



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

<b>APPLICATION ID</b>
HDC2026-00193

## PROPERTY INFORMATION

<b>ADDRESS(ES):</b> 892 W. Boston Boulevard
<b>HISTORIC DISTRICT:</b> Boston-Edison

**SCOPE OF WORK: (Check ALL that apply)**

- |   |  |                                       |  |  |                                |
|---|--|---------------------------------------|--|--|--------------------------------|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting     | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/Balcony  | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition     | <input type="checkbox"/> Signage       | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition              | <input checked="" type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) |                                |

<p><b>BRIEF PROJECT DESCRIPTION:</b></p> <p>To restore the exterior landscape elements. New swimming pool.</p>
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## APPLICANT IDENTIFICATION

<b>TYPE OF APPLICANT:</b> Architect/Engineer/Consultant			
<b>NAME:</b> Brendan Britt		<b>COMPANY NAME:</b> Dul Landscape Architecture	
<b>ADDRESS:</b> 74 W. Long Lake		<b>CITY:</b> Bloomfield Hills	<b>STATE:</b> MI <b>ZIP:</b> 48304
<b>PHONE:</b> +1 (248) 933-8036		<b>EMAIL:</b> bbritt@duldesign.com	

## I AGREE TO AND AFFIRM THE FOLLOWING:

<input checked="" type="checkbox"/>	I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
<input checked="" type="checkbox"/>	I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
<input checked="" type="checkbox"/>	I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.
<input checked="" type="checkbox"/>	As required by the state Local Historic Districts Act, <a href="#">Act 169 of 1970</a> (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, <a href="#">1972 PA 230, MCL 125.1501 to 125.1531</a>

<p>Signed by:  <small>8C8481AD551E412</small></p>	<p>04/20/2026</p>
SIGNATURE	DATE

**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

**ePLANS PERMIT NUMBER:**

(only applicable if you've already applied for permits through ePLANS)

HDC2026-00039

**GENERAL**

**1. DESCRIPTION OF EXISTING CONDITION**

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*



**2. PHOTOGRAPHS**

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



**3. DESCRIPTION OF PROJECT**

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")*



**4. DETAILED SCOPE OF WORK**


*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*

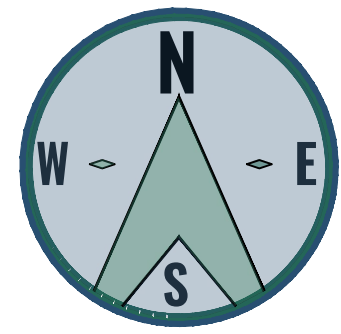


**5. BROCHURES/CUT SHEETS**

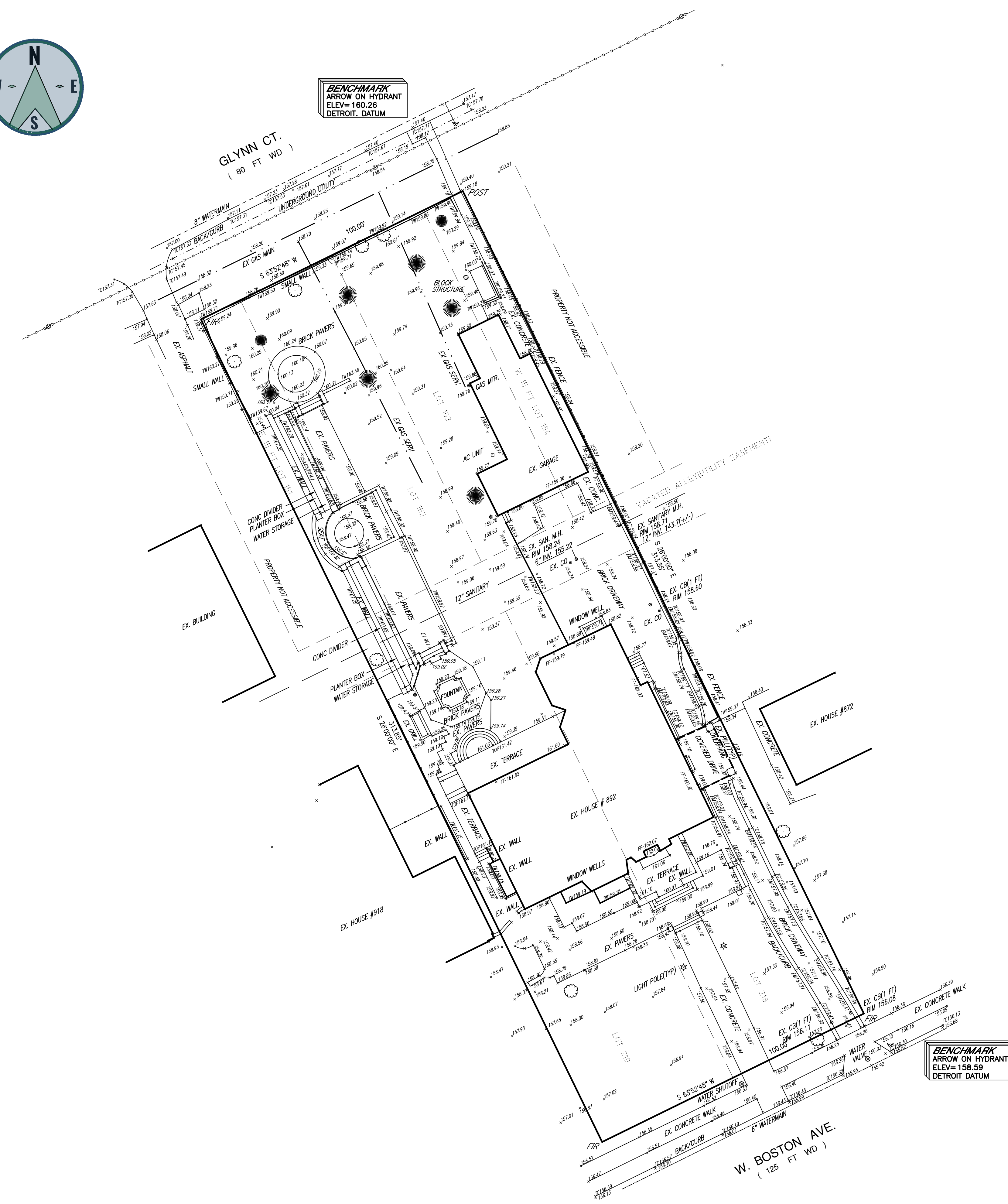
*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*

**ADDITIONAL DETAILS**

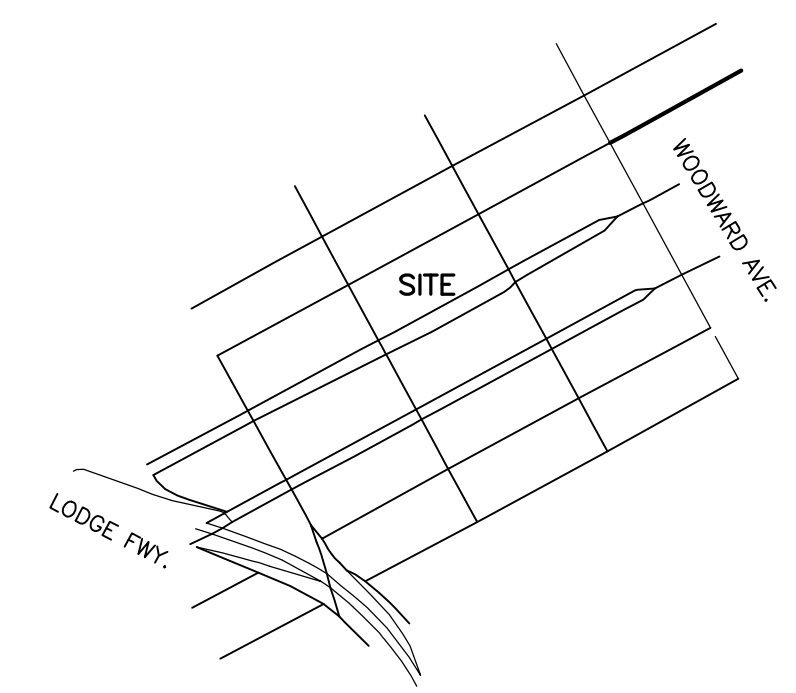
<p><b>8. SITE IMPROVEMENTS</b> <i>If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.</i></p>	



BENCHMARK  
ARROW ON HYDRANT  
ELEV= 160.26  
DETROIT DATUM



BENCHMARK  
ARROW ON HYDRANT  
ELEV= 158.59  
DETROIT DATUM



LOCATION MAP  
NO SCALE



LEGEND

- EX. GRADE
- EX. INDEX CONTOUR
- EX. CONTOUR
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. OVERHEAD
- EX. GAS
- EX. UNDERGROUND
- EX. FENCE
- EX. RAILROAD
- EX. WALL
- EX. G. OF DITCH
- EX. WETLAND
- HYDRANT
- CATCH BASIN
- MANHOLE
- SIGN
- GATE VALVE
- LIGHT POLE
- UTILITY POLE
- METAL LIGHT POLE
- TOP OF BERM
- TOE OF BERM
- TREE TAG
- TOP OF CURB
- GUTTER
- TOP OF ASPHALT
- TOP OF WALK
- FOUND IRON ROD
- SET IRON ROD
- FOUND IRON PIPE
- ASPHALT
- CONCRETE

TOPO. NOTES:

- THIS SURVEY WILL NOT SHOW ALL EASEMENTS OF RECORD UNTIL AN UPDATED TITLE POLICY HAS BEEN FURNISHED TO THE SURVEYOR BY THE OWNER.
- ALL ELEVATIONS ARE EXISTING ELEVATIONS
- SUBJECT PROPERTY LOCATED IN ZONE X. AREA OF MINIMAL FLOODING. PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26163C00125E EFFECTIVE DATE: FEB. 2, 2012.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANIES RECORDS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES. ANY POTENTIAL CONFLICT SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

LEGAL DESCRIPTION:

LOTS 162, 163, 218 & 219, THE EAST 15 FT OF 161 & THE WEST 15 OF LOT 164, ALSO THAT PART OF VACATED ALLEY LYING ADJACENT THERETO, VOIGT PARK, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 22 OF PLATS, PAGE 94, WAYNE COUNTY RECORDS.

PRIORITY ENGINEERING, LLC

Engineer's Seal

Certification

North SCALE

GRAPHIC SCALE: 1" = 20'

Project  
**892 W. BOSTON AVE**

Project Location  
**892 W. BOSTON AVE  
DETROIT, MI 48202**

Sheet Name  
**TOPOGRAPHIC SURVEY**

REV	ISSUED FOR	ISSUE DATE	BY

Date: 05/06/2025

Reviewed By: TCS

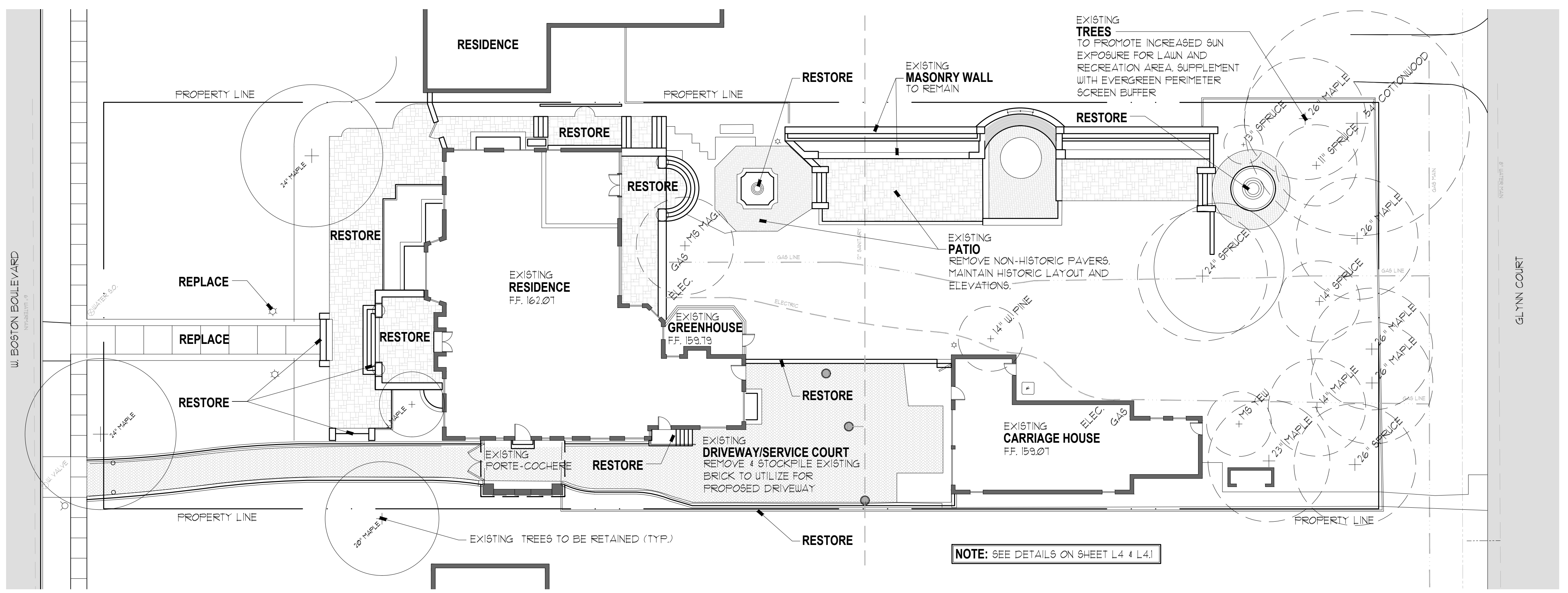
ENG/CADD: BH

Checked By: TMS

PE Project No. 25-0044

Sheet No. SURV-1.0

DRAWING NOTE: SCALE SHOWN IS NEARLY FOUR (4) TIMES THAT OF THE ORIGINAL DRAWING. ANY DIMENSIONS SHOWN ON THIS DRAWING SHALL BE BASED ON THE DIMENSIONS SHOWN ON THE ORIGINAL DRAWING. NO REPRODUCTION SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF PRIORITY ENGINEERING, LLC.



EDWARD F. FISHER MANSION

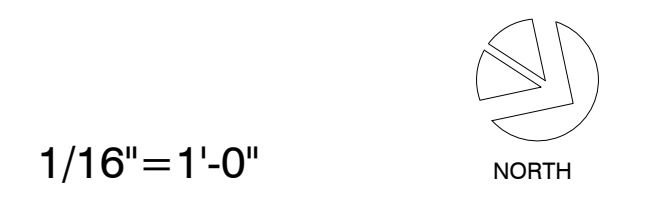
892 W. Boston Blvd.  
Detroit, Michigan 48202

**PROJECT**

PRELIMINARY

Landscape Development  
**DEMOLITION PLAN**  
OVERALL

**SHEET TITLE**



**SCALE**

PROJECT NUMBER: 25112  
 DRAWN: B. Britt  
 CHECKED: P. Funke  
 DATE: February 17, 2026  
 REVISIONS:



BY: BIRPAC/DMA/EDD/8997/2024/02/08























# FRONT YARD

## Entry Walk



EXISTING



EXISTING



PROPOSED

Remove existing concrete entry walk and replace with new exposed aggregate concrete. Existing walkway footprint remains.

# FRONT YARD

## Masonry Staircases, Walls, & Piers



Existing masonry staircases, walls, & piers to remain. Wash and tuckpoint to clean up.

# FRONT YARD

## Entry Porch



Existing entry porch flatwork and walls to remain. Wash, tuckpoint, and replace missing pieces. Match with Buff Tayko natural stone.

# FRONT YARD

## Entry Plaza



Existing entry plaza flatwork and walls to remain. Wash, tuckpoint, and replace missing pieces. Match with Buff Tayko natural stone.

# FRONT YARD

## Ornamental Curb



Replace existing broken 4" full bull nose limestone curb with new 4" Indiana limestone full bull nose curb.

# FRONT YARD

## Gas Light Poles



Replace existing broken gas lanterns and replace with Bevolo gas lantern and pole. *See details on next page.*

# FRONT YARD

## Proposed Gas Light Poles

<b>BRACKET:</b>	NEW ORLEANS POST	<b>DATE:</b>	6-22-20	<b>REVISION:</b>	2
<b>LIGHT:</b>	BEVOLO GAS & ELECTRIC LIGHTS	<b>DRW BY:</b>	JJG	<b>APP BY:</b>	JJG
	N/A				

**FRONT VIEW**  
(NTS)

**BASE DETAIL**  
(NTS)

NOTE: POSTS ARE CAST. ACTUAL BASE DIMENSIONS AND LOCATIONS OF MOUNTING HOLES WILL VARY SLIGHTLY.

<b>SIZE:</b>	90"	114"
<b>A:</b>	90"	114"
<b>B:</b>	39"	63"
<b>C:</b>	47 1/4"	47 1/4"

Lantern post height (8'-6"), lantern size (36" x 20") – to match existing fixture size.

**FRONT VIEW**  
(NTS)

**SIDE VIEW**  
(NTS)

**NOTES:**

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/8"
3. ELECTRIC LIGHTS SUPPLIED WITH 1/2" WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH 4" GAS NIPPLE AND 1/2" IP x 1/2" GAS LINE ADAPTOR

**ISOMETRIC VIEW-POST MOUNT**  
(NTS-BRACKET ONLY)

**ISOMETRIC VIEW-COLUMN MOUNT ADAPTOR**  
(NTS-BRACKET ONLY)

<b>SIZE:</b>	29"	36"
<b>A:</b>	32"	40 1/4"
<b>B:</b>	15 1/2"	20 1/2"
<b>C:</b>	5"x5"	5"x5"
<b>D:</b>	3"	3"
<b>E:</b>	15 1/4"	18 1/4"
<b>F:</b>	13 1/2"	18 1/2"

<b>BEVOLO GAS &amp; ELECTRIC LIGHTS</b>		<b>DRW BY:</b>	JJG	COPYRIGHT 2020, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.
<b>LIGHT:</b>	SIX SIDED LONDON STREET	<b>DATE:</b>	6-22-20	
<b>BRACKET:</b>	POST MOUNT & COLUMN MOUNT	<b>APP BY:</b>	JJG	
		<b>REVISION:</b>	3	



# FRONT YARD

## Courtyard Walk



Wash and tuckpoint existing courtyard walkway and steps to clean up.

# FRONT YARD

## Driveway



Utilize existing brick and install on compacted aggregate base to address compaction issues. Widen to accept modern vehicles.

## FRONT YARD

### Side Entry Porch, Stairs, & Railing



Remove failing concrete porch and stairs. Install new concrete porch and stairs. Reset existing railing.

# REAR YARD

## Service Court



Utilize existing brick for front driveway.  
Pour new exposed aggregate concrete for service court.

# REAR YARD

## Service Court Wall



Re-construct & reinforce existing failing service court wall with Briar Hill Sandstone to match existing stone.

# REAR YARD

## Upper Terrace



Wash and tuckpoint existing upper terrace patio and steps to clean up. Replace missing pieces with matching Buff Tayko pavers.

# REAR YARD

## Transition Terrace



Maintain historic layout. Remove failing concrete pavers and brick pavers. Reinstall original Buff Tayko natural stone.

# REAR YARD

## Entertainment/Dining Terrace



EXISTING



EXISTING



PROPOSED

Remove failing concrete unit pavers. Install Buff Tayko natural stone in historic corridor.

# REAR YARD

## Pool & Spa

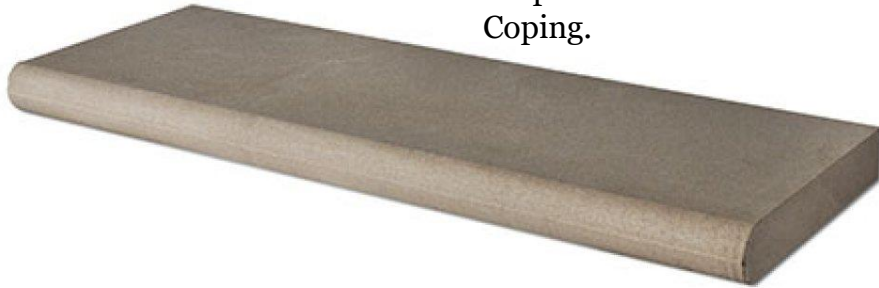


Install shotcrete construction pool & spa with Indiana Limestone coping, 6" waterline tile and pebble interior finish. Existing masonry wall to remain. *See details on next page.*

**REAR YARD**

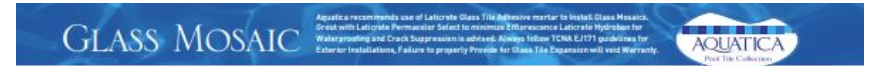
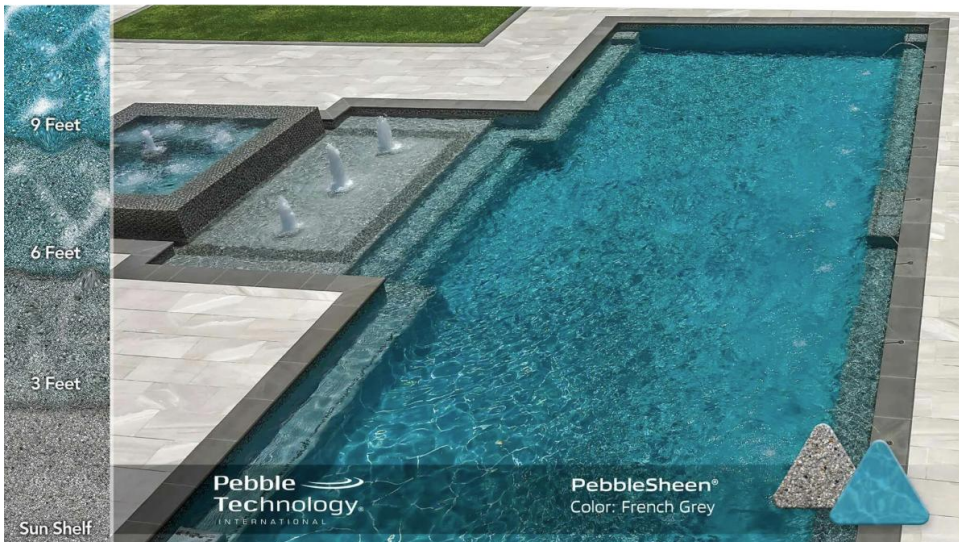
Pool & Spa

Proposed Indiana Limestone Coping.



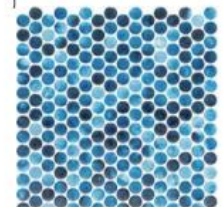
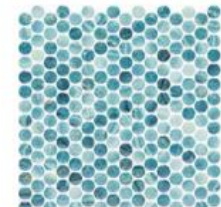
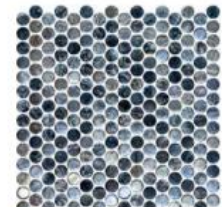
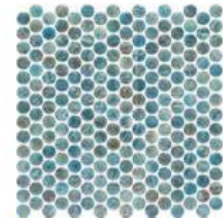
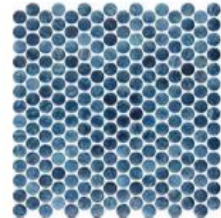
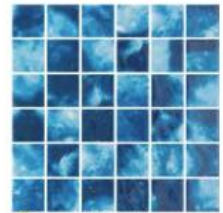
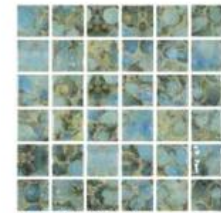
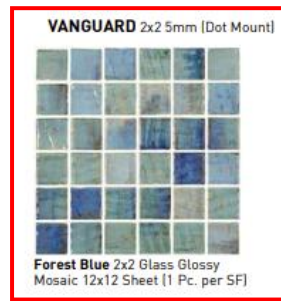
Proposed Pebbletec Interior Pool Finish – French Gray

French Grey Pool Finish  
PEBBLE SHEEN



Proposed Vanguard Forest Blue pool tile.

SINTERED



**Please Read – Important information regarding Vanguard:**  
This Artisan-edge glass mosaic is made with a variety of recycled glass pieces and may include irregular edges, rustic appearances, minimal imperfections or slight variations in sizing and squareness. These characteristics are inherent to this product due to the manufacturing process. The slight size or shape variations may affect the grout joint appearance, further enhancing the natural aspect of this product. Use constitutes acceptance.

www.aquatika.com

# REAR YARD

## Fountain



Restore and repair existing elements with new plumbing and submersible pump.

# REAR YARD

## Perimeter Fence



Weld and repair existing fence by bending and replacing broken pieces.

## REAR YARD

### Outdoor Kitchen

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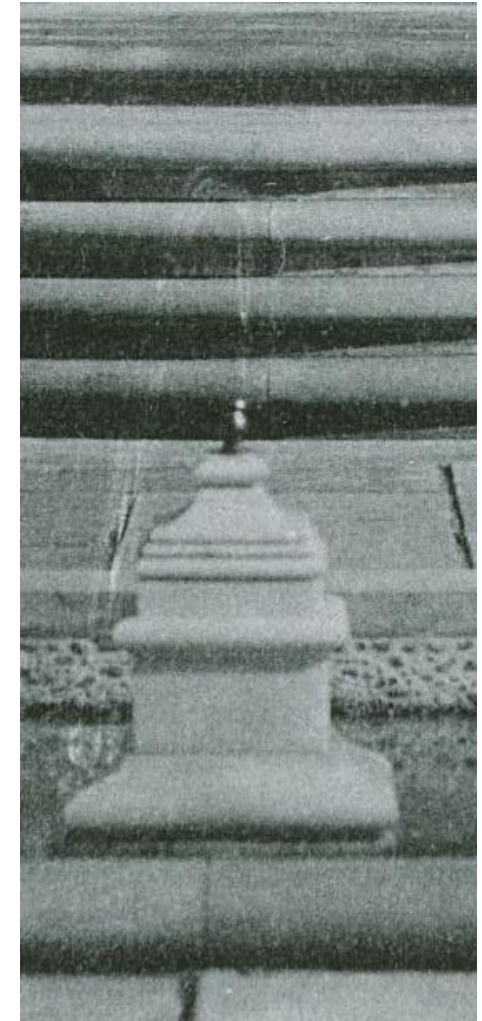
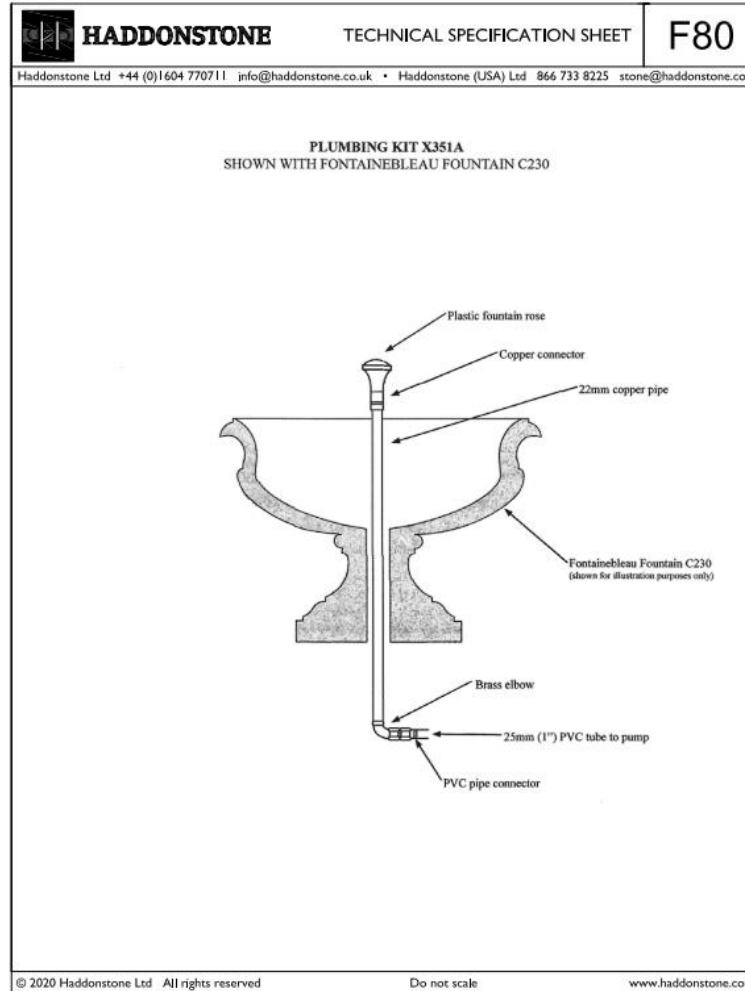
Replace failing outdoor kitchen with stainless steel exterior grade unit with new appliances (grill, ice maker, undercounter refrigerator.) 3cm Kodiak Black granite counter, leathered finish, standard edge finish. 8'-6" long x 30" wide.

# Water Features



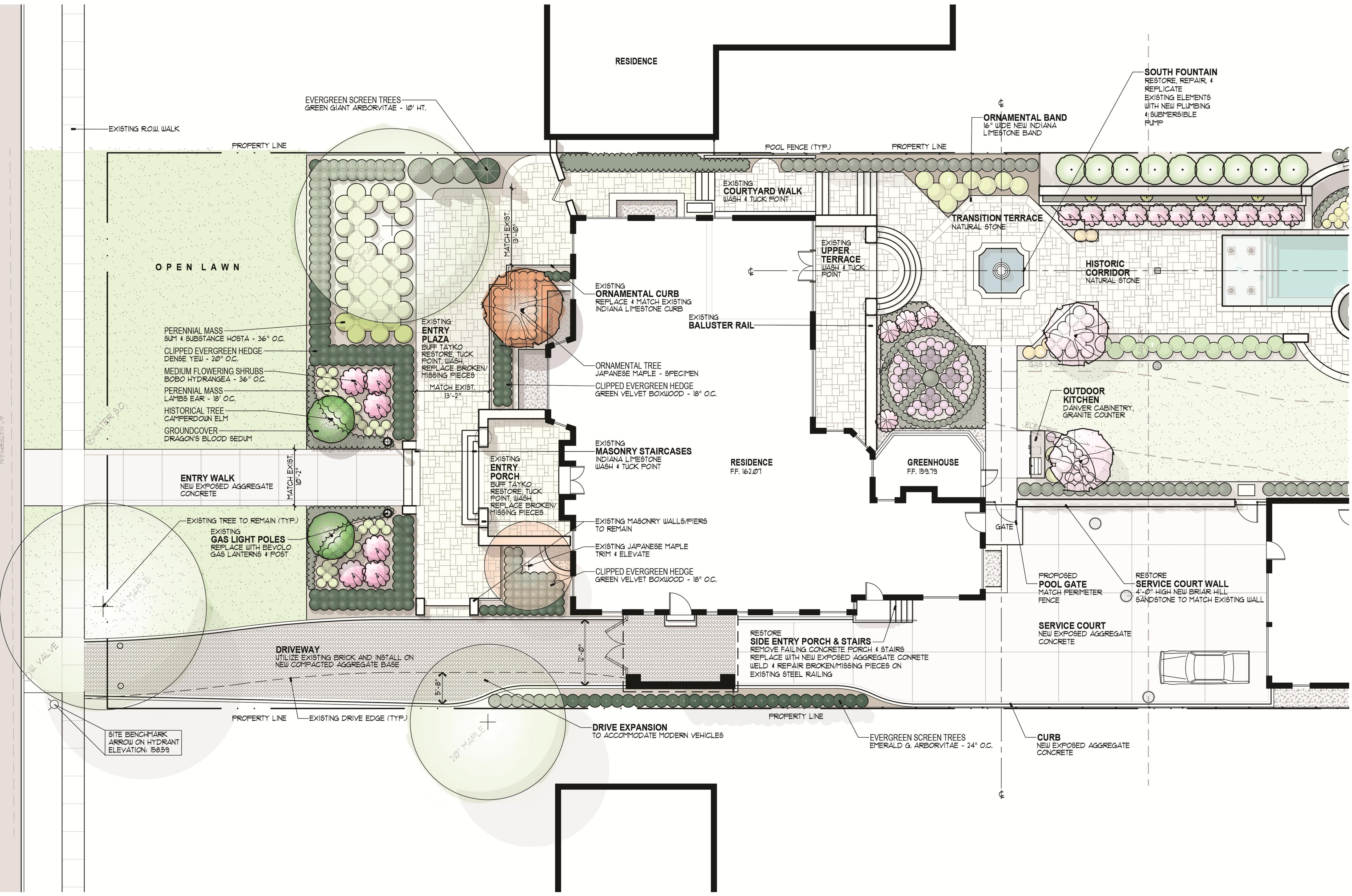
PROPOSED

Proposed Haddonstone  
Fontainebleau Fountain for North  
end water feature. 47” dia. top.  
Material: pre-cast concrete.



Historic water feature to be  
replicated with limestone for  
South end water feature.

W BOSTON BLVD  
6' WATERMAIN



EDWARD F. FISHER MANSION  
892 W. Boston Blvd.  
Detroit, Michigan 48202

**PROJECT**

PRELIMINARY

Landscape Development  
**SITE PLAN**  
FRONT YARD

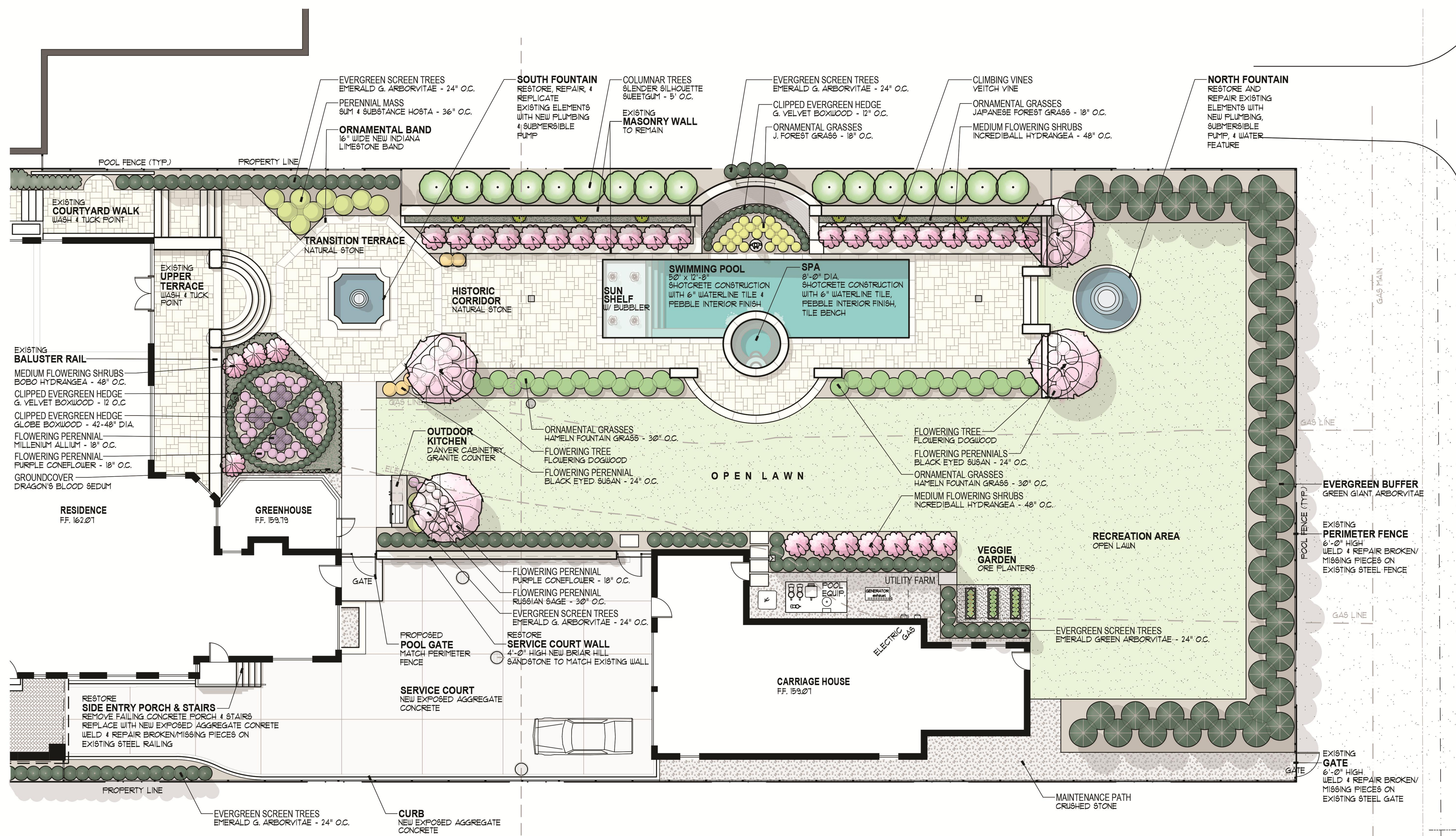
**SHEET TITLE**

1/8" = 1'-0"

**SCALE**



PROJECT NUMBER: 25112  
DRAWN: B. Britt  
CHECKED: P. Funke  
DATE: April 15, 2026  
REVISIONS:



EDWARD F. FISHER MANSION

892 W. Boston Blvd.  
Detroit, Michigan 48202

**PROJECT**

PRELIMINARY

Landscape Development

**SITE PLAN**  
REAR YARD

**SHEET TITLE**

1/8" = 1'-0"



**SCALE**

PROJECT NUMBER: 25112  
 DRAWN: B. Britt  
 CHECKED: P. Funke  
 DATE: February 17, 2026  
 REVISIONS: April 15, 2026

892 W. Boston Blvd., Detroit, MI 48202

## **SCOPE OF WORK**

### **Fountain Restoration:**

This project focuses on the restoration of two existing decorative concrete fountains. Work includes draining, cleaning, repairing cracked concrete surfaces, restoring waterproof integrity, replacing the existing submersible pump and plumbing systems, and returning both fountains to full operational condition.

All work will be performed in accordance with manufacturer specifications, applicable building and electrical codes, and any municipal requirements.

The existing fountains are concrete basins with non-historic water features controlled by a submersible pump. Deficiencies include cracked basin wall/floor, aged/non-functional submersible pump, deteriorated sealant at select joints and penetrations, failing non-historic water features.

The proposed repair will be completed by routing/widening cracks to create a clean bonding surface, fill with a polymer-modified cement mortar repair NSF-rated for submerged conditions, apply crystalline waterproofing system rated for constant water immersion (coating applied per manufacturer's thickness and curing requirements), install proposed water feature and submersible pump, pump connection to be performed by licensed electrician with watertight conduit fittings and junction boxes.

Materials proposed: polymer-modified cement mortar, waterproof coating, submersible fountain pump, water feature, pebble interior finish, flexible polyurethane sealant for electrical connections.

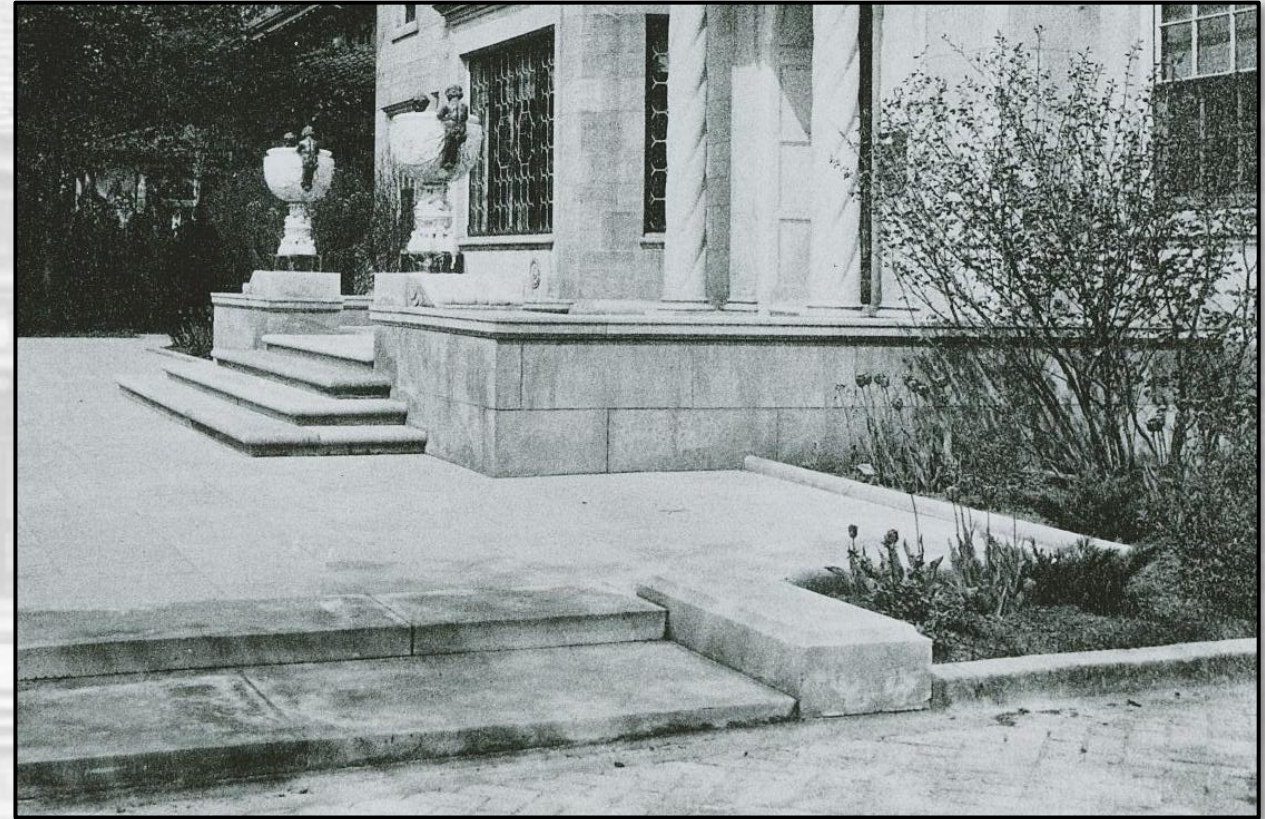
# Edward Fisher Mansion Restoration Project

892 W. Boston Boulevard, Detroit, Michigan, was built in 1923 and designed by architect Richard H. Marr and landscape architect Bryant Flemming. This historic property has endured both the effects of time and unpermitted alterations made in the 1990's by the previous homeowner, which introduced non-historic materials and design decisions that detracted from its original character. Many of the property's remaining historic features have also suffered from decades of weathering and deferred maintenance, leaving them in a deteriorated condition. The current homeowner's goal is to respectfully restore the property to its original vision while incorporating carefully considered modern improvements, ensuring this important home can once again thrive as a place of beauty, function, and enjoyment for the family for years to come.

## Driveway Curb



Existing driveway curb failing. Over the years it has been patched in numerous locations at the wrong elevation leaving this element in disrepair.



# Driveway



Existing driveway has cracked/broken pieces. The driveway subbase is failing due to compaction from vehicles over the years creating rutting.



## Entry walk



Entry walk is not historic. Work done in the 90's included removing the original concrete walk and installing a died concrete with pieces of natural stone integrated into the flatwork. According to historical images, the width is the same.



## Entry Plaza



Entry Plaza contains original natural stone paving. Areas have been patched with concrete, and the subbase is failing resulting in drainage pitching back towards the house.



## Entry Porch



Entry Porch contains original natural stone paving with concrete patches.



# West Side



West side is completely original.



## Driveway wall



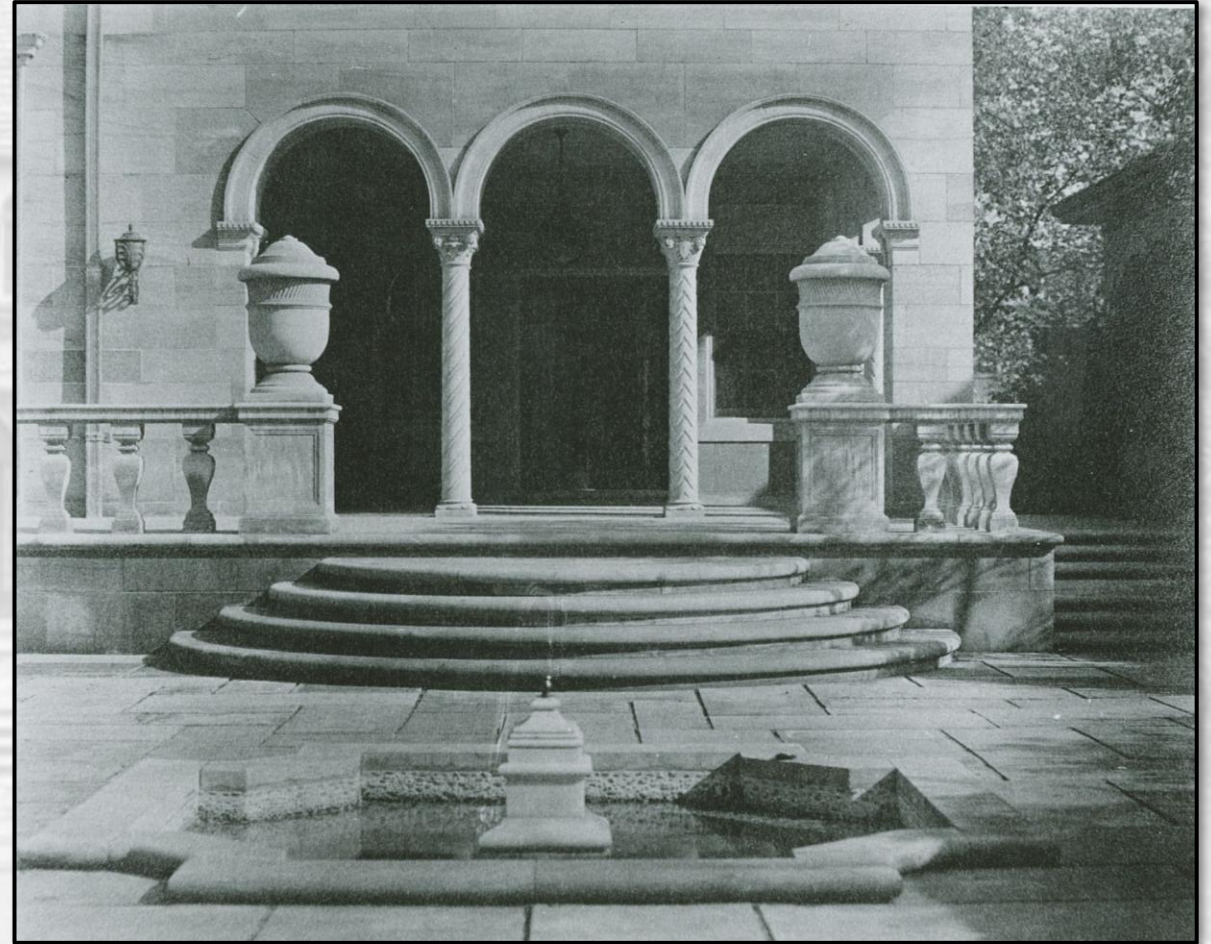
Driveway wall is not historic and replaced greenhouse. Historic materials were not used, and the wall is currently failing.



# Upper terrace



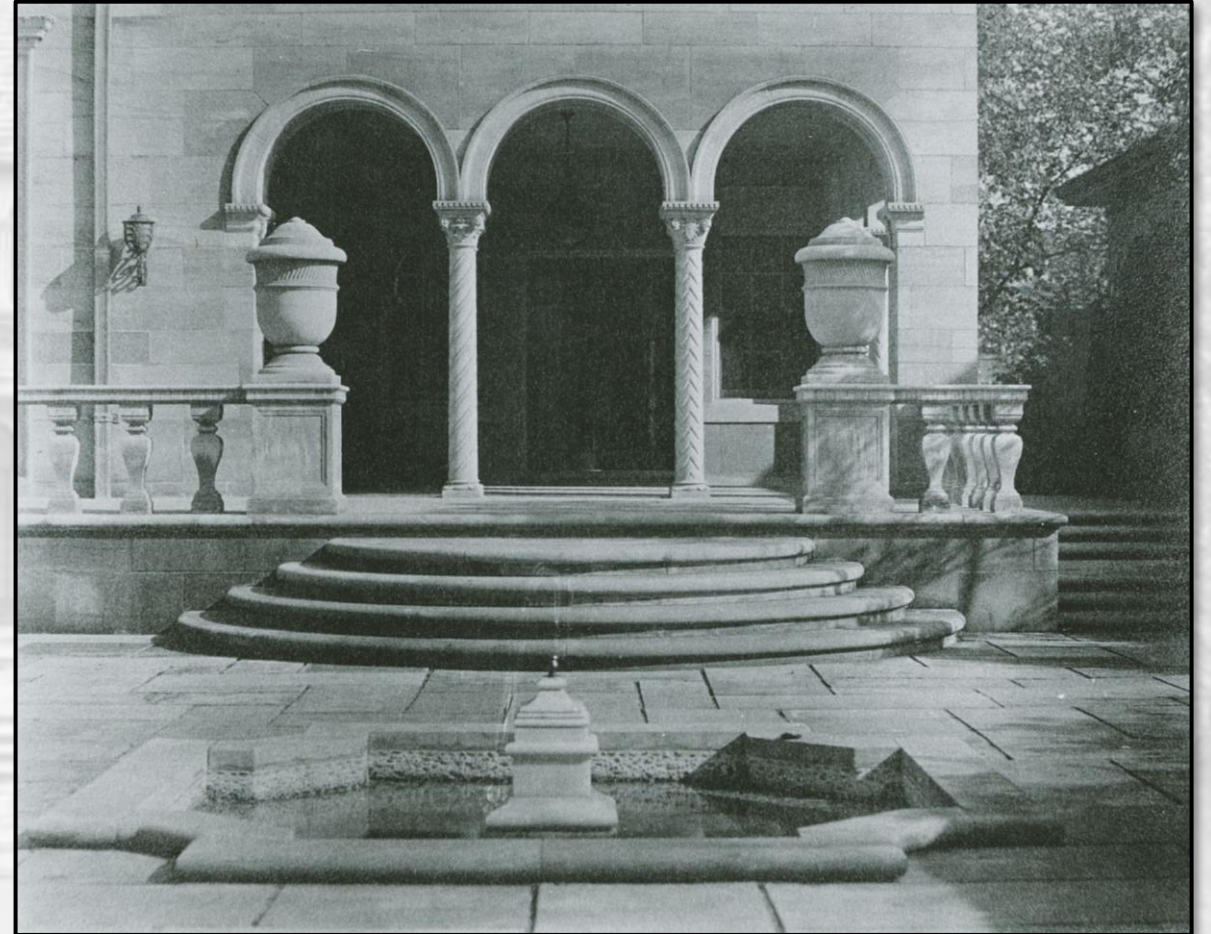
Upper terrace and staircase is original. There are some pieces that broke and replaced with concrete in flatwork areas.



## Transition Terrace



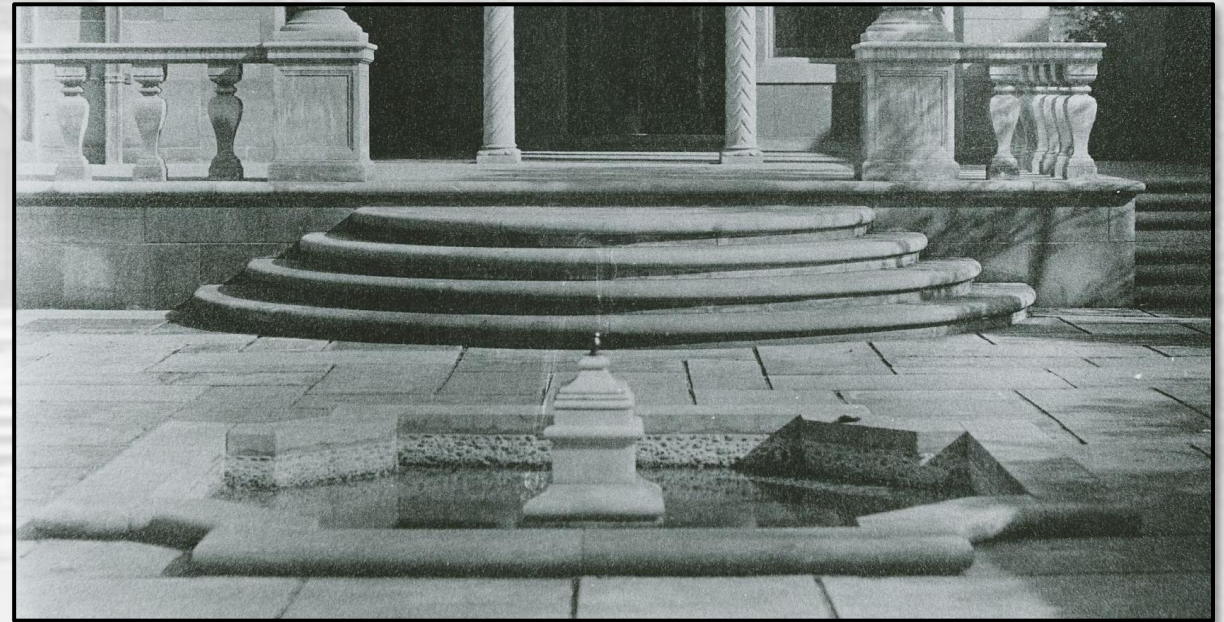
Transition Terrace is not original and replaced with concrete unit pavers in the 90's. The non-historic flatwork is failing.



## South Fountain



South Fountain feature is not original, and existing basin is in disrepair.



# North Fountain



North Fountain base is historic. The bowl is not historic. The basin is in disrepair.



## Fountain Corridor



The Fountain Corridor is not original and replaced with concrete unit pavers during work in the 90's. The wall on the left is historic and original.



## Perimeter Fence



The perimeter fence is original and historic. Currently, sections of the fence are bent and broken due to fallen trees and damage throughout the years.



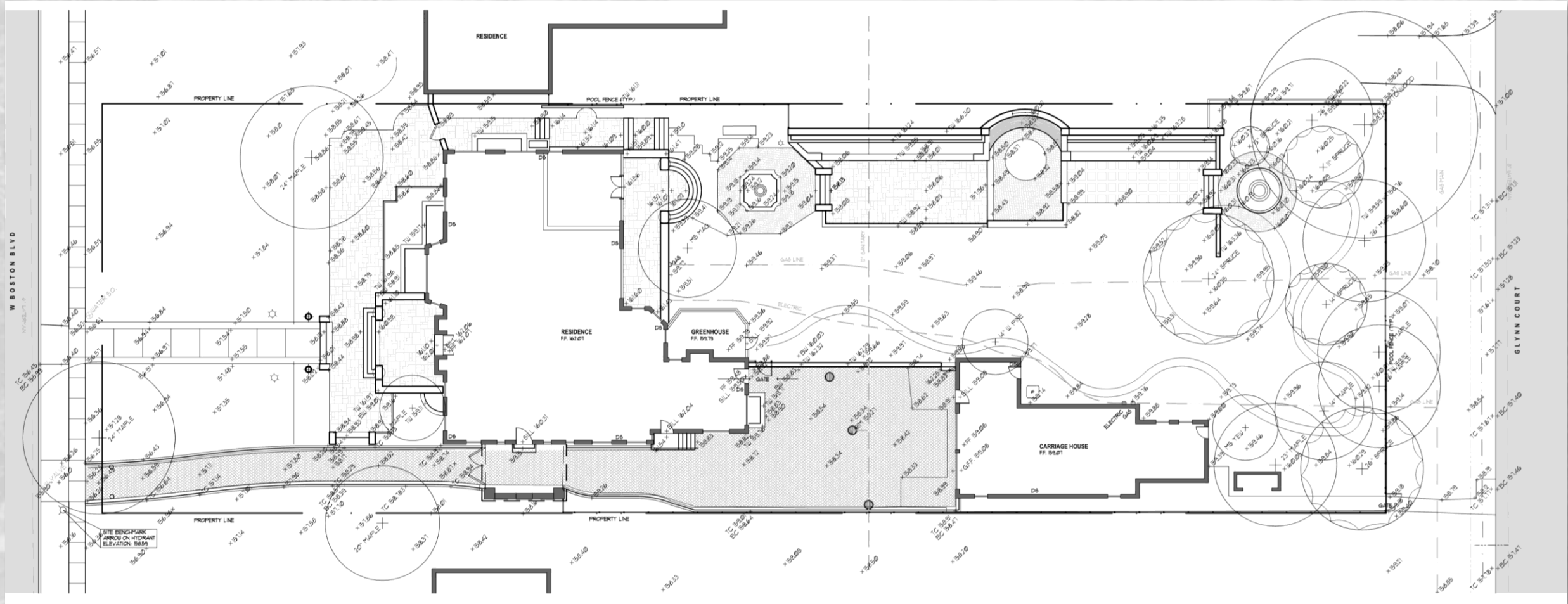
## Side Porch



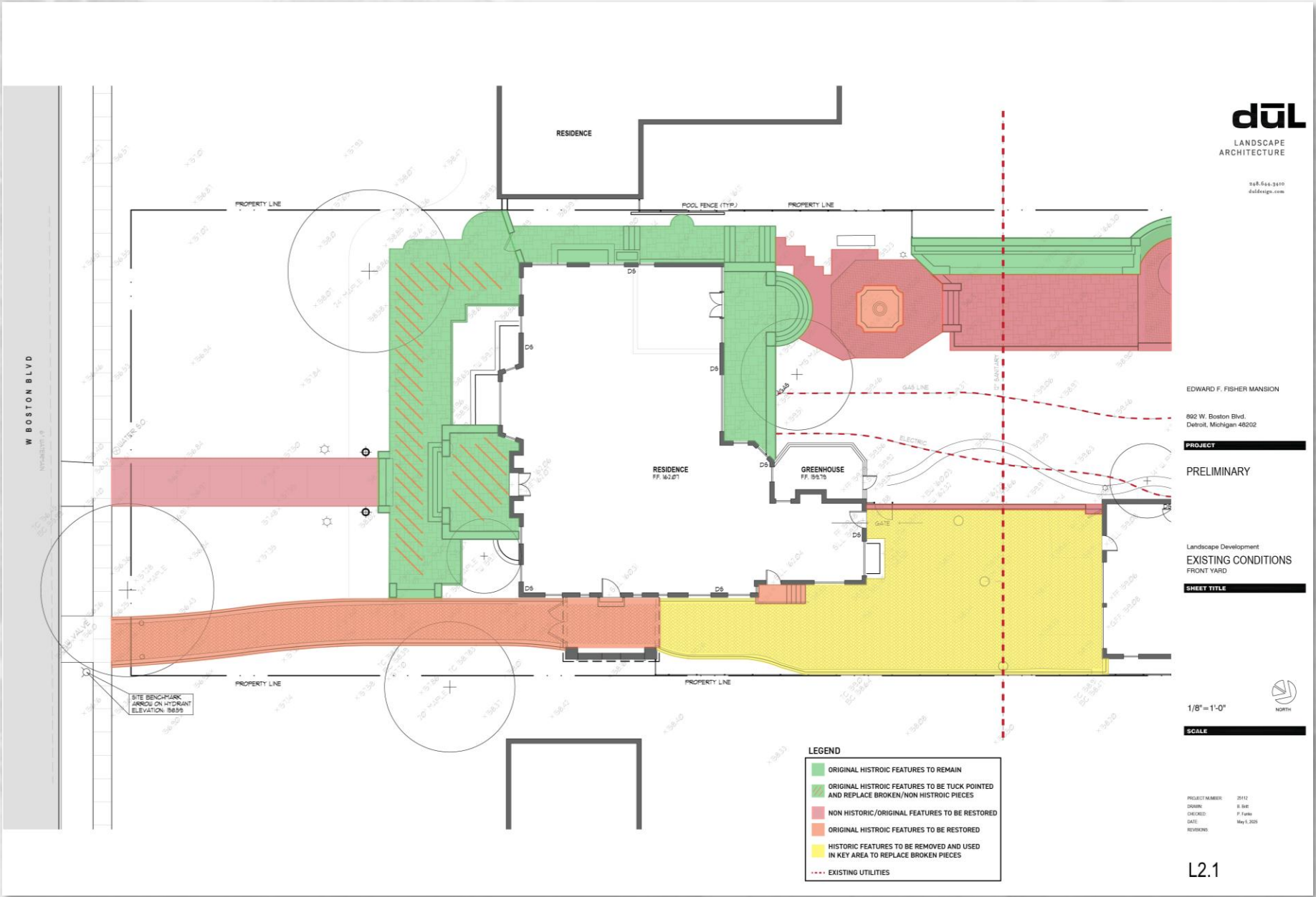
The side porch and railing is historic. The concrete cap on the porch and steps is failing and in disrepair.

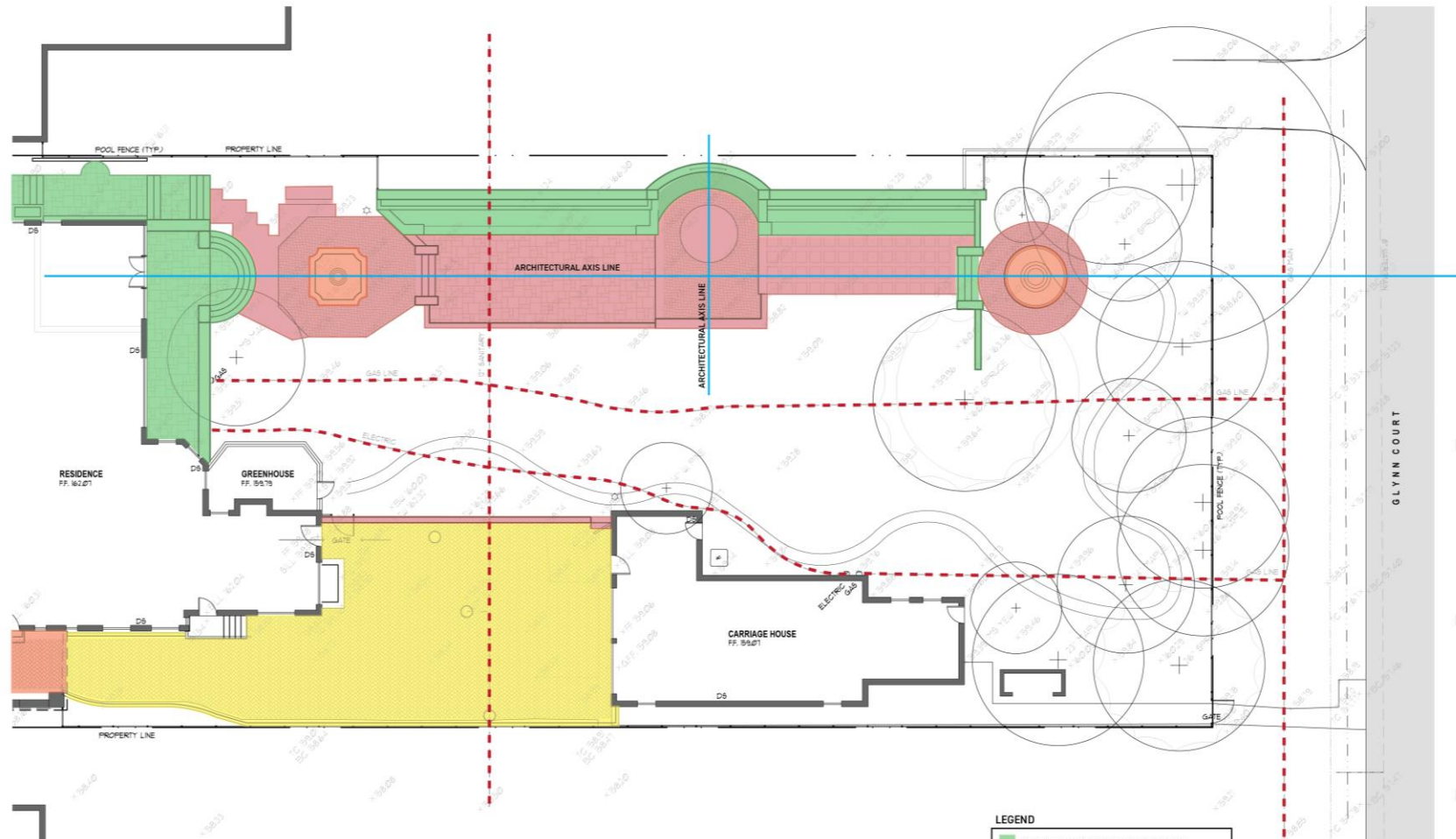


# EXISTING CONDITIONS - Overall



# Inventory & Analysis - Front





- LEGEND**
- ORIGINAL HISTORIC FEATURES TO REMAIN
  - ORIGINAL HISTORIC FEATURES TO BE TUCK POINTED AND REPLACE BROKEN/NON HISTORIC PIECES
  - NON HISTORIC/ORIGINAL FEATURES TO BE RESTORED
  - ORIGINAL HISTORIC FEATURES TO BE RESTORED
  - HISTORIC FEATURES TO BE REMOVED AND USED IN KEY AREA TO REPLACE BROKEN PIECES
  - EXISTING UTILITIES



248.666.9410  
d@ulandscape.com

EDWARD F. FISHER MANSION

892 W. Boston Blvd.  
Detroit, Michigan 48202

**PROJECT**

PRELIMINARY

Landscape Development  
**EXISTING CONDITIONS**  
REAR YARD

**SHEET TITLE**

1/8" = 1'-0"



**SCALE**

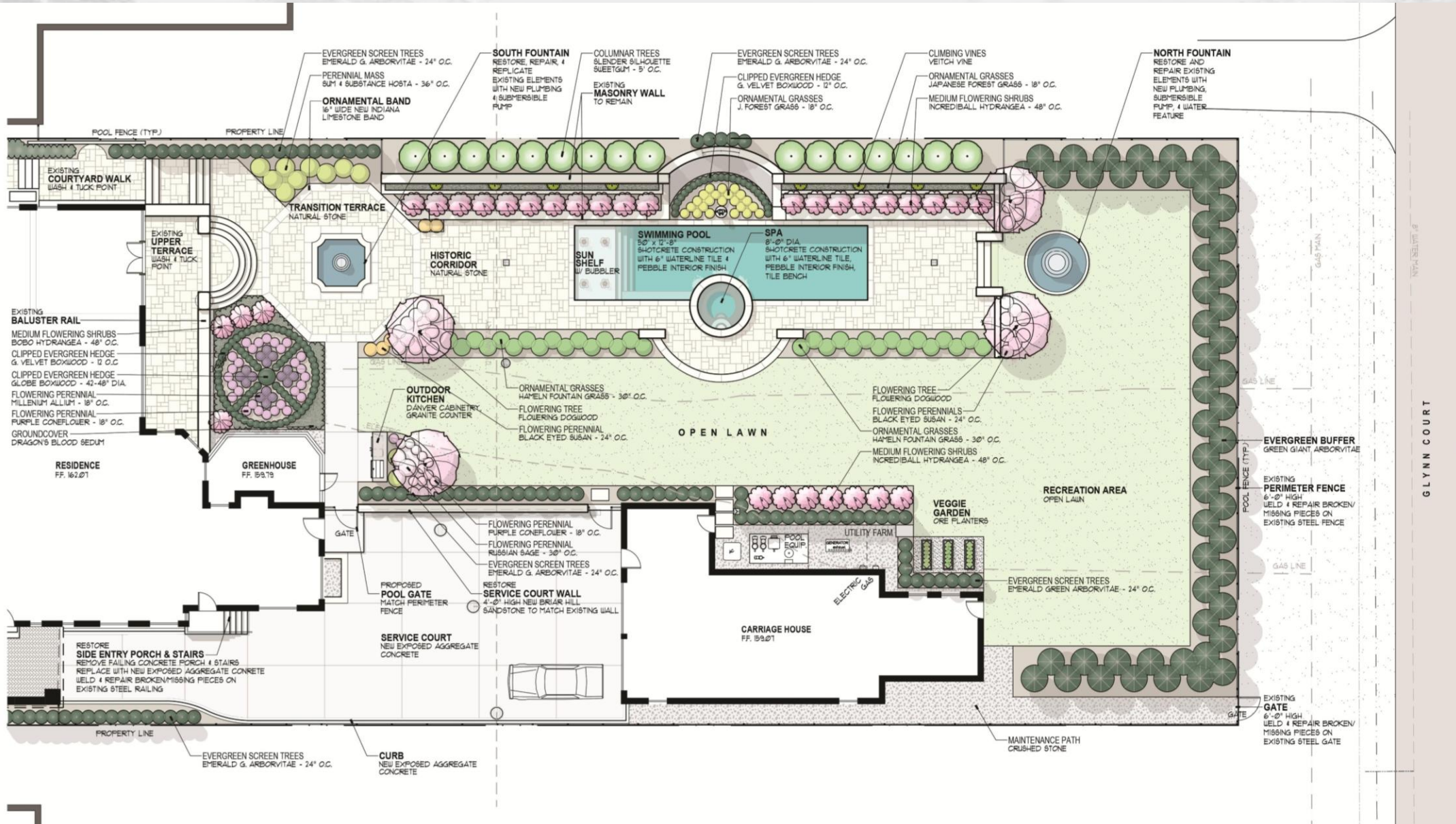
PROJECT NUMBER: 2012  
DRAWN: S. Bell  
CHECKED: P. Fuchs  
DATE: May 1, 2020  
WORKING:

L2.2

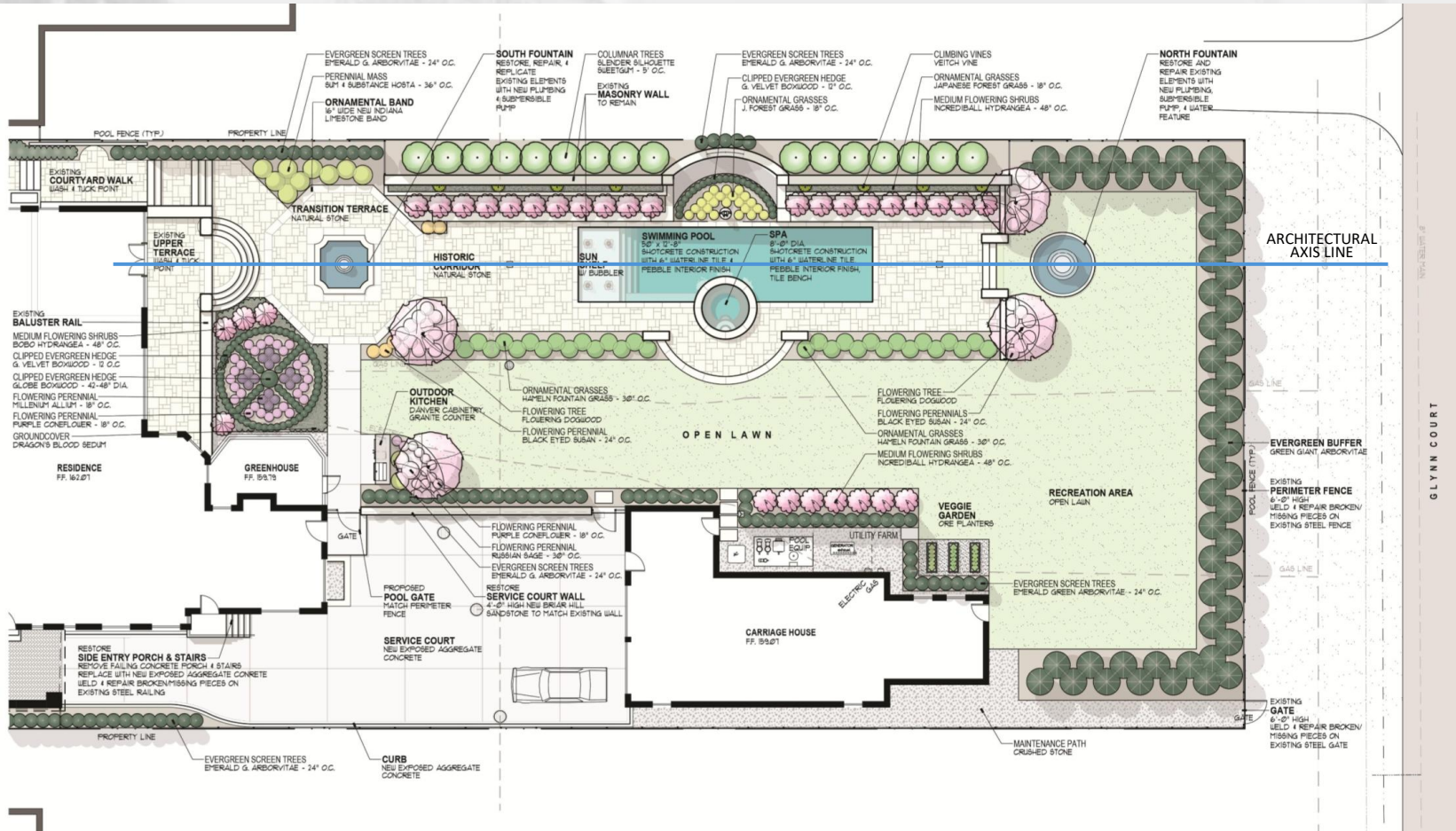




# Proposed Site Plan - Rear



# Proposed Site Plan - Rear



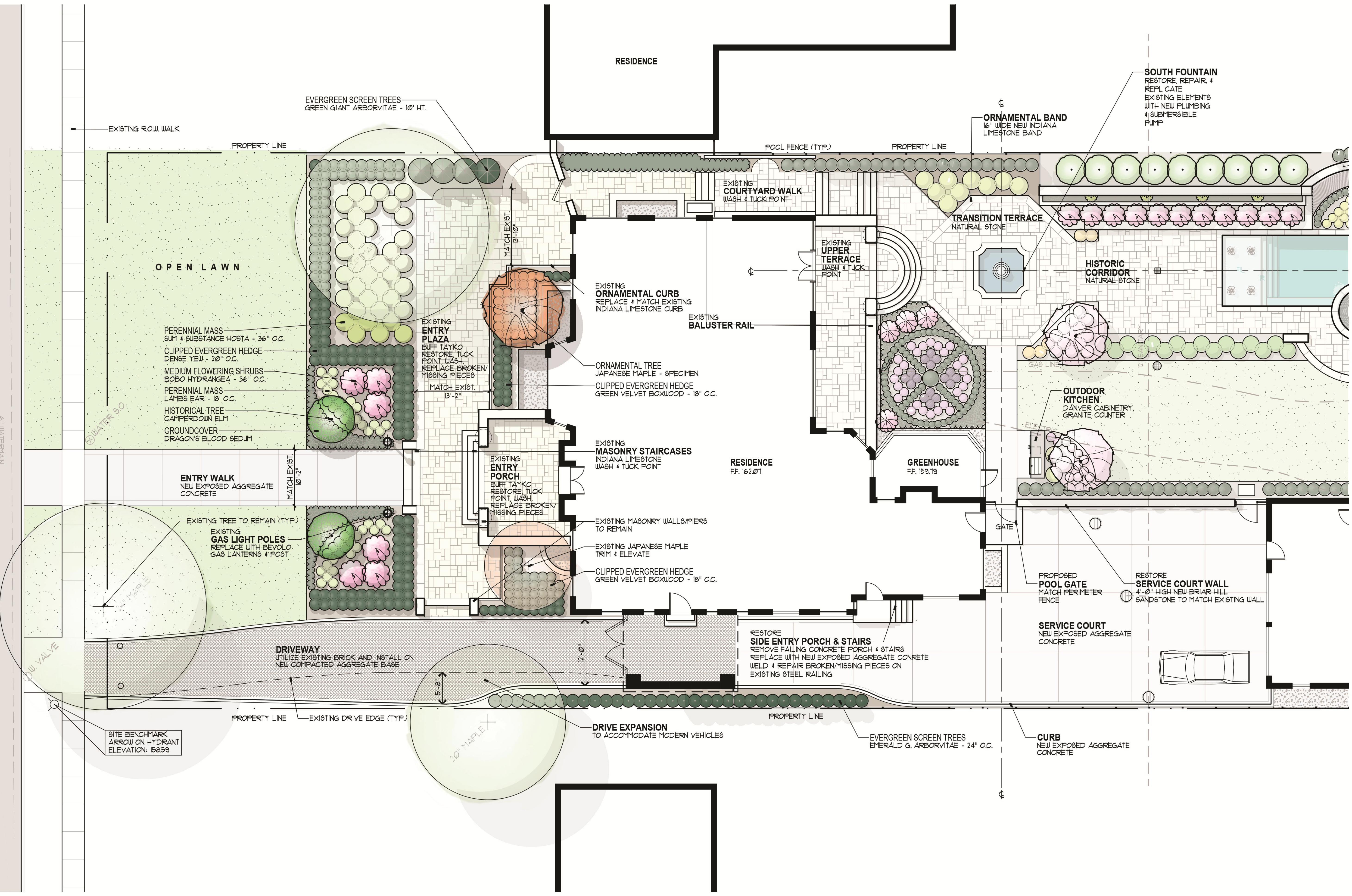
The proposed pool location was carefully selected to respect and reinforce the property's original historic site organization and design intent. Its placement aligns with the established north and south fountain axis and responds directly to the historic wall on the west side of the property, which originally functioned as a prominent water feature.

Historically, this area was conceived as linear corridor organized around the fountain axis, drawing attention to the long fountain wall within a depressed landscape setting. The proposed pool preserves that important spatial depression while reintroducing water as a defining element of the corridor, thereby restoring and supporting the original character of the space.

By contrast, locating the pool on the east side of the rear property would conflict with existing underground utilities, making that area less feasible from a practical standpoint. More importantly, such a location would diminish the historical focal relationship between the corridor and the linear fountain wall, pulling the primary water feature away from its intended architectural and landscape context.

For these reasons, the proposed location represents the most appropriate solution as it both responds to existing site constraints and preserves the historic design framework that originally defined this landscape.

W BOSTON BLVD  
6' WATERMAIN



EDWARD F. FISHER MANSION  
892 W. Boston Blvd.  
Detroit, Michigan 48202

**PROJECT**

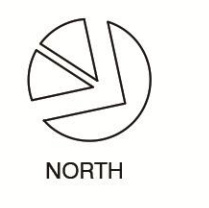
PRELIMINARY

Landscape Development  
**SITE PLAN**  
FRONT YARD

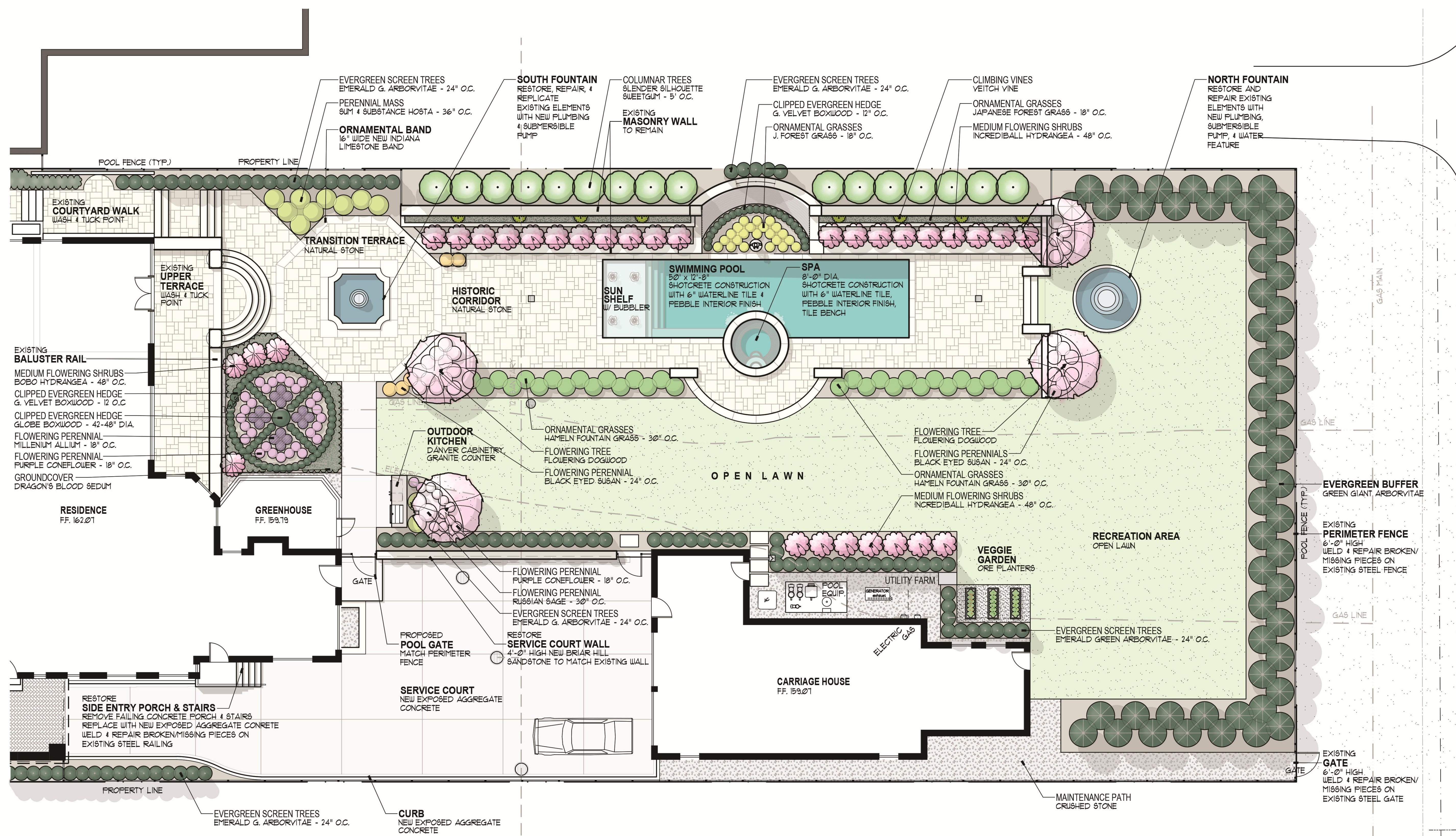
**SHEET TITLE**

1/8" = 1'-0"

**SCALE**



PROJECT NUMBER: 25112  
DRAWN: B. Britt  
CHECKED: P. Funke  
DATE: April 15, 2026  
REVISIONS:



EDWARD F. FISHER MANSION

892 W. Boston Blvd.  
Detroit, Michigan 48202

**PROJECT**

PRELIMINARY

Landscape Development

**SITE PLAN**  
REAR YARD

**SHEET TITLE**

1/8" = 1'-0"

**SCALE**



PROJECT NUMBER: 25112  
 DRAWN: B. Britt  
 CHECKED: P. Funke  
 DATE: February 17, 2026  
 REVISIONS: April 15, 2026