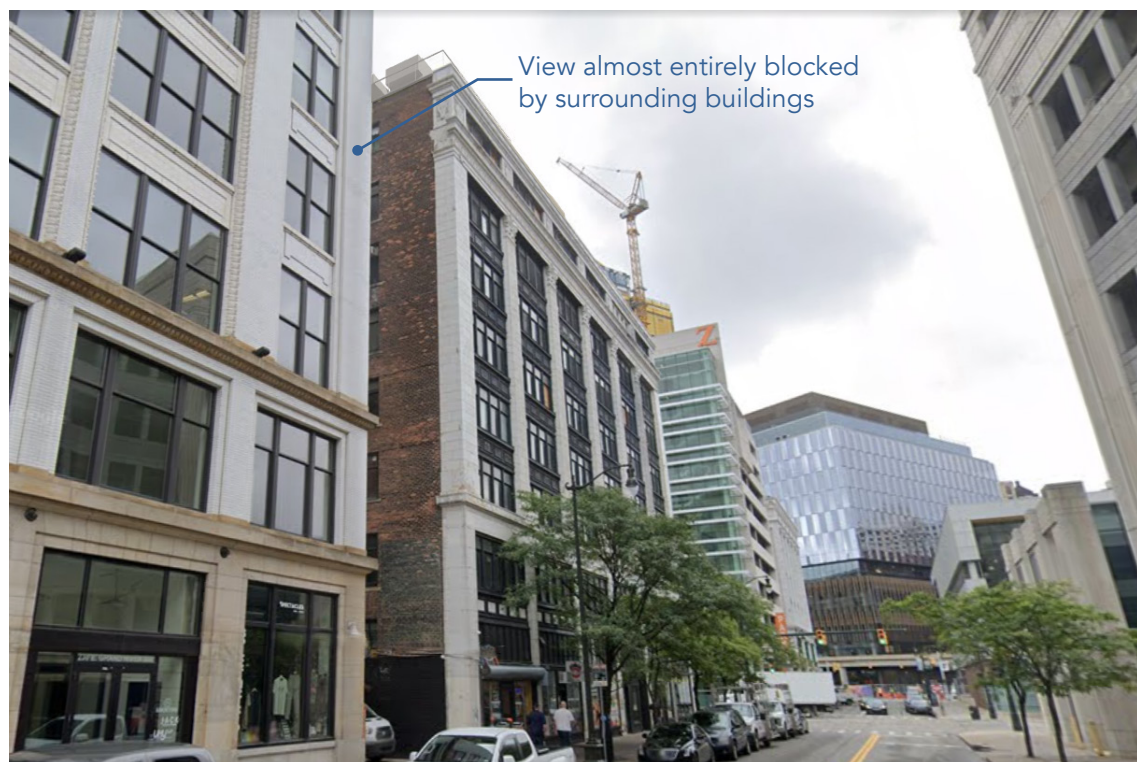
9. Corner of Broadway St. and Gratiot Ave.



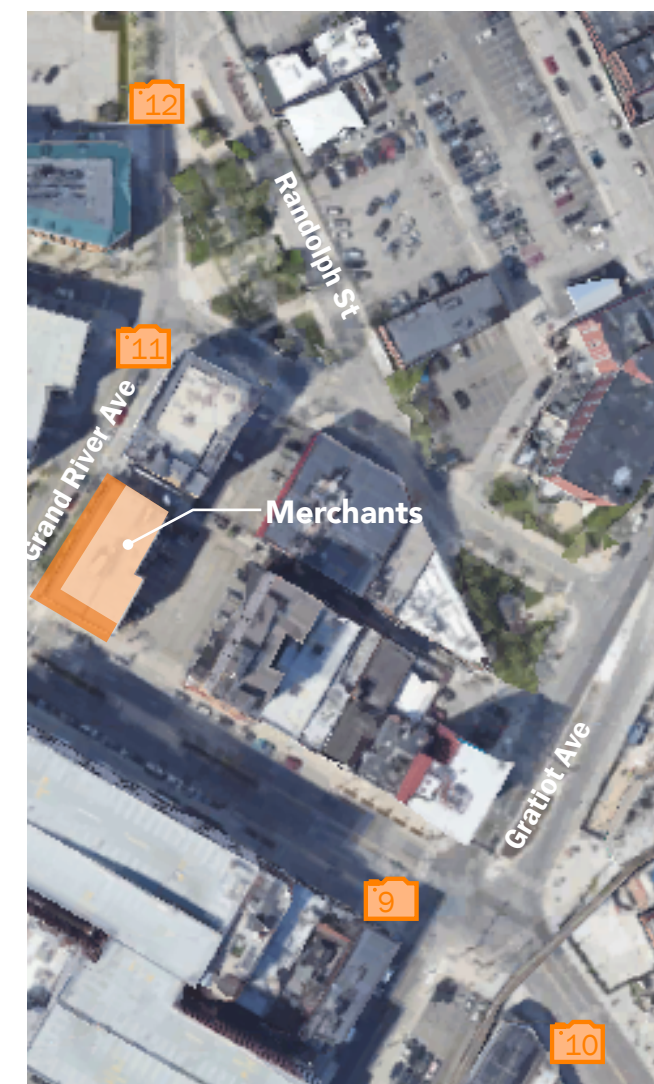
10. 80' South of Gratiot Ave.



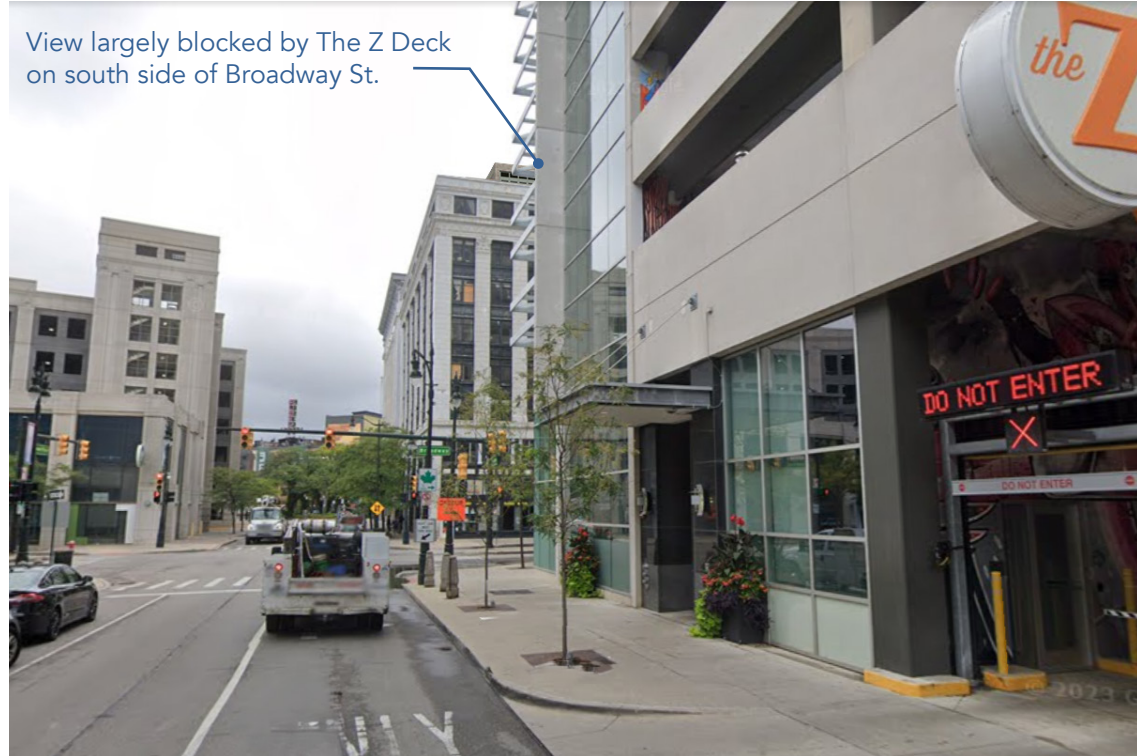
11. Corner of Grand River Ave. and Centre St.



12. Corner of Grand River Ave. and Randolph St.

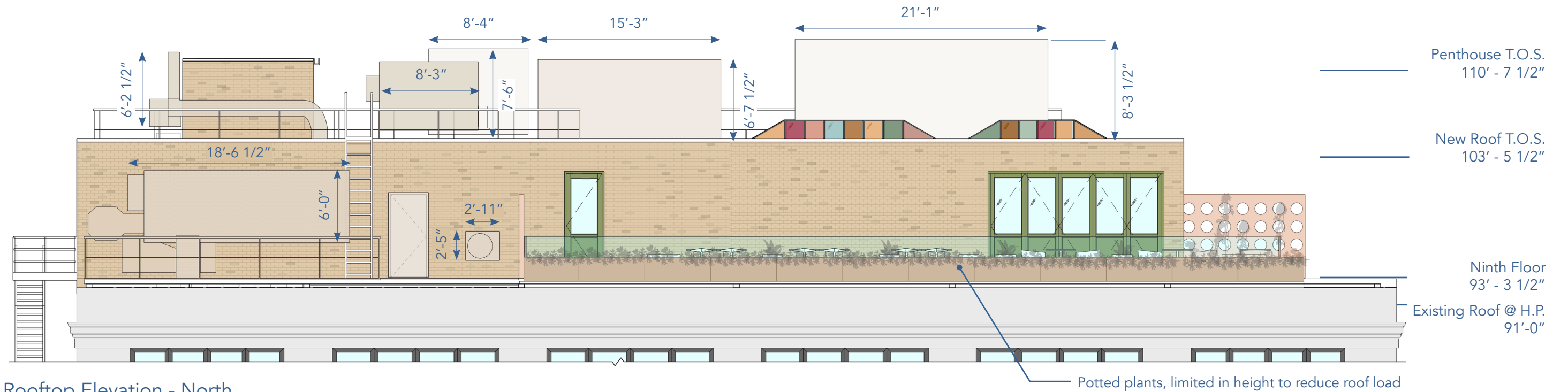


13. 120' South of Broadway St.



14. Corner of Grand River Ave. and Farmer St.





Rooftop Elevation - North



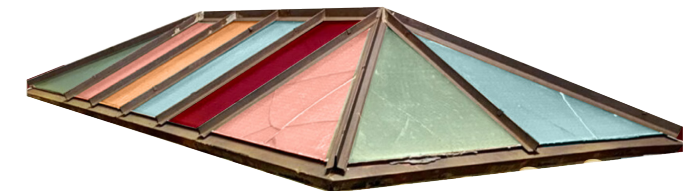
Cladding
Brick - to match existing context



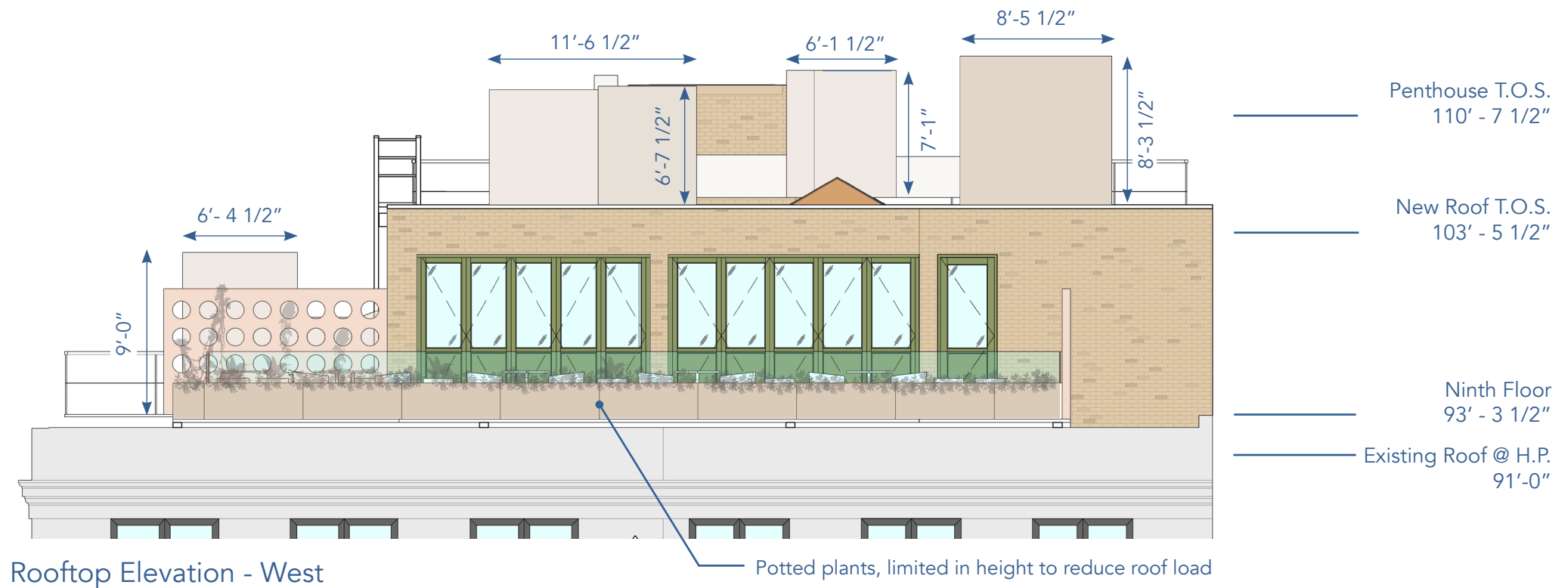
Railing
Glass and Aluminum



Skylight - Book Tower Precedent
Glass and Aluminum Frame



Skylight - ID (Rohe) Precedent
Clear Glass with Color Film and Aluminum Frame



Rooftop Elevation - West

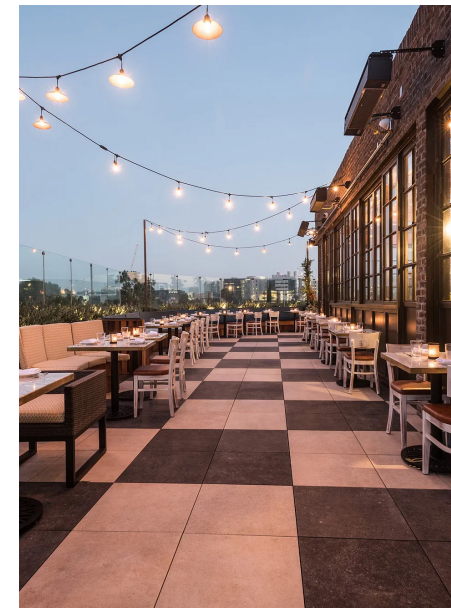
Potted plants, limited in height to reduce roof load



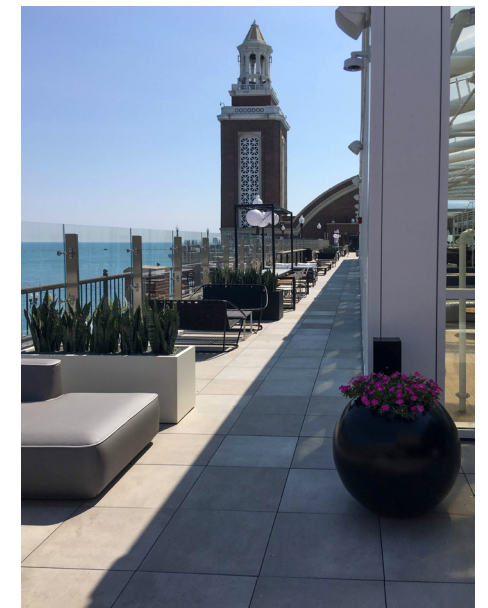
Operable Folding Glass Wall System
Solar Innovations: Glass and Aluminum



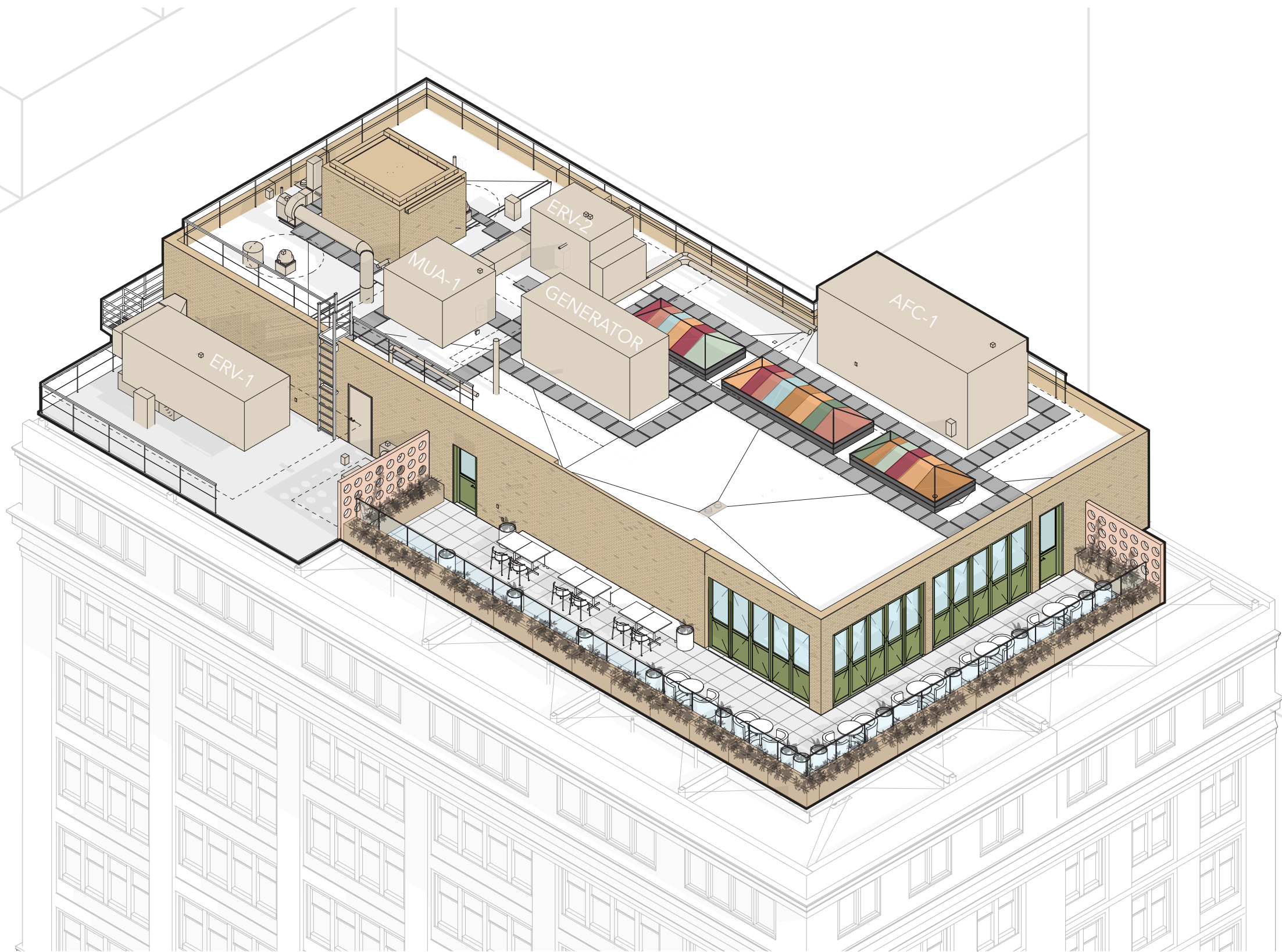
Glass Wall System and Muntins – ID Precedent (Rohe)
Glass and Green Aluminum



Paving
Porcelain Pavers



Paving
Porcelain Pavers



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NPS Preservation Brief 14: New Exterior Additions to Historic Buildings (pg. 14)

1702 W Fort Street

Project # 36576

One story rooftop addition viewed from within one block radius. Addition as proposed is highly visible from all surrounding areas including both east-west directions on Fort St. Building is individually listed and tallest on the block with only the Salvation Army and US Post Office buildings, 1-2 blocks to the east, being taller in the surrounding context.



1702 W Fort St - East

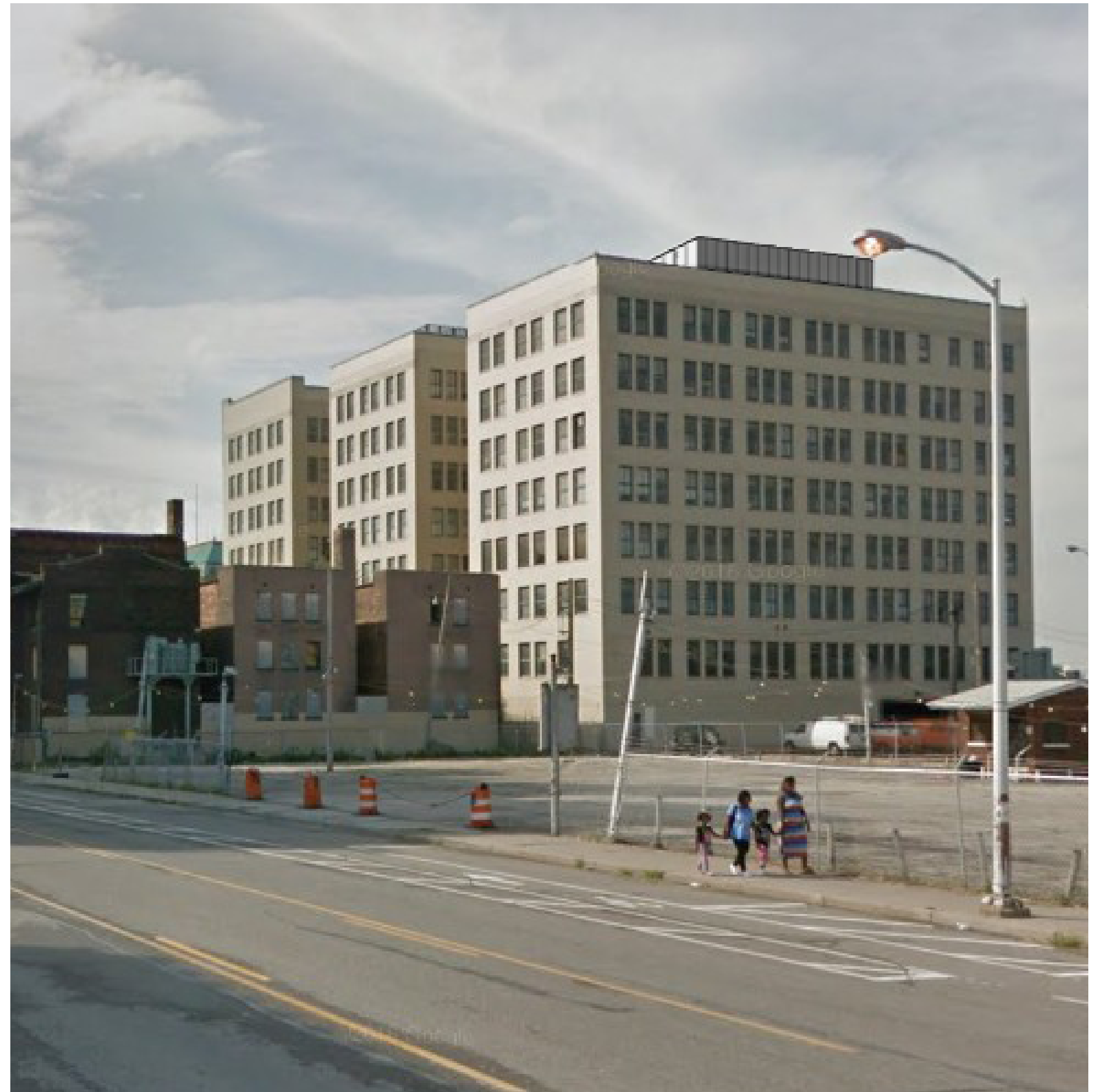


1702 W Fort St - West

640 Temple Street

Project # 38784

One story rooftop addition viewed from within one block radius. Addition is highly visible from three sides of building. Building is the tallest structure on its mostly vacant block, with only the Masonic Temple and Hotel Fort Wayne, one block to the east, being taller in the Cass Park district. Addition is proposed for resident amenities and utility space.



640 Temple Street - South



MERCHANTS BUILDING HOTEL BUILDOUT

HDC AMENDMENT 04-24-26

PROJECT LOCATION: 206 E. GRAND RIVER
DETROIT MI 48226

OWNER: METHOD DEVELOPMENT
2857 E. GRAND BLVD. STE 102
DETROIT, MI 48202

ARCHITECT OF RECORD: KRAEMER DESIGN GROUP, LLC
ROBERT J. KRAEMER, RA, NCARB, IIDA
STATE OF MICHIGAN CERTIFICATE NO. 1301040246
1420 BROADWAY
DETROIT, MI 48226
www.thekraemeredge.com
(313) 965-3399

FOOD SERVICE: JS2 Designs
JOEL M. SCHULTZ II
217 PIERCE ST. SUITE 207
BIRMINGHAM, MI 48009
(734) 775-7219

INTERIOR DESIGNER: ROHE CREATIVE
KATE ROHRER
2424 E YORK ST. SUITE 233
PHILADELPHIA, PA 19125
(215) 425-2565

STRUCTURAL ENGINEER: RESURGENT ENGINEERING PLC
MARC STEINHOBEL
LICENSE #62010-51104
4219 WOODWARD AVE, SUITE 306
DETROIT, MI 48201

ELECTRICAL ENGINEER: STRATEGIC ENERGY SOLUTIONS
RACHEL LAMBERT
4000 W. ELEVEN MILE RD.
BERKLEY, MI 48072
(238) 988-4747

MECHANICAL ENGINEER: STRATEGIC ENERGY SOLUTIONS
ALEX BENNETT
4000 W. ELEVEN MILE RD.
BERKLEY, MI 48072

**CONSTRUCTION MANAGER/
GENERAL CONTRACTOR:** PCI CONTRACTING
KYLE KNOLL
21717 REPUBLIC STREET
OAK PARK, MI 48237
(248) 255-3316



CODE SUMMARY	
PROJECT DESCRIPTION:	PHASE 2: INTERIOR RENOVATION TO CONVERT BUILDING TO HOTEL USE. REPLACEMENT OF STOREFRONT, INTERIOR DEMOLITION TO ACCOMMODATE THE HOTEL FIT-OUT. 121 GUEST ROOMS WITH RESTAURANT ON THE FIRST FLOOR. 9TH FLOOR ROOFTOP BAR ADDITION. TWO MODERNIZED ELEVATORS IN EXISTING SHAFTS AND ONE NEW ENGINEERED MRL ELEVATOR IN EXISTING SHAFT.
ZONING:	B5
OCCUPANCY CLASSIFICATION:	R-1
CONSTRUCTION TYPE:	IA, SPRINKLERED, FIRE ALARM SYSTEM
OCCUPANT LOAD:	TBD
APPLICABLE CODES:	BUILDING: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2021 - CHAPTER 13 PERFORMANCE AND COMPLIANCE METHODS MICHIGAN BUILDING CODE (MBC) 2021, AS REFERENCED BY MRCEB 2021
	MECHANICAL: MICHIGAN MECHANICAL CODE (MMC) 2021
	PLUMBING: MICHIGAN PLUMBING CODE (MPC) 2021
	ELECTRICAL: MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2023 WITH PART 8 AMENDMENTS
	LIFE SAFETY: MICHIGAN BUILDING CODE (MBC) 2021 NFPA 101 2012 DETROIT FIRE CODE 2015
	ENERGY: MICHIGAN UNIFORM ENERGY CODE (MUEC) 2021 A BUILDING THAT HAS BEEN SPECIFICALLY DESIGNATED AS HISTORICALLY SIGNIFICANT BY THE ADOPTING AUTHORITY OR IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES OR HAS BEEN DETERMINED TO BE ELIGIBLE FOR LISTING BY THE U.S. SECRETARY OF THE INTERIOR NEED NOT COMPLY WITH THE PROVISIONS OF SECTIONS 5, 6, 7, 8, 9, AND 10 OF THE ASHRAE 90.1 STANDARD. (ASHRAE 90.1, EXCEPTION 1 TO PARAGRAPH 4.2.1.3, REFERENCED BY MUEC C503.1)
	ACCESSIBILITY: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2021, SECTION 306 ICC/ANSI A117.1 2017 AS REFERENCED BY MRCEB 2021 MICHIGAN BUILDING CODE (MBC) 2021 AS REFERENCED ADA ACCESSIBILITY GUIDELINES (ADAAG) 2010
	ELEVATOR: DETROIT ELEVATOR CODE 2019 ASME A17.3-2010 FOR NEW ELEVATORS AS REFERENCED ASME A17.3-2011 FOR EXISTING ELEVATORS AS REFERENCED

EXISTING STRUCTURE

BID ALTERNATES

TO BE DETERMINED

DEFERRED SUBMITTALS

NOTE: THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

THE FOLLOWING SUBMITTALS SHALL BE PREPARED BY OTHERS AND INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS AS THEY BECOME AVAILABLE: (PER SECTION 107.3.4.2)

- AUXILIARY POWER SYSTEMS	- INTERCOM SYSTEMS
- EMERGENCY CALL SYSTEMS	- MATERIAL SAFETY AND DATA SHEETS (MSDS) FOR INTERIOR FINISHES
- EXIT ILLUMINATION	- PREFABRICATED STAIRS
- FIRE ALARM SYSTEMS	- SHELVING/RACK SYSTEMS
- FIRE STOPPING SYSTEMS	- SIGNAGE
- FIRE SUPPRESSION SYSTEMS	- FIRE ESCAPE
- GUARD RAILS / HAND RAILS	- ROOF ANCHORS



KraemerDesignGroup
Detroit, MI | Toledo, OH | Charleston, SC
1420 Broadway | Detroit MI 48226 | (313) 965-3399
www.thekraemeredge.com

Architect

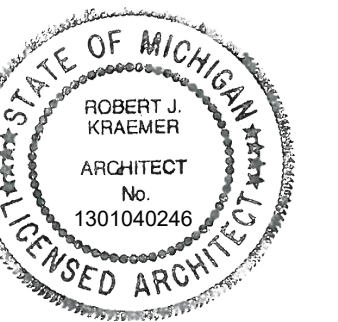
Consultant

METHOD DEVELOPMENT
2857 E. GRAND BLVD., STE 102
DETROIT MI 48202

Owner

MERCHANTS BUILDING HOTEL BUILDOUT
206 E. GRAND RIVER
DETROIT MI 48226

Project



Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

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HDC AMENDMENT	04-24-26
ADDENDUM 01	02-27-26
PERMIT/BID	01-23-26
75% OWNER REVIEW	12-05-25
EARLY ELECTRICAL	11-21-25
100% DD SET	09-28-25
MR PROGRESS	06-06-25
SD OWNER REVIEW	02-04-25

Revision

Date

Date 01-23-26

Project Number 202.2022

Sheet Title

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E

D

C

B

A

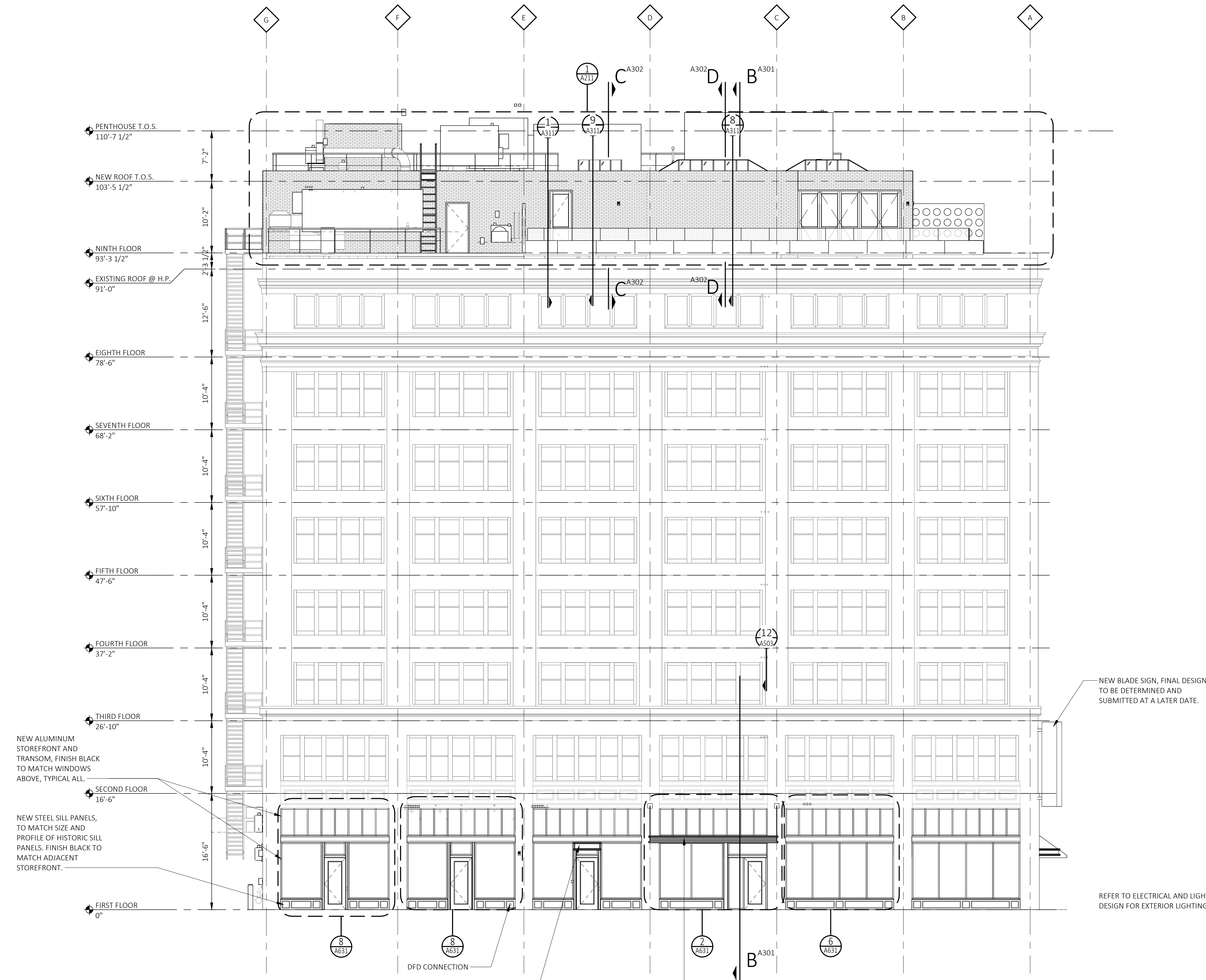
1

2

3

4

5



GENERAL NOTES

- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C. REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- D. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
- F. PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G. EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

CONSTRUCTION KEYNOTES (###)

EXTERIOR ELEVATION MATERIAL LEGEND

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 www.kraemerdg.com

Architect

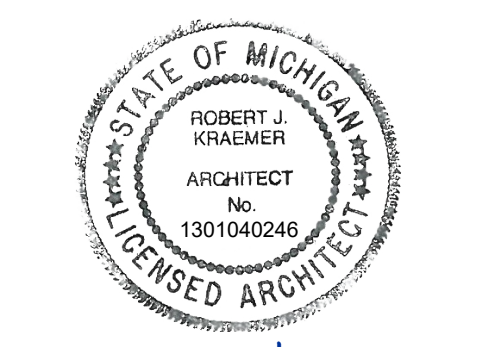
Consultant

Owner

Project

METHOD DEVELOPMENT
 2857 E. GRAND BLVD., STE 102
 DETROIT MI 48202

MERCHANTS BUILDING HOTEL BUILDOUT
 206 E. GRAND RIVER
 DETROIT MI 48226



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75% OWNER REVIEW	12-05-25
100% DD SET	09-26-25
SD OWNER REVIEW	02-04-25

Revision	Date

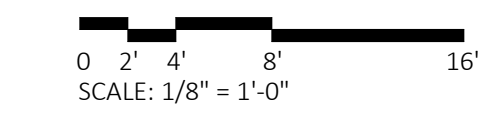
Date	01-23-26
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Project Number	2022022
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Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A201

1 NORTH ELEVATION (GRAND RIVER)
 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS: A101A



1

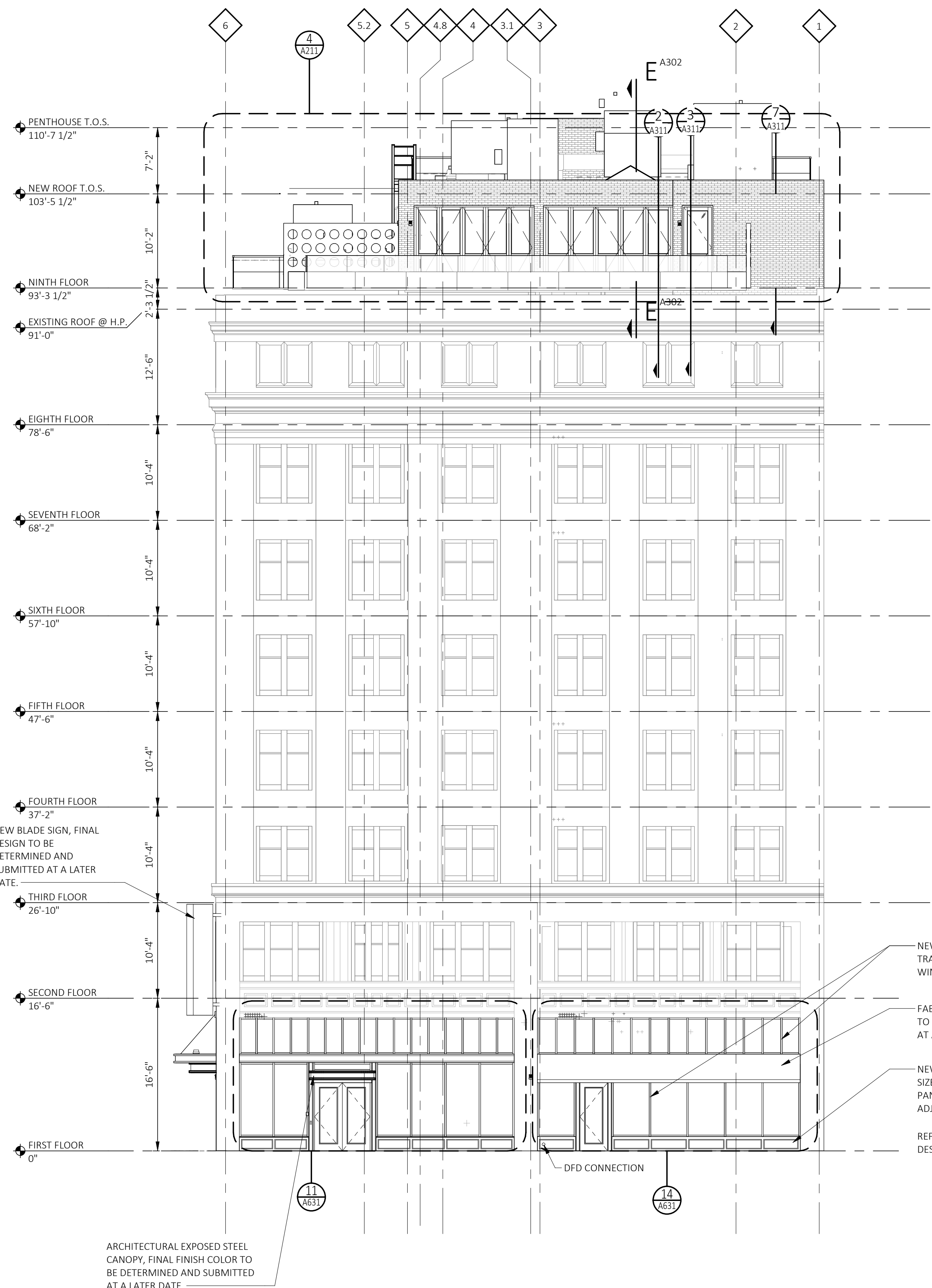
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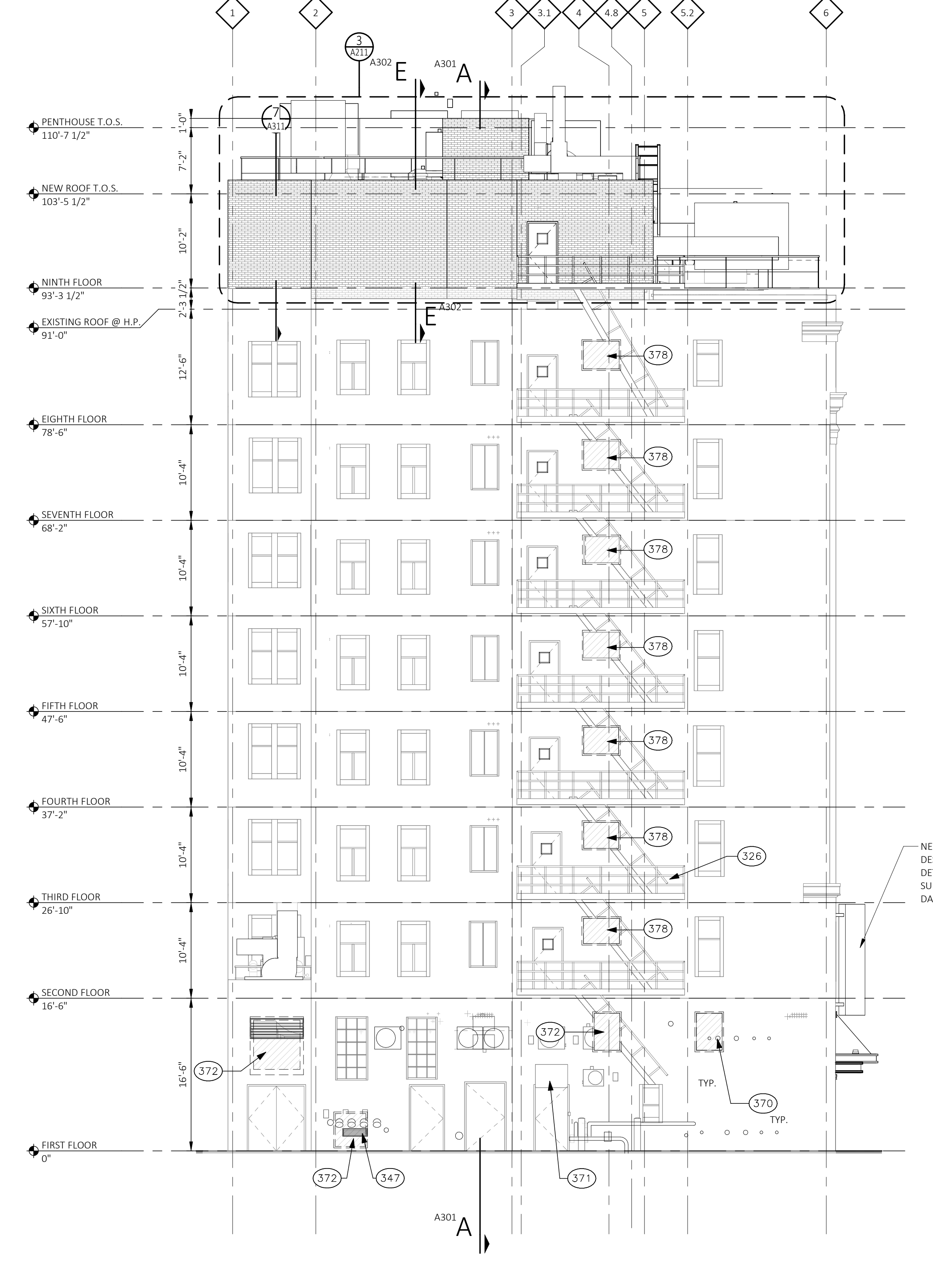
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1 WEST ELEVATION (BROADWAY)
 A203 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS: A101A



2 EAST ELEVATION
 A203 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS: A101A

GENERAL NOTES

- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C. REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
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- F. PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G. EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

CONSTRUCTION KEYNOTES (###)

- 326 EXISTING FIRE ESCAPE, REPAIR AND REPLACE AS NEEDED. REPAINT ALL BLACK. DELEGATED DESIGN, STRUCTURAL TO REVIEW FINAL CONNECTIONS TO BUILDING.
- 347 ARCHITECTURAL LOUVER, SEE MECHANICAL FOR OPEN AREA.
- 370 COORDINATE WITH MEP FOR OPENINGS.
- 371 METAL PANEL.
- 372 INFILL WITH BRICK TO MATCH EXISTING. ALIGN FLUSH WITH EXISTING.
- 378 INFILL WITH BRICK TO MATCH EXISTING. FACE OF BRICK HELD BACK 1" FROM FACE OF EXISTING BRICK.

EXTERIOR ELEVATION MATERIAL LEGEND

326	EXISTING FIRE ESCAPE, REPAIR AND REPLACE AS NEEDED. REPAINT ALL BLACK. DELEGATED DESIGN, STRUCTURAL TO REVIEW FINAL CONNECTIONS TO BUILDING.
347	ARCHITECTURAL LOUVER, SEE MECHANICAL FOR OPEN AREA.
370	COORDINATE WITH MEP FOR OPENINGS.
371	METAL PANEL.
372	INFILL WITH BRICK TO MATCH EXISTING. ALIGN FLUSH WITH EXISTING.
378	INFILL WITH BRICK TO MATCH EXISTING. FACE OF BRICK HELD BACK 1" FROM FACE OF EXISTING BRICK.

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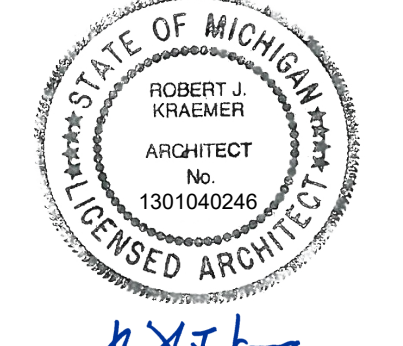
Consultant

METHOD DEVELOPMENT
 2857 E. GRAND BLVD., STE 102
 DETROIT MI 48226

Owner

MERCHANTS BUILDING HOTEL BUILDOUT
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SD OWNER REVIEW	02-04-25

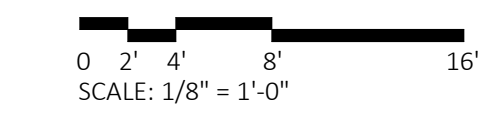
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Date	01-23-26

Project Number 2022022

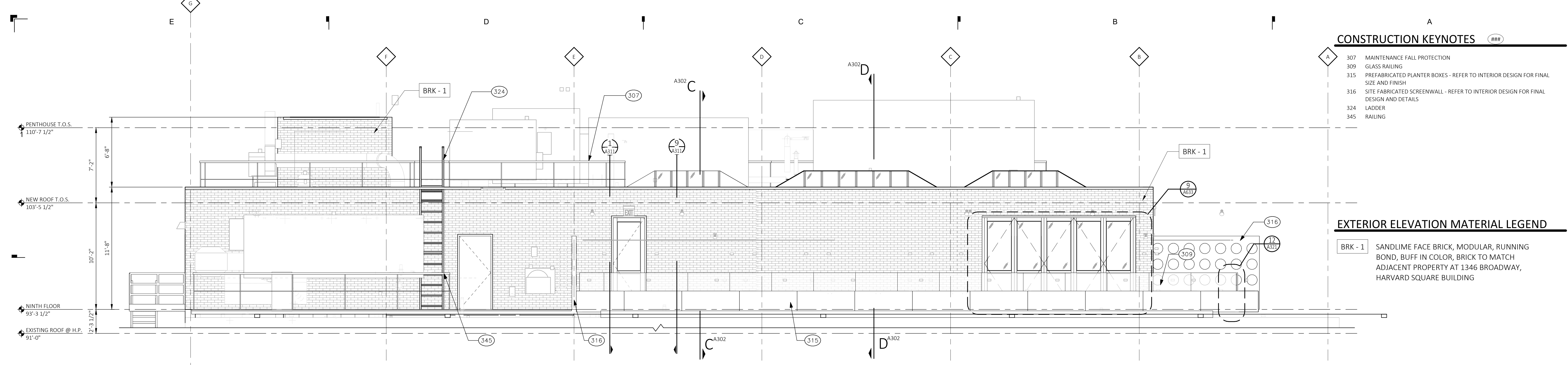
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EXTERIOR ELEVATIONS

Sheet Number

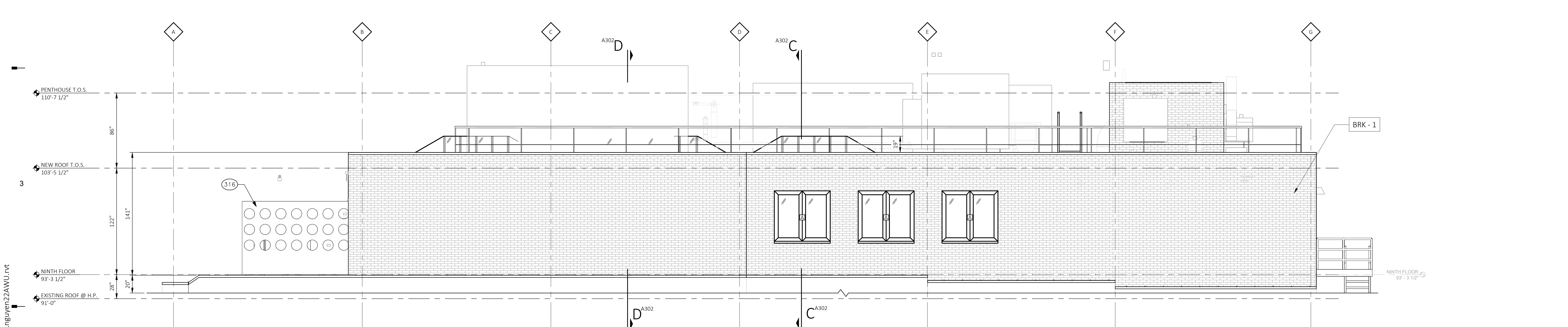
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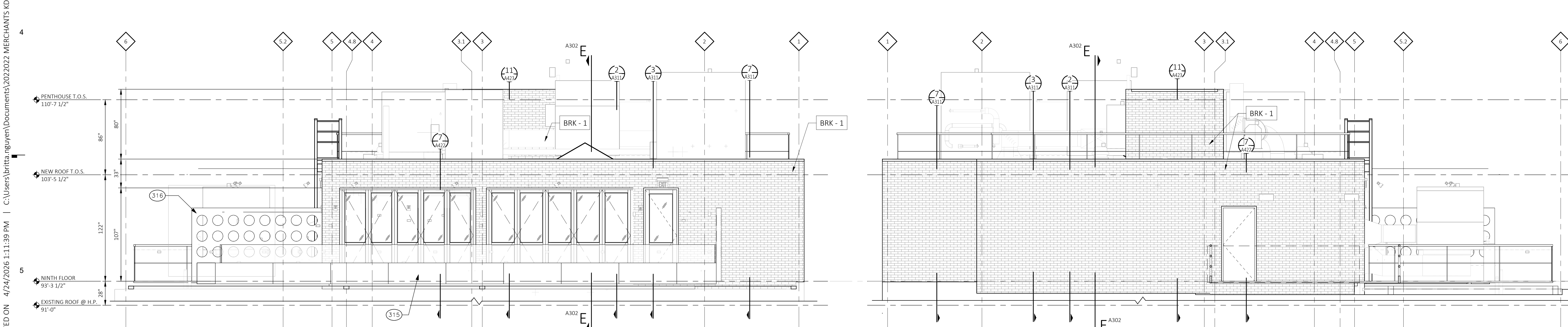
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1 ROOFTOP NORTH ELEVATION
 A211 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A109A



2 ROOFTOP SOUTH ELEVATION
 A211 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A109A



4 ROOFTOP WEST ELEVATION
 A211 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A109A

3 ROOFTOP EAST ELEVATION
 A211 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A109A

- CONSTRUCTION KEYNOTES** ###
- 307 MAINTENANCE FALL PROTECTION
 - 309 GLASS RAILING
 - 315 PREFABRICATED PLANTER BOXES - REFER TO INTERIOR DESIGN FOR FINAL SIZE AND FINISH
 - 316 SITE FABRICATED SCREENWALL - REFER TO INTERIOR DESIGN FOR FINAL DESIGN AND DETAILS
 - 324 LADDER
 - 345 RAILING

- EXTERIOR ELEVATION MATERIAL LEGEND**
- BRK - 1 SANDLIME FACE BRICK, MODULAR, RUNNING BOND, BUFF IN COLOR, BRICK TO MATCH ADJACENT PROPERTY AT 1346 BROADWAY, HARVARD SQUARE BUILDING

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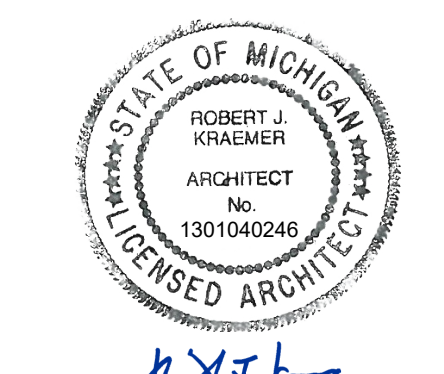
Consultant

METHOD DEVELOPMENT
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 DETROIT, MI 48202

Owner

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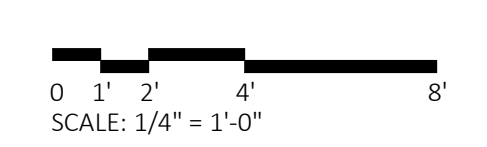
Revision	Date

Date 01-23-26

Project Number 2022022

Sheet Title
ROOFTOP ENLARGED ELEVATIONS

Sheet Number



A211

WINDOW SCHEDULE								
TYPE	HEIGHT	WIDTH	FRAME		SASH		GLASS	REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH		
A	5'-0"	5'-4"	BLACK ALUMINUM	BLACK ALUMINUM	BLACK ALUMINUM	BLACK ALUMINUM	IG-1	FIXED HISTORIC REPLICA WINDOW

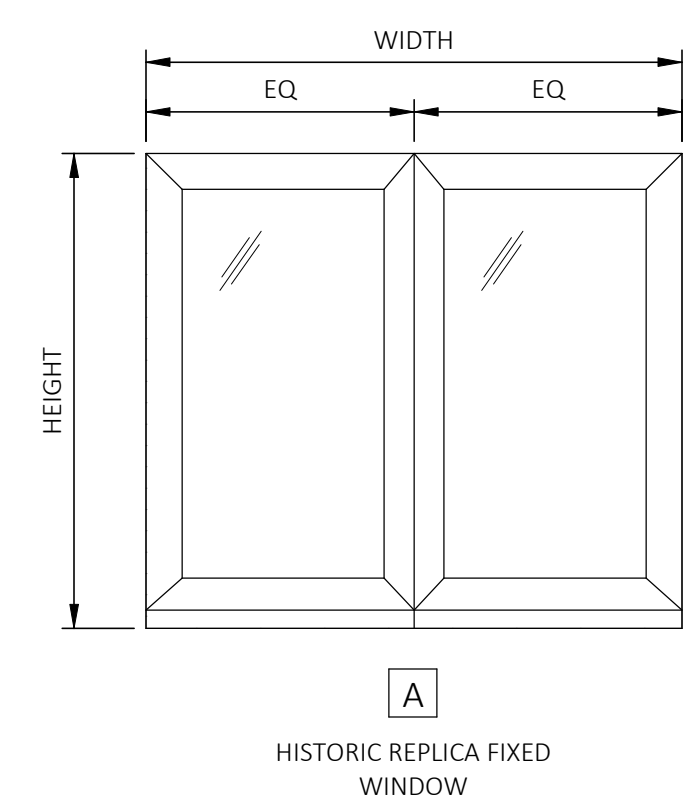
GENERAL NOTES

- A. ALL DIMENSIONS SHALL BE VIF BY CONTRACTOR.
- B. COMPLETION OF FACADE RESTORATION AND CLEANING IS RECOMMENDED BEFORE WINDOW INSTALLATION BEGINS. IF FACADE CLEANING OCCURS AFTER WINDOW INSTALLATION/ RESTORATION, NEW WORK SHALL BE PROTECTED SUFFICIENTLY TO AVOID DAMAGE TO FINISHES FROM CLEANING SOLUTIONS.
- C. PROVIDED ELEVATIONS ARE FOR REFERENCE ONLY AND FOR BIDDING PURPOSES. FINAL LOCATION AND OPERATION SHALL BE CONFIRMED WITH THE FLOOR PLANS PRIOR TO INSTALLATION.
- D. PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- E. CONTRACTOR TO CONFIRM THAT ALL MATERIALS TO BE REMOVED FOR NEW WINDOW INSTALLATION HAVE BEEN ABATED AS REQUIRED, IF APPLICABLE.
- F. NEW WINDOW ASSEMBLIES SHALL BE INSTALLED AT THE SAME DEPTH IN THE ROUGH OPENING FROM THE EXTERIOR FACE OF MASONRY AS THE EXISTING WINDOWS, UNLESS NOTED OTHERWISE.
- G. ALL EXISTING MATERIALS/ STRUCTURE SHALL BE VERIFIED BY CONTRACTOR TO ENSURE THAT EXISTING SURFACES/ STRUCTURE ARE SUITABLE FOR WINDOW INSTALLATION.
- H. PROVIDE BARRIER-FREE HARDWARE AT OPERABLE WINDOWS, INCLUDING ANY EXTENSIONS FOR REQUIRED REACH RANGE, AT LOCATIONS NOTED.
- I. ANY WINDOWS REMOVED SHALL HAVE NEW WINDOWS INSTALLED, OR OPENING BOARDED UP, AT END OF EACH WORKDAY.
- J. PROVIDE OPENING PROTECTIVES PER SPECIFICATIONS. REFER TO LIFE SAFETY PLANS AND ELEVATIONS FOR RATED WINDOW LOCATIONS AND SPECIFICATIONS FOR WINDOW REQUIREMENTS.
- K. AT THE ONSET OF DEMOLITION, REMOVE ONE WINDOW FROM EACH TYPICAL CONDITION AND REVIEW CONDITION OF ROUGH OPENING WITH ARCHITECT AND OWNER TO CONFIRM EXTENTS OF DEMO, CONDITION/REPAIR OF UNDERLYING ROUGH OPENING, AND ANY MITIGATION PRIOR TO COMMENCING WITH FULL WINDOW REMOVAL.
- L. PROVIDE SOLID DRW BLOCKING AT JAMBS AND HEADER OF ROUGH OPENING AFTER DEMO OF EXISTING WINDOWS FOR ATTACHMENT OF NEW WINDOW ASSEMBLIES.

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WINDOW ELEVATIONS



HISTORIC REPLICA FIXED WINDOW

REMARKS

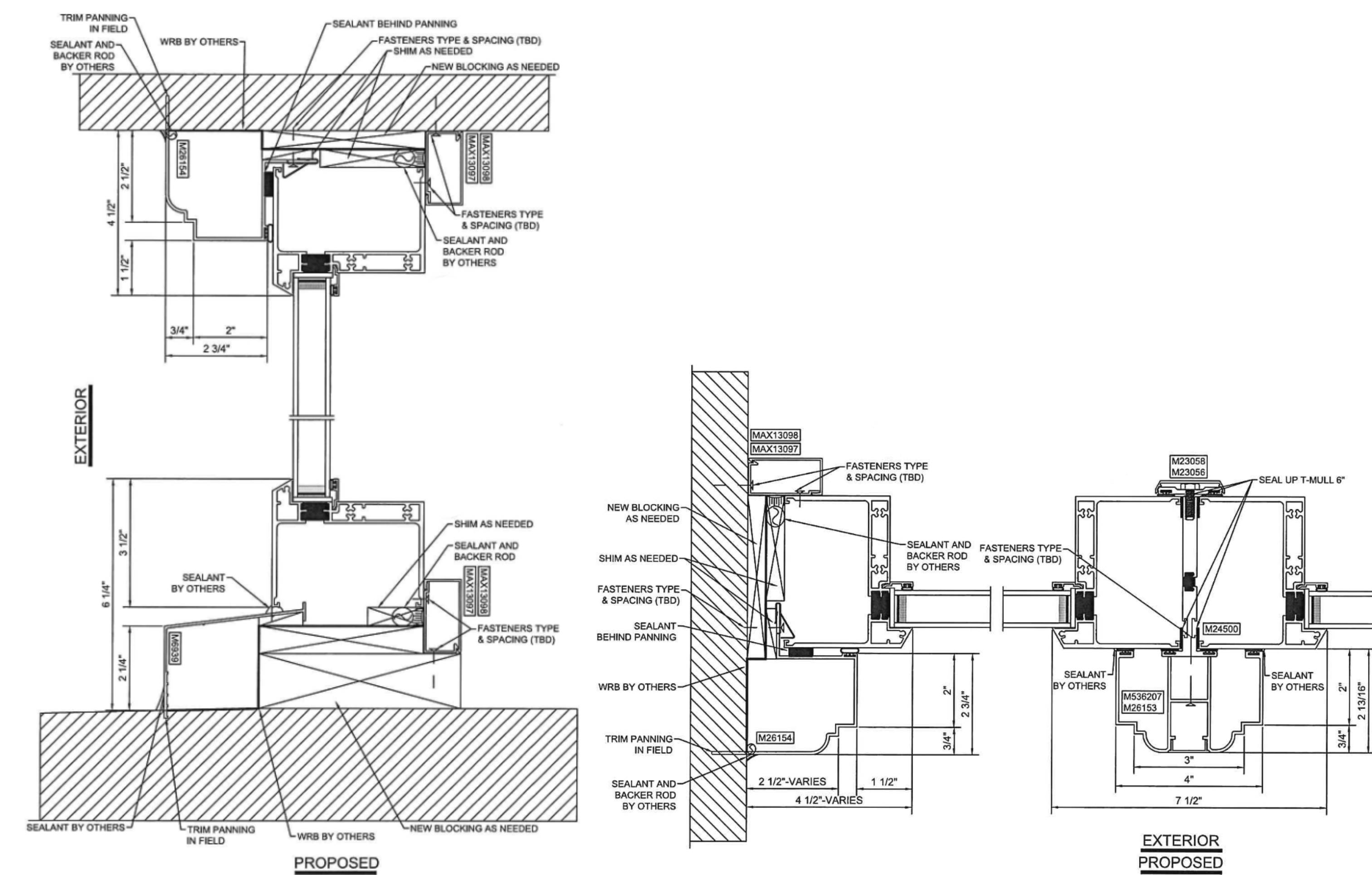
- 1. WINDOWS TO MATCH MANUFACTURER AND MODEL USED IN C&S PHASE.

Consultant

METHOD DEVELOPMENT
 2857 E. GRAND BLVD., STE 102
 DETROIT MI 48202

Owner

WINDOW DETAILS



GLASS TYPES

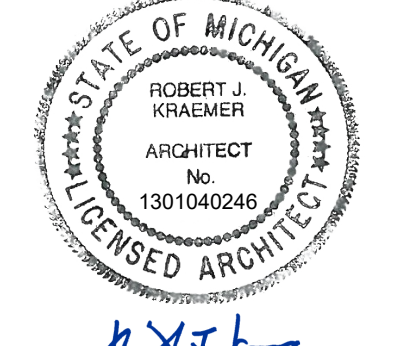
- IG-1 INSULATING GLASS UNITS
 - GL-1 MONOLITHIC GLAZING
- (REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON GLASS TYPES)

MERCHANTS BUILDING HOTEL BUILDOUT
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MATERIALS LEGEND

- AL ALUMINUM
- WD WOOD
- ST STEEL
- FG FIBERGLASS
- V VINYL



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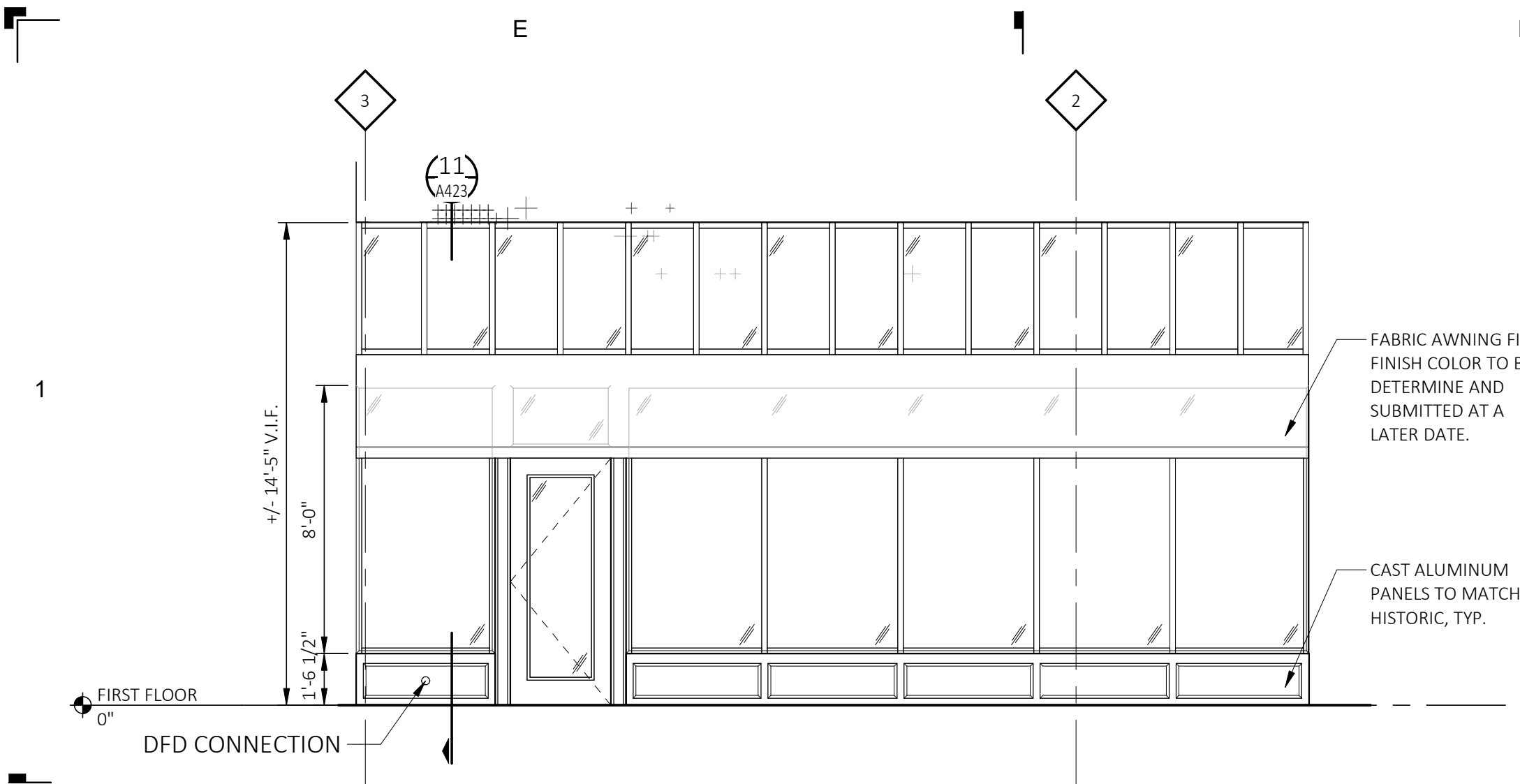
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Project Number 202.2022

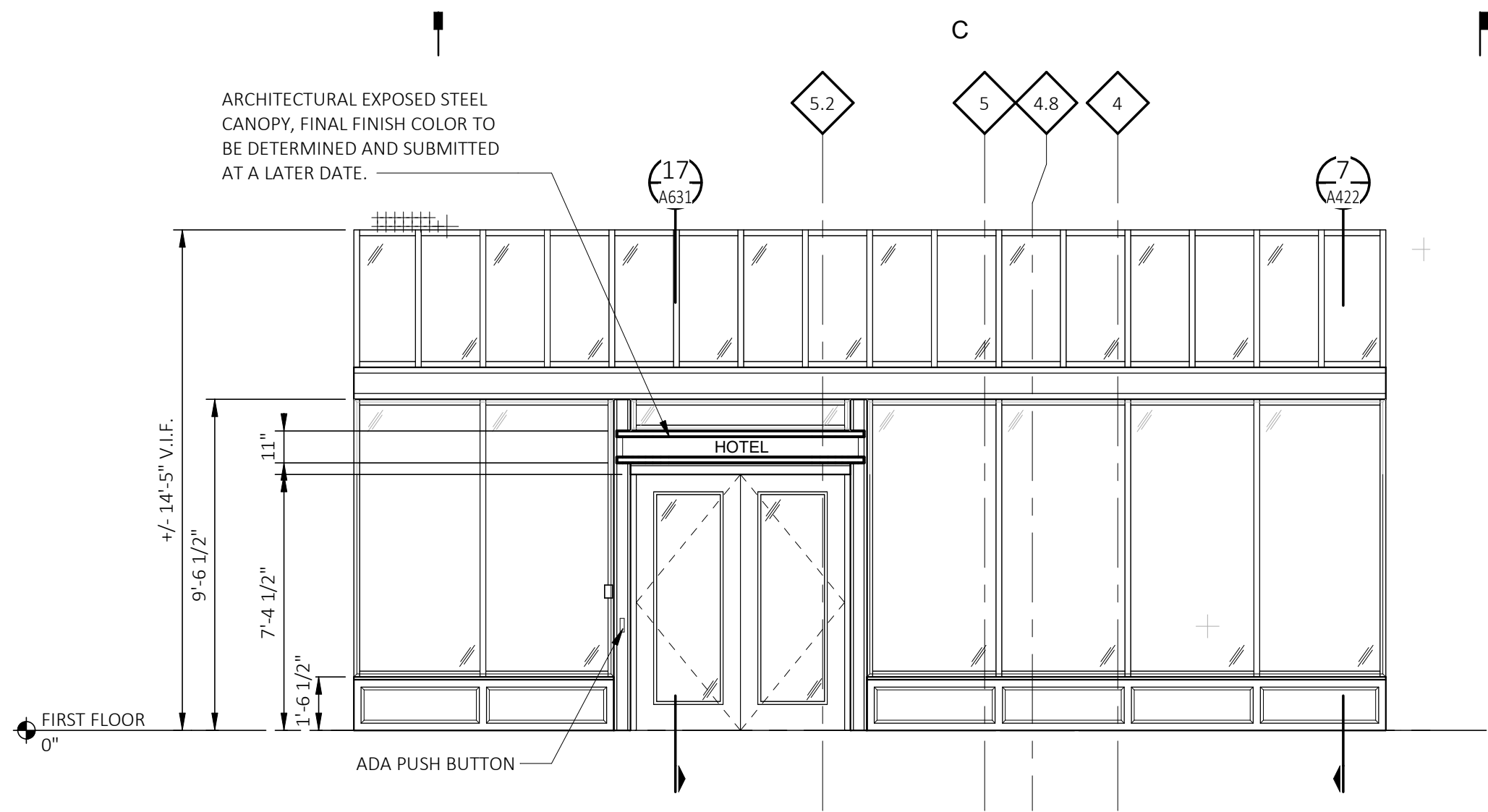
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WINDOW ELEVATIONS AND SCHEDULE

Sheet Number

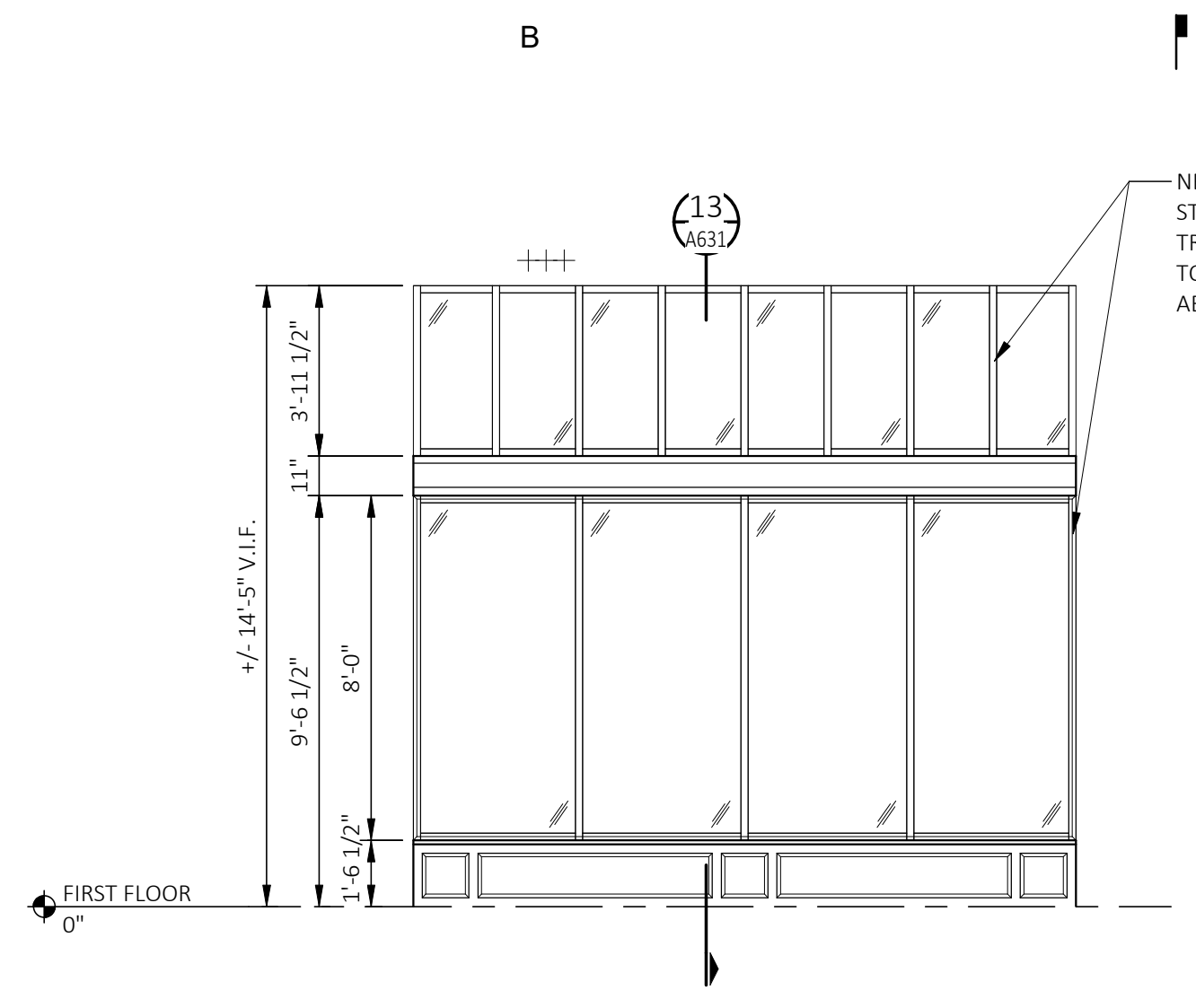
A621



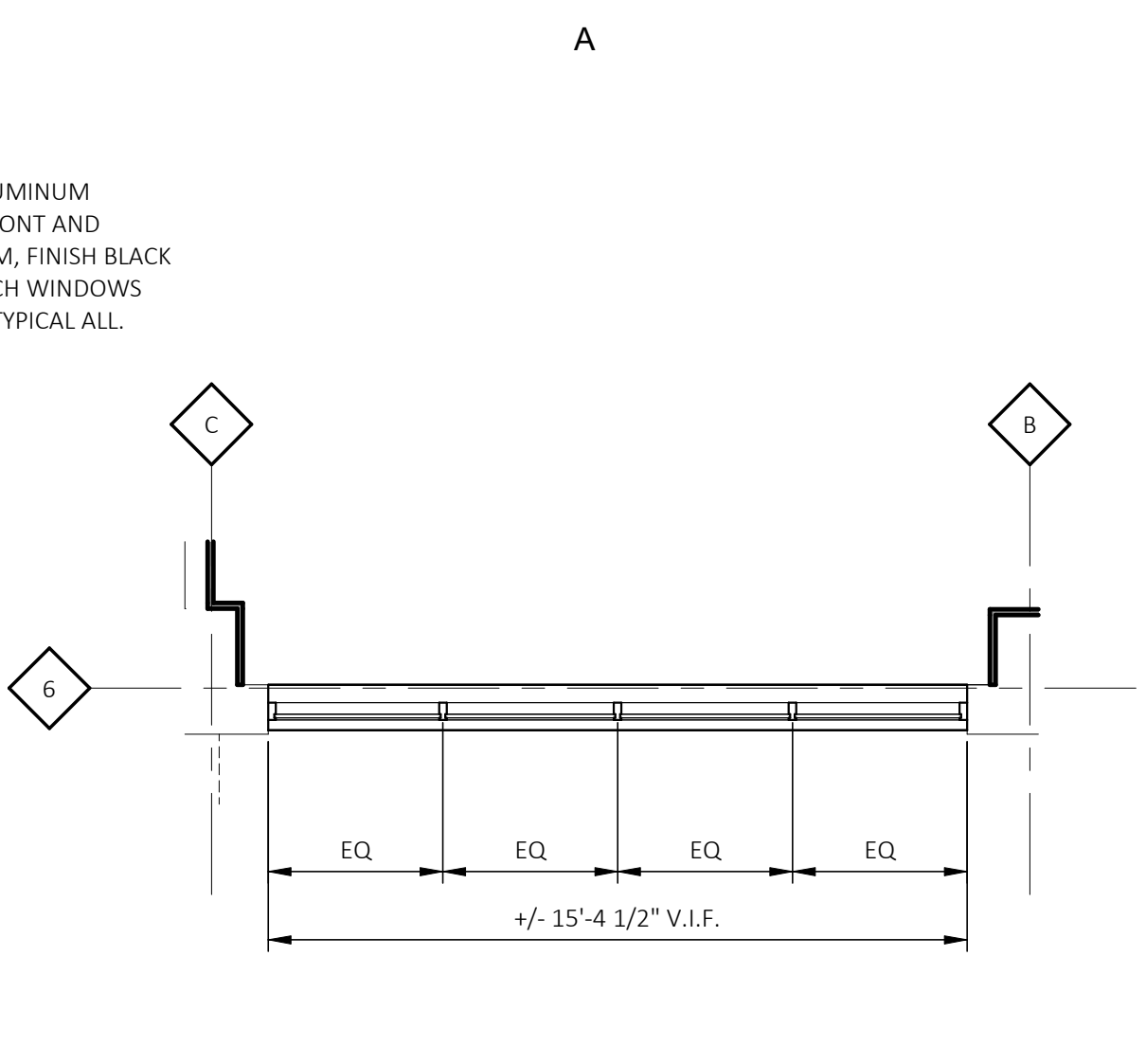
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REFERENCE LOCATIONS: A203



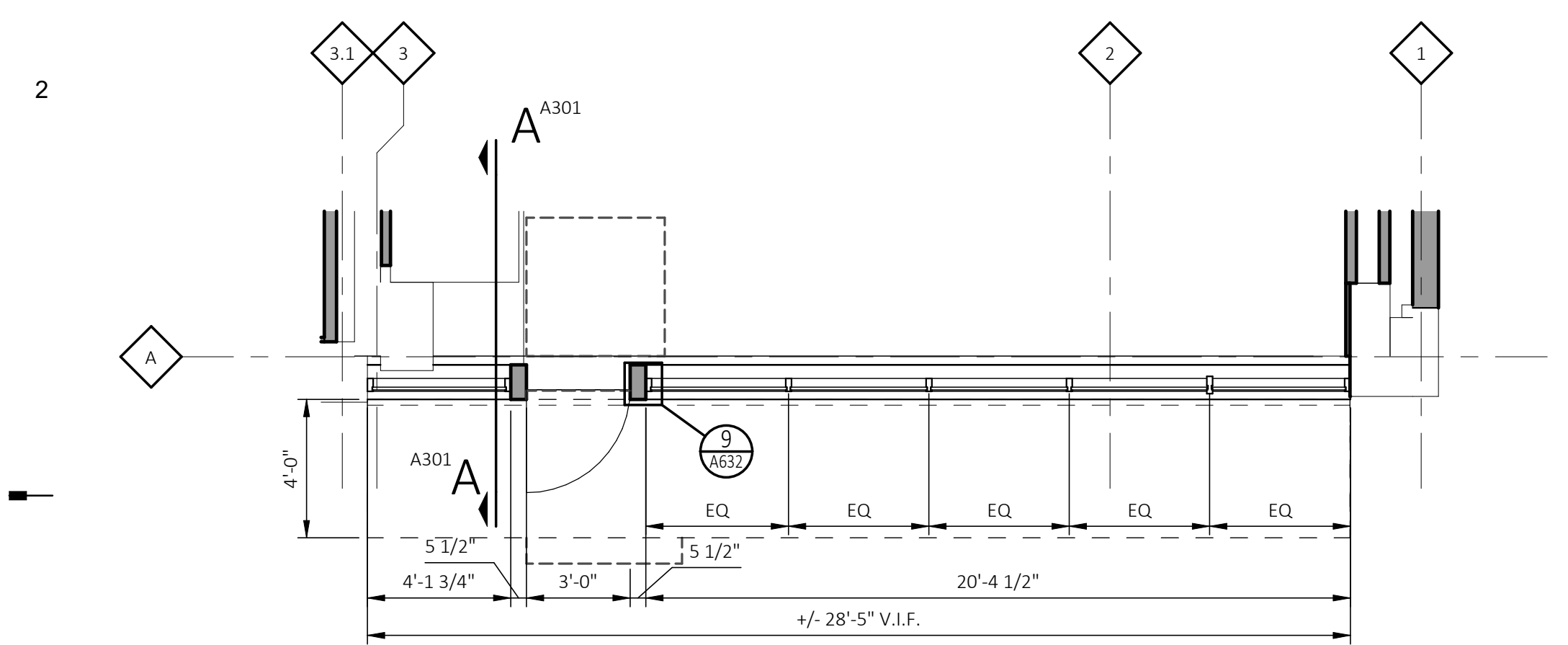
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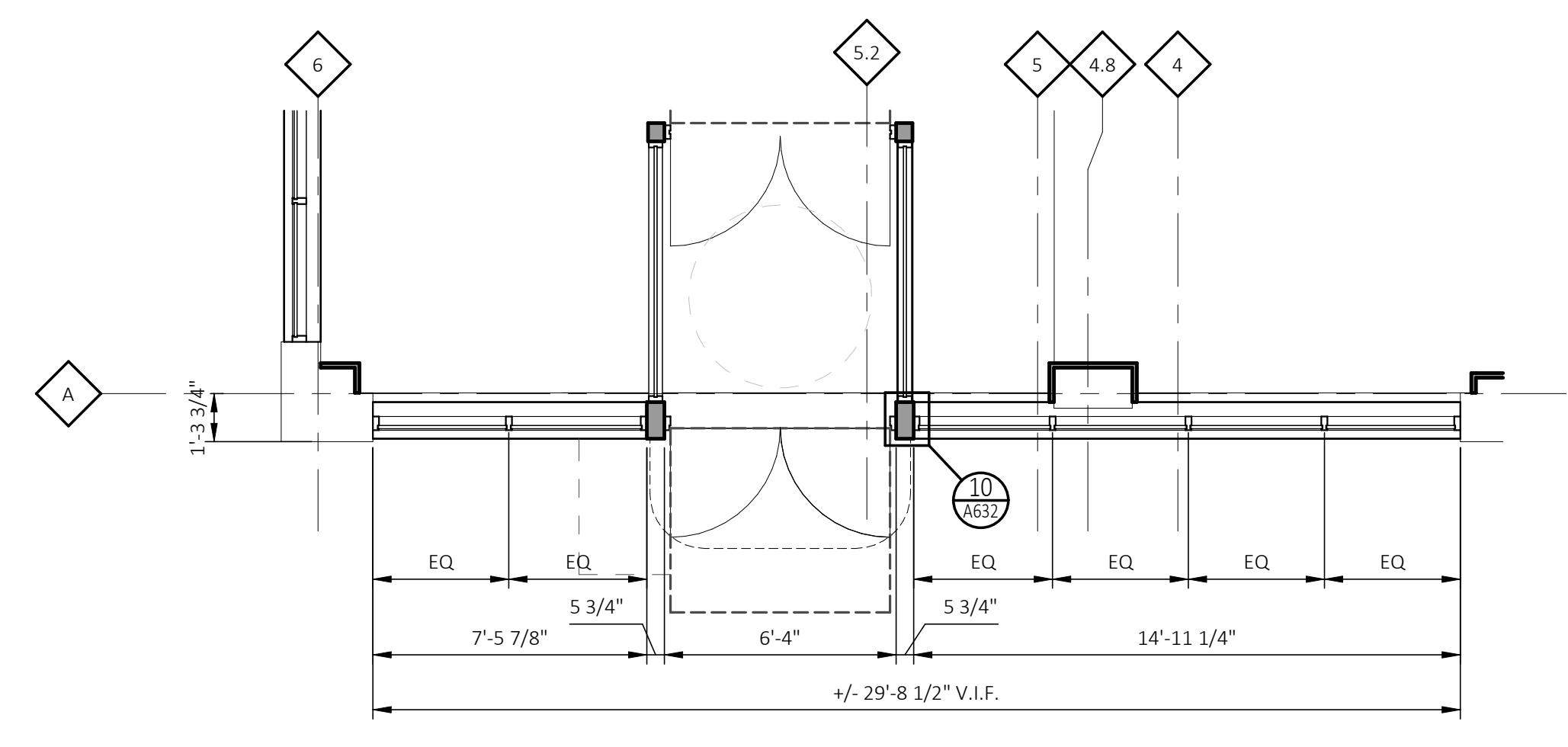
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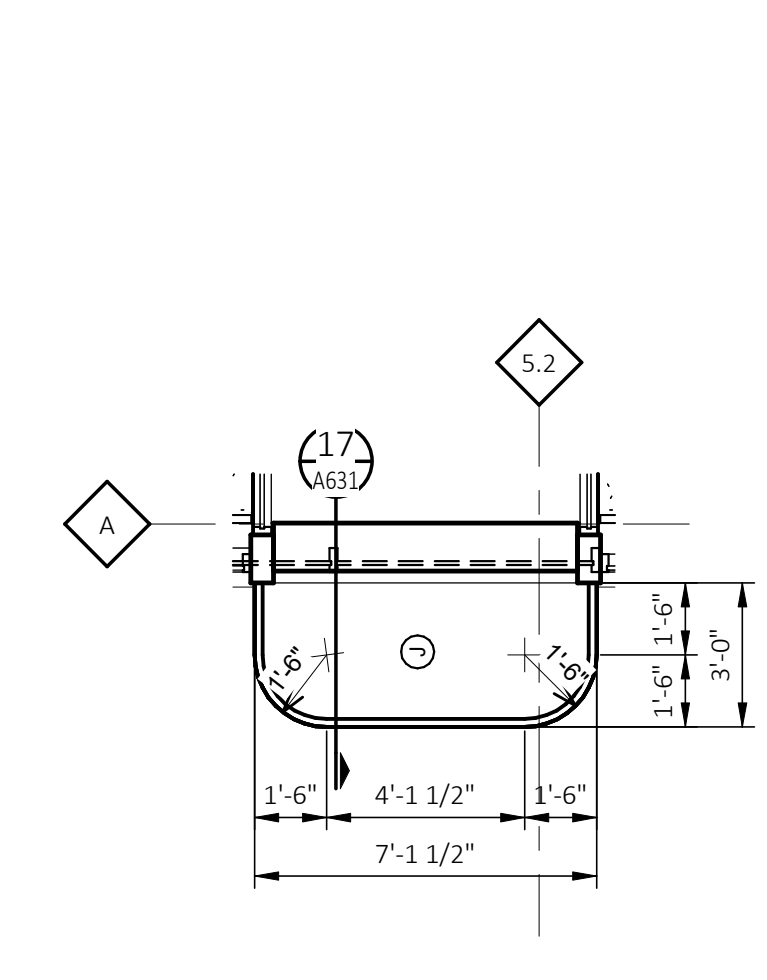
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REFERENCE LOCATIONS: A101A



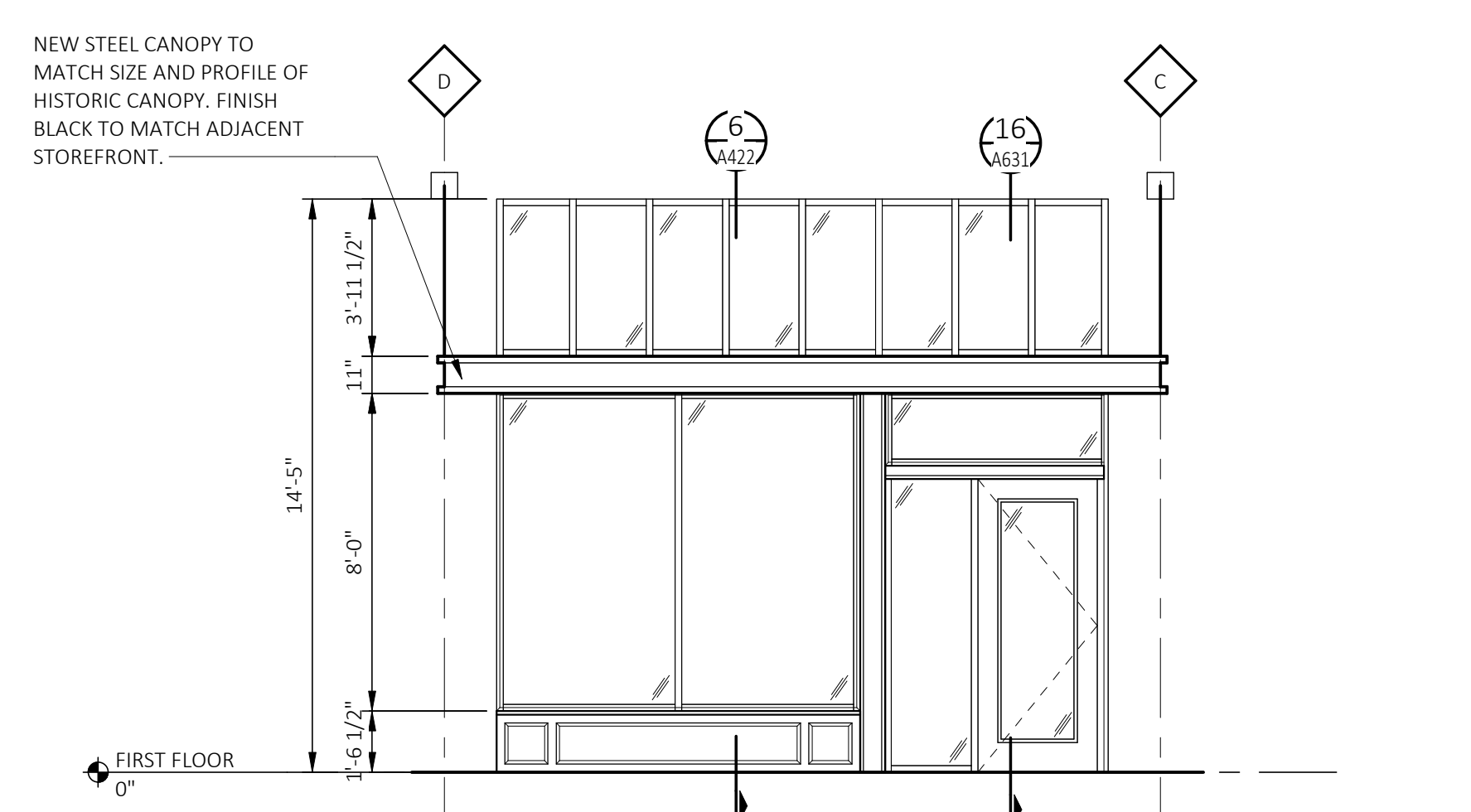
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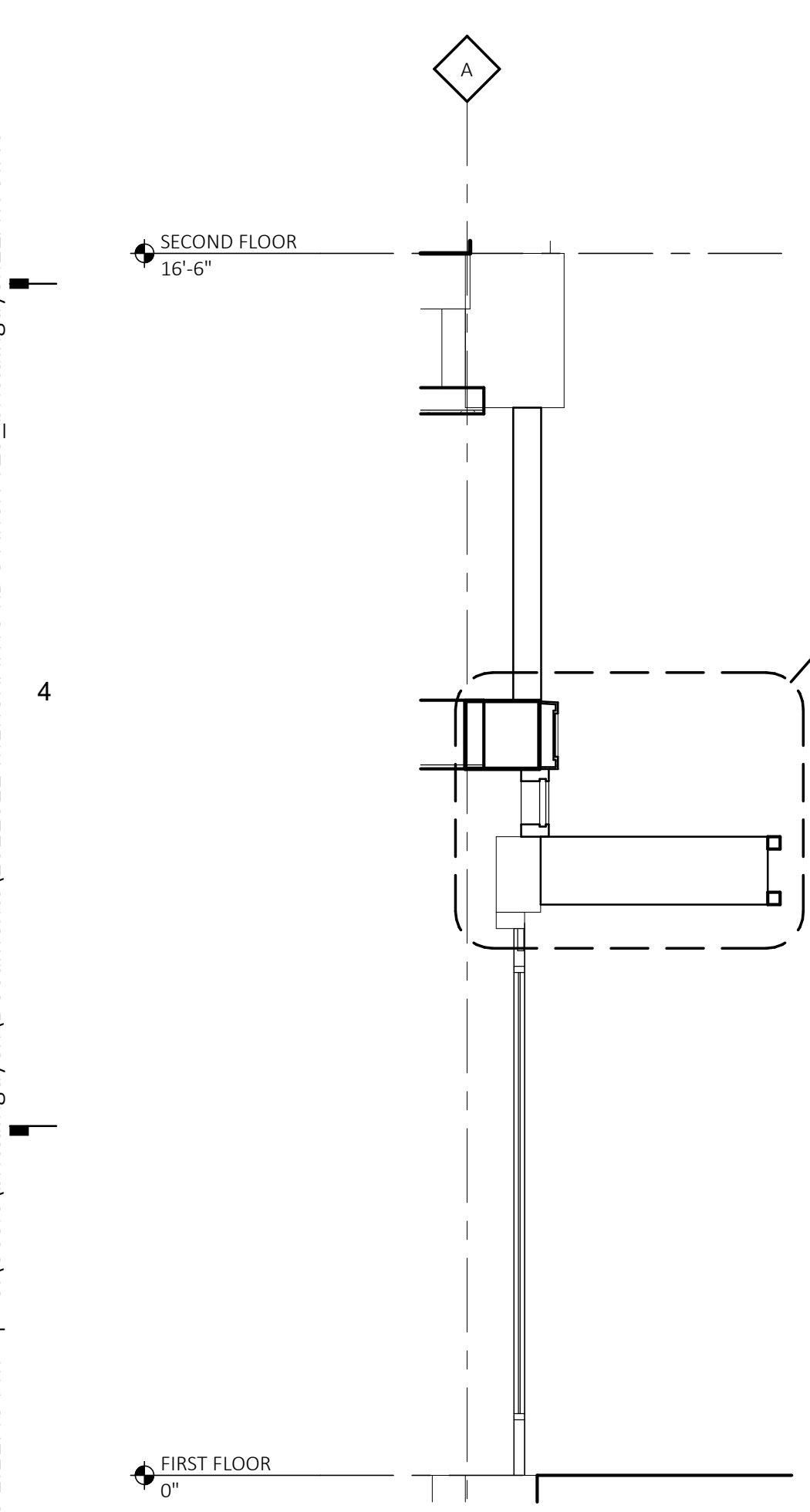
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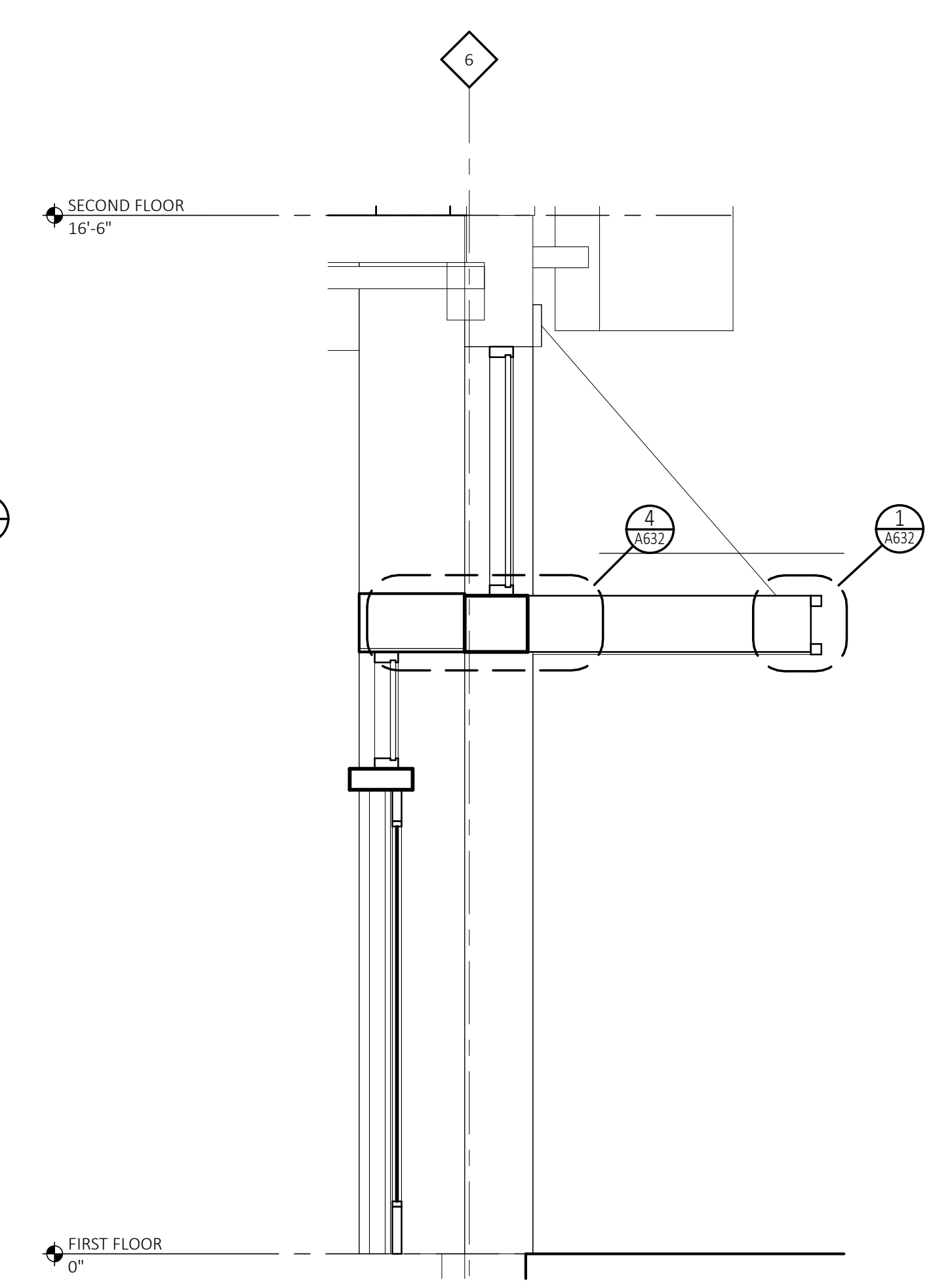
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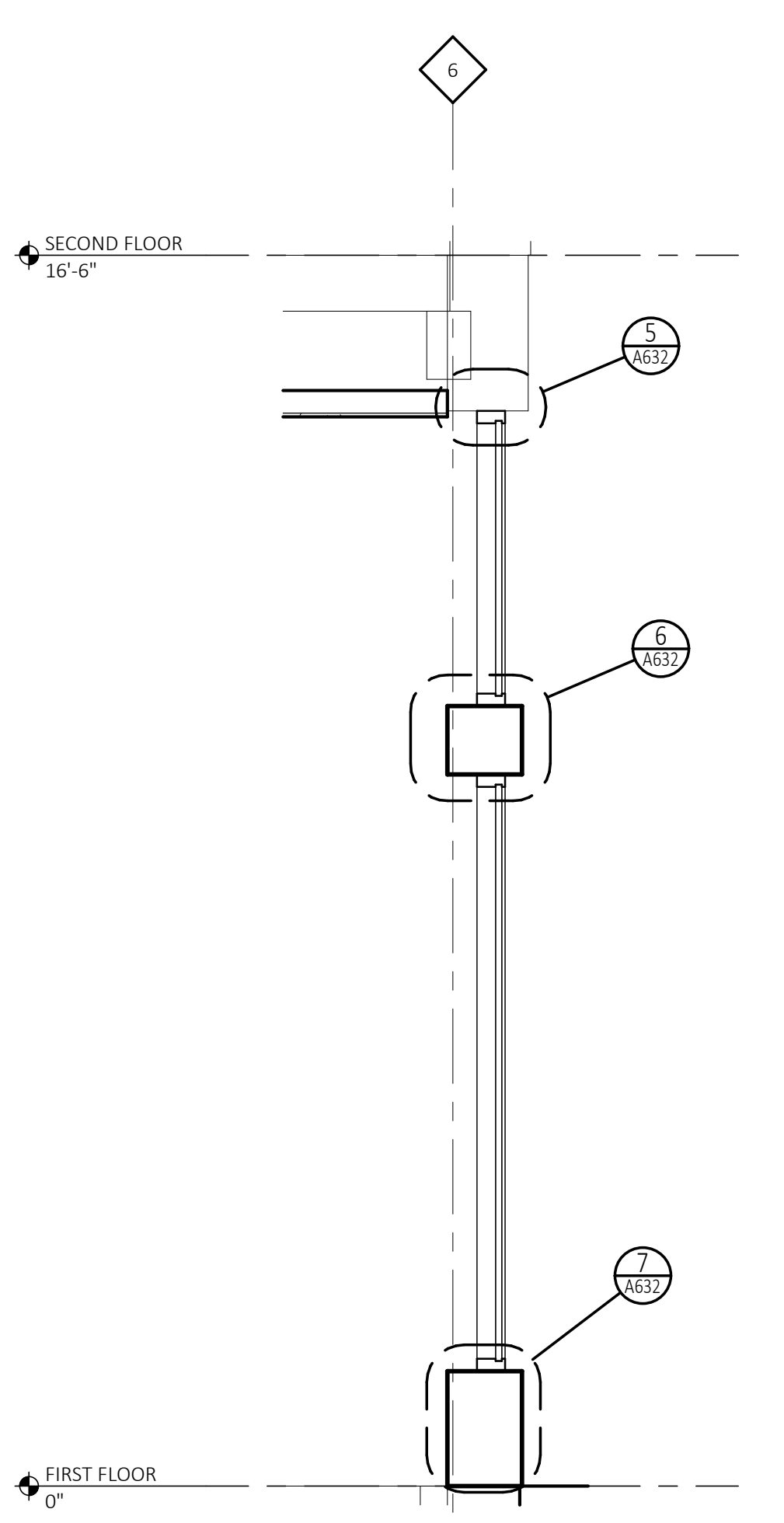
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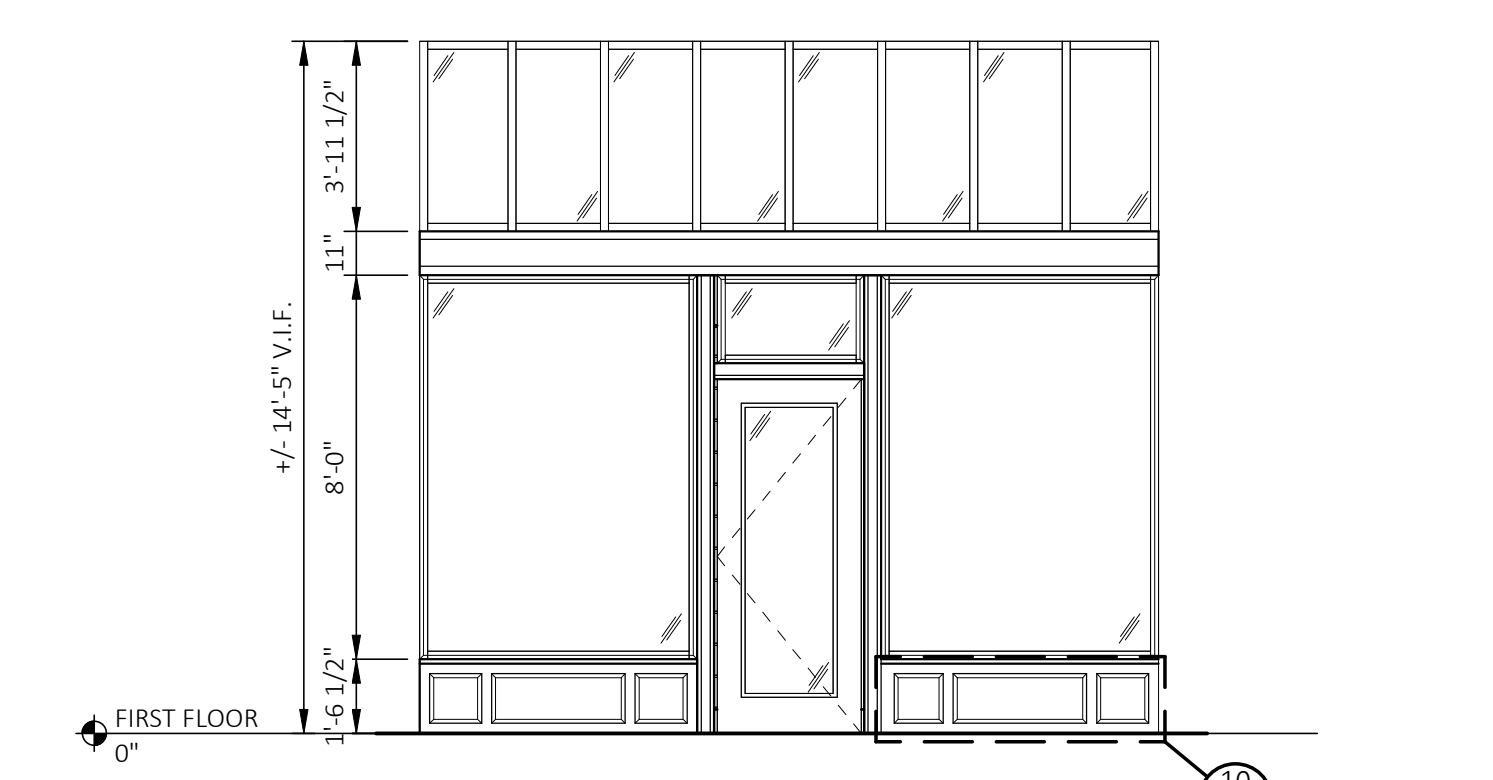
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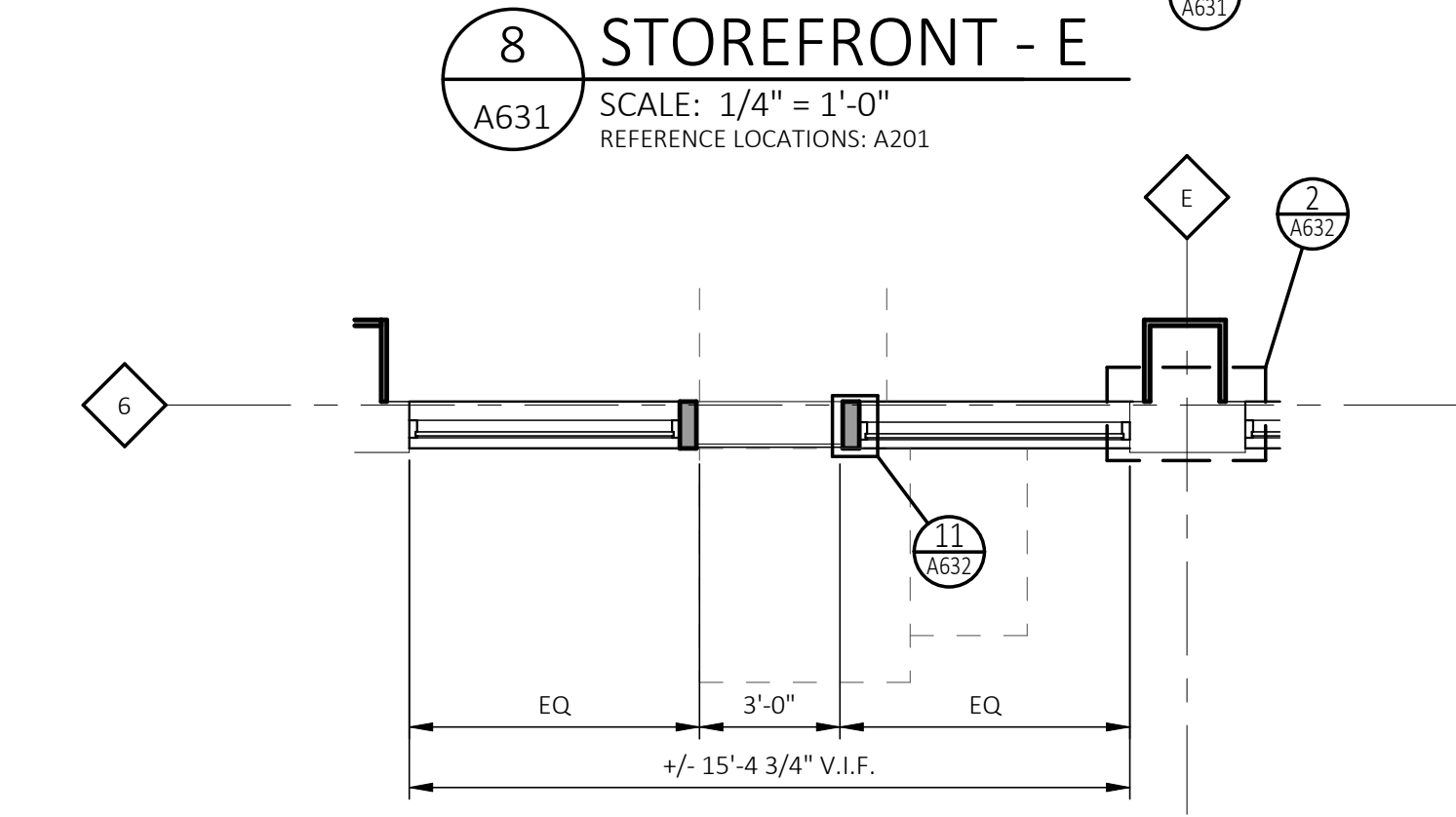
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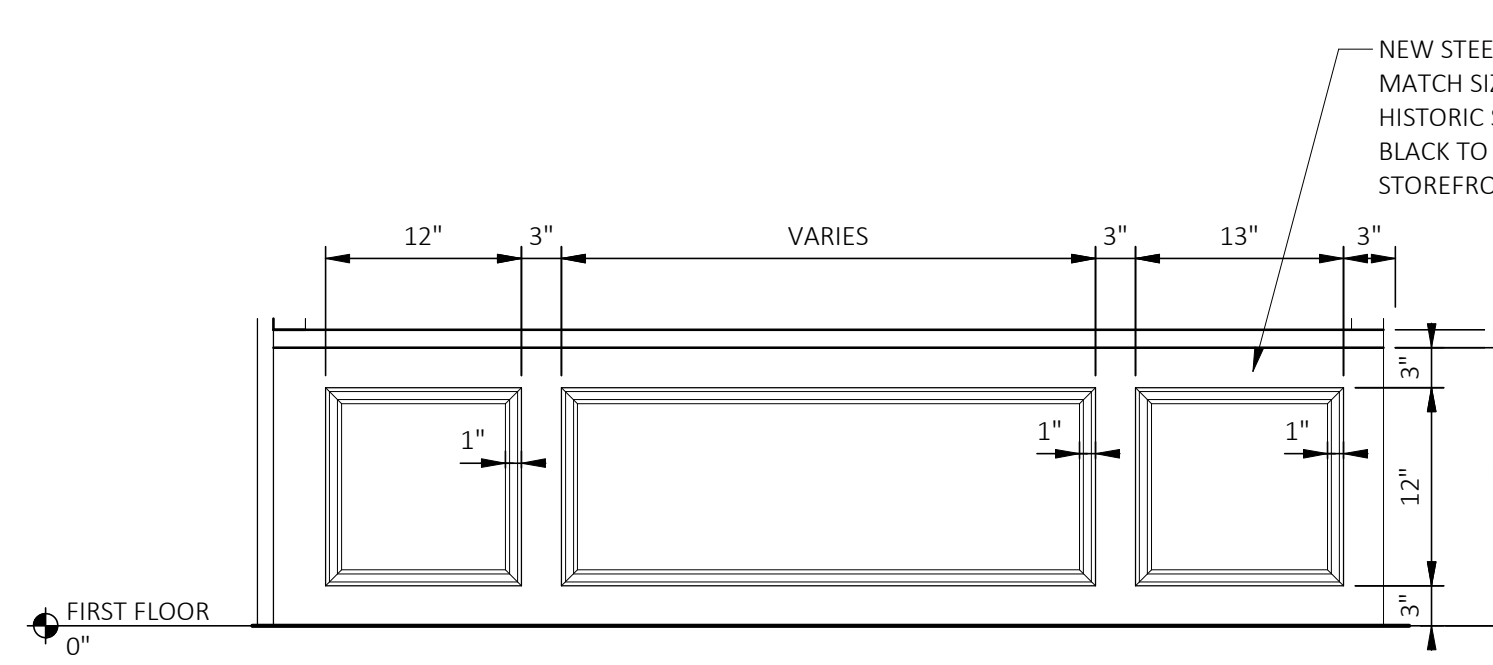
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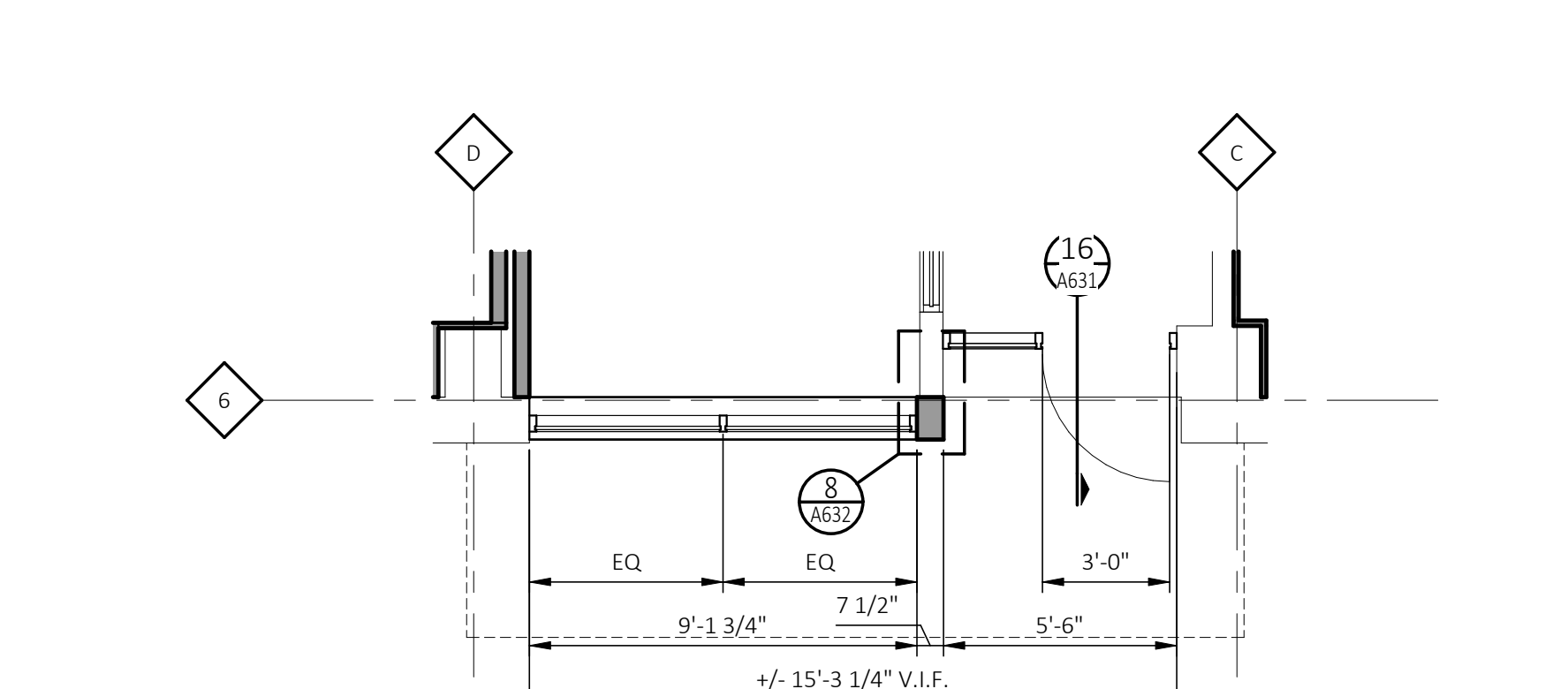
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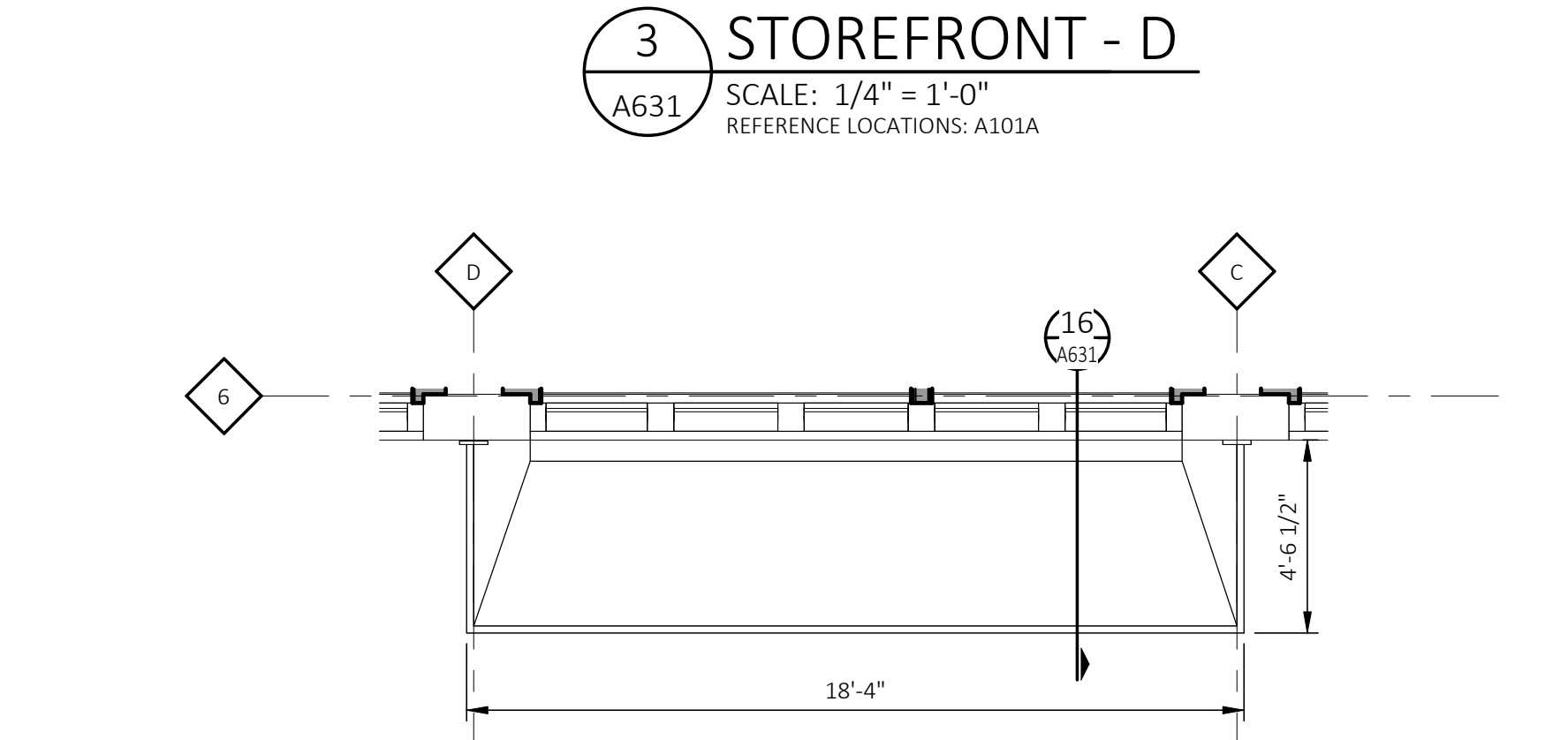
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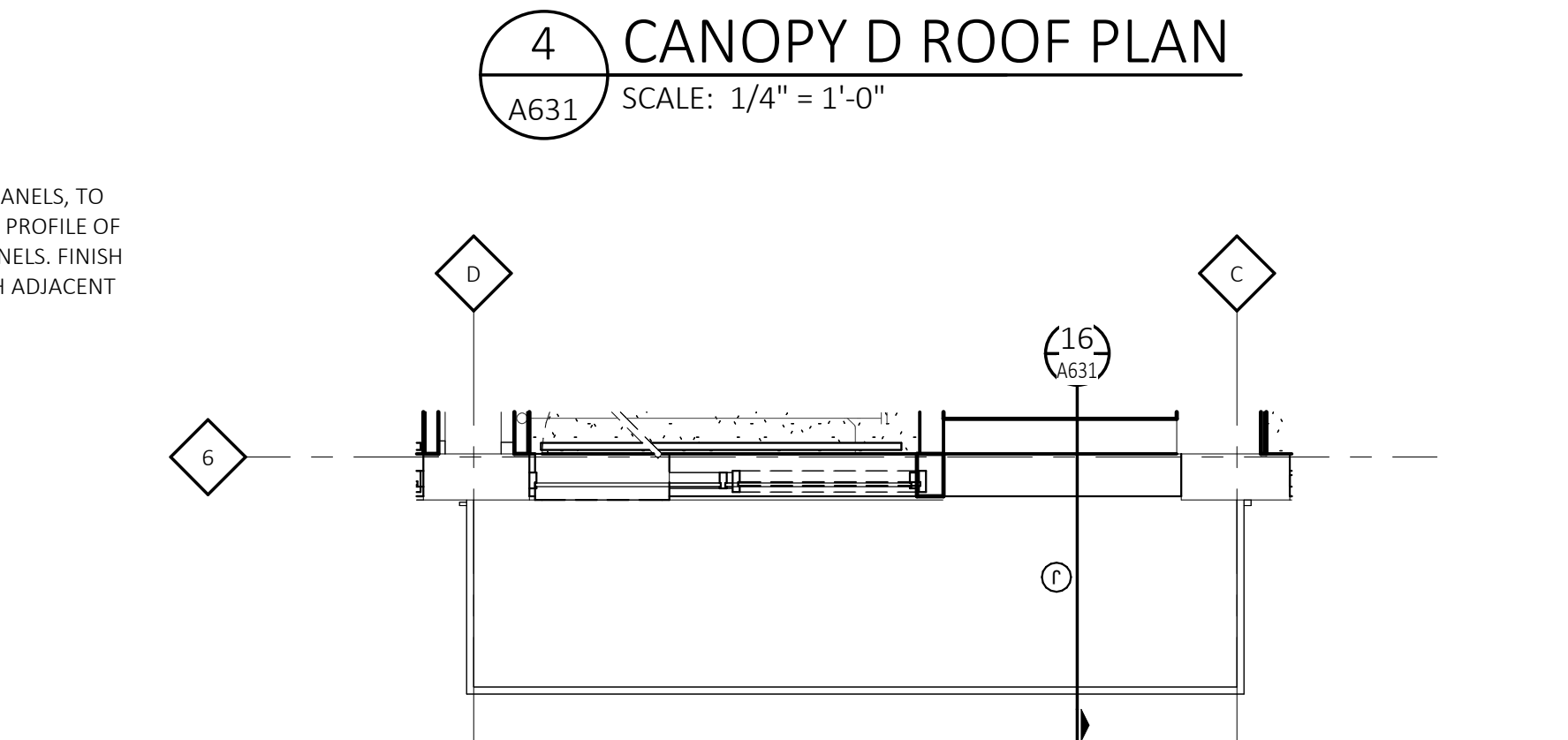
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3 STOREFRONT - D
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REFERENCE LOCATIONS: A101A



4 CANOPY D ROOF PLAN
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Architect

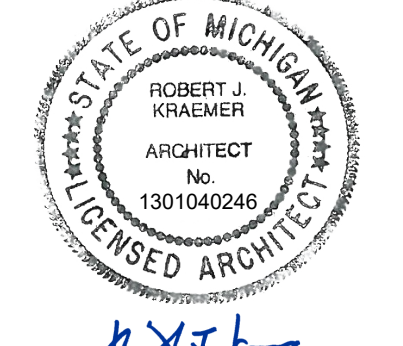
Consultant

Owner

METHOD
DEVELOPMENT
2857 E. GRAND BLVD. STE
102
DETROIT, MI 48202

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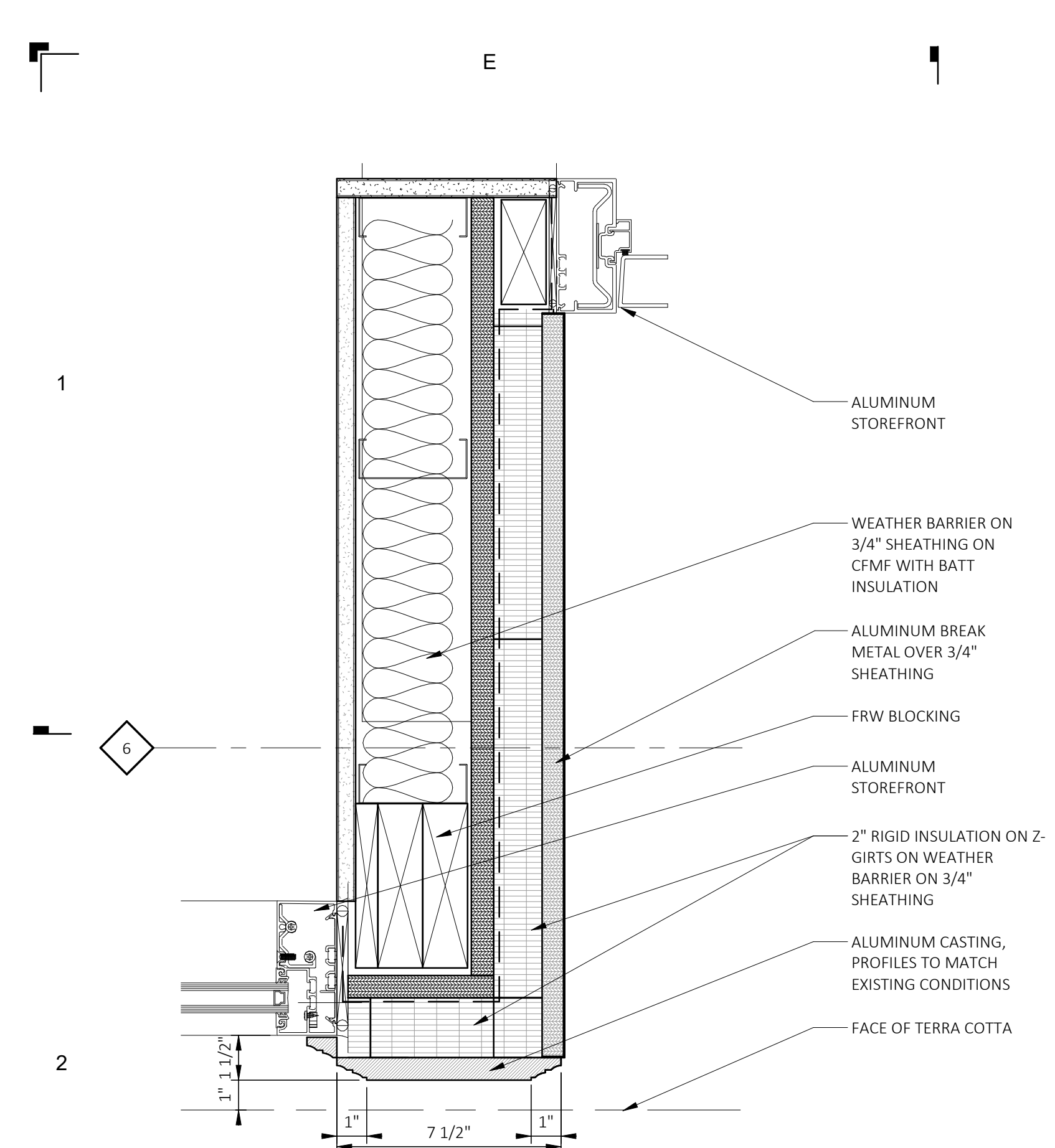
Project Number 2022022

Sheet Title
**STOREFRONT
ELEVATIONS AND
DETAILS**

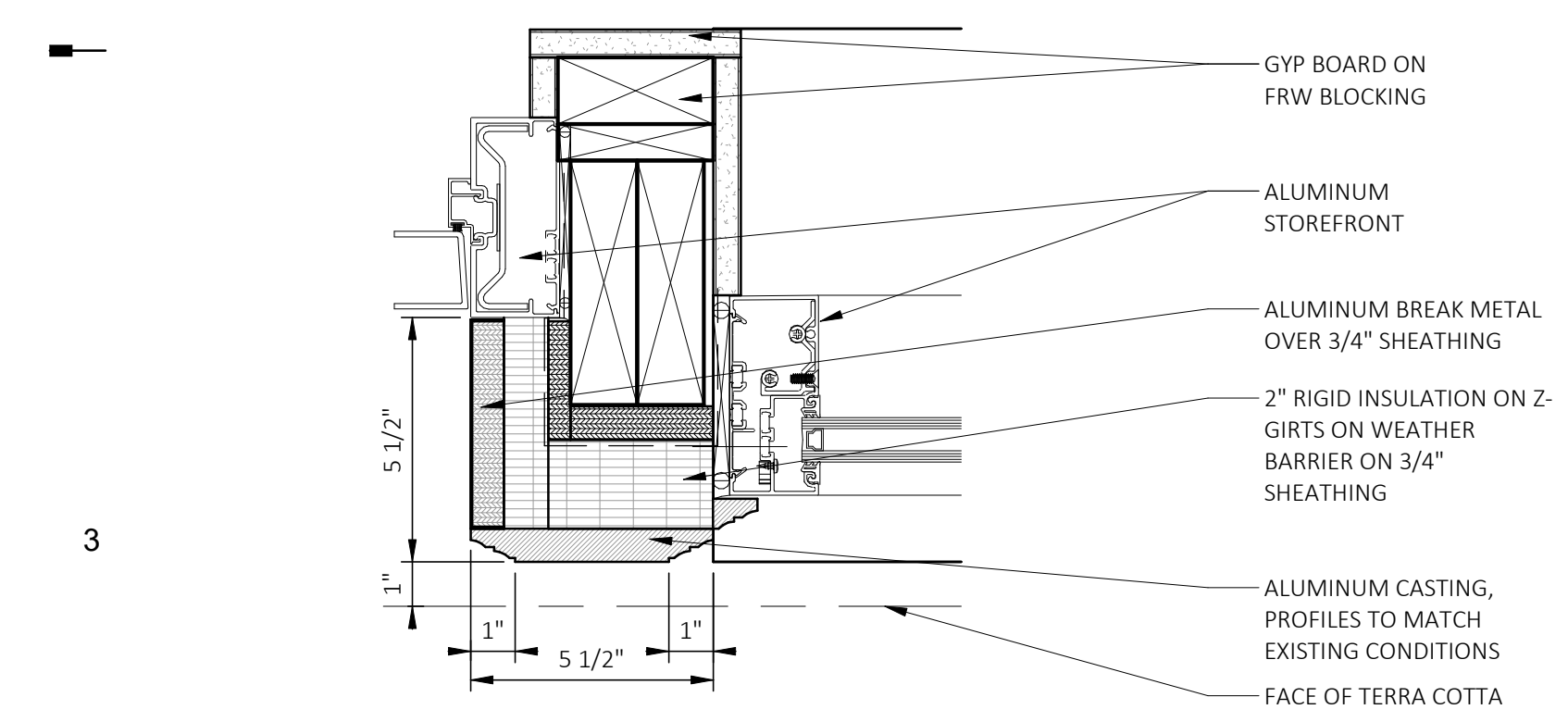
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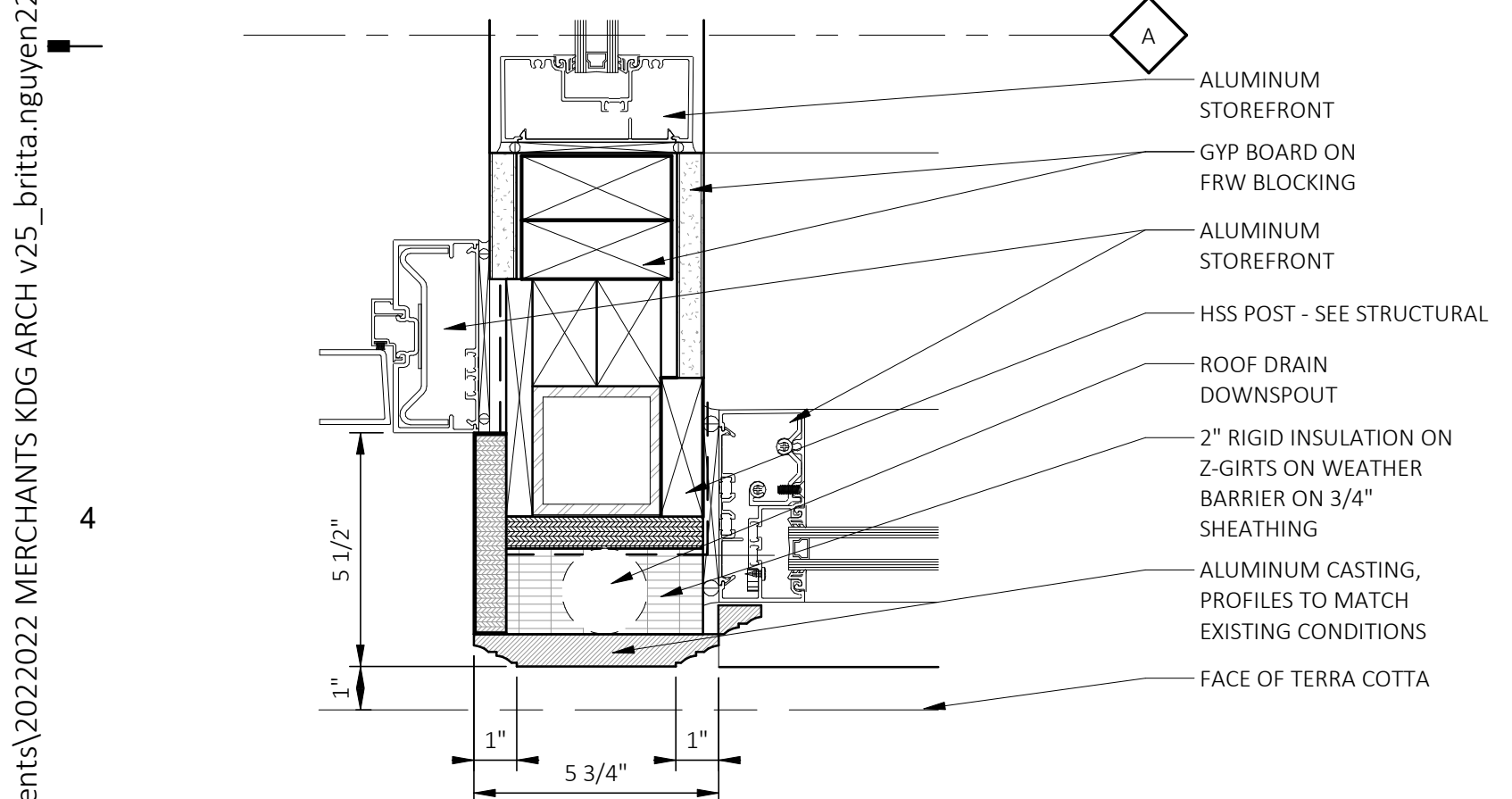
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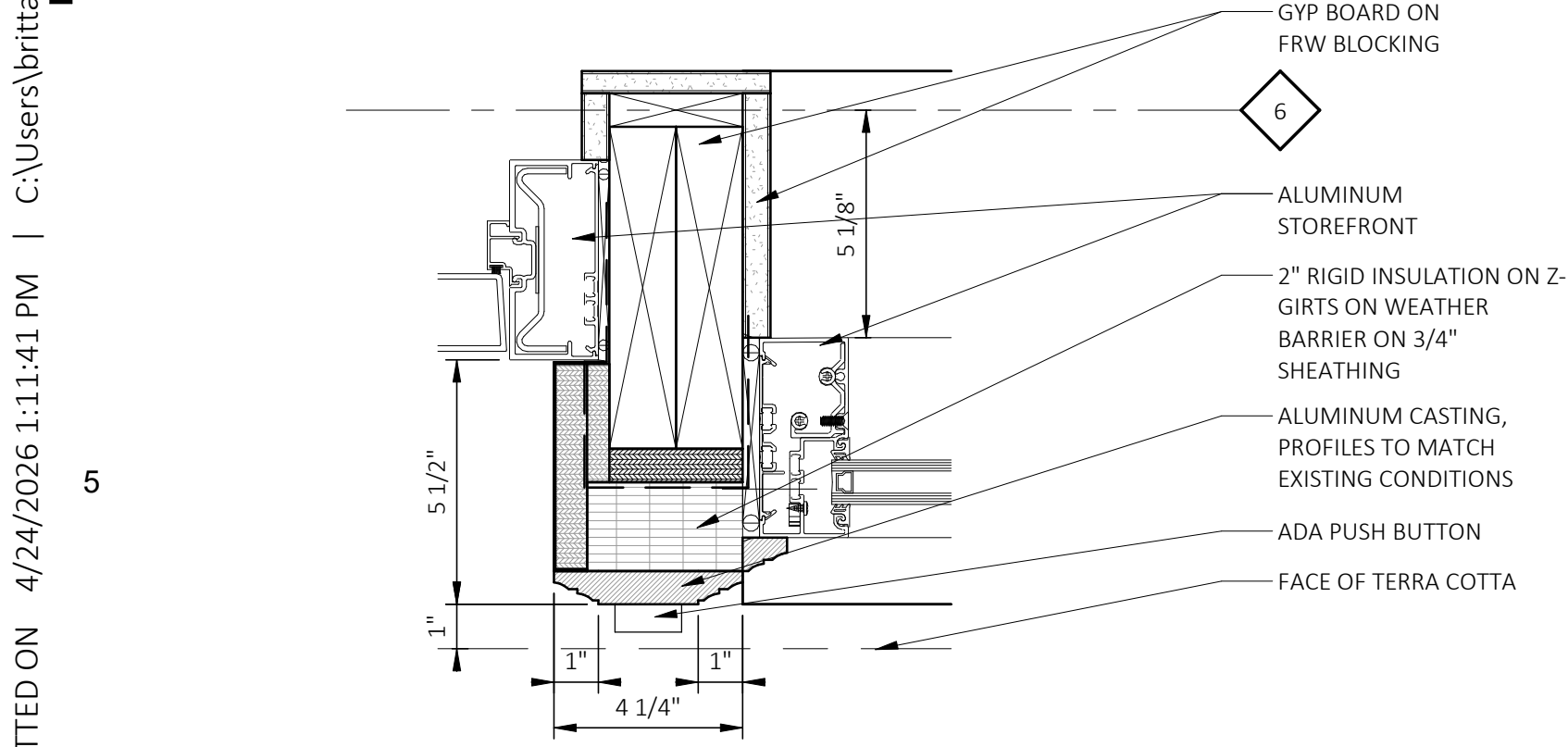
8 STOREFRONT D DETAIL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



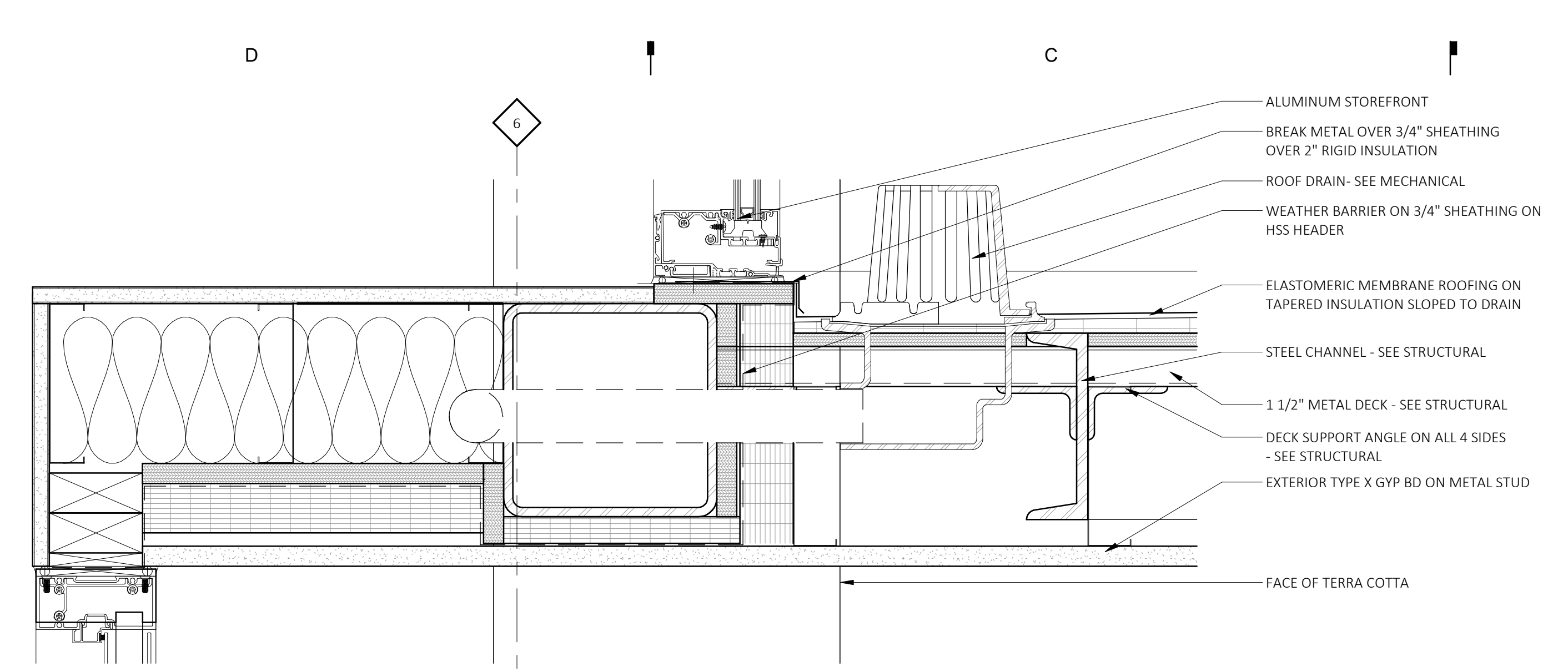
9 STOREFRONT A DETAIL
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REFERENCE LOCATIONS: A631



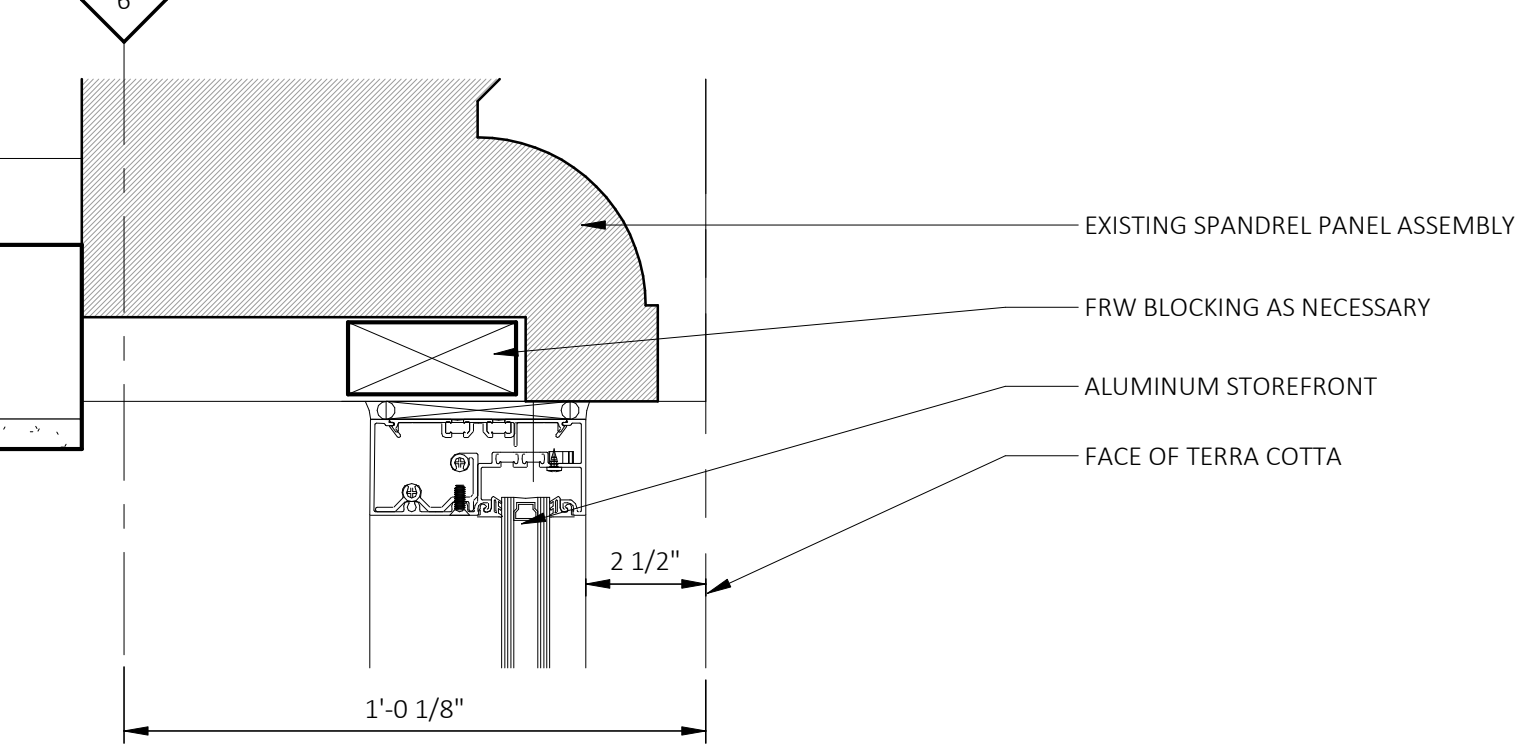
10 STOREFRONT B DETAIL
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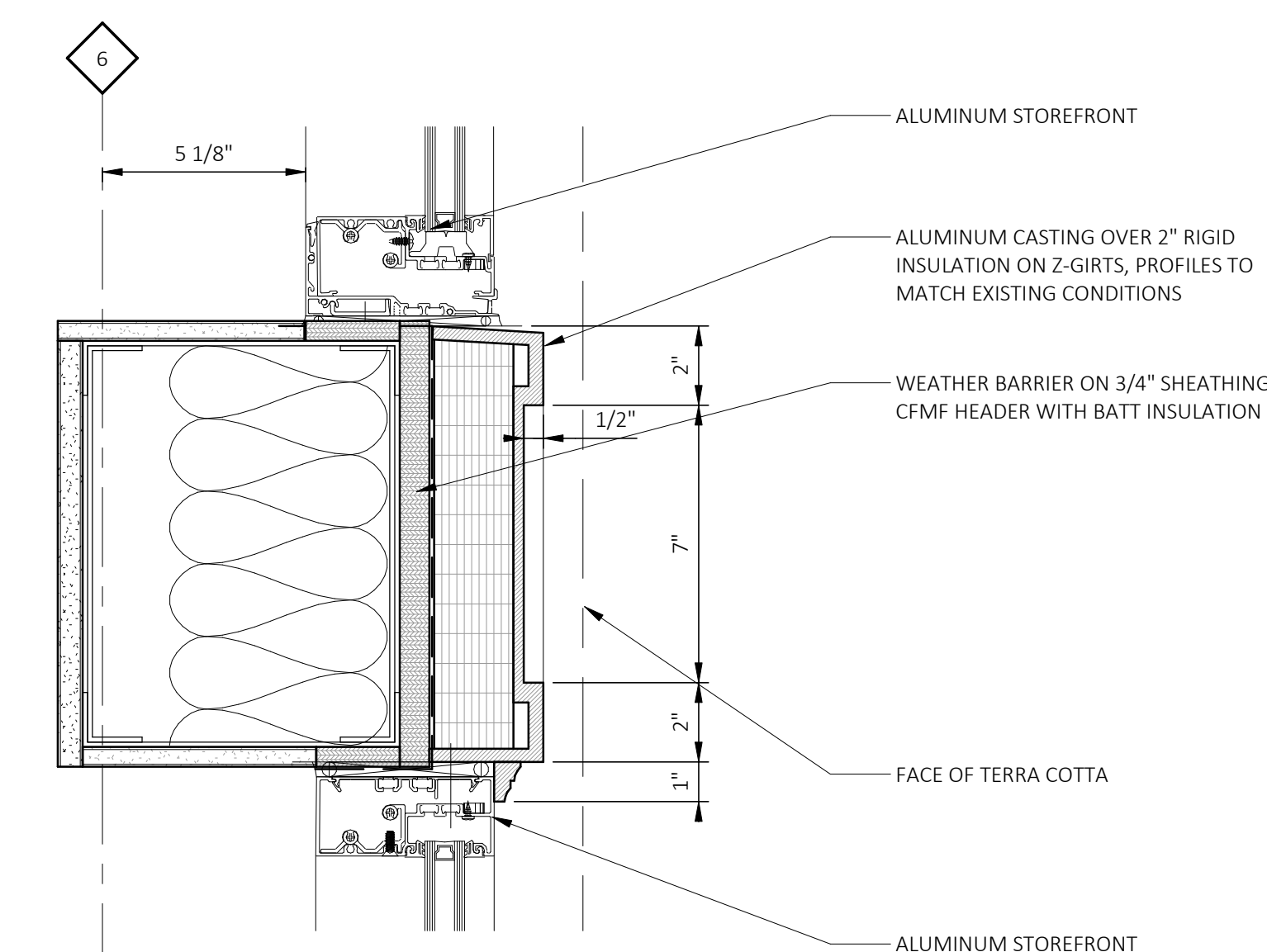
11 STOREFRONT E DETAIL
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REFERENCE LOCATIONS: A631



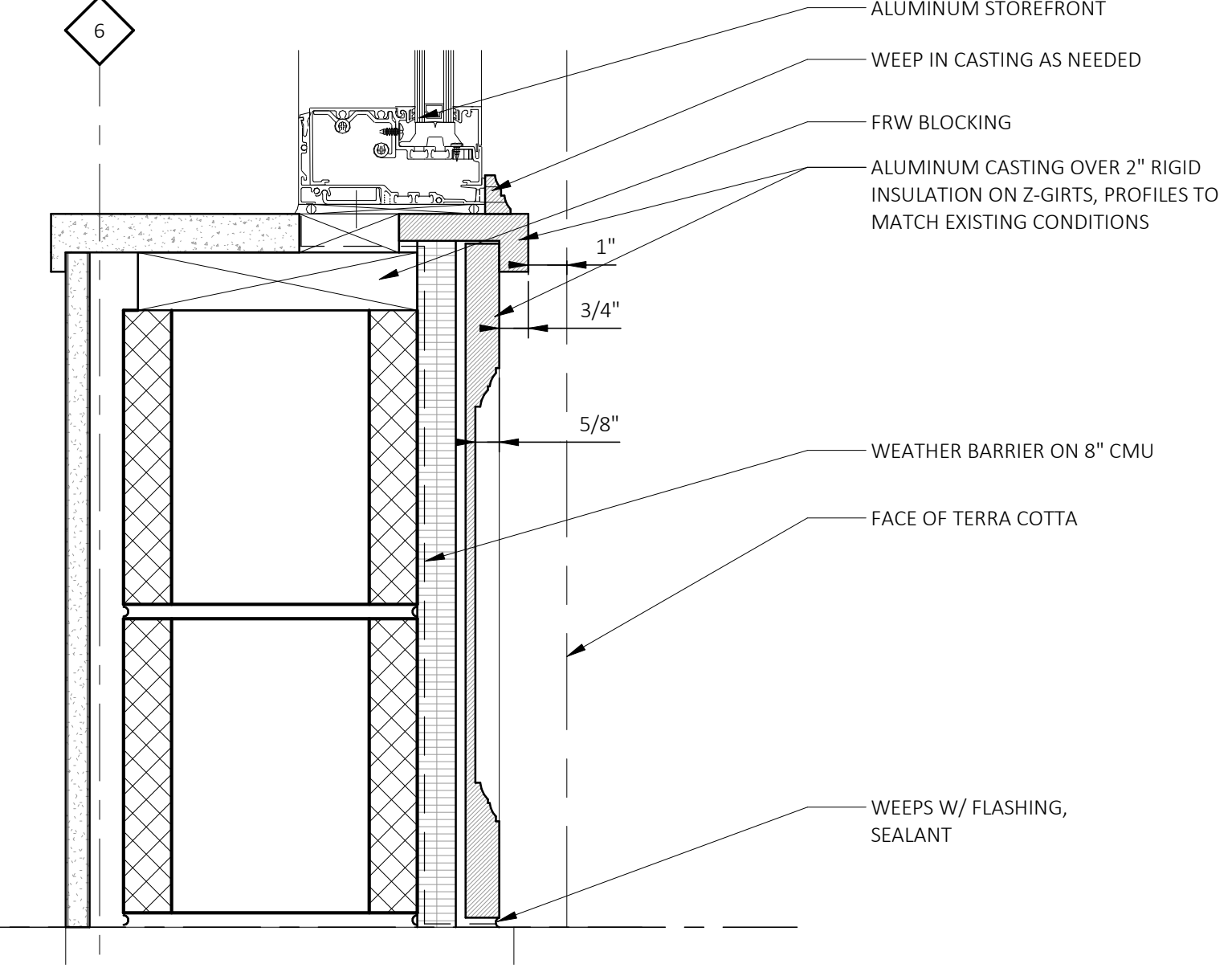
4 CANOPY DETAIL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



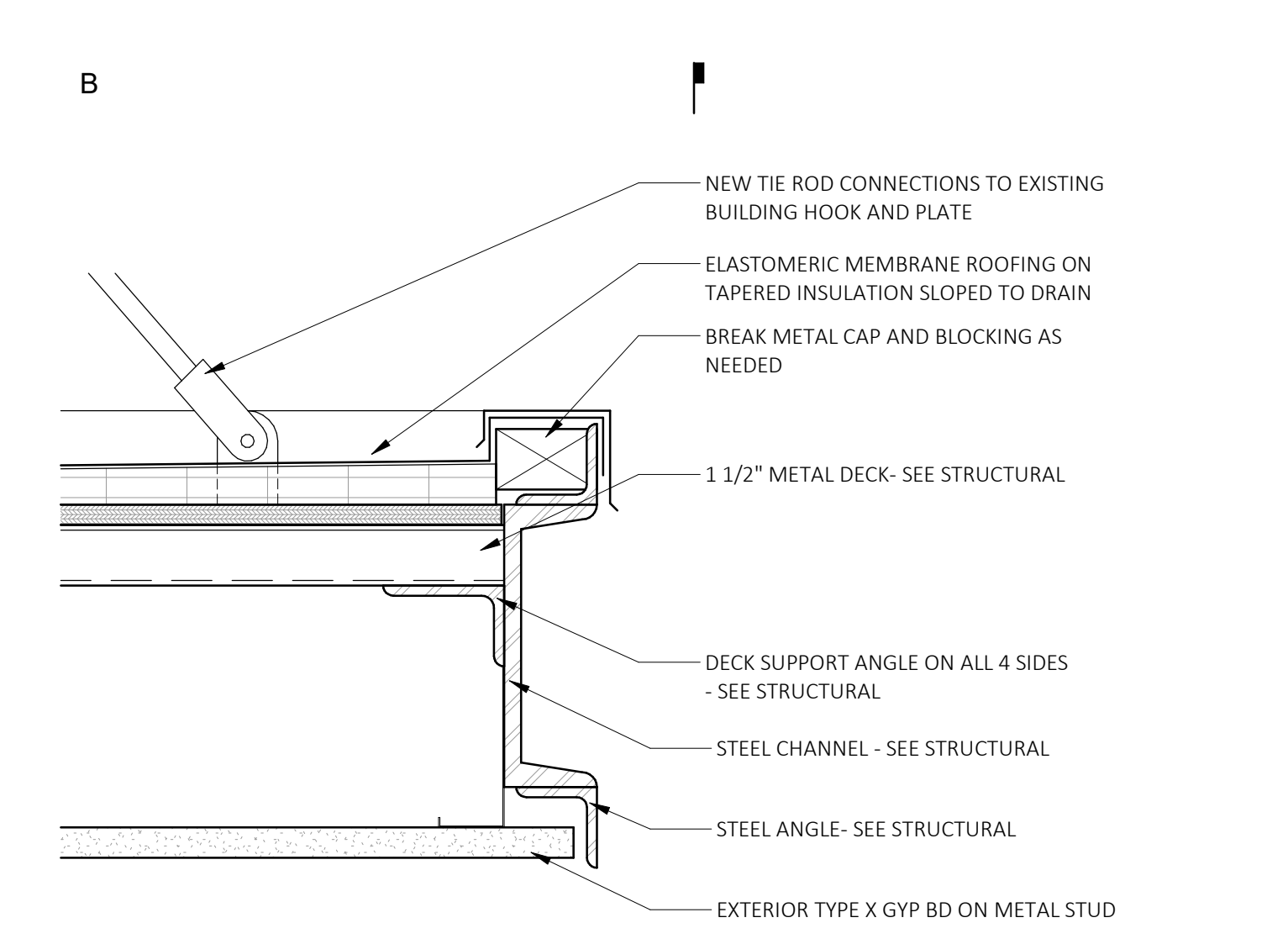
5 STOREFRONT HEADER
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



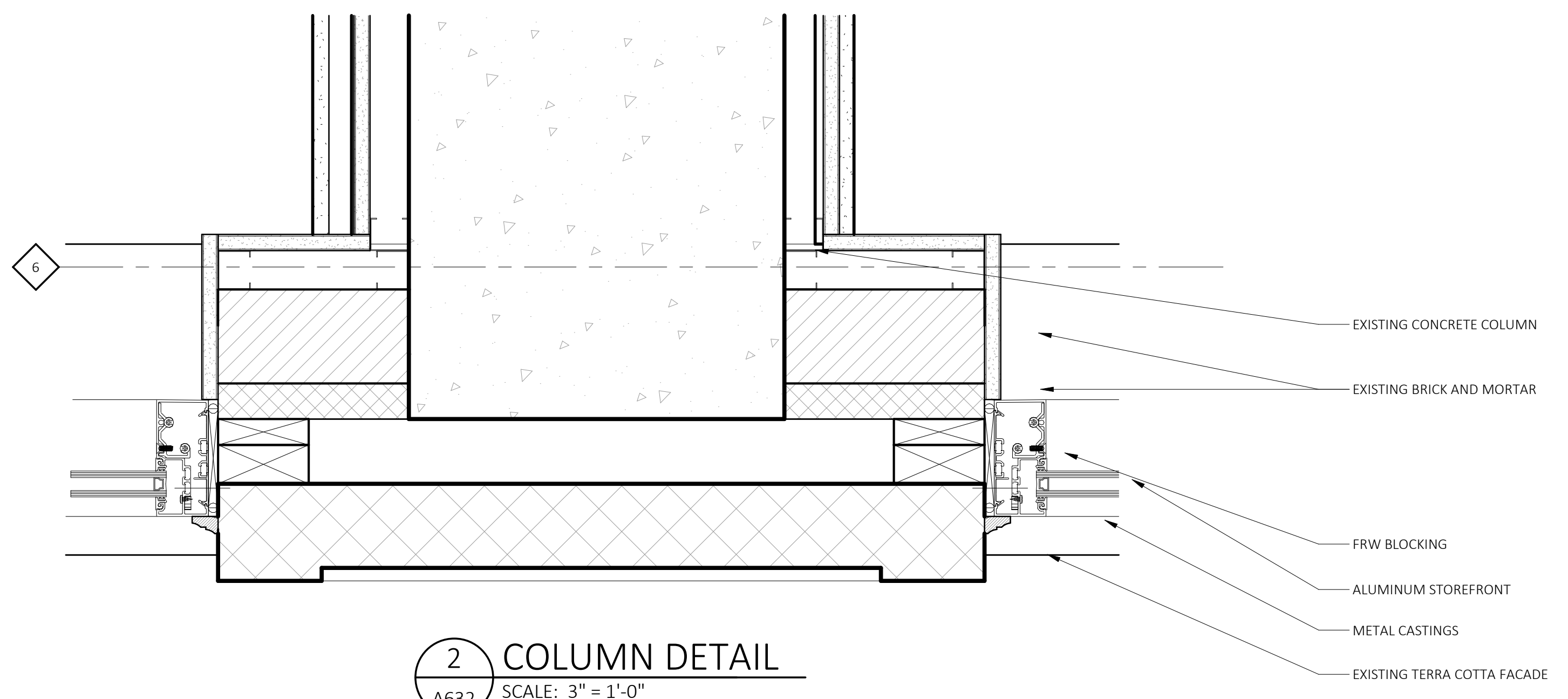
6 STOREFRONT SPANDEL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



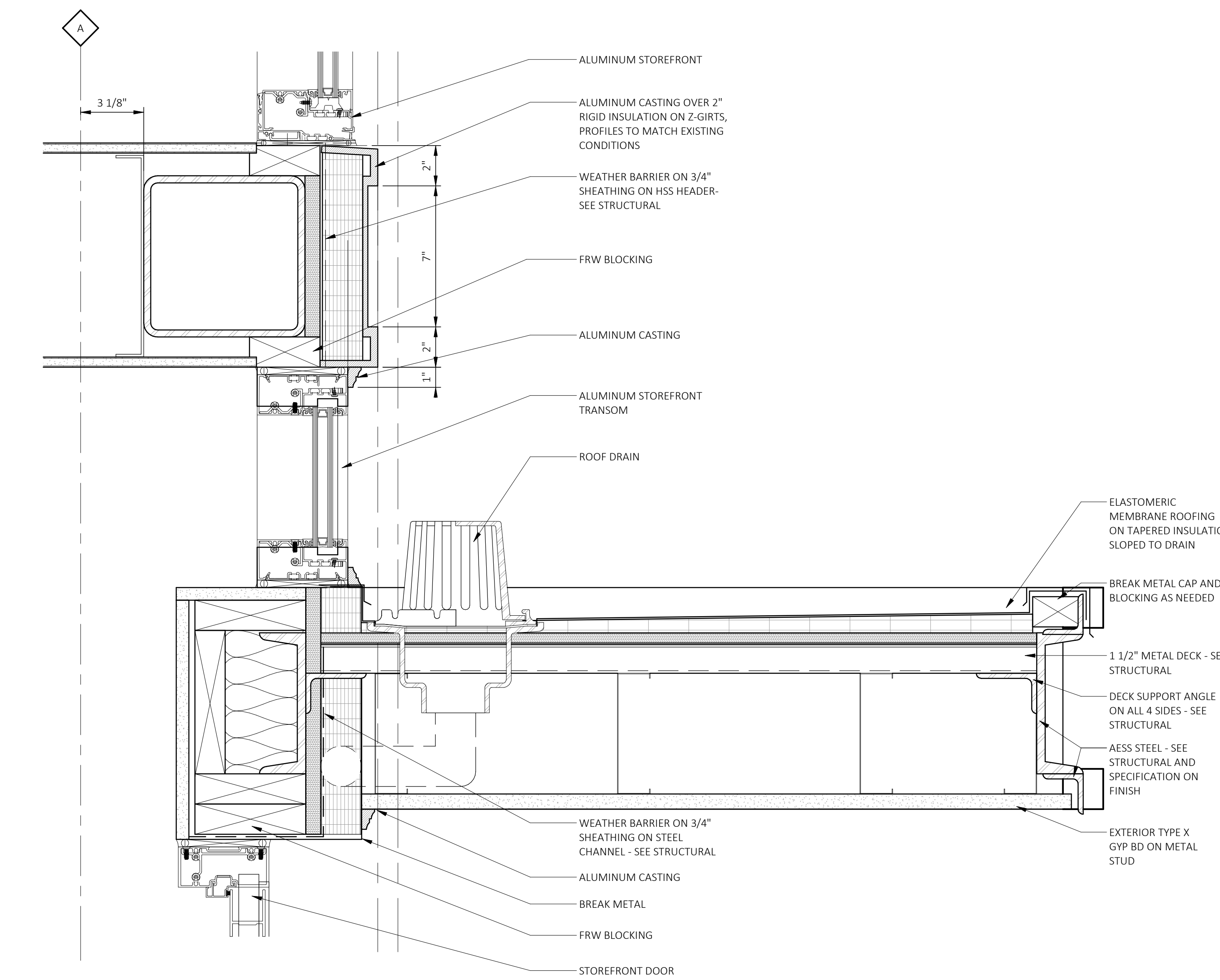
7 STOREFRONT SILL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



1 CANOPY DETAIL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



2 COLUMN DETAIL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



3 STOREFRONT SPANDEL
SCALE: 3" = 1'-0"
REFERENCE LOCATIONS: A631



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Architect

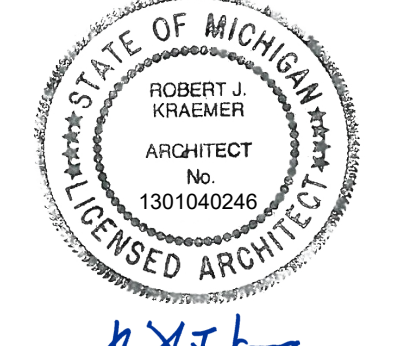
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Seal

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PERMIT/BID	01-23-26
75% OWNER REVIEW	12-05-25
100% DD SET	09-26-25

Date: 01-23-26

Project Number: 2022022

Sheet Title
STOREFRONT ELEVATIONS AND DETAILS

Sheet Number

A632

