



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2026-00102

PROPERTY INFORMATION

ADDRESS(ES): 1833 Church Street

HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--------------------------------------------|------------------------------------------------------|----------------------------------------------|--------------------------------------------------------------|-------------------------------------------------------------------------------------------|--------------------------------|
| <input type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input checked="" type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

To remove the roof structure of the rear portion of the existing house and construct a full second floor over the rear portion, adding a bedroom and bathroom.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Brian Hurttienne

COMPANY NAME: Christian Hurttienne Architects

ADDRESS: 15324 E. Jefferson, Suite 5

CITY: Grosse Pointe Park

STATE: MI

ZIP:
48230

PHONE: +1 (313) 850-6689

EMAIL: brian@cha-c.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- | | |
|-------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> | I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application. |
| <input checked="" type="checkbox"/> | I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work. |
| <input checked="" type="checkbox"/> | I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent. |
| <input checked="" type="checkbox"/> | As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531 |

Signed by:

Brian V. Hurttienne

B3C6D809CE854D2

03/11/2026

SIGNATURE

DATE

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

The existing traditional Victorian house is in good condition. The exterior has wood trim with vinyl siding throughout the exterior. The windows are vinyl windows having been replaced years ago. The condition of all building elements are good.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

To remove the roof structure of the existing rear portion of the house, and construct a full second story to the house adding a bedroom and bathroom. The new proposed addition will be the full width of the existing second story of the main house, adding a screened in side porch on the first floor.



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

Please see the project drawings.



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

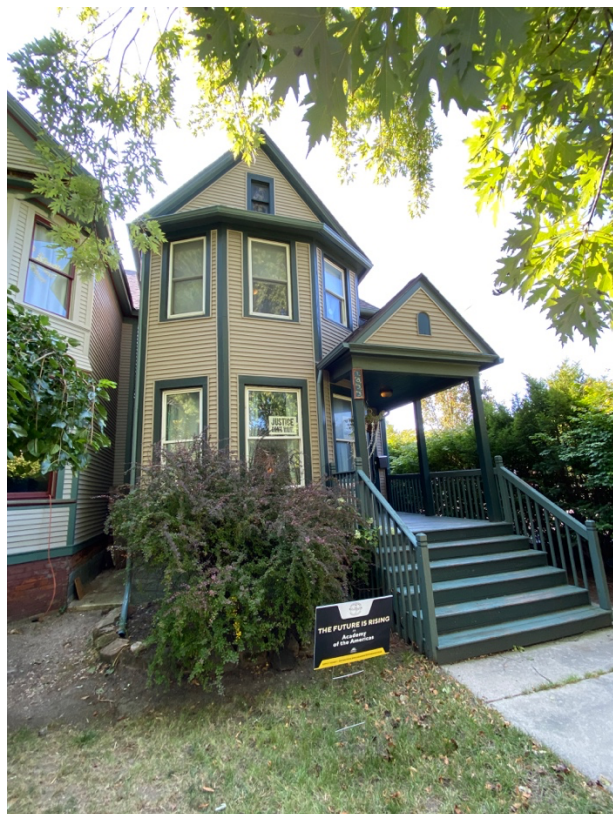


1833 Church Street Existing Photos

March 11, 2026

Historic District Commission Staff
City of Detroit
Coleman A. Young Municipal Center
2 Woodward Avenue
Detroit, MI 48226

Re: 1833 Church Street Existing Photos



Front of House





1833 Church Street Existing Photos



Rear of House



1833 Church Street Existing Photos



Rear of House



Side of House



1833 Church Street Existing Photos



Side of House with Front Porch

ISSUED FOR:

HDC REVIEW

2026.03.06



LOCATION PLAN

GENERAL NOTES

- ANY MENTION OF CONTRACTOR INCLUDES THE GENERAL CONTRACTOR (GC), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTOR(S) AS THEY RELATE TO THE CONTRACTUAL DELIVERY METHOD AGREED TO BY THE OWNER AND ENTITY RESPONSIBLE FOR UNDERTAKING CONSTRUCTED IMPROVEMENTS OF THE PROPERTY. ACCORDINGLY, THE USE OF THE TERM CONTRACTOR IS TO REFER TO ANY AND ALL ENTITIES AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB (GENERAL CONTRACTOR / CONSTRUCTION MANAGER) AND/OR A SPECIFIC TRADE (SUBCONTRACTORS).
- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
- PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
- THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATIONS AND / OR DIRECTIVES WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
- THE CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
- THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
- THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
- SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION, AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REVIEWS ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
- CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED, APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
- THE STRUCTURE HAS BEEN DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, GUILDS, OR THE DOWNS IF NECESSARY. MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
- MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION.
- EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
- EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS (IF APPLICABLE), AND THE LOCAL JURISDICTION.
- ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTORS EXPENSE.
- IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED IN THE DOCUMENTS, NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHOD OF DEMOLITION.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL AND GAS SERVICES, ETC. BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
- REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
- NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
- IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (GC) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE GC SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE WITHIN THE SCOPE OF THE CONTRACT.

LEGEND

- CONCRETE MASONRY UNIT
- BRICK
- CONCRETE
- INSULATION (BATT, CELLULOSE, SPRAY-FOAM)
- RIGID INSULATION
- PLYWOOD
- METAL
- FINISHED WOOD
- WOOD (ROUGH CONTINUOUS)
- WOOD (ROUGH NON-CONTINUOUS / BLOCKING)
- GLASS
- ALIGN

PROJECT INFORMATION

LEGAL DESCRIPTION:

PROJECT DESCRIPTION:

EXTERIOR REAR PORCH AND SECOND FLOOR ADDITION OF A HISTORIC SINGLE FAMILY HOME.

APPLICABLE CODES:

ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO:

- 2015 MICHIGAN RESIDENTIAL CODE

BUILDING DATA:

A. CONSTRUCTION CLASSIFICATION :	TYPE V-B
B. STORIES ABOVE GRADE	2 STORY
1. EXISTING	2 STORY
2. PROPOSED	2 STORY
C. BUILDING AREAS (GROSS)	
1. EXISTING	
ii. EXISTING FIRST FLOOR (NOT IN SCOPE)	870 SQFT
iii. EXISTING SECOND FLOOR	783 SQFT
v. EXISTING TOTAL	1653 SQFT
2. PROPOSED	
i. FIRST FLOOR (EXISTING UN-ALTERED)	870 SQFT
ii. SECOND FLOOR	938 SQFT
v. PROPOSED TOTAL	1808 SQFT
- REAR PORCH ADDITION	63 SQFT
D. BUILDING HEIGHTS	
REQUIRED	35'-0" AGP*
EXISTING PERMITTED STRUCTURE	34'-0" AGP*
*ABOVE GRADE PLANE	

HISTORIC DISTRICT COMMISSION

SIGNATURE BLOCK

NAME OF AUTHORIZED REPRESENTATIVE

(Owner)

(Architect) Christian Hurtienne Architects, LLC

(General Contractor)

ZONING INFORMATION

GENERAL NOTE

THE SITE PLAN SHOWS THE TYPICAL ZONING SETBACKS AND INFORMATION SPECIFIC TO THIS PARCEL AND TO THIS PROJECT. THE EXISTING FOOTPRINT OF THE EXISTING SINGLE-FAMILY HOUSE IS TO REMAIN THE SAME. THE ADDITION OF THE SECOND FLOOR IS ABOVE THE CURRENT FIRST FLOOR FOOTPRINT.

ZONING DISTRICT

R2 - MULTI-FAMILY RESIDENTIAL DISTRICT

SETBACKS:

A. FRONT YARD SETBACK:	
1. REQUIRED	EXISTING PERMITTED
2. PROVIDED	(EXISTING / UN-ALTERED)
B. SIDE YARD SETBACK:	
1. EXISTING	EXISTING PERMITTED
ii. COMBINED	EXISTING PERMITTED
2. PROPOSED	
i. INDIVIDUAL	EXISTING PERMITTED
ii. COMBINED	EXISTING PERMITTED
C. REAR YARD SETBACK:	
1. EXISTING	EXISTING PERMITTED
2. PROPOSED	EXISTING PERMITTED

MAX HEIGHT:

REQUIRED	35'-0" AGP*
EXISTING PERMITTED STRUCTURE	43'-6" AGP*

*ABOVE GRADE PLANE

DRAWING LIST

NO.	SHEET
1. GENERAL SHEETS	
G1-01 COVER SHEET	
2. ARCHITECTURAL SITE SHEETS	
AS1-01 SITE PLAN	
3. ARCHITECTURAL SHEETS	
A1-11 FIRST & SECOND LEVEL ARCHITECTURAL PLAN	
A1-13 ROOF PLAN	
A2-01 EXTERIOR ELEVATIONS	
A3-01 BUILDING SECTIONS	
A5-01 ASSEMBLY TYPES	
A6-01 DOOR AND SCHEDULE	

ISSUANCE

NO.	SHEET	DATE	DESCRIPTION
20260306	HDC REVIEW		

1833 CHURCH STREET

1833 CHURCH ST., DETROIT, MI 48216

Sarah Winchell-Lenhoff
1833 Church Street, Detroit, MI 48216

Christian Hurtienne Architects, LLC
15324 E. Jefferson, Suite 5, Grosse Pointe Park, MI 48230
313.850.6689 Chris@cha-c.com

Contractor To Be Determined
(Address TBD)

CONTRACTOR'S NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

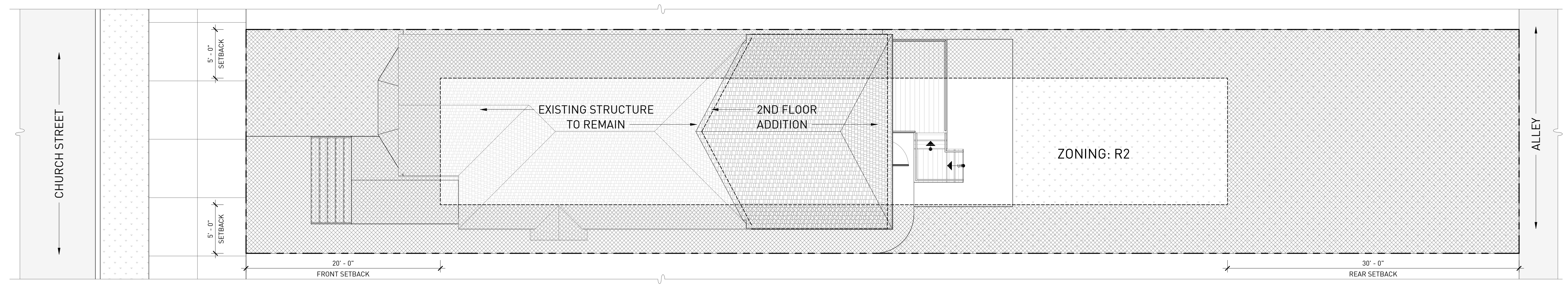
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

3 WORKING DAYS
**BEFORE YOU DIG
CALL MISS DIG**
1-800-482-7171

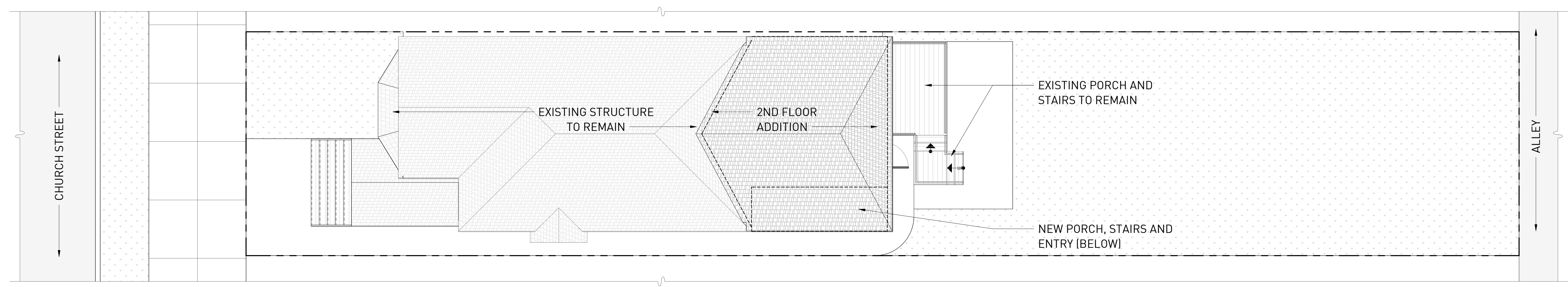
GENERAL SITE NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OF.
- ASSUMED ALLOWABLE SOIL PRESSURE OF 2000 PSF (VERIFY CAPACITY)
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS IF DISTURBING MUNICIPAL OR PUBLIC PAVING.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).

CONTRACTOR NOTE
ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATION OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



2 SITE ZONING PLAN
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



1 SITE PLAN
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

CONTRACTOR NOTE
SURVEYOR / CIVIL ENG.
STRUCTURAL ENG.
MEP ENGINEER

1833 CHURCH STREET
1833 CHURCH ST, DETROIT, MI 48216

HDC REVIEW

NO.	DATE	DESCRIPTION
1	2026.03.06	HDC REVIEW

NOT FOR CONSTRUCTION

SITE PLAN

AS1-01

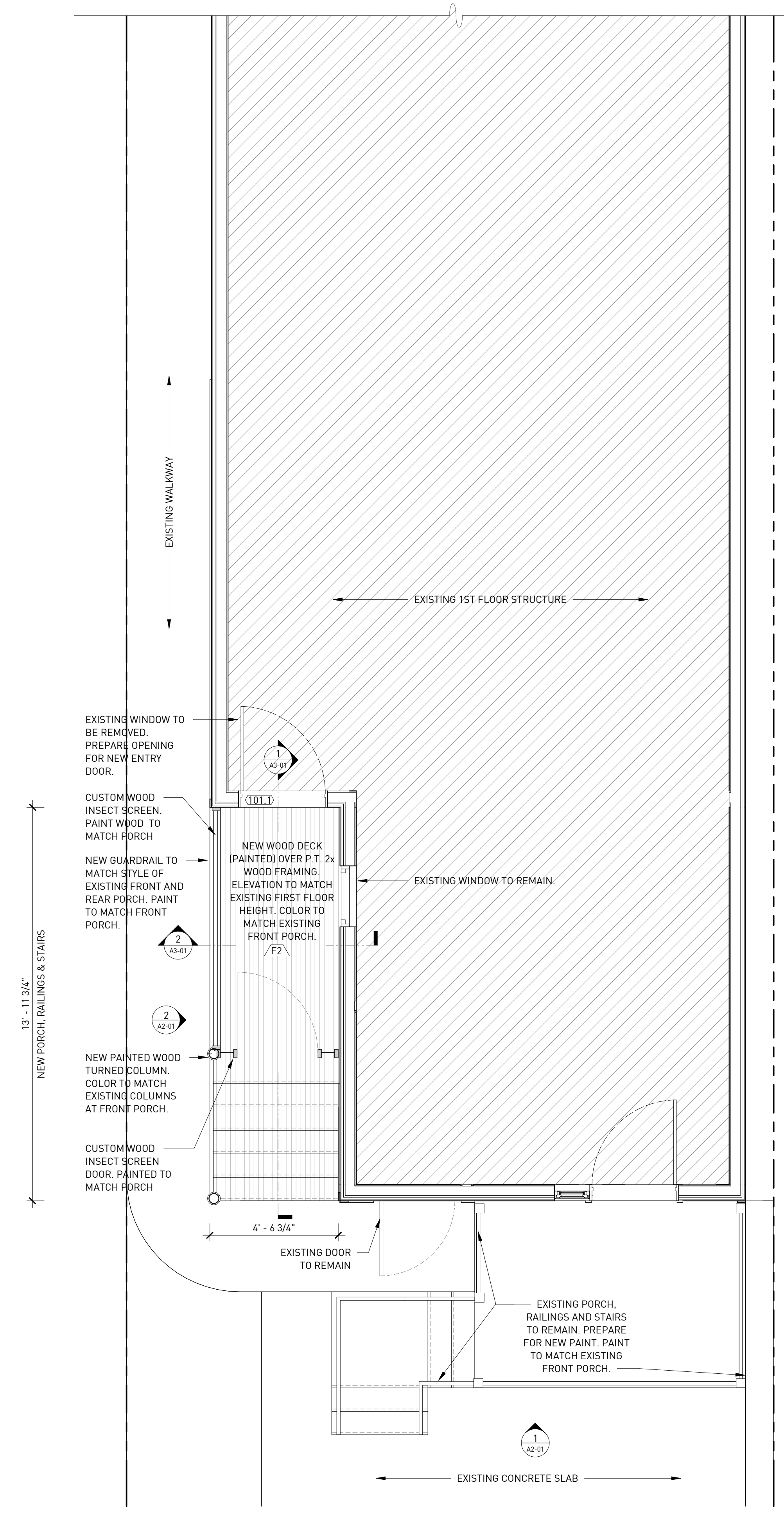
FLOOR PLAN LEGEND

NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE

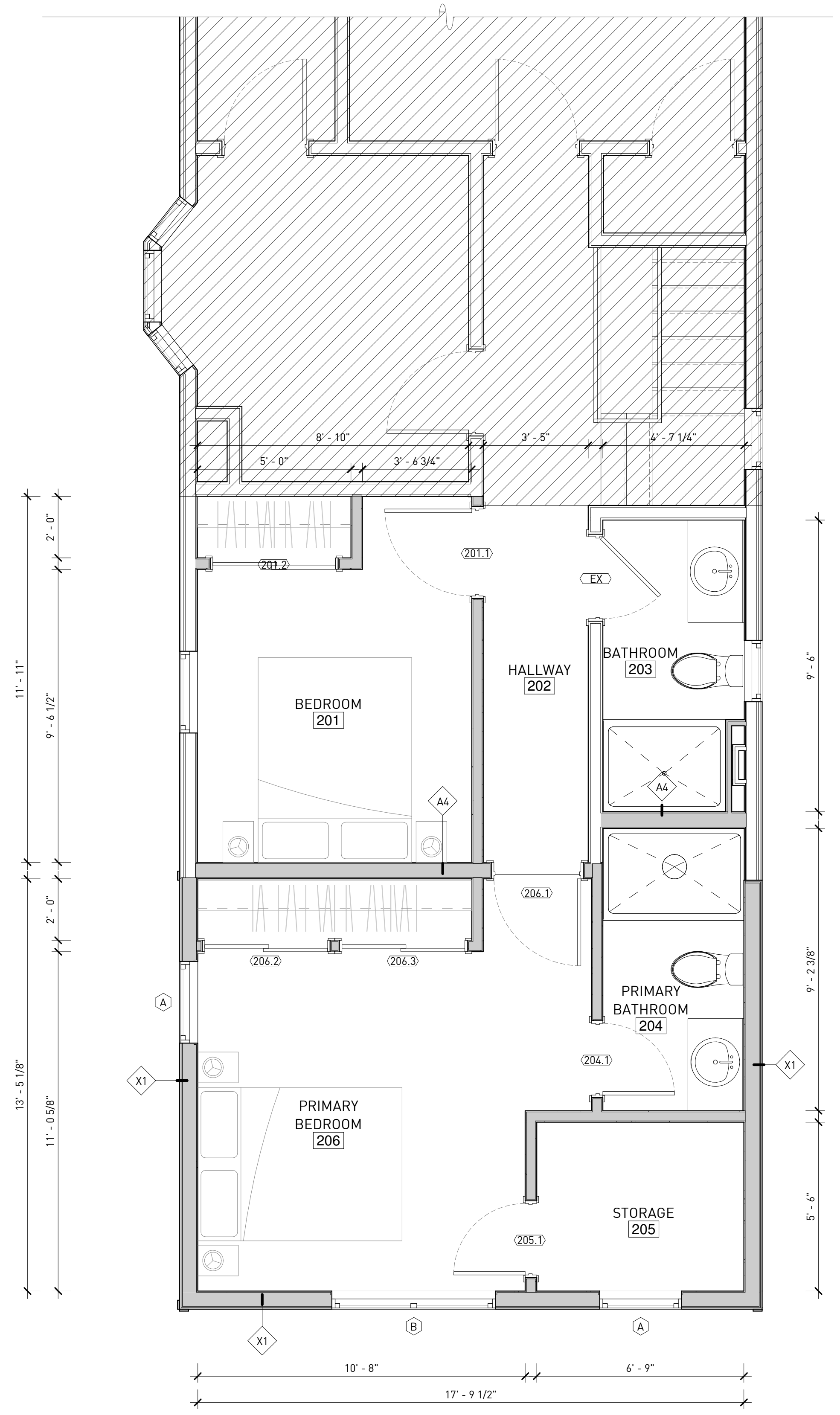
- 2 HR RATED FIRE SEPARATION WALL
- NEW WOOD STUD WALL
- NEW BRICK / MASONRY WALL
- WINDOW TAG
- DOOR TAG
- WALL TAG
- DIMENSIONS TO FACE OF STUD OR FACE OF MASONRY ON BRICK WALLS UNLESS NOTED OTHERWISE. CENTERLINE DIMENSIONS SHOWN FOR DEMISING WALLS, WINDOWS, OPENINGS, AND DOORS IN FRAMED WALLS.
- F.O.F. = FACE OF FINISH
- F.O.S. = FACE OF SHEATHING

PLAN GENERAL NOTES

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS / DOCUMENTS AND ANY OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, ALERT THE ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION OF CONFLICT.
2. REFER TO BUILDING AND WALL SECTIONS FOR ELEVATION AND BUILDING HEIGHT INFORMATION.
3. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, STC RATINGS, SPECIFICATIONS, AND CODE REQUIRED THERMAL REQUIREMENTS.
4. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH, CONSISTENT, AND UN-NOTICEABLE FINISH ACROSS THE ENTIRE SURFACE.
5. APPROPRIATELY FIRE-SEAL ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-RATED ENCLOSURES AND BARRIERS AS PER GOVERNING CODE.
6. VERIFY LAUNDRY CLOSET SIZE AND TOLERANCE REQUIREMENTS WITH SELECTED MAKE/MODEL PRIOR TO CONSTRUCTION.
7. GENERAL CONTRACTOR TO PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.
8. ALL INTERIOR PARTITIONS TO BE OF ASSEMBLY 'A1' U.N.O.



1 LEVEL 1 ARCHITECTURE PLAN
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



2 LEVEL 2 ARCHITECTURE PLAN
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



NO.	DATE	DESCRIPTION
1	2026.03.06	HDC REVIEW

NOT FOR CONSTRUCTION

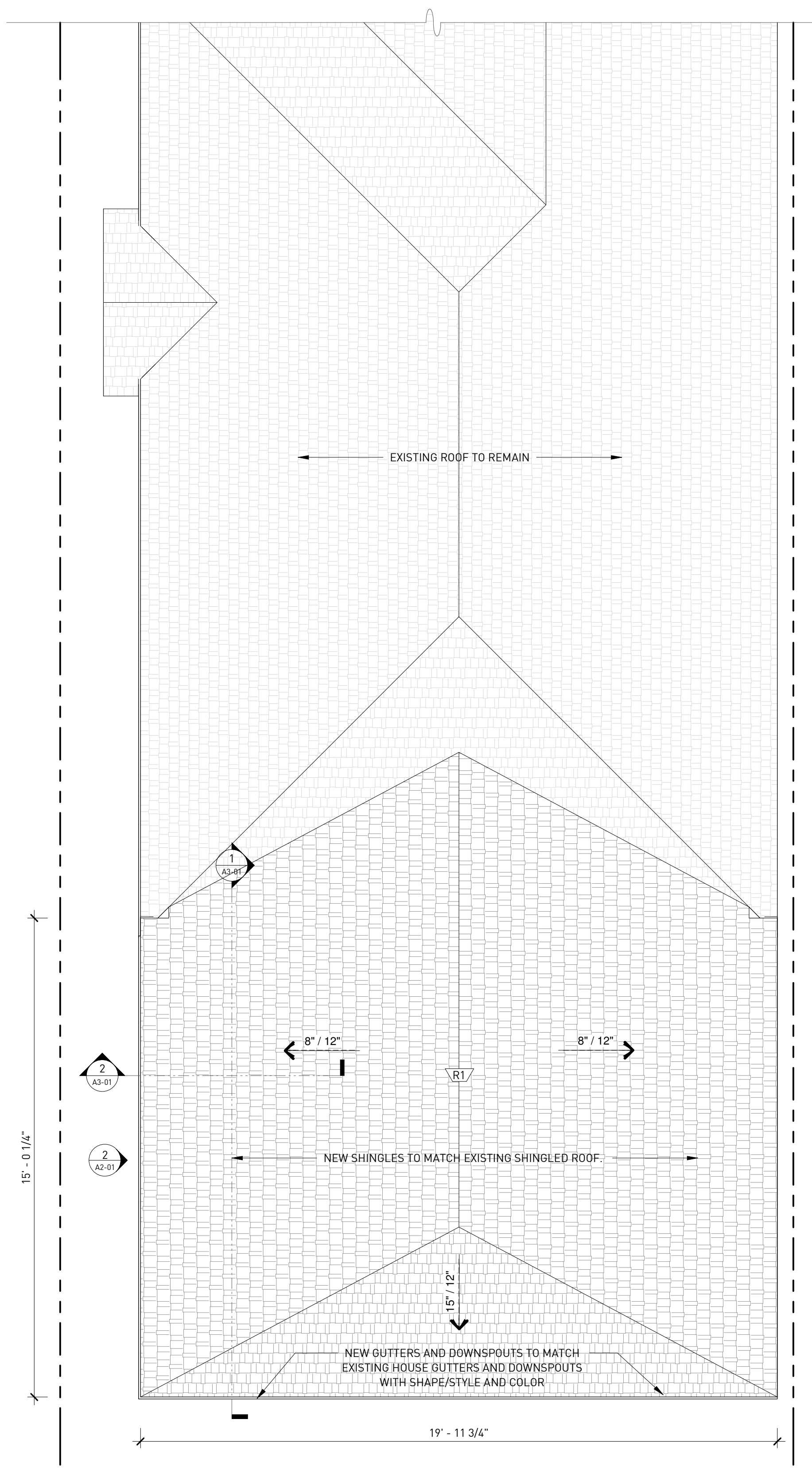
FIRST & SECOND LEVEL ARCHITECTURAL PLAN **A1-11**

ROOF SYMBOLS

- NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE
- CENTER OF 2-HR RATED SEPARATION WALL BELOW
 - 'CLASS C' FIRE COVERING ROOF
 - NEW ASPHALT ROOF
 - HIGH POINT SLOPE
 - LOW POINT SLOPE
 - ROOF TYPE TAG

ROOF GENERAL NOTES

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS / DOCUMENTS AND ANY OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, ALERT THE ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION OF CONFLICT.
2. REFER TO BUILDING AND WALL SECTIONS FOR ELEVATION AND BUILDING HEIGHT INFORMATION.
3. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, STC RATINGS, SPECIFICATIONS, AND CODE REQUIRED THERMAL REQUIREMENTS.
4. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH, CONSISTENT, AND UN-NOTICEABLE FINISH ACROSS THE ENTIRE SURFACE.
5. APPROPRIATELY FIRE-SEAL ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-RATED ENCLOSURES AND BARRIERS AS PER GOVERNING CODE.
6. VERIFY LAUNDRY CLOSET SIZE AND TOLERANCE REQUIREMENTS WITH SELECTED MAKE/MODEL PRIOR TO CONSTRUCTION.
7. GENERAL CONTRACTOR TO PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.
8. INSTALL NEW CARLISLE SYNTEC MECHANICALLY-FASTENED TPO 'CLASS-C' (MINIMUM) FIRE-RATED ROOFING ASSEMBLY PER CODE. ASSEMBLY IS TO INCLUDE FIRE-RETARDANT-TREATED PLYWOOD ROOF DECK AND FIRE RESISTANT SLIP SHEET. REFER TO THE SPECIFICATIONS AND MANUFACTURERS INSTALLATION DIRECTIONS FOR THE PREPARATION OF THE EXISTING CONDITIONS / DECK.
9. FOR ALL ROOF TOP MECHANICAL UNITS, EQUIPMENT, EXHAUST, FRESH-AIR INTAKE AND PLUMBING PENETRATIONS: REFER TO MECHANICAL / ELECTRICAL / PLUMBING ENGINEER'S DRAWINGS FOR LOCATIONS, SPECIFICATIONS AND PLACEMENT WITH REGARD TO ALL APPLICABLE GOVERNING CODES AND REGULATIONS.
10. PROVIDE 12" HIGH RAISED ROOF CURBS AT ALL PENETRATIONS FOR MECHANICAL, PIPING, FURNACE AND WATER HEATER VENT PIPING, ELECTRICAL, AND EXHAUST FAN PENETRATIONS. ALL CURB CONSTRUCTION IS TO BE FULLY INSULATED TO MAINTAIN FIRE RATED RESISTANCE THROUGH ROOF PENETRATION - IF APPLICABLE
11. GROUP CONDENSING UNITS ADJACENT TO CHASE LOCATIONS OVER BUILDING CORRIDOR AS POSSIBLE. PROVIDE MINIMUM SPACING BETWEEN UNITS AND ADJACENT OBJECTS PER MANUFACTURE'S SPECIFICATIONS SO AS NOT TO RESTRICT AIR-FLOW TO UNIT. DO NOT LOCATE CONDENSING UNITS ABOVE BEDROOMS.
12. ROOFING CONTRACTOR IS TO COORDINATE ALL SUPPLY LINES TO NEW CONDENSERS AND ROOF TOP EQUIPMENT. REDUCE PENETRATIONS TO GREATEST EXTENT POSSIBLE.
13. INSTALL WALK MATS AT AND ADJACENT TO ALL EQUIPMENT, SERVICE AREAS AND PATHS OF TRAVEL.
14. PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING AND DRIP EDGES WHEREVER NECESSARY AND / OR INDICATED ON DRAWINGS TO MAINTAIN WEATHER AND WATER TIGHT SEAL AND TO PRESERVE ALL APPLICABLE ROOFING WARRANTIES.
15. REFER TO MECHANICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS, COORDINATE ROOF STRUCTURE, SUPPORTS AND PENETRATIONS FOR MECHANICAL EQUIPMENT WITH ALL ASSOCIATED TRADES INCLUDING ROOFING MANUFACTURER AND INSTALLER.



1 ROOF
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



CONTRACTOR NOTE

SUPERVISOR / CIVIL ENG.

STRUCTURAL ENG.

MEP ENGINEER

1833 CHURCH STREET
1833 CHURCH ST, DETROIT, MI 48216

HDC REVIEW

NO.	DATE	DESCRIPTION
1	2026.03.06	HDC REVIEW

NOT FOR CONSTRUCTION

ROOF PLAN

A1-13

CONTRACTOR NOTE
ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATION OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

ELEVATION GENERAL NOTES

- COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
- REFER TO BUILDING AND WALL SECTIONS FOR ELEVATION AND BUILDING HEIGHT INFORMATION.
- ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED BUT MAY NOT COVER OR INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR IS TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR PRIOR TO COMMENCING ANY SCOPE OF WORK.
- IF CONFLICTS EXIST BETWEEN THESE DRAWINGS / DOCUMENTS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, ALERT THE ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION OF CONFLICT.
- ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.
- PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING AND DRIP EDGES WHEREVER NECESSARY AND / OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATER TIGHT SEAL AND TO PRESERVE ALL WARRANTIES.
- CONTRACTOR IS TO CLEAN ALL CLADDING AND SIDING ASSEMBLIES UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK.
- REFER TO SPECIFICATIONS FOR ALL WINDOW AND DOOR INFORMATION.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING DIMENSIONS.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY MATERIAL AND APPLICATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL GRADING AND ELEVATIONS. GENERAL CONTRACTOR TO COORDINATE GRADES AND ELEVATIONS ACROSS ALL TRADES AND DISCIPLINES THROUGHOUT THIS SET AND SITE CONDITIONS.
- COORDINATE LOCATION OF SCHEDULED EXHAUST PENETRATIONS ADJACENT TO OPERABLE WINDOW UNITS WITH REQUIREMENTS OF GOVERNING CODE.
- PROVIDE PRE-FINISHED, BREAK METAL FLASHING WITH "HEMMED" DRIP EDGE OVER SCHEDULED, GALVANIZED, LINTELS, COORDINATE WEATHER RESISTANT BARRIER (WRB), FLEXIBLE FLASHING, MORTAR NET, ETC. TO ENSURE WATERPROOF & DRAINABLE ASSEMBLY.

SUPERVISOR / CIVIL ENG.

STRUCTURAL ENG.

MEP ENGINEER

1833 CHURCH STREET
1833 CHURCH ST, DETROIT, MI 48216

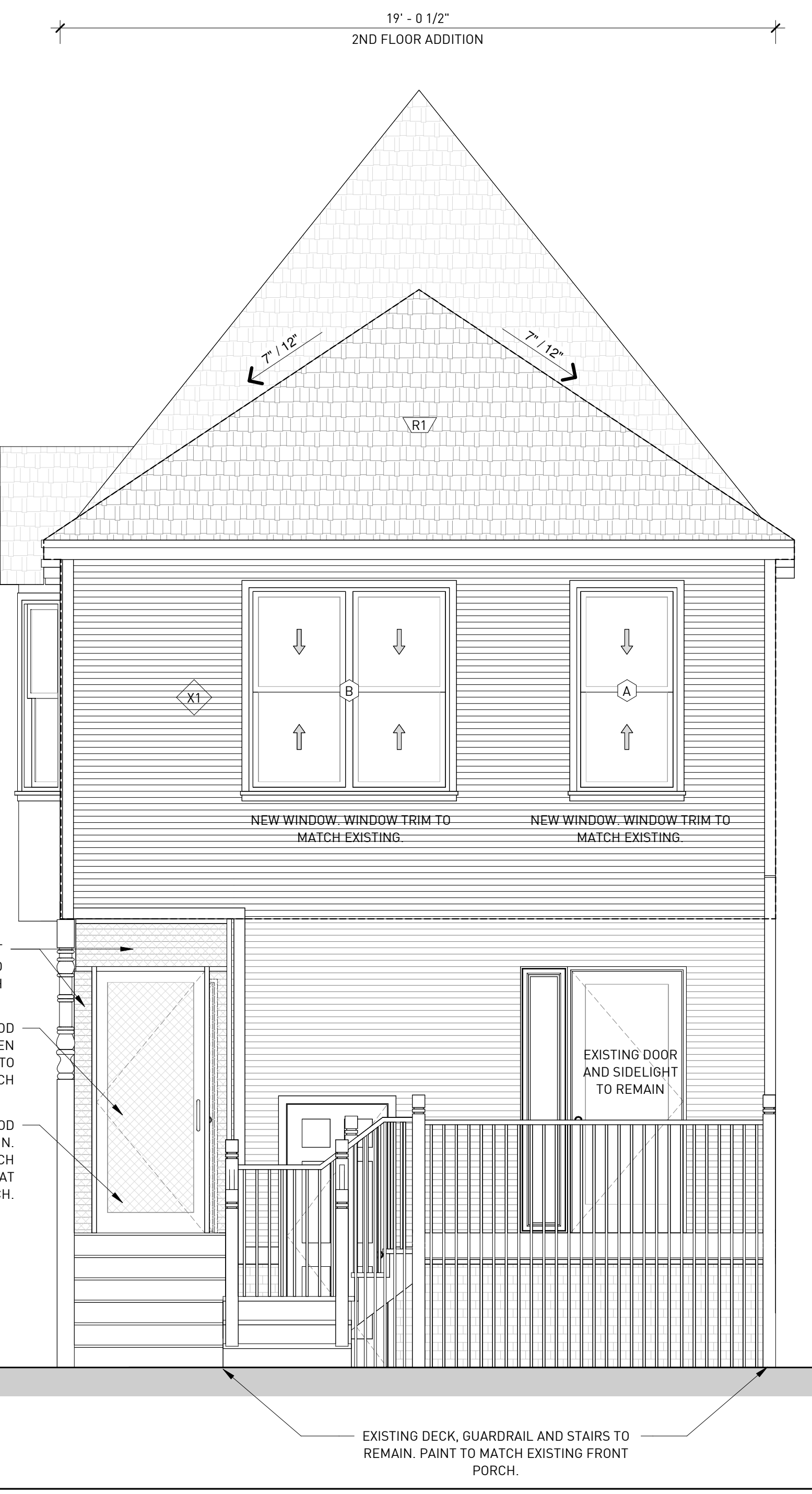
HDC REVIEW

NO.	DATE	DESCRIPTION
1	2026.03.06	HDC REVIEW

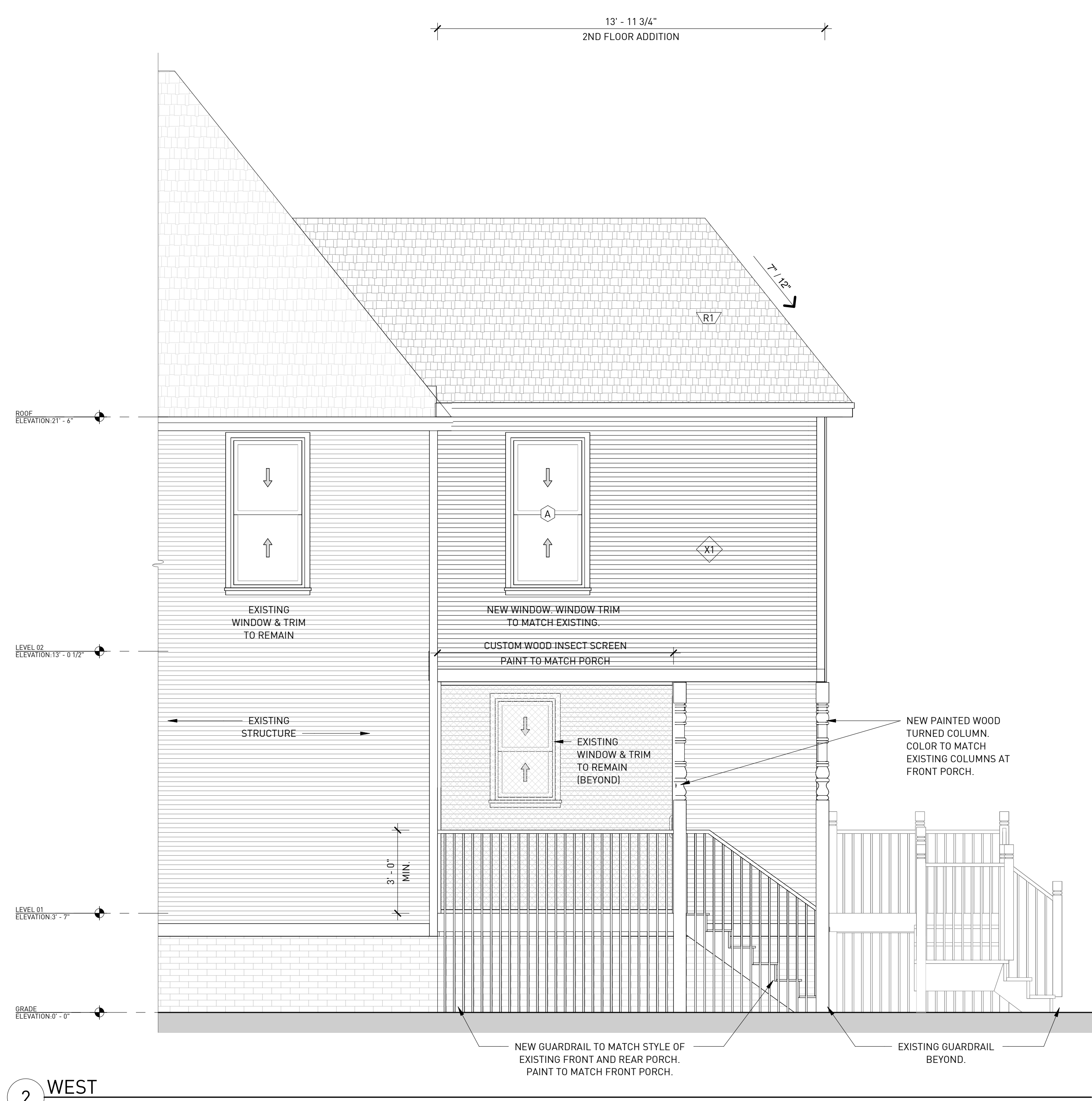
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

A2-01

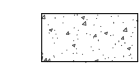
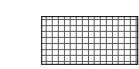
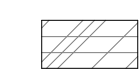
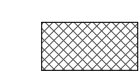



1 SOUTH
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



2 WEST
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"

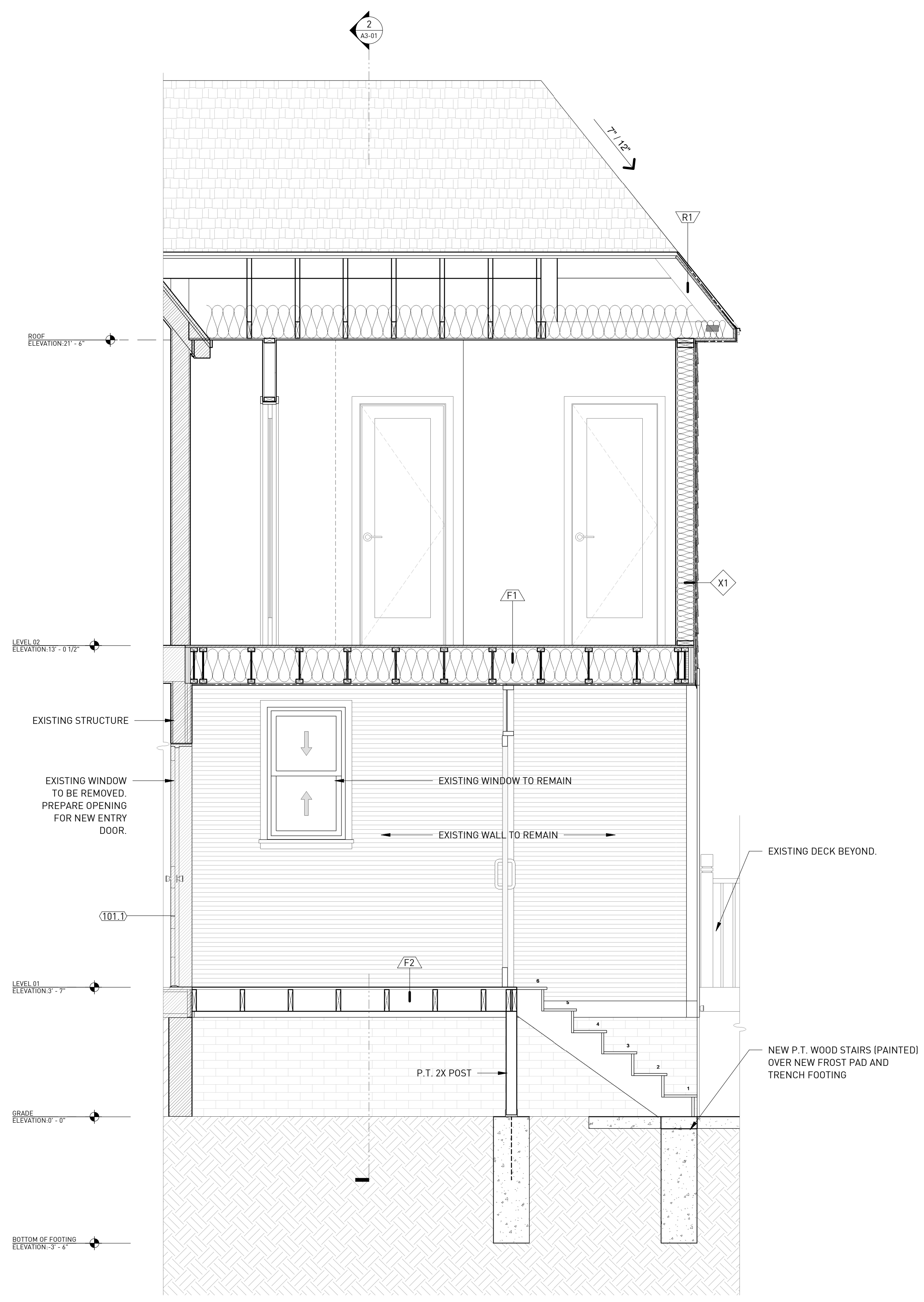
SECTION SYMBOLS

- NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE
-  CONCRETE FOUNDATION
 -  RIGID INSULATION BOARD
 -  PLYWOOD SHEATHING
 -  MASONRY CMU BLOCK
 -  BATT INSULATION

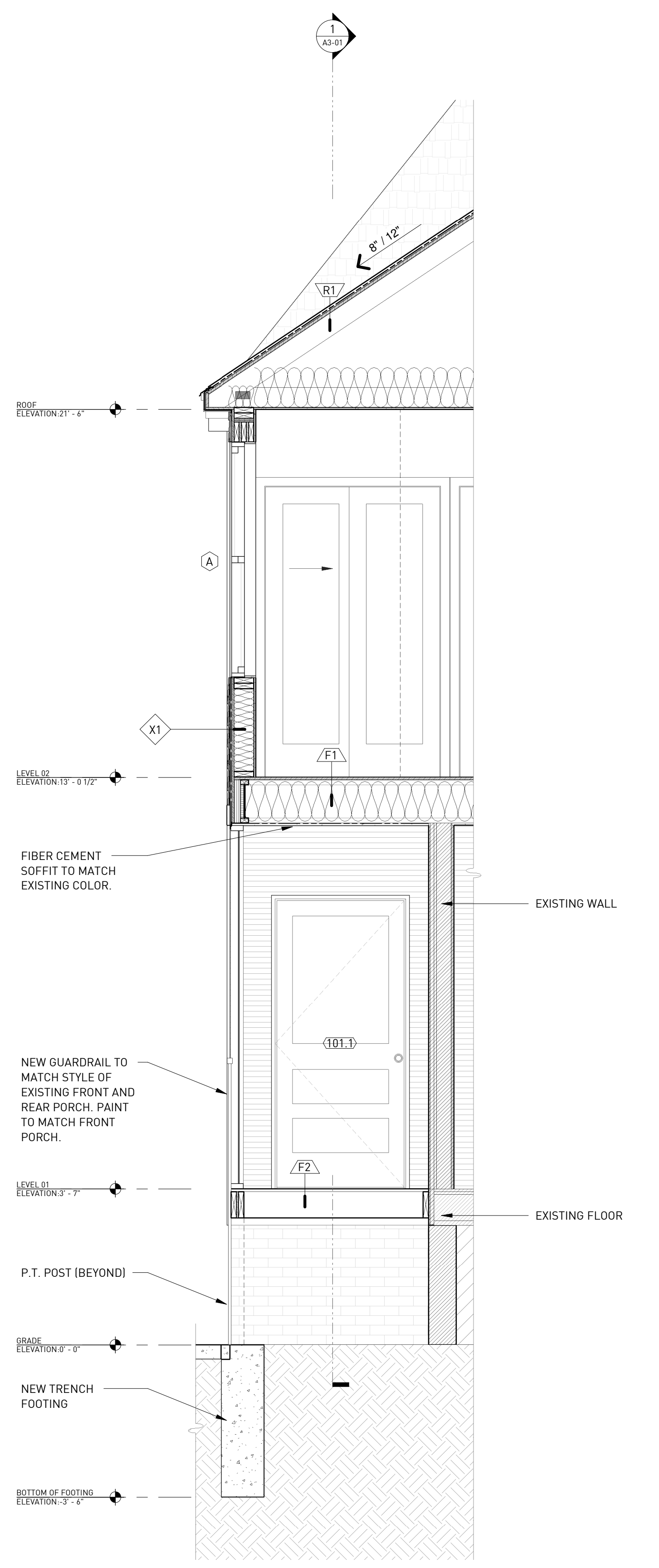
SECTION GENERAL NOTES

1. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
2. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK.
3. ALL ASTM AND OTHER REFERENCES ARE PER THE LATEST EDITIONS OF THESE STANDARDS, UNLESS OTHERWISE NOTED.
4. THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT.

CONTRACTOR NOTE
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1 PORCH SECTION - NORTH SOUTH
 ORIGINAL DRAWING SCALE: 1/2" = 1'-0"



2 PORCH SECTION - EAST WEST
 ORIGINAL DRAWING SCALE: 1/2" = 1'-0"

CONTRACTOR NOTE
 SURVEYOR / CIVIL ENG.
 STRUCTURAL ENG.
 MEP ENGINEER

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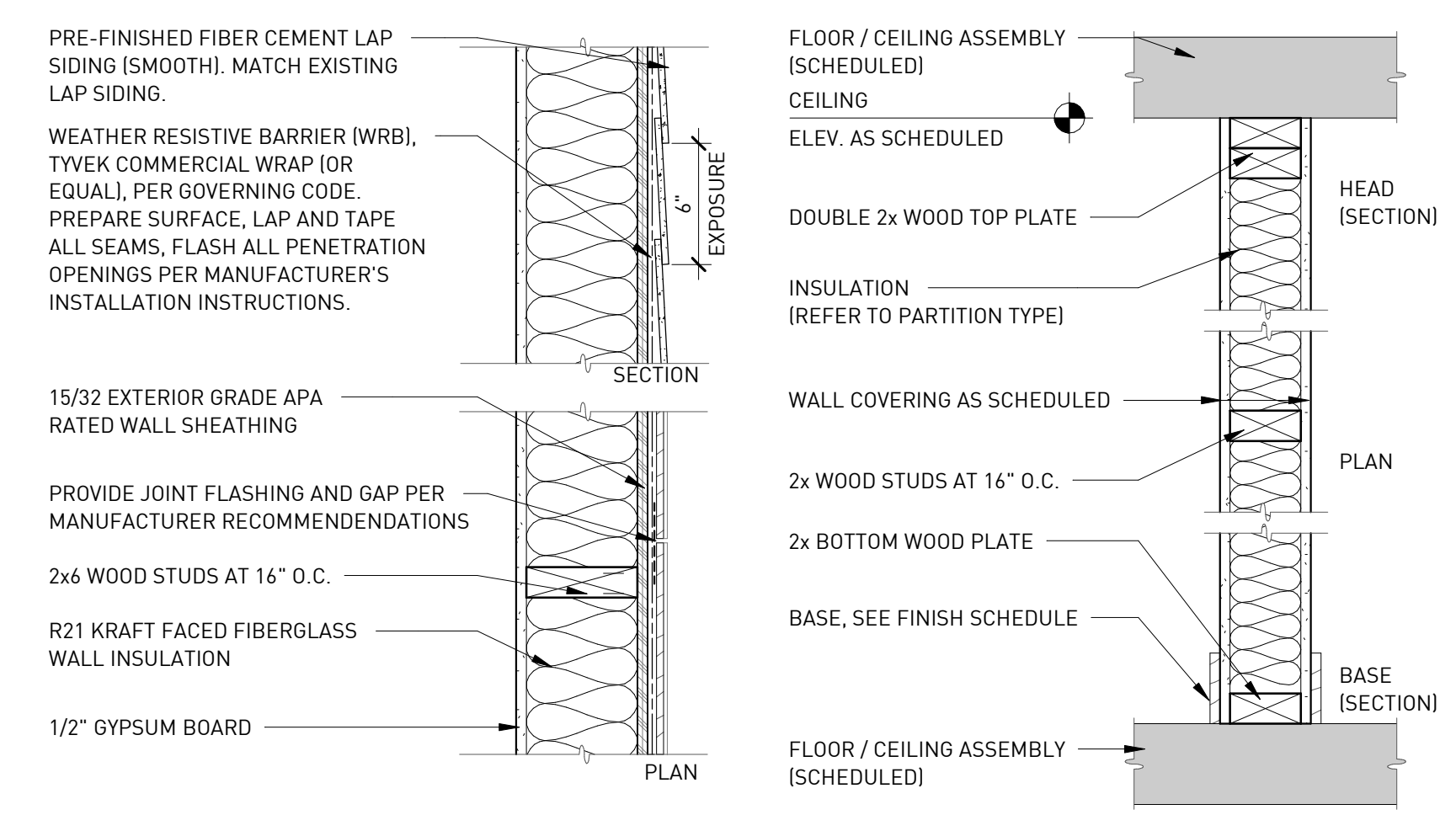
SEAL
 NOT FOR CONSTRUCTION

BUILDING SECTIONS

A3-01

CHA-C.O.M
 ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATION OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

CONTRACTOR NOTE
 SUPERVISOR / CIVIL ENG.
 STRUCTURAL ENG.
 MEP ENGINEER

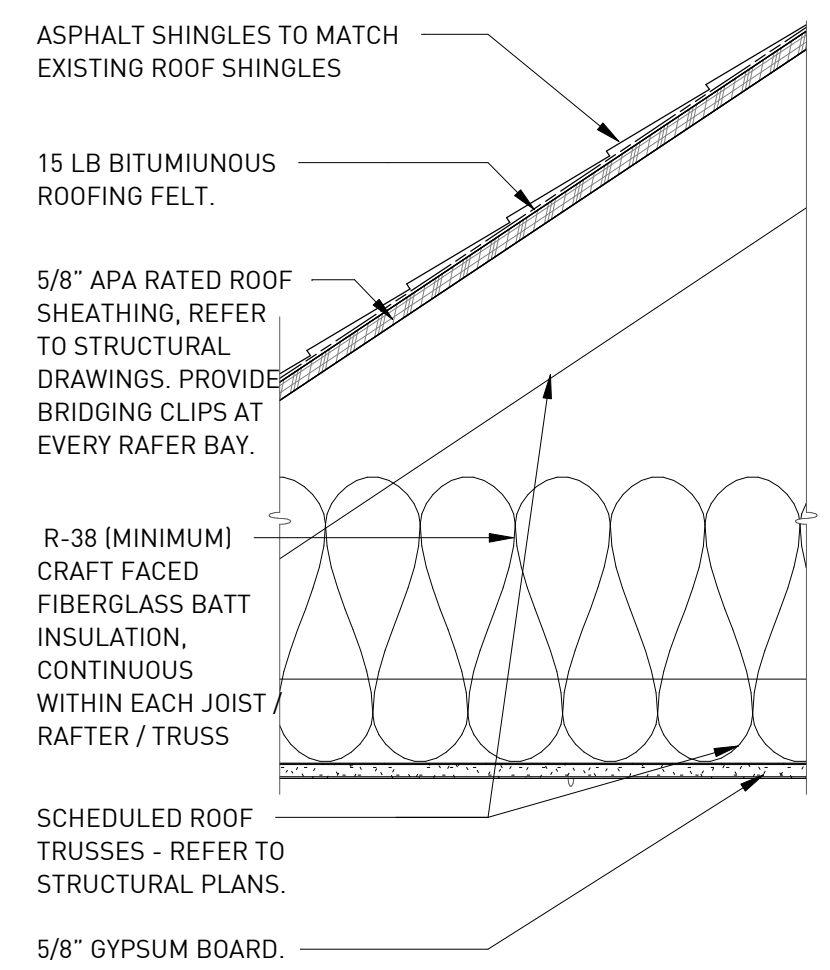


- X1 FIBER CEMENT LAP SIDING WALL ASSEMBLY**
 ADDITIONAL NOTES:
 1. INTERIOR TRIM AS SCHEDULED INCLUDING, 3-1/2" PAINTED MDF BASEBOARD (MIN.) WITH SHOE MOULD (MATCH FLOOR COLOR). PROFILE TO BE DETERMINED.
 2. 2x6 WOOD STUD FRAMING AT 16" O.C. (MINIMUM). DOUBLE TOP PLATE TO INTERLOCK ALL EXTERIOR WALLS AND INTERIOR PARTITIONS. ANY DOUBLE TOP PLATE MISSING OR NOT INTER-LOCKED WILL BE REJECTED BY THE ARCHITECT.
 3. 15/32 EXTERIOR GRADE APA RATED WALL SHEATHING SCREWED TO WALL STRUCTURE WITH APPROVED #8 DECK SCREWS AT 8" O.C.. INSTALL SHEATHING WITH FACE GRAIN ACROSS STUDS.
 4. INSTALL DOOR AND WINDOW SURROUNDS AS WELL AS CORNER CONDITIONS WITH BREAK METAL TRANSITIONS AND FLASHINGS. COORDINATE CORNER TRANSITIONS, WALL TRANSITIONS, DOOR AND WINDOW DETAILS WITH ARCHITECT. SUBMIT STANDARD COLORS FOR SELECTION.

- A1 NON-FIRE RATED WALL ASSEMBLY**
 2x4 WOOD CONSTRUCTION AT 16" O.C.
 1/2" GYPSUM WALL BOARD - EACH SIDE
 WALL THICKNESS = 4 1/2"
- A2 NON-FIRE RATED WALL ASSEMBLY**
 2x4 WOOD CONSTRUCTION AT 16" O.C.
 1/2" GYPSUM WALL BOARD - ONE SIDE
 WALL THICKNESS = 4"
- A3 NON-FIRE RATED WALL ASSEMBLY**
 2x4 WOOD CONSTRUCTION AT 16" O.C.
 1/2" GYPSUM WALL BOARD - ONE SIDE
 1/2" CEMENTITIOUS WALL BOARD WITH CERAMIC TILE FINISH - ONE SIDE
 WALL THICKNESS = 4 3/4"
- A4 NON-FIRE RATED WALL ASSEMBLY**
 2x6 WOOD CONSTRUCTION AT 16" O.C.
 1/2" GYPSUM WALL BOARD - EACH SIDE
 WALL THICKNESS = 6 1/2"

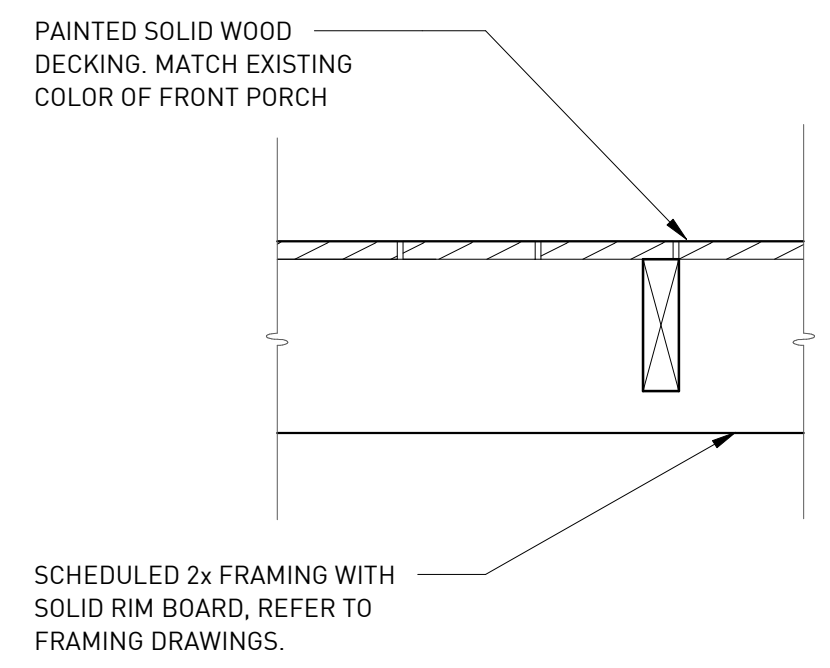
WALL TYPES

ORIGINAL DRAWING SCALE: 1 1/2" = 1'-0"



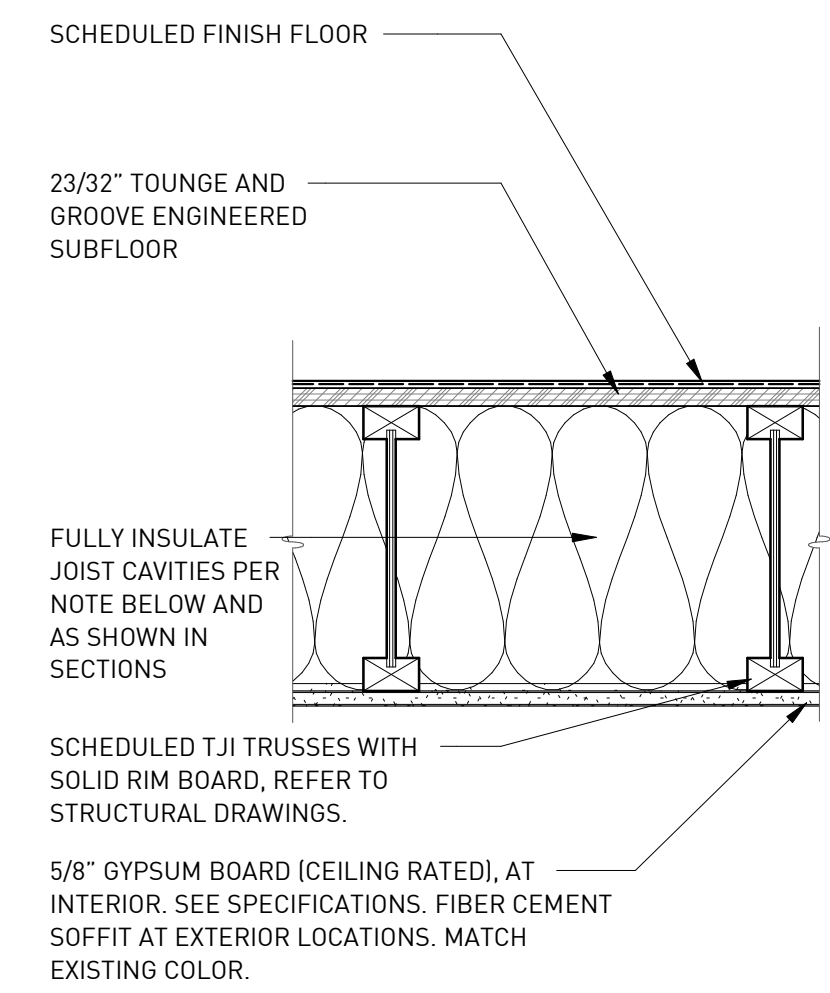
- R1 ROOF ASSEMBLY - TAPERED CLASS 'C'**
 ADDITIONAL NOTES:
 1. CERTAINTED 3-TAB 'INDEPENDENT SERIES' (25 YEAR WARRANTY) ASPHALT SHINGLED ROOF. PROVIDE STANDARD COLORS FOR SELECTION.
 2. INSTALL CONTINUOUS RIDGE VENT, CONTINUOUS 'EDGE' VENT (INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS), AND CONTINUOUS ALUMINUM DRIP EDGES (BLACK) AT ALL ROOF EDGES.
 3. INSTALL ALLUMINUM STEP FLASHING AT ALL INTERSECTIONS WITH OTHER BUILDING ELEMENTS, (IF APPLICABLE).
 4. CONTINUOUS 3x4" WIDE STRIP OF ICE AND WATER SHIELD AT ALL EAVE CONDITIONS AND IN ALL VALLEYS. AT ALL EAVE CONDITIONS, INSTALL NO LESS THAN 2'-0" (MEASURED HORIZONTALLY BEYOND THE INTERIOR FACE OF THE FINISHED WALL ASSEMBLY / FACE OF WARM ZONE, PER CODE.

ROOF TYPES
 ORIGINAL DRAWING SCALE: 1 1/2" = 1'-0"



F2 DECK ASSEMBLY

FLOOR TYPES
 ORIGINAL DRAWING SCALE: 1 1/2" = 1'-0"



- F1 SECOND LEVEL FLOOR ASSEMBLY**
 ADDITIONAL NOTES:
 1. SCHEDULED FINISH FLOOR, REFER TO FINISH SCHEDULE. MAKE ALL NECESSARY PREPARATIONS FOR SCHEDULED FINISH FLOOR MATERIAL. TRANSITIONS BETWEEN FINISH FLOOR MATERIAL AND AT STAIR OPENINGS / RISERS / TREADS, ETC.
 2. 23/32" TOUNGE AND GROOVE ADVANTEC ENGINEERED SUBFLOOR OVER CONSTRUCTION ADHESIVE OVER EVERY JOIST. PROVIDE EXPANSION SPACING BETWEEN PANELS PER MANUFACTURER'S INSTALLATION DIRECTIONS AND INDUSTRY STANDARDS. USE APPROVED #8 DECK SCREWS AT 8" O.C. INSTALL DECKING WITH FACE GRAIN ACROSS JOISTS.
 3. FULLY INSULATE ALL JOIST CAVITIES AT RIM BOARD WITH FIBERGLASS BATT INSULATION NOT LESS THAN 1'-6" TO INTERIOR OF ALL COLD ZONES AND IN ALL LOCATIONS ADJACENT TO DEMISING WALLS FOR SOUND ATTENUATION.

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ASSEMBLY TYPES

A5-01



1833 Church Street Rear Addition

March 11, 2026

Historic District Commission Staff
City of Detroit
Coleman A. Young Municipal Center
2 Woodward Avenue
Detroit, MI 48226

Re: 1833 Church Street Rear Addition

Staff,

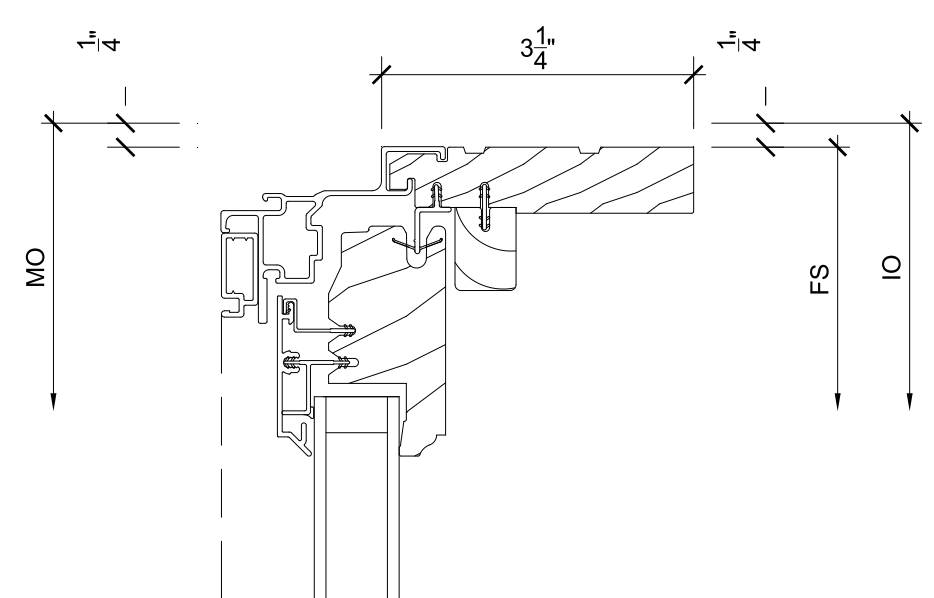
The Owners of 1833 Church Street, Greg and Sarah Lenhoff, would like to expand their living area by adding a bedroom and bathroom to the second floor of their house. It is a rear addition of the second floor only, but it does impede on the first floor as well.

The house is a traditional Victorian wood framed, wood clapboard sided (now covered in vinyl siding) house with steep pitched gable end roof, half front porch and a newer rear deck/porch. We propose to remove the existing second story of the rear portion of the house and add a full story to the rear portion. Currently the space is occupied by a full kitchen and exterior basement access for the first floor, and the second floor is a small space for storage.

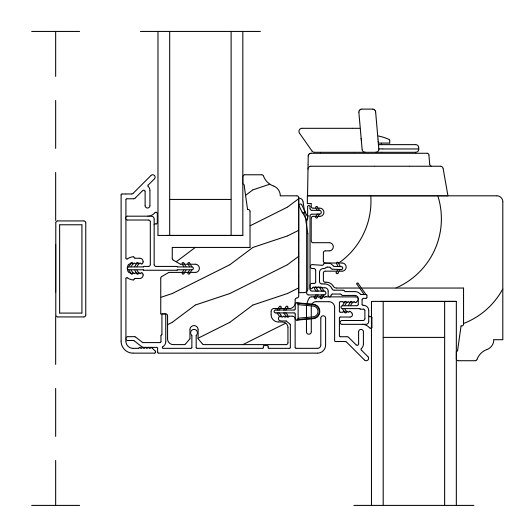
The addition will consist of a new master bedroom and bath, with closet spaces. The construction will be traditional wood framing, with new aluminum clad wood windows, to match the color of the existing adjacent windows. We propose Marvin Windows for the three new windows. The roof will be a hip roof to emulate the existing main house hip roof and start below the ridge line of the existing house to accentuate the original structure from the new addition. The roof shingling and accessory metals will all match the existing main house in color and material. The first floor will alter the window of the dining room to become a new door to the new side porch. The porch will be wood framed and trimmed, to match the front porch in detail, measures, and colors. The porch railing will have turned spindles and turned columns, painted. The porch will also be screened with black insect mesh on the inside of the porch railing. A screen door with trimmed outline, frame and upper transom area will all be out of custom wood details, painted to match the front porch.

Please review the drawings and photos.

Thank you, Brian Hurttienne



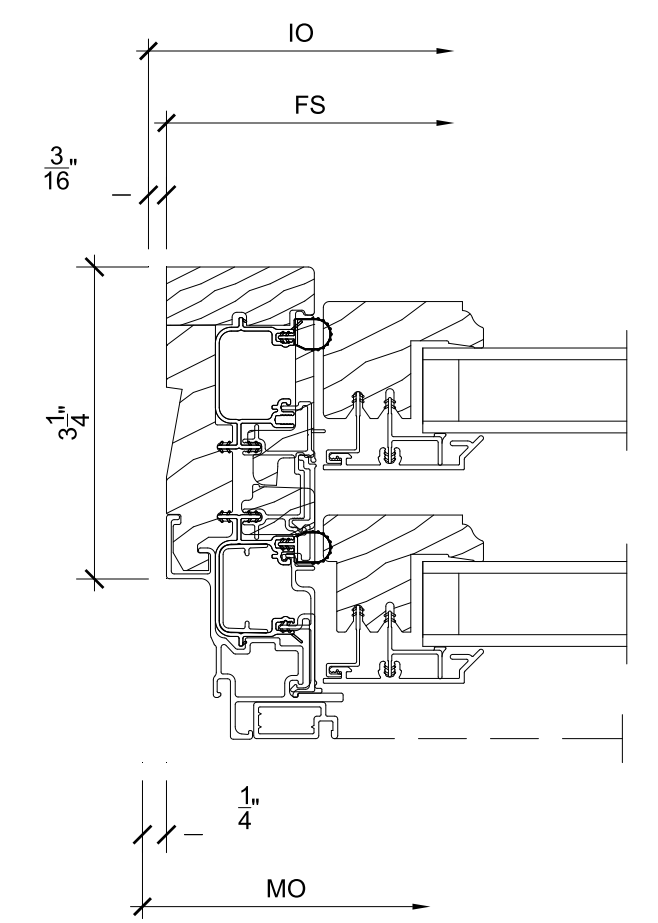
1
2 Head SCALE: 6" = 1'-0"



4
2 Checkrail SCALE: 6" = 1'-0"

7
2 NOT USED SCALE: 6" = 1'-0"

10
2 NOT USED SCALE: 6" = 1'-0"

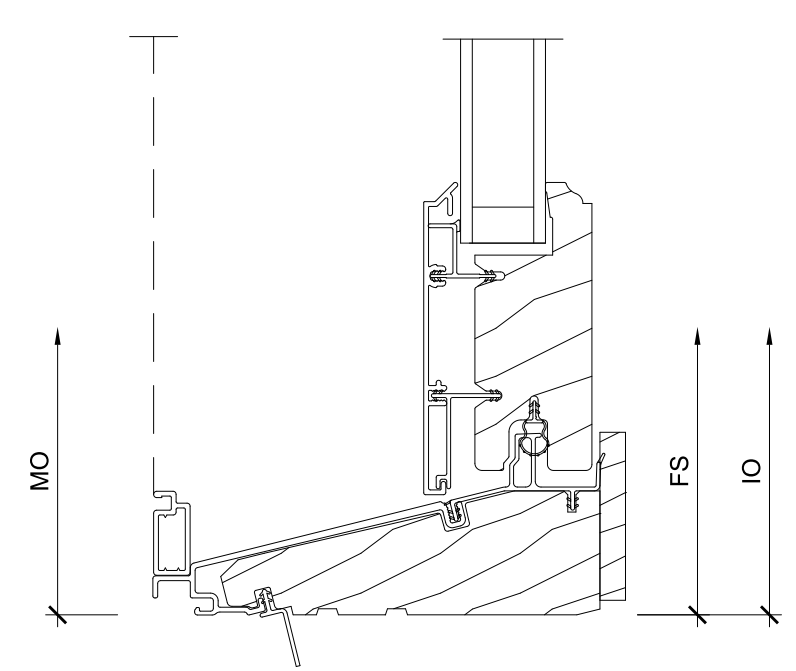


2
2 Jamb SCALE: 6" = 1'-0"

5
2 NOT USED SCALE: 6" = 1'-0"

8
2 NOT USED SCALE: 6" = 1'-0"

11
2 NOT USED SCALE: 6" = 1'-0"



3
2 Sill SCALE: 6" = 1'-0"

6
2 NOT USED SCALE: 6" = 1'-0"

9
2 NOT USED SCALE: 6" = 1'-0"

12
2 NOT USED SCALE: 6" = 1'-0"



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department, Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49503. The purchaser must also return a copy of these drawings to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

PROJECT: Hurlienne, Brian / Marvin Clad Windows
 DIST/DEALER: LAURENCE SMITH DIST INC
 DRAWN: CHRIS CASWELL
 QUOTE#: 4C7W188
 PK VERSION: 0004.14.01
 CREATED: 04/16/2025
 REVISION: