

ARCHITECTURE SITE PLAN
SCALE : 1" = 20'-0"

SCOPE OF WORK:

THE PROPOSED PROJECT CONSISTS OF SITE REDEVELOPMENT, WHICH INCLUDES THE DEMOLITION OF THE EXISTING CONVENIENCE STORE AND CONSTRUCTION OF A NEW **2400 SQ.FT** CONVENIENCE STORE FACING WOODWARD AVENUE.

THE REDEVELOPMENT ALSO INCLUDES:

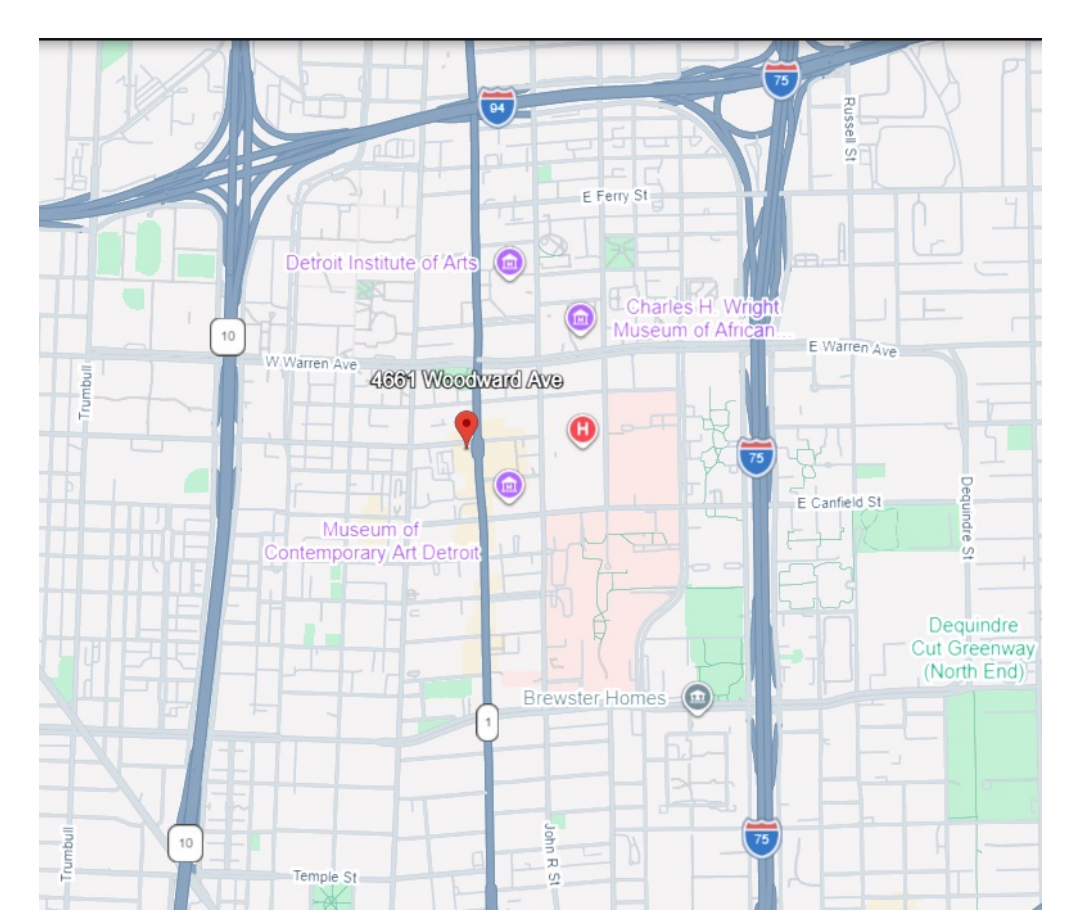
- TWELVE (12) PARKING SPACES, INCLUDING INSTALLATION OF TWO (2) NEW EV CHARGING STATIONS
- RELOCATION AND CONSTRUCTION OF A NEW CMU-ENCLOSED DUMPSTER AREA
- REDUCTION OF EXISTING FUEL DISPENSERS FROM SIX (6) TO FOUR (4)
- EXISTING OVERHEAD STEEL CANOPY HAS BEEN REDUCED TO 1,972 SQ. FT. TO ACCOMMODATE THE REVISED PUMP LAYOUT

PROPOSED SITE PLAN LEGEND:

	EXISTING LAWN
	EXISTING CONCRETE
	PROPOSED CONVENIENCE STORE
	PROPOSED CONCRETE



PARCEL MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

PROJECT DESCRIPTION:

- **PARCEL ID #:** 02001788-90
- **ZONING:** SD2 (SPECIAL DEVELOPMENT DISTRICT-MIXED-USE)
- **EXISTING LAND USE:** GAS STATION

• **LEGAL DESCRIPTION:** W WOODWARD LOTS 1 THRU 4 STIMSONS SUB L1 P246 PLATS, W C R 2/112 177.25 IRREG SPLIT/COMBINED ON 11/03/2017 FROM 02001788-9, 02000916., 02001790.;

LOT COVERAGE:

- **PARCEL SIZE:** 0.646 ACRES
- **PARCEL AREA:** 28,141 SQ.FT
- **PROPOSED STRUCTURE AREA :** PROPOSED CONVENIENCE STORE + EXISTING CANOPY 2400 SQ.FT + 1972 SQ.FT = 4,372 SQ.FT
- **MAXIMUM ALLOWABLE PERCENTAGE OF LOT COVERAGE: 40%**
28,141 SQ.FT X 0.40= 11,256.4 SQ.FT
4372 SQ.FT < 11256.4 SQ.FT

SETBACKS:

- MINIMUM FRONT SETBACK : 40'-0"
- MINIMUM SIDE SETBACK : 10'-0"
- MINIMUM REAR SETBACK : 10'-0"
- PROPOSED FRONT YARD SETBACK: 9'-11 1/2"
- PROPOSED SIDE SETBACK: 10'- 0"
- PROPOSED REAR SETBACK: 80'- 7 1/4"

BUILDING HEIGHT:

- MAXIMUM HEIGHT OF BUILDING: N/A
- PROPOSED HEIGHT OF BUILDING: 18'- 9 1/2"

BUILDING AND CONSTRUCTION CODE DATA:

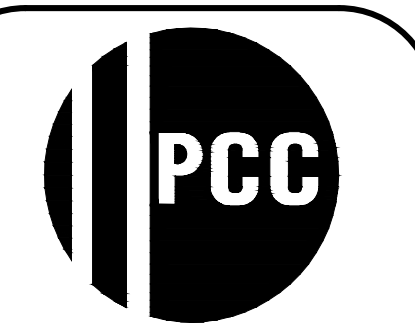
APPLICABLE CODE: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING (MRCEB 2021)
USE GROUP: MERCANTILE GROUP M
CONSTRUCTION TYPE: III-B

PARKING REQUIREMENT:

MOTOR VEHICLE FILLING STATION: 1 PER 200 GROSS FLOOR AREA
PROPOSED GROSS FLOOR AREA FOR RETAIL STORE: 2400 SQ.FT

PARKING CALCULATION:

2400 SQFT /200GFA = 12 SPACES
NO OF SPACES REQUIRED: 12 NO'S
NO OF SPACES PROVIDED: 12 NO'S



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DOT NOT SCALE DRAWINGS. USE FIGURE DIMENSIONS ONLY.

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PROJECT

REMODELING OF AN EXISTING GAS STATION

NAME

4661 GAS AND MORE INC.

ADDRESS

4661 WOODWARD, DETROIT, MI 48201

PROJECT NO.

DATE: 08/27/2025
REVISED:

SCALE

1" = 20'-0"

SHEET TITLE

ARCHITECTURE SITE PLAN

AS-1

