

SITE PLAN KEY NOTES

- 501 LOCATION OF EXISTING PRIMARY STRUCTURE ELECTRICAL METER SUPPLIED BY UNDERGROUND SERVICE LINE.
- 502 NEW UNDERGROUND ELECTRICAL SUPPLY TO 150-AMP SERVICE PANEL IN ACCESSORY STRUCTURE. CONTRACTOR IS TO COORDINATE WITH UTILITY PROVIDER TO SIZE/LOCATE/CONNECT SERVICE LINES PER APPLICABLE CODES.
- 503 NEW WATER SERVICE LINE CONNECTED FROM PRIMARY STRUCTURE. CONTRACTOR IS TO COORDINATE WITH UTILITY PROVIDER (DWS) TO SIZE/LOCATE/CONNECT SERVICE LINES PER APPLICABLE CODES.
- 504 EXISTING SANITARY LEAD FROM PRIMARY STRUCTURE
- 505 NEW DRAIN AND CLEAN-OUT CONNECTED TO EXISTING SANITARY LEAD
- 506 REMOVE EXISTING CONCRETE DRIVEWAY AND PARKING PAD
- 507 INSTALL 6" CONCRETE (3000 psi) FLATWORK WALKWAYS/DRIVEWAY AT INDICATED WIDTHS. COORDINATE ELEVATION OF WALKWAYS WITH FINAL GRADE AND SLOPE. FLATWORK (1/4" : 1'-0" MAX.) TO PUBLIC RIGHT-OF-WAY WHERE POSSIBLE.
- 508 LOCATION OF HVAC HEAT PUMP CONDENSER(S). HVAC CONTRACTOR TO SPECIFY SIZE, LOCATION, AND INSTALL OVER LEVEL 6" CONCRETE PAD.
- 509 EXISTING RETAINING WALL CURB
- 510 OWNER TO COORDINATE SITE LANDSCAPING

SITE SYMBOLS

- PROPERTY BOUNDARY
- S-S- SANITARY SEWER LINE
- W-W- WATER SERVICE LINE
- G-G- GAS SERVICE LINE
- E-E- UNDERGROUND ELECTRICAL SERVICE
- EXISTING FENCE
- EXISTING CONCRETE FLATWORK TO BE REMOVED
- EXISTING TREE / LANDSCAPING

GENERAL SITE NOTES

1. THIS SITE AND BUILDING PLAN ARE DIAGRAMMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR. THE CONTRACTOR SHALL HAVE THE LAND SURVEYOR SET ANY PROPERTY CORNERS PLANNED TO BE DISTURBED BY THE CONSTRUCTION OF THE PROJECT.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. THE GENERAL CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT EXISTING UNDERGROUND UTILITIES NOT SCHEDULED FOR DEMOLITION (WHETHER SHOWN ON THE PLANS OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL CONTACT MISS DIG TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE/SHE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.
6. EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES, AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED OR CAUSE INJURY TO WORKERS.
7. THE CONTRACTOR SHALL FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILL OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY. ALL EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED.
8. TEMPORARY EROSION CONTROL MEASURES SHALL BE PROVIDED DURING CONSTRUCTION. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL CONTACT THE CITY OF DETROIT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL CONTACT THE LOCAL INSPECTOR PRIOR TO ANY STREET CUT. ANY STREET PATCHING SHALL BE DONE IN CONFORMANCE WITH MUNICIPAL DESIGN CRITERIA TO CREATE SEAMLESS TRANSITIONS TO ANY EXISTING ELEVATIONS AND SLOPES TO REMAIN. ALL EXISTING SIDEWALKS, CURBS, GUTTERS, OR ALLEY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
11. EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE AND PROTECTED WHERE REQUIRED TO PREVENT UNDO DAMAGE. PATCH, REPAIR AND REPLACE ANY PAVED AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESSES. ALL WORK SHALL BE PERFORMED TO REPLACE DAMAGED OR MISSING ALLEY PAVING TO THE EXISTING OR BETTER CONDITION THAN ORIGINALLY ENCOUNTERED, IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION, CITY OF DETROIT DEPARTMENT OF TRANSPORTATION OR ANY OTHER APPLICABLE LOCAL, STATE OR FEDERAL DESIGN CRITERIA.
12. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE THE CONSTRUCTION. DRAINAGE DITCHES OR WATER COURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS SECTIONS THAT EXISTED BEFORE CONSTRUCTION.
13. THE CONTRACTOR SHALL NOTIFY THE DPW AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER, WATER SERVICES, OR ABANDONING EXISTING SEWER OR WATER SERVICE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING, OR ANY OTHER ENVIRONMENTAL TESTING THAT MAY BE REQUIRED TO PERFORM THE WORK.
15. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING LOT STAKING AND CONSTRUCTION STAKING. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO ASSURE THE SURVEYOR IS GIVEN ADEQUATE NOTICE AND INSTRUCTION IN ORDER TO COMPLETE THE SURVEY REQUIREMENTS OF THE WORK.
16. WHEN DISCHARGING GROUNDWATER, ALL DE-WATERING METHODS SHALL BE IN CONFORMANCE WITH ALL LAWS AND REGULATIONS OF THE STATE. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM THE WORK.
17. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.

1 SITE PLAN
SCALE: 1/8"=1'-0"



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4/20/26	HDC REVIEW

SITE PLAN

A1.0

DESIGN LOADS

THIS BUILDING HAS BEEN DESIGNED TO CONFORM TO THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE

ROOF LOADS:
A. DEAD LOAD: 20 PSF
B. LIVE LOAD: 20 PSF

WIND LOADS:
A. OCCUPANCY CATEGORY: II
B. BASIC WIND SPEED: V = 115 MPH
C. IMPORTANCE FACTOR: $I_w = 1.00$
D. EXPOSURE: B
E. INTERNAL PRESSURE: 0.18

SNOW LOADS:
A. GROUND SNOW: $P_g = 25$ PSF
B. FLAT ROOF SNOW: $P_f = 12.6$ PSF
C. EXPOSURE FACTOR: 1.0
D. IMPORTANCE FACTOR: 1.00
E. THERMAL FACTOR: 1.00

SYMBOLS

- WALL PARTITION
- CMU BLOCK WALL
- FIRE-RATED WALL ASSEMBLY (CONFORM WITH UL 263 OR ASTM E119)
- JOIST/RAFTER SPAN DIRECTION
- BEAM
- HEADER

STRUCTURAL GENERAL NOTES

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE PHYSICAL CONDITIONS, CONTACT THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO THE ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND ASTM STANDARDS AND SPECIFICATIONS.
3. PROJECT DRAWINGS INDICATE GENERAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED.
4. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF ALL OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
5. THE CONTRACTOR AND HIS ENGINEER ARE RESPONSIBLE FOR THE DESIGN AND PROPER INSTALLATION OF ALL TEMPORARY BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT
6. LOADING APPLIED TO THE STRUCTURE DURING CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS.
8. FOUNDATIONS AND FOOTINGS HAVE BEEN DESIGNED BASED ON A MINIMUM SOIL CAPACITY OF 3000 PSF.
9. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING PROPERTIES: $F_b = 2600$ psi, $F_v = 285$ psi, $E = 2,000,000$ psi
10. STUDS SHALL BE SPF #1/#2 STUD (WVPA) OR BETTER GRADE, AT MAX. 19% MOISTURE CONTENT.
11. STRUCTURAL DIMENSIONAL LUMBER SUCH AS HEADERS SHALL BE MIN. OF #2 HEM FIR AT MAX. 19% MOISTURE CONTENT.
12. WOOD FASTENING SHALL BE PER TABLE 2304.10.1 MBC 2015, UNLESS NOTED MORE CONSERVATIVE ON DRAWINGS.
13. WALL SHEATHING SHALL BE NAILED @ 6" O.C. AT EDGE AND FIELD AND BLOCKED.
14. STUDS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING UNLESS METAL OR WOOD SIDE PIECES ARE PROVIDED TO STRENGTHEN THE MEMBER.
15. ALL LUMBER AT OR BELOW GRADE, OR EXPOSED TO THE WEATHER, SHALL BE PRESSURE-TREATED TO A MIN. OF 0.40 POUNDS PER CUBIC FOOT RETENTION WITH AMMONIACAL COPPER ARSENETATE (ACA) OR EQUAL TREATMENT.
16. ALL MULTI-PLY BEAMS SHALL BE NAILED WITH TWO ROWS OF 16D NAILS AT 12" O.C. STAGGERED WITH PL PREMIUM CONSTRUCTION ADHESIVE INSTALLED BETWEEN MEMBERS.
17. AT EACH WALL OPENING, ADD ONE HALF THE TOTAL NUMBER OF STUDS DISPLACED TO EACH SIDE OF THE OPENING (FULL HEIGHT) AND ADD (2) 2x JACK STUDS BELOW THE HEADER AT THE BEARING ENDS.
18. AT ALL INTERIOR LOAD BEARING WALLS OVER 8'-0" IN HEIGHT, PROVIDE ONE ROW OF WOOD BLOCKING AT MID-HEIGHT OF STUDS.
19. POSTS AND JACK STUDS SHALL EXTEND DOWN CONTINUOUSLY TO THE FOUNDATION WALL UNLESS INTERRUPTED BY A BEAM OR JACK STUDS. AT ALL JACK STUD AND POST LOCATIONS, PROVIDE MATCHING BLOCKING STUDS BELOW FIRST FLOOR SHEATHING DOWN TO FOUNDATION WALL OR BEAM.

GENERAL PLAN NOTES

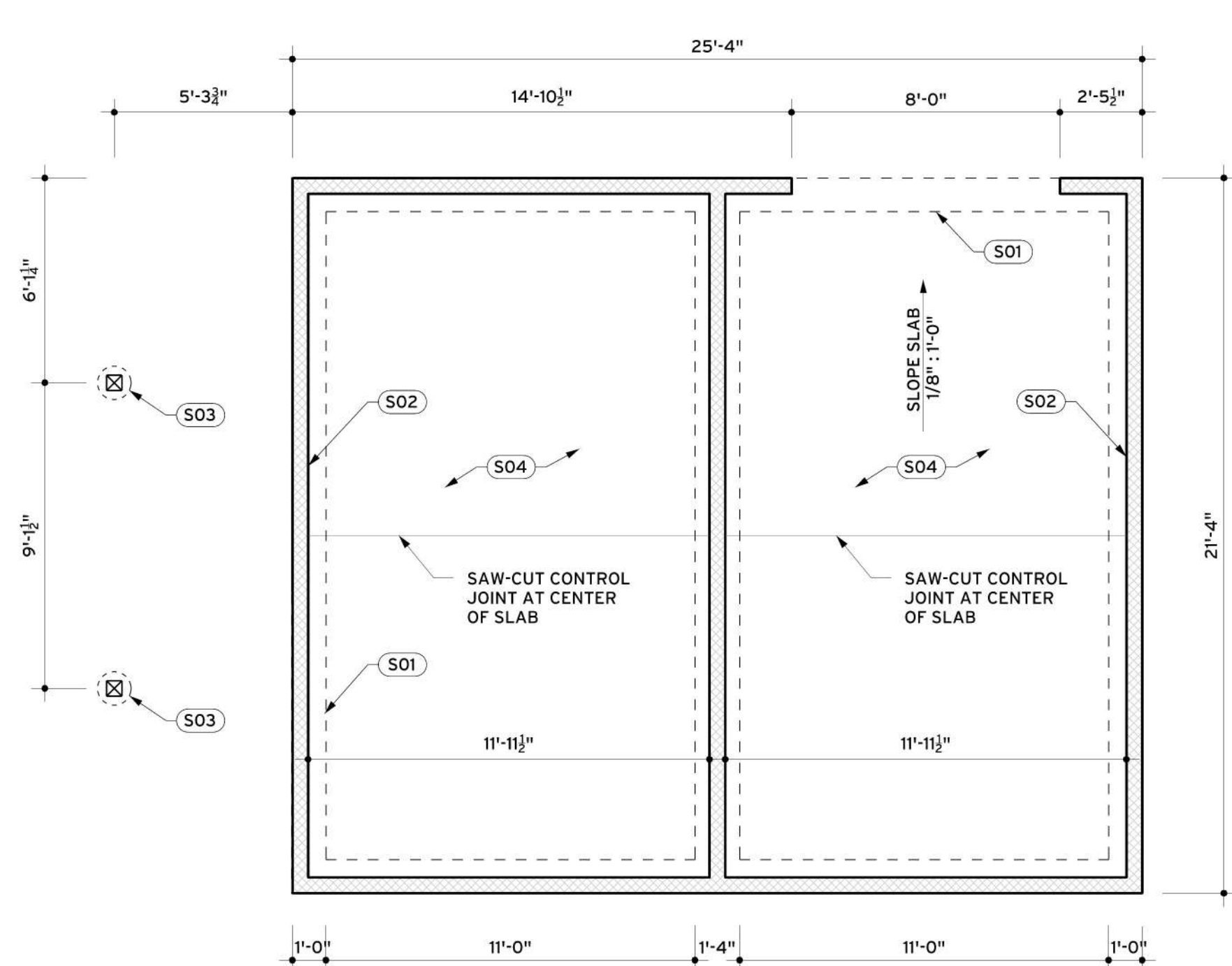
1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE PHYSICAL CONDITIONS, CONTACT THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO THE ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND ASTM STANDARDS AND SPECIFICATIONS.
3. ALL EXTERIOR DIMENSIONS TO OPENINGS ARE MEASURED TO THE OUTER FACE OF WALL ASSEMBLY COMPONENTS.
4. ALL INTERIOR DIMENSIONS ARE MEASURED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED.
5. ALL NEW INTERIOR WALL PARTITIONS ARE TO BE TYPE 'A1' / A1 UNLESS NOTED OTHERWISE.
6. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES.
7. FIRE-SEAL/FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AND WALL ASSEMBLIES PER APPLICABLE BUILDING CODE.
8. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A COLD ZONE ARE TO RECEIVE A MINIMUM OF R-21 INSULATION PER CODE.
9. PROJECT DRAWINGS INDICATE GENERAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED.
10. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR ALL MATERIALS
11. ALL LOCATIONS OF CEMENTITIOUS BACKER BOARD ARE TO BE COORDINATED BY THE CONTRACTOR AND SCHEDULED CONSTRUCTION ASSEMBLIES. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO CONSTRUCTION ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND SPECIFICATIONS.
12. FRAMING CONTRACTOR IS TO PROVIDE BLOCKING WHERE REQUIRED FOR MILLWORK, EQUIPMENT, OR OTHER FINISHES AND ACCESSORIES.

PLAN KEY NOTES

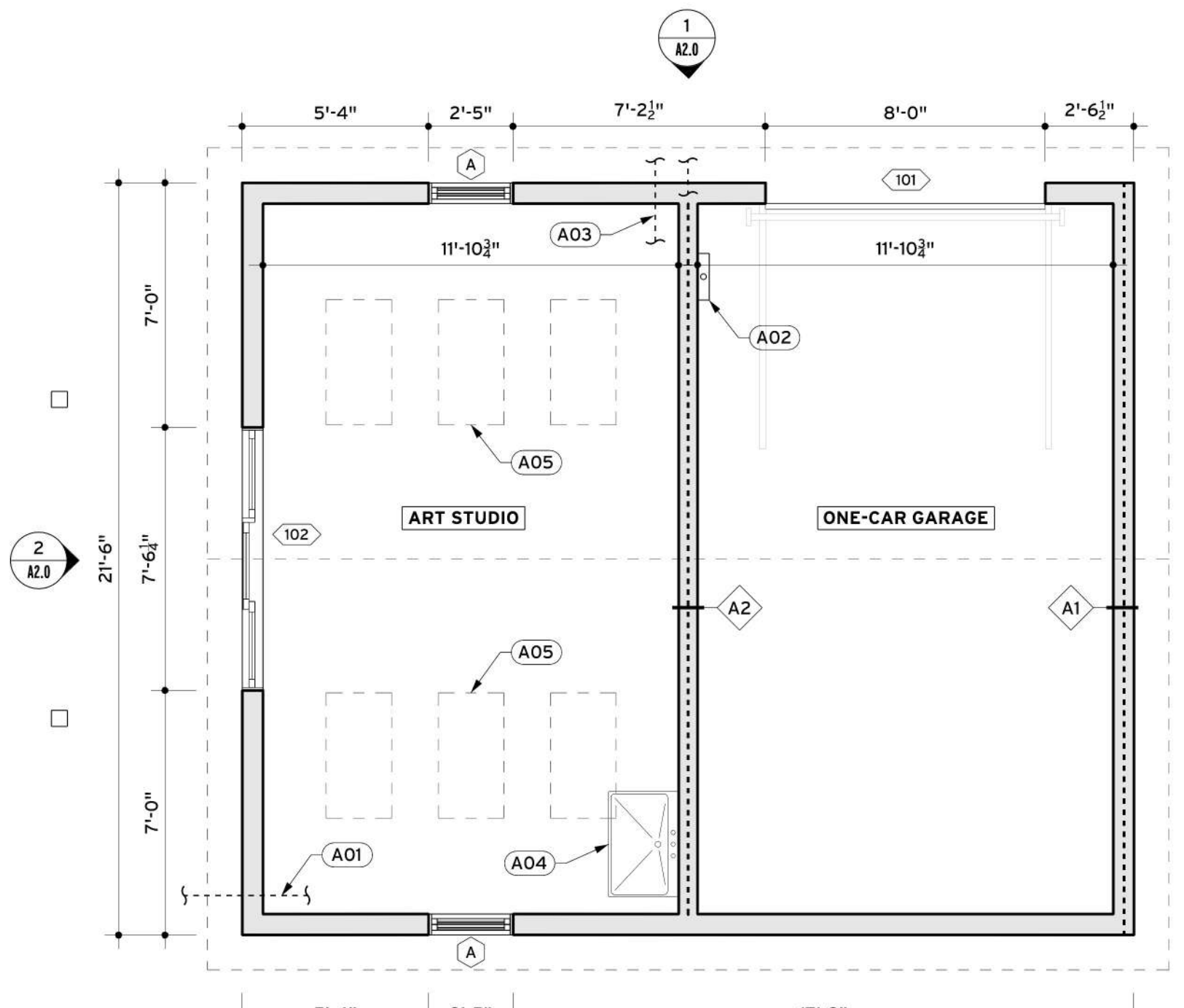
- A01 INCOMING SANITARY LEAD WITH CLEAN-OUT LOCATED IN UTILITY CLOSET PER APPLICABLE CODE.
- A02 LOCATE 150-AMP ELECTRICAL SERVICE PANEL INSTALLED ON 4x4x3/4" PLYWOOD BACKER BOARD.
- A03 INCOMING WATER SERVICE AND METER - COORDINATE WITH UTILITY PROVIDER
- A04 INSTALL UTILITY SINK WITH SINGLE-FIXTURE TANKLESS ELECTRIC WATER HEATER - COORDINATE SELECTION WITH OWNER AND INSTALLATION ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- A05 LINE OF SKYLIGHT ABOVE

STRUCTURAL KEY NOTES

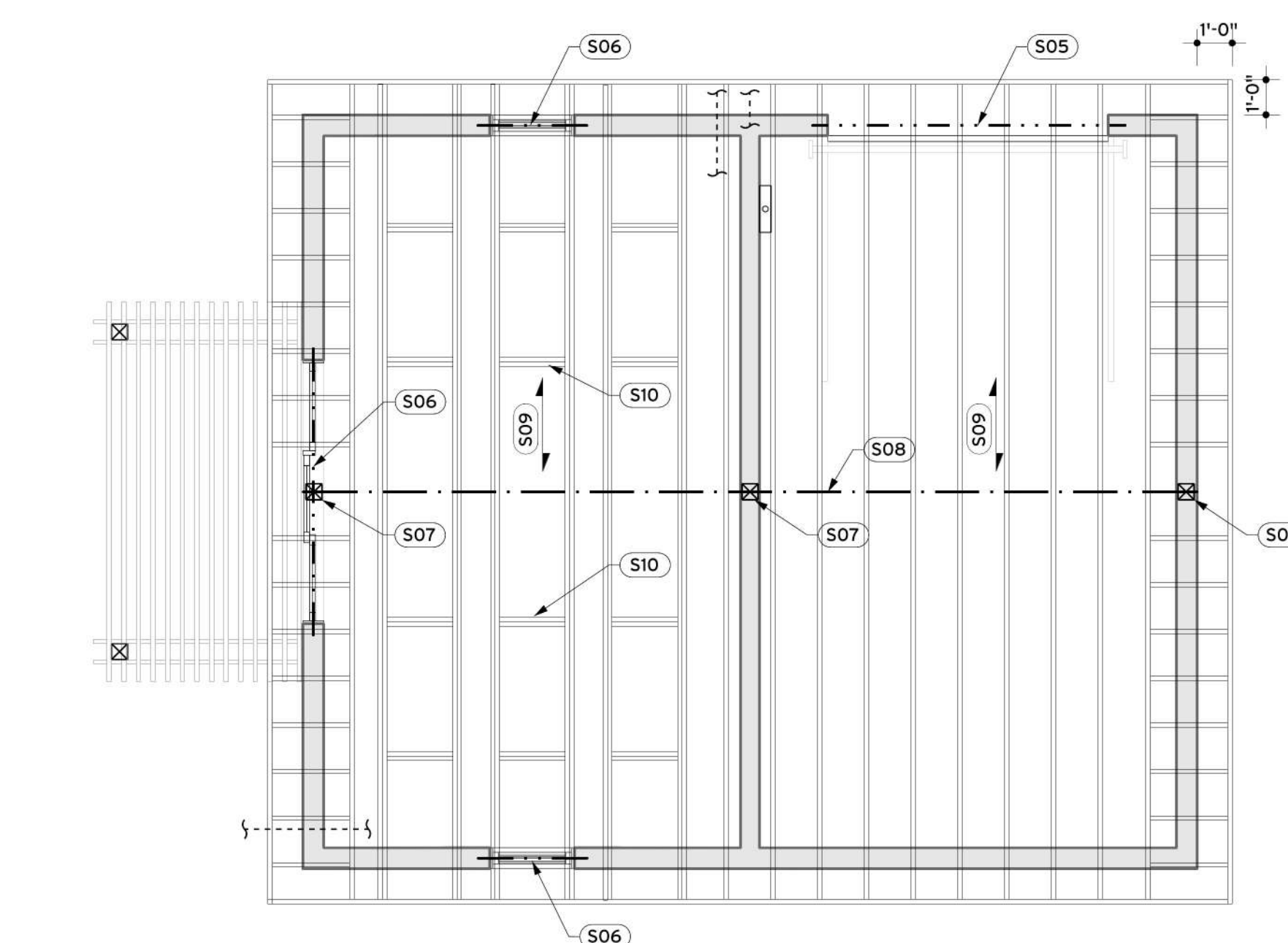
- S01 LINE OF FOOTING BELOW
- S02 8x6x16 CMU FOUNDATION COURSE GROUTED SOLID OVER CONCRETE FOOTING (3500 psi) AT INDICATED WIDTHS PLACED 3'-6" BELOW GRADE WITH TWO (2) #5 REINFORCING BARS AT TOP AND BOTTOM OF FOOTING WITH 3" OF COVER.
- S03 6x6 CEDAR WOOD POST ATTACHED WITH SIMPSON POST BASE FASTENED INTO 12" CYLINDRICAL FOOTING PLACES 3'-6" BELOW GRADE. ADHERE TO MANUFACTURER'S INSTALLATION INSTRUCTION AND REQUIRED FASTENERS.
- S04 4" REINFORCED CONCRETE SLAB. PITCH GARAGE AREA FROM HIGH POINT AT ALLEY SIDE TO LOW POINT AT DRIVEWAY SIDE. SCHEDULE HEIGHT OF SLAB AND EXTERIOR GRADING TO PROVIDE 1" DIFFERENCE IN ELEVATION.
- S05 (3) 2x10 HEADER ABOVE OPENING. INSTALL (3) JACK STUDS UNDER GARAGE HEADER AND TWO (2) KING STUDS AT EITHER SIDE OF GARAGE OPENING. SECURE TO TOP PLATE WITH SIMPSON STRAPPING AND SILL PLATE WITH SIMPSON HOLD-DOWNS.
- S06 (3) 2x6 HEADER ABOVE DOOR/WINDOW. INSTALL (2) JACK STUDS AND ONE (1) KING STUD EITHER SIDE OF DOOR/WINDOW OPENING.
- S07 (3) 2x6 POST
- S08 (3) 1-3/4" X 11-1/4" LVL RIDGE BEAM
- S09 2x8 @ 16" O.C. RAFTERS WITH 5:12 SLOPE. EXTEND RAFTER TAILS 1'-0" BEYOND EXTERIOR FACE OF WALL AND INSTALL LOOK-OUT EAVE AT GABLE ENDS. ATTACH EVERY RAFTER TO TOP PLATE AT BOTH ENDS WITH SIMPSON GALVANIZED RAFTER TIES.
- S10 (2) 2x8 AT ALL EDGES OF SKYLIGHT OPENING



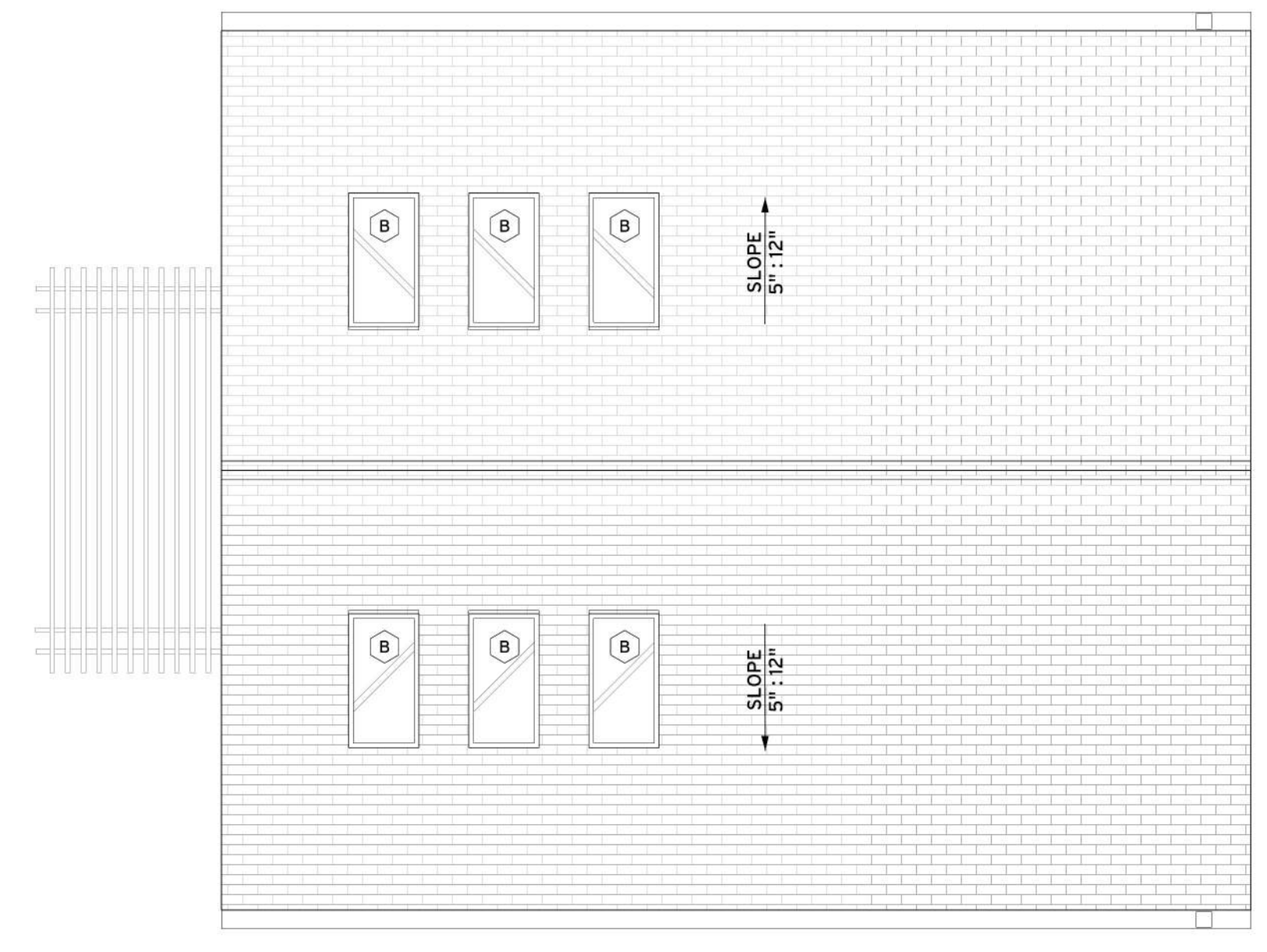
1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



2 FLOOR PLAN
SCALE: 1/4"=1'-0"



3 STRUCTURAL PLAN
SCALE: 1/4"=1'-0"



4 ROOF PLAN
SCALE: 1/4"=1'-0"

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PLANS

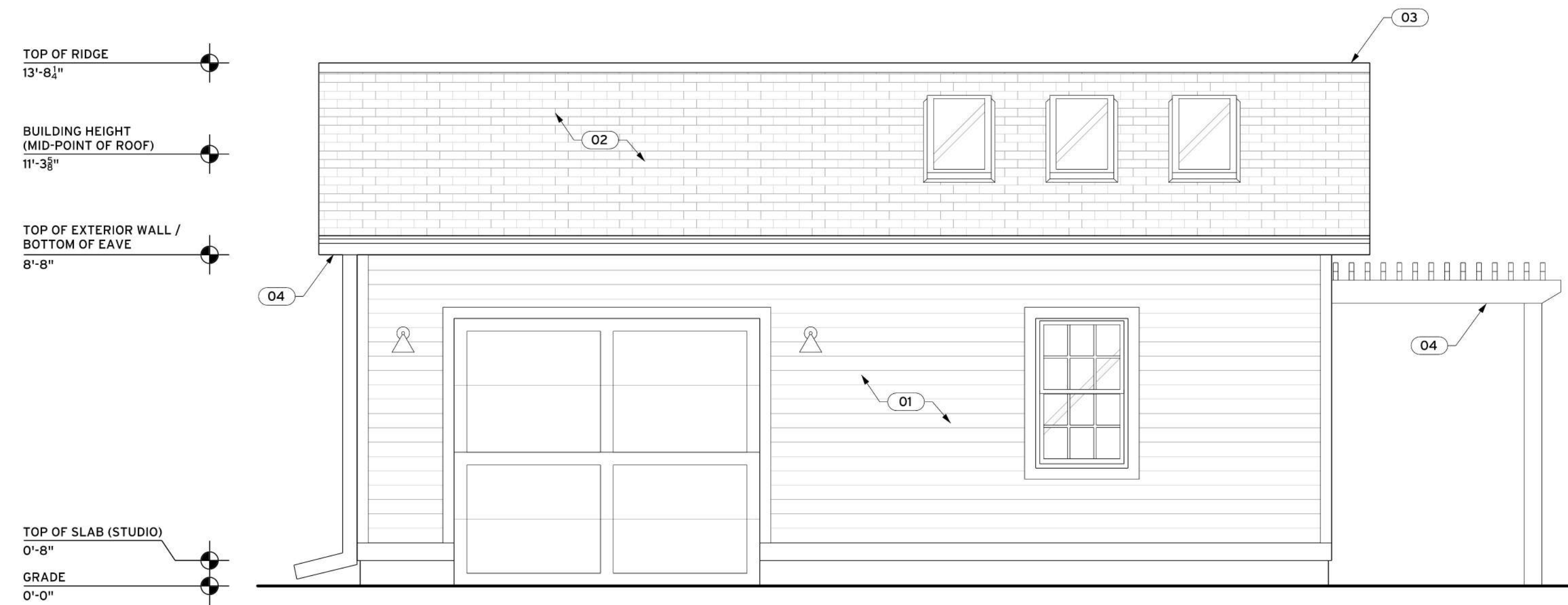
A1.1

ELEVATION KEY NOTES

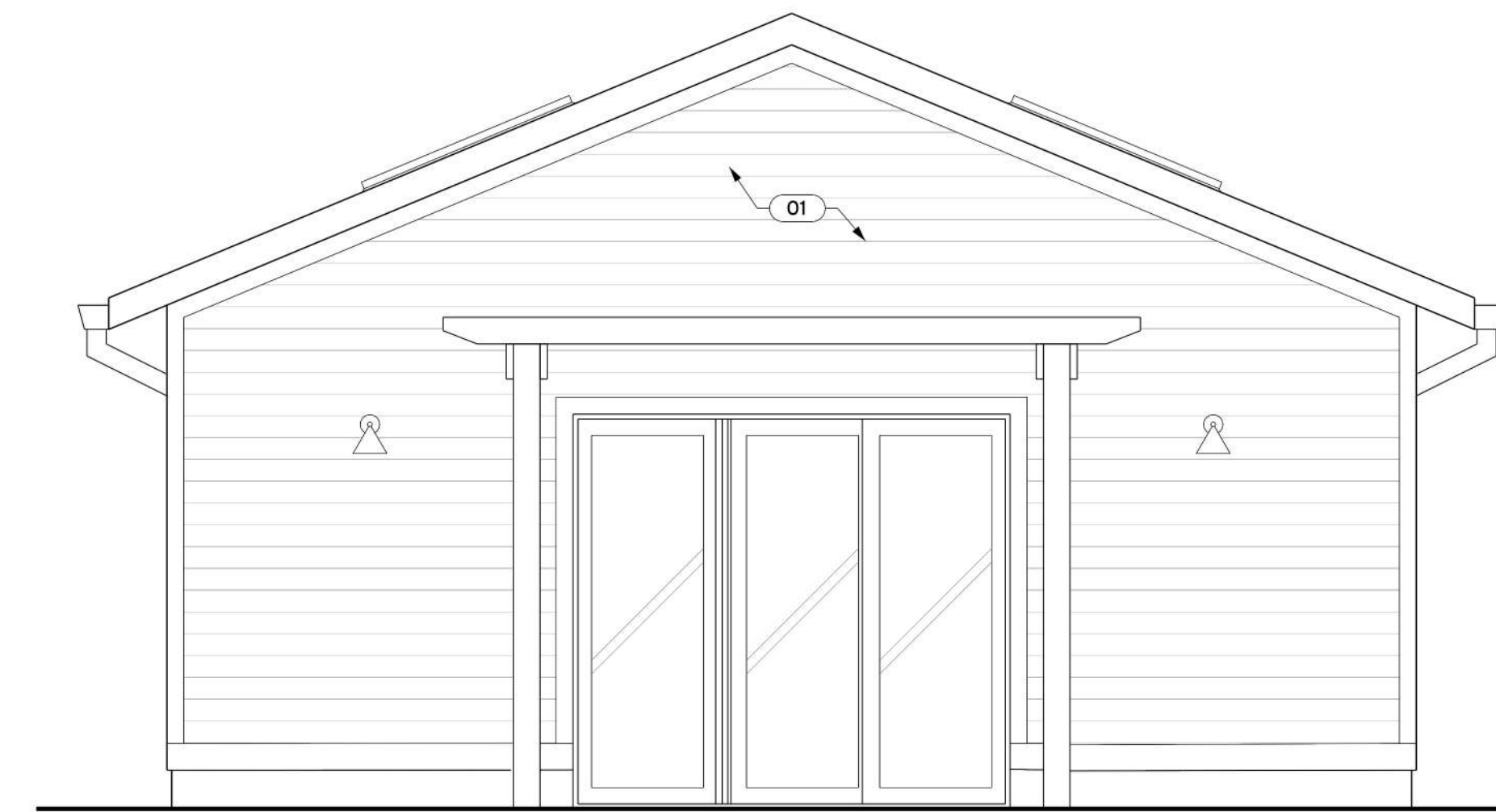
- 01 FIBER CEMENT LAP SIDING - 5/16" HARDIE PLANK, PRIMED AND SMOOTH FINISH. PAINT TWO FINISH COATS BENJAMIN MOORE REGAL SELECT EXTERIOR HIGH-BUILD, SOFT GLOSS (MATCH CITY OF DETROIT HISTORIC DISTRICT COLOR SYSTEM C: GRAYISH OLIVE GREEN)
- 02 ASPHALT SHINGLE ROOF - GAF TIMBERLINE HDZ, SLATE FINISH (TO MATCH MAIN HOUSE)
- 03 INSTALL CONTINUOUS RIDGE VENT
- 04 WOOD-FRAMED PERGOLA - S4S WESTERN RED CEDAR MEMBERS
- 05 5" SQUARE SEAMLESS K-TYPE ALUMINUM GUTTER AND DOWNSPOUT INSTALLED WITH CONCEALED BRACKETS, SUPPORTS, AND ANCHORS. BLACK FINISH.
- 06 PRE-FINISHED (BLACK) BREAK METAL OVERHEAD DOOR JAMB - COLOR TO BE BLACK TO MATCH ADJACENT WINDOW SASH COLOR. APPLY LIQUID FLASHING AROUND ENTIRE OPENING AND OVERLAP ALL TRIM EDGES WITH FLASHING TAPE.

GENERAL EXTERIOR NOTES

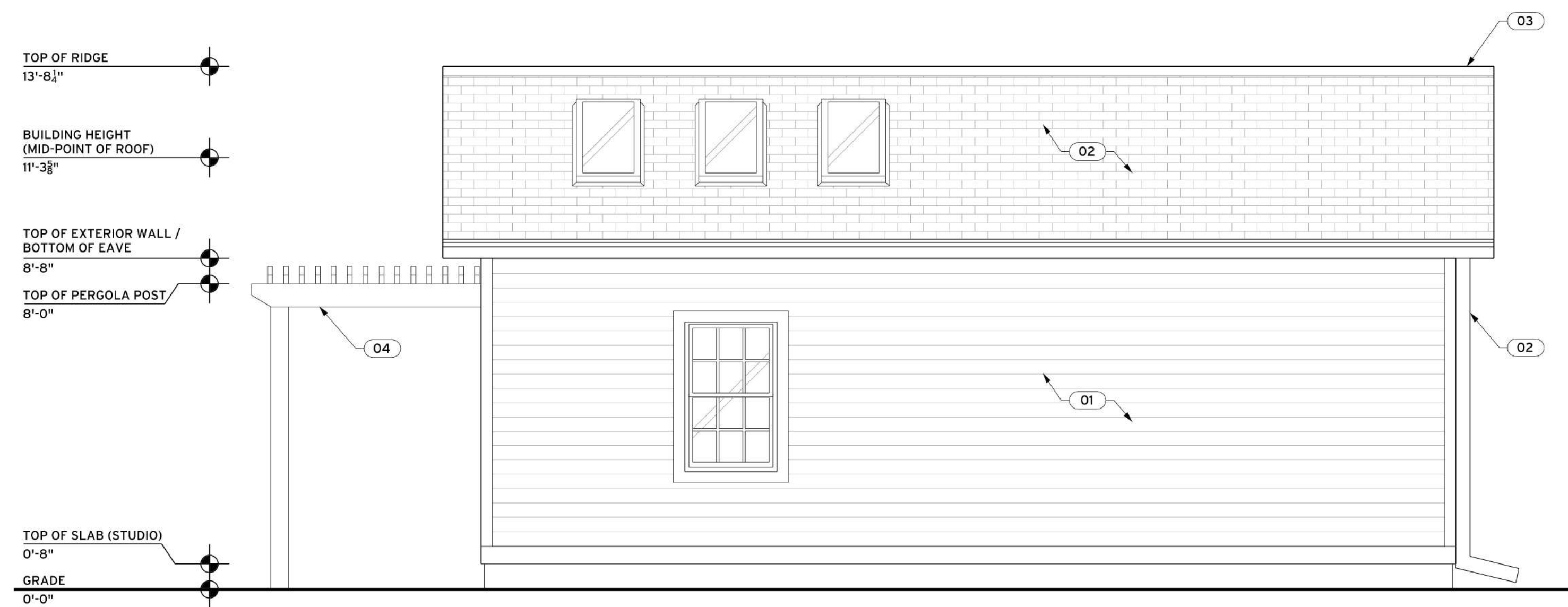
- 1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, NOTIFY THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
- 2. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH AND CONSISTENT FINISH ACROSS ENTIRE SURFACE.
- 3. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.
- 4. PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING, AND DRIP EDGES WHEREVER NECESSARY OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATER TIGHT SEAL, AND TO PRESERVE ALL WARRANTIES.
- 5. PREPARE ALL WINDOW AND AND DOOR OPENINGS WITH CONTINUOUS FLASHING APPROPRIATE FOR THE ASSEMBLY AND MATERIAL APPLICATION.
- 6. CONTRACTOR IS TO CLEAN ALL CLADDING AND SIDING ASSEMBLIES UPON COMPLETION OF EXTERIOR SCOPE OF WORK.
- 7. VENTILATE ROOF ASSEMBLY PER CODE
- 8. ALL EXTERIOR MATERIAL HEIGHTS AND WIDTHS ARE NOMINAL AND INTENDED FOR PLANNING PURPOSES ONLY. THE GENERAL CONTRACTOR IS TO COORDINATE FINAL SIZES, ARRANGEMENTS, AND PLACEMENT WITH THE MANUFACTURER AND INSTALLER VIA SHOP DRAWINGS BASED UPON VERIFIED FIELD CONDITIONS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.
- 9. (E) DENOTES REQUIRED LOCATION OF AN EMERGENCY ESCAPE OPENING (EGRESS WINDOW)



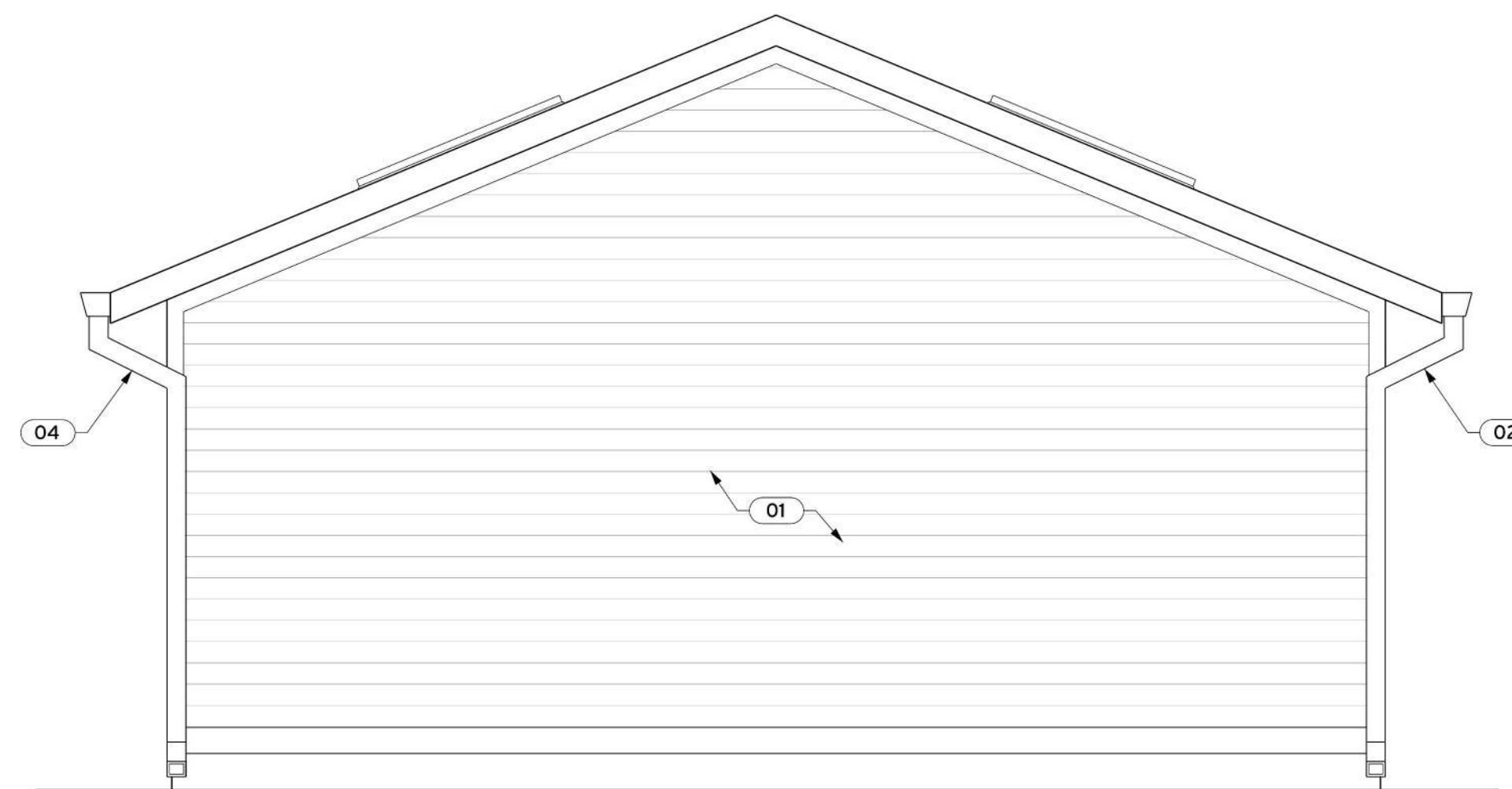
1 NORTH ELEVATION (REAR YARD)
SCALE: 3/8"=1'-0"



2 WEST ELEVATION (SIDE YARD)
SCALE: 3/8"=1'-0"



3 NORTH ELEVATION (REAR YARD)
SCALE: 3/8"=1'-0"



4 WEST ELEVATION (SIDE YARD)
SCALE: 3/8"=1'-0"

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EXTERIOR ELEVATIONS

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1 PERSPECTIVE FROM REAR YARD



2 PERSPECTIVE FROM REAR YARD



3 AERIAL PERSPECTIVE



3 AERIAL PERSPECTIVE

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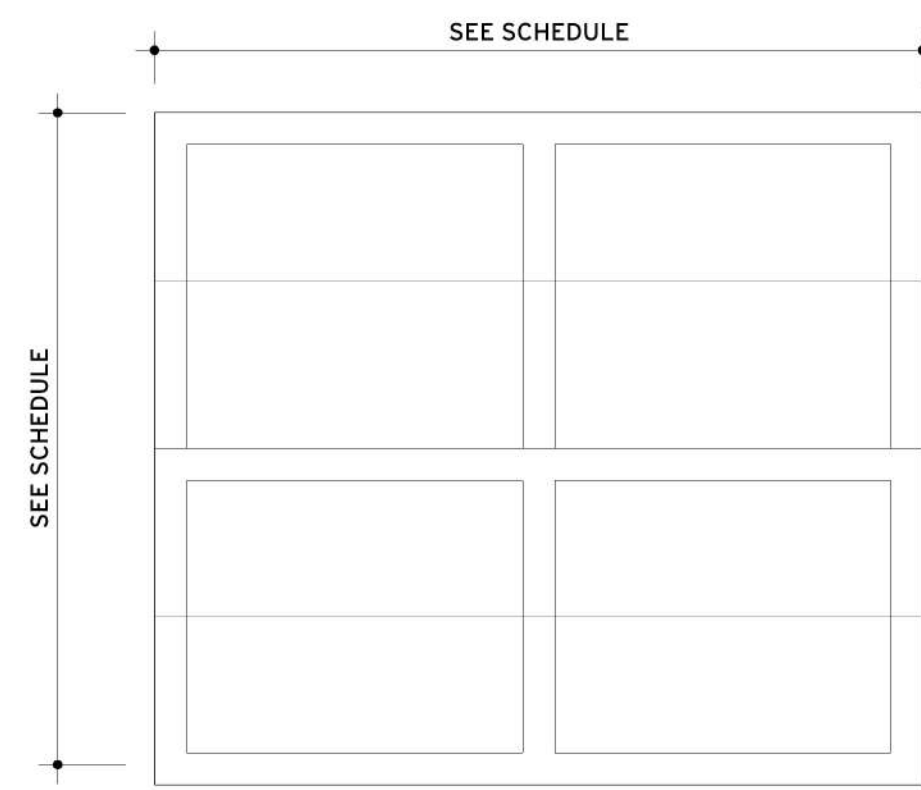
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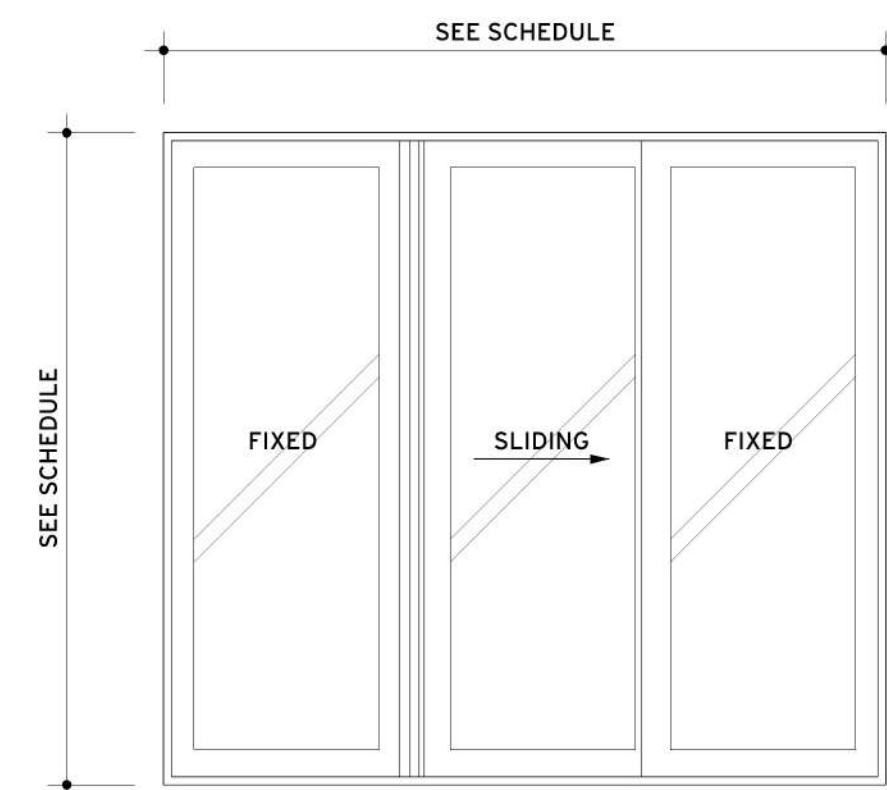
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**SCHEDULES
 AND MATERIALS**

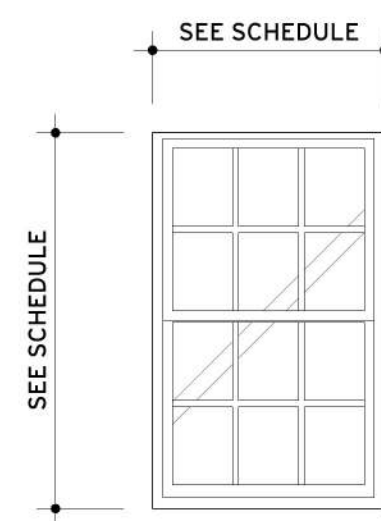
A5.0



A OVERHEAD GARAGE DOOR



B SLIDING PATIO DOOR



C DOUBLE-HUNG WINDOW

WINDOW SCHEDULE								
#	FRAME SIZE		SILL HEIGHT	OPERATION	TYPE	MATERIAL	MANUFACTURER / MODEL	NOTES
	W	H						
A	2'-5"	3'-11"	2'-5"	DOUBLE-HUNG	C	ALUMINUM-CLAD WOOD	PELLA / LIFESTYLE	INCLUDE SIMULATED DIVIDED LITE GRILLES
B	1'-10½"	3'-10½"	-	FIXED	-	ALUMINUM	SUN-TEK / FGC.2549.E-C.B.	

GENERAL WINDOW NOTES

1. CONTRACTOR IS TO COORDINATE WINDOW PROCUREMENT PRIOR TO FRAMING ANY PORTION OF THE BUILDING SCHEDULED TO RECEIVE WINDOWS.
2. CONTRACTOR IS TO PROVIDE WEATHERSTRIPPING, JOINT SEALANTS, AND CLOSURES WHERE REQUIRED TO PRODUCE WEATHERPROOF AND DRAFT-FREE OPERATION.
3. ALL GLASS TO BE LOW-E, TEMPERED, INSULATED GLASS. EACH PANE OF GLASS TO BE NO THINNER THAN 3/16" SEPARATED WITH A MIN. OF 1/2" ARGON SPACE WITH A MIN. U-FACTOR OF 0.40.
4. PROVIDE SAFETY GLASS IF WITHIN 18" OF ALL DOORS AND FINISHED FLOORS AND IN ALL OTHER INSTANCES REQUIRED BY GOVERNING CODES.
5. GLASS SHALL BE SEALED IN AN AIR-TIGHT MANNER WITH A NON-HARDENING SEALANT OR A SOFT ELASTOMER GASKET. THE PERIMETER OF ALL WINDOW UNITS SHALL BE SEALED AIR-TIGHT TO THE EXTERIOR WALL CONSTRUCTION AND PERFORM TO THE REQUIREMENTS OF AIR INFILTRATION TESTS PER AUTHORITY HAVING JURISDICTION.

DOOR SCHEDULE											
#	SIZE			STYLE				FRAME		MANUFACTURER / MODEL	NOTES
	W	H	T	TYPE	OPERATION	MATERIAL	TYPE	MATERIAL	JAMB DEPTH		
FIRST LEVEL											
101	8'-0"	7'-0"	1"	SINGLE	OVERHEAD	STEEL	A		6½"	OVERHEAD DOOR CO. / COURTYARD COLLECTON #7520	
102	7'-6½"	6'-9½"	2"	TRIPLE	SLIDING	ALUM-CLAD WOOD	B	WOOD	6½"	PELLA / LIFESTYLE	

LIGHT FIXTURE SCHEDULE							
#	TYPE	MANUFACTURER / MODEL	LAMP			FINISH	NOTES
			TYPE	VOLTS	COLOR TEMP.		
L1	EXTERIOR WALL SCONCE	WEST ELM / WARREN OUTDOOR SCONCE (8.5")	E12		2700K	MATTE BLACK	HARD-WIRED, WET-RATED
L2	4" RECESSED	TBD BY OWNER					
L3	CEILING FAN WITH LIGHT	TBD BY OWNER					
L4	UTILITY FIXTURE	TBD BY OWNER					

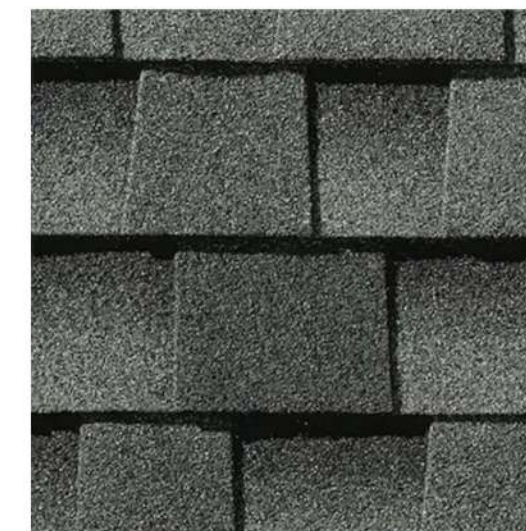


PAINT COLOR - SIDING AND TRIM

CITY OF DETROIT
HISTORIC DISTRICT COLOR SYSTEM C:
'B1' GRAYISH OLIVE GREEN



SIDING
5/16" FIBER CEMENT LAP-SIDING - HARDIE
FINISH: SMOOTH, PRIMED



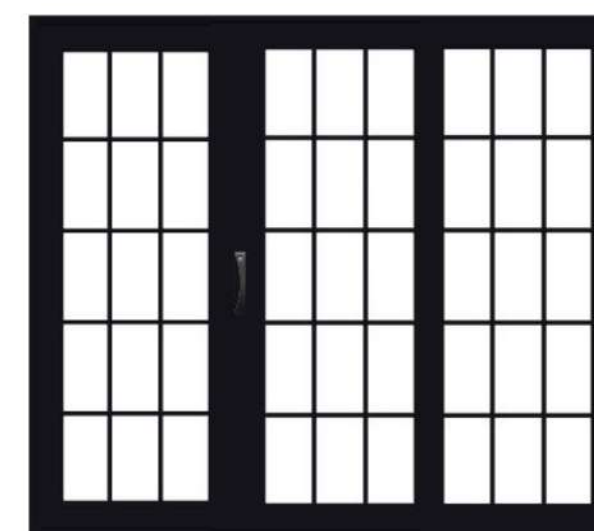
ROOFING
ASPHALT SHINGLE - GAF TIMBERLINE HDZ
COLOR: SLATE (TO MATCH MAIN HOUSE)



OVERHEAD GARAGE DOOR
OVERHEAD DOOR CO. - COURTYARD COLLECTION
STYLE: HORIZONTAL OVERLAYS H2 371M
COLOR: BLACK



SKYLIGHTS
SUN-TEK ALUMINUM SELF-FLASHING
FRAME COLOR: BLACK



PATIO DOOR
PELLA LIFESTYLE
MATERIAL: ALUMINUM-CLAD WOOD
EXTERIOR COLOR: BLACK



WINDOWS
PELLA LIFESTYLE
MATERIAL: ALUMINUM-CLAD WOOD
EXTERIOR COLOR: BLACK



EXTERIOR LIGHTS
WEST ELM WARREN SCONCE (8.5")
MATERIAL: POWDER-COATED ALUMINUM
EXTERIOR COLOR: BLACK



GUTTERS + DOWNSPOUTS
5" AMERIMAX K-STYLE
MATERIAL: ALUMINUM
COLOR: BLACK

GARAGE + STUDIO
1475 LONGFELLOW ST. DETROIT, MI 48206

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CONSULTANTS

SEAL

DATE SET
4/20/26 HDC REVIEW

SCHEDULES AND MATERIALS

A6.0