

01 architectural site plan
 3/16" = 1'-0"

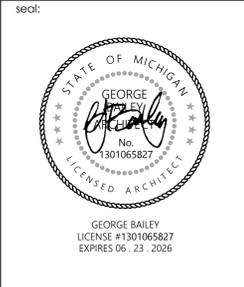
SITE PLAN GENERAL NOTES

1. THIS SITE AND BUILDING PLAN IS DIAGRAMMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC., ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER AS REQUIRED.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES, AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE, BUILDING, FOUNDATIONS, AND ALL OTHER IMPROVEMENTS 'STAKED-OUT' BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
4. EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
5. CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
6. ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OF.
7. ANY EXISTING PAVING AT ALLEY (IF APPLICABLE) IS TO REMAIN IN PLACE WHENEVER POSSIBLE AND PROTECTED WHERE REQUIRED TO PREVENT UNDO DAMAGE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESSES. ALL WORK SHALL BE PERFORMED TO REPLACE DAMAGED OR MISSING PAVING TO THE EXISTING OR BETTER CONDITION THAN ORIGINALLY ENCOUNTERED, IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION, CITY OF DETROIT OR ANY OTHER APPLICABLE LOCAL, STATE OR FEDERAL DESIGN STANDARDS.
8. INSTALL 3000PSI CONCRETE FLATWORK WALKWAYS, WIDTHS AS INDICATED. COORDINATE ELEVATION OF WALKWAYS WITH FINAL GRADE AND SLOPE FLATWORK TO PUBLIC RIGHT-OF-WAY WHERE POSSIBLE AND APPLICABLE.
9. COORDINATE SANITARY SEWER CLEAN-OUT LOCATION ON EXTERIOR OF BUILDING WITH SCHEDULED PORCH / DECKS AND APPLICABLE CODE REQUIREMENTS, COORDINATE LOCATION WITH GENERAL CONTRACTOR. WHEN POSSIBLE, INSTALL CLEAN-OUT IN PLANTING BED AREA, NOT IN OPEN YARD OR LAWN AREA.

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consultant:



drawing issue:
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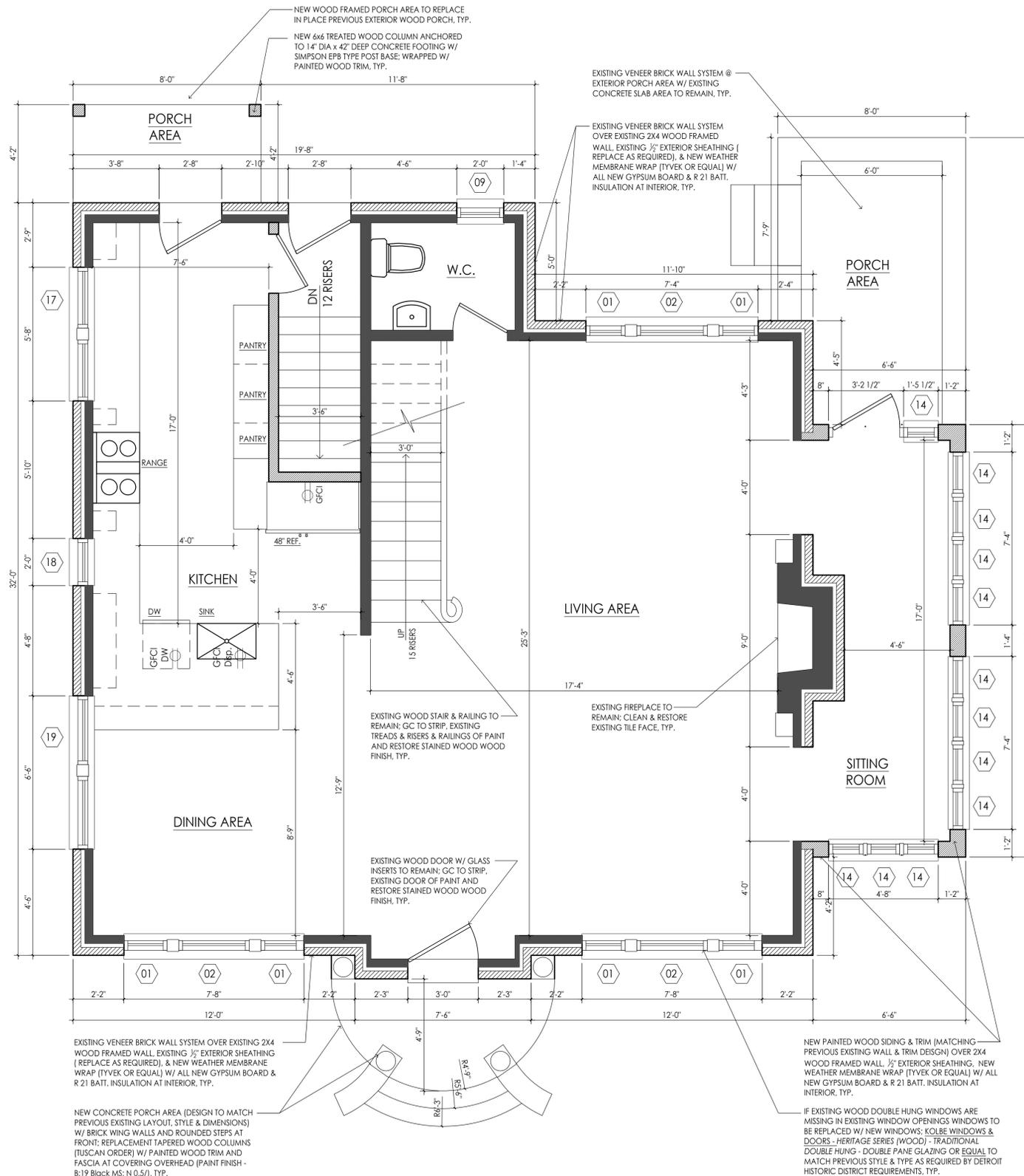
client name:
 nevar jahwary
 stonebridge development group
 1142 e. big beaver road
 troy, mi 48083

project name:
longfellow residence
 2008 longfellow street
 detroit, mi 48206

sheet name:
 architectural site plan

issue date(s)
 03 . 11 . 2026

sheet number:
a.s.1.00

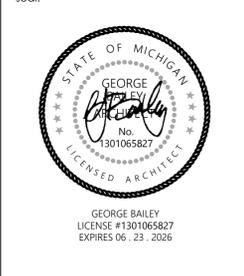


01 floor plan - main level
3/8" = 1'-0"



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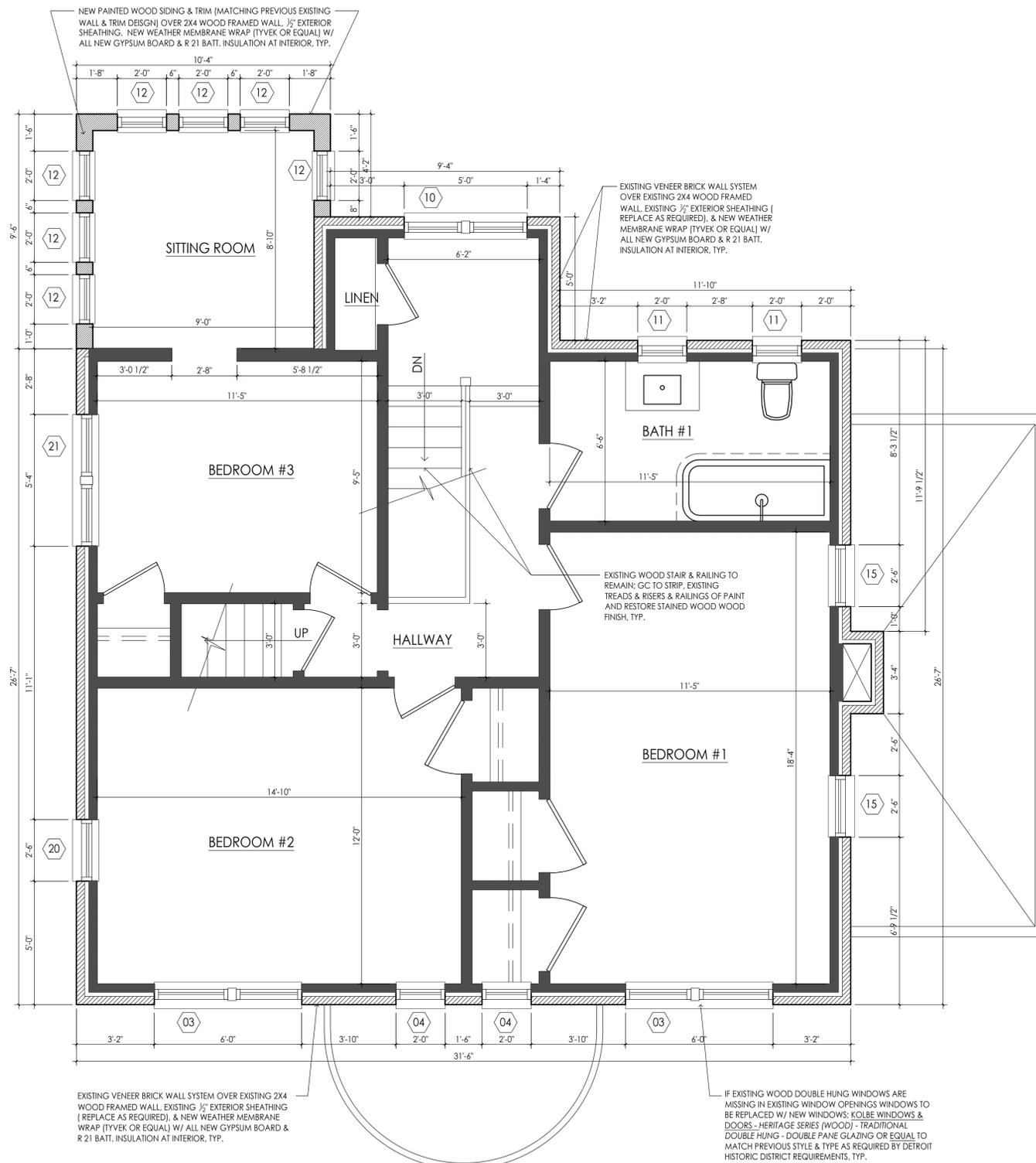
drawing issue:
hdc review set
 client name:
 nevar jahwary
 stonebridge development group
 1142 e. big beaver road
 Troy, MI 48063

project name:
longfellow residence
 2008 longfellow street
 Detroit, MI 48206

sheet name:
 floor plan - main level

issue date(s)
 03.11.2026

sheet number:
a.1.01



01 floor plan - upper level
3/8" = 1'-0"



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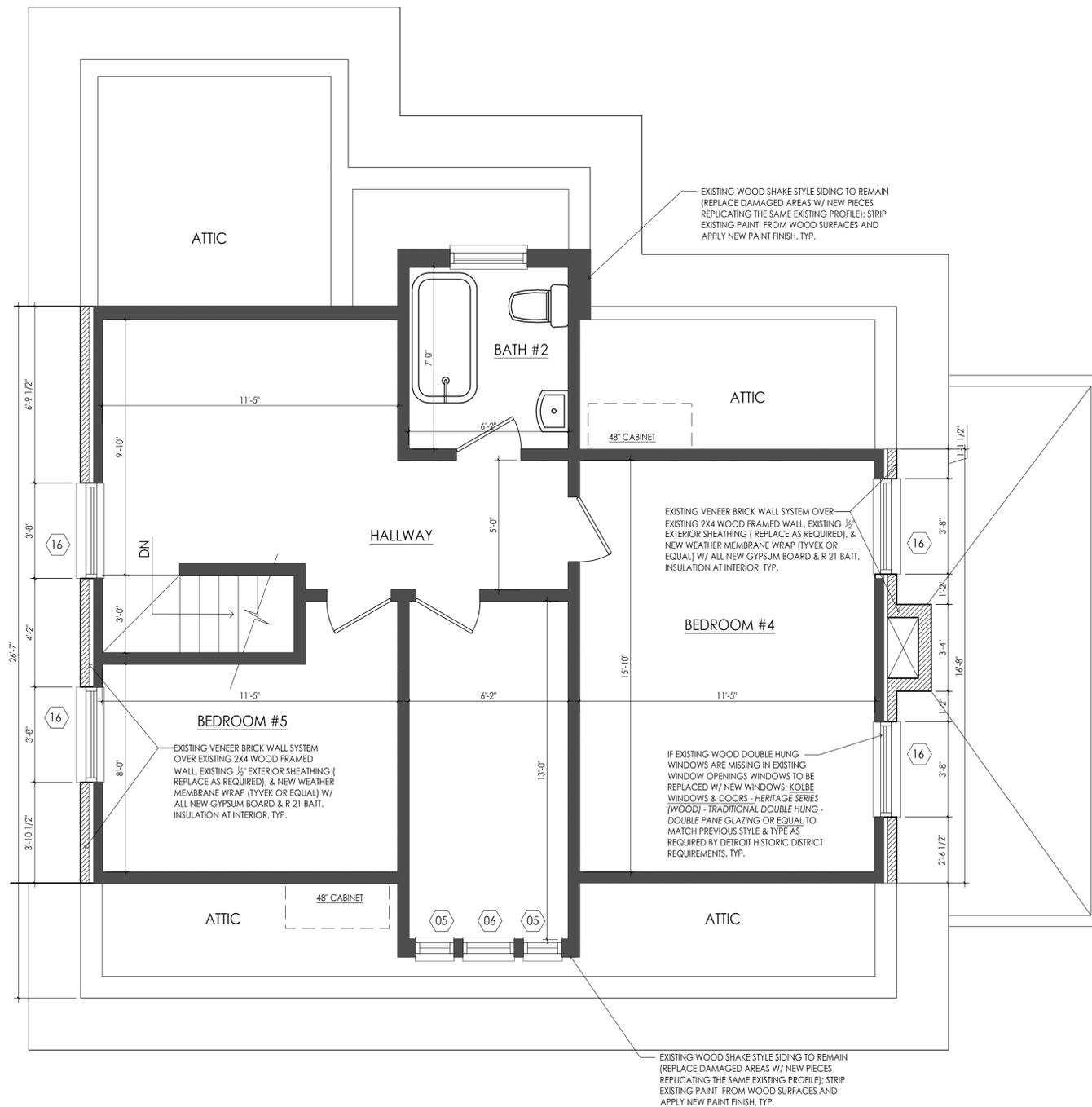
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REPAIR OR REPLACE EXISTING INTERIOR WALLS THAT ARE TO REMAIN IN PLACE, TYPICAL. PAINTED FINISH UNLESS NOTED OTHERWISE

ALL EXISTING DOORS, DOOR FRAMES, MOULDINGS, AND BASE MOULDINGS TO BE REPLACED UNLESS NOTED OTHERWISE, TYPICAL

ALL EXISTING EXTERIOR WINDOWS TO BE REPLACED U.N.O.; ALL NEW WINDOWS TO BE MARVIN OR EQUAL TO MATCH PREVIOUS STYLE & TYPE AS REQUIRED BY DETROIT HISTORIC DISTRICT REQUIREMENTS, TYP.

ALL FLOORING TO BE REPLACED THROUGHOUT, U.N.O.

OWNER TO DETERMINE ALL FINISH & FIXTURE SELECTIONS.



ALL EXTERIOR FINISH MATERIALS (STANDARD VENEER BRICK TO REMAIN EVERYWHERE WHERE NOT BEING DEMOLISHED; PATCH & REPAIR AS REQUIRED) AT AREAS OF DEMOLITION STANDARD VENEER BRICK TO BE REMOVED & SALVAGED FOR REUSE ON NEW EXTERIOR WALL CONFIGURATIONS, TYP.

CONTRACTOR TO HAVE ALL EXISTING SYSTEMS (MECHANICAL, ELECTRICAL, PLUMBING) CHECKED, VERIFIED AS TO OPERATIONAL STATUS, AND SERVICED IF REQUIRED BY LICENSED SUBCONTRACTORS FOR THAT TRADE, TYP.

WHEN REMOVING EXISTING WALLS & CEILINGS CONTRACTOR TO VERIFY IF WALLS TO BE REMOVED ARE LOAD BEARING. IF LOAD BEARING CONTRACTOR TO CONTACT ARCHITECT FOR DESIGN MODIFICATION & SHOULD TAKE CARE THAT ADJACENT WALLS REMAIN INTACT; IF DAMAGE SHOULD OCCUR CONTRACTOR IN RESPONSIBLE TO REPAIR OR REPLACE AREAS TO MATCH EXISTING CONDITIONS. ALL WALLS & CEILING AREAS ON MAIN LEVEL TO RECEIVE NEW PAINT FINISH, TYP.

CONTRACTOR MUST VERIFY ALL EXISTING BUILDING DIMENSIONS IN FIELD PRIOR TO BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.

BATH NOTES:

1. VANITY W/ GRANITE COUNTER & UNDERMOUNT SINK
2. PLUMBING FIXTURES WILL BE OWNER PROVIDED & CONTRACTOR INSTALLED; CONTRACTOR MUST COORDINATE W/ CABINET DESIGNER/ INSTALLER FOR DIMENSIONS & TOLERANCES
3. TILED SHOWER ENCLOSURE W/ GLASS DOOR WALL & TILED RECESSED SHELVES
4. OWNER TO DETERMINE ALL FINISH & FIXTURE SELECTIONS

ALL WINDOW SASHES TO BE PAINTED FINISH - B:19 Block MS: N 0.5/, TYP.

ALL WOOD TRIM SURFACES (FASCIA, SIDING, TRIM, DETAILS, DENTILS) TO BE PAINTED FINISH - B:19 Block MS: N 0.5/, TYP.

ALL GUTTERS TO BE NEW AMERIMAX 6" STYLE W/ 3" x 4" CORRUGATED DOWNSPOUTS (PREFINISHED BLACK COLOR), TYP.

ALL NEW ROOF AREAS TO BE OWENS CORNING - OAKRIDGE ARCHITECTURAL ASPHALT SHINGLES (ONYX BLACK), TYP.

GENERAL NOTES

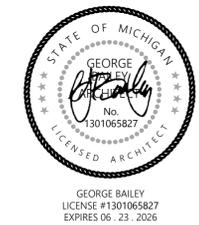
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2. REFER TO BUILDING AND WALL SECTIONS FOR ELEVATION AND BUILDING HEIGHT INFORMATION.
3. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXTERIOR WALL ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER PER CODE.
4. ALL EXTERIOR & INTERIOR WALL PARTITION CONSTRUCTION IS TO BE 2X6 WOOD FRAMING, UNLESS OTHERWISE NOTED OR REQUIRED BY CODE.
5. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE A SMOOTH, CONSISTENT AND UN-NOTICEABLE FINISH ACROSS THE ENTIRE SURFACE.
6. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
7. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES.
8. REFER TO THE FINISH SCHEDULE AND SPECIFICATIONS FOR ALL MATERIALS.
9. FIRE-SEAL / FIRE-CAULK SEALANT IS TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE CODES.
10. ALL LOCATIONS OF CEMENTITIOUS BACKER BOARD ARE TO BE COORDINATED BY THE CONTRACTOR WITH THE OWNER AND SCHEDULED CONSTRUCTION ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO CONSTRUCTION ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
11. FRAMING CONTRACTOR TO PROVIDE BLOCKING WHERE REQUIRED TO MILLWORK, EQUIPMENT OR OTHER FINISHES AND ACCESSORIES. ALL INTERIOR TRIM, CABINERY, ETC. WORK AND FINISH DIMS TO BE CONFIRMED W/ CABINERY BUILDER/ INSTALLER
12. EXTERIOR DIMENSIONS ARE GIVEN TO THE OUTER FACE OF THE WALL ASSEMBLY COMPONENTS.
13. ALL WINDOWS TO WOJAN M-950 SERIES OR EQUAL. SELECTION OF TYPE & FINISH BY OWNER
14. ALL INTERIOR WALL FINISHES TO BE PAINTED GYPSUM BOARD (SHERWIN WILLIAMS OR EQUAL) UNLESS NOTED OTHERWISE.
15. PROVIDE SOUND ATTENUATION INSULATION AT ALL INTERIOR BATHROOM & LAUNDRY ROOM WALLS THAT ADJOIN OTHER WALLS AS DIRECTED BY ARCHITECT
16. PROVIDE WIRED CARBON MONOXIDE DETECTORS AS REQUIRED PER CODE
17. PROVIDE WIRED SMOKE DETECTORS AS REQUIRED PER CODE
18. CONTRACTOR TO COORDINATE ALL ELECTRICAL WORK WITH OWNER OR ARCHITECT PRIOR TO WORK TO BE DONE
19. PROVIDE EXTENSION JAMBS AS REQ'D FOR ALL WINDOWS
20. ALL SHOWER GLASS DOOR & ENCLOSURES ARE TO BE DESIGNED BY INSTALLER THEN CONFIRMED BY OWNER OR ARCHITECT ON FINAL DESIGN
21. GAS METER TO BE LOCATED ON EXTERIOR OF BUILDING COORDINATE WITH UTILITY PROVIDER
22. GAS SHUT OFF - LOCATE PER CODE AND UTILITY PROVIDER.
23. INCOMING WATER SERVICE METER AND SHUT OFF TO BE COORDINATED WITH DWSD.
24. ELECTRICAL METER AND DISCONNECT TO BE LOCATED ON EXTERIOR OF BUILDING AND FED WITH NEW UNDERGROUND CABLE - COORDINATE WITH UTILITY PROVIDER.
25. 100 AMP ELECTRICAL SERVICE PANEL TO BE INSTALLED IN EACH UNIT ON 4 x 4 x 3/4" PLYWOOD BACKBOARD. LOW VOLTAGE FEED PROVIDED BY SERVICE PROVIDER. LOCATE MODEM/ROUTER INTERFACE IN PANTRY CLOSET.
26. ALL SCHEDULED HVAC TRUNKS (SUPPLY AND RETURN) LOCATIONS - KEEP CONSOLIDATED AND PROVIDE ALL BRANCH/DISTRIBUTION DUCTWORK WITHIN FLOOR/CEILING ASSEMBLY WITH FIRE DAMPERS FOR ALL NEEDED PENETRATIONS OF ASSEMBLY.
27. ALL HVAC AND WATER HEATING EQUIPMENT TO BE HIGH EFFICIENCY UNITS PER MEP SCHEDULE. COORDINATE EXHAUST PENETRATIONS WITH EXTERIOR FACADE ELEMENTS AND OPENINGS PER CODE.
28. A FLOOR DRAIN MUST BE PROVIDED DIRECTLY ADJACENT TO FURNACE LOCATION FOR CONDENSATE. PER CODE - NO CONDENSATE PUMP.
29. GENERAL CONTRACTOR TO COORDINATE UNDERGROUND PLUMBING WITH HVAC CONTRACTOR.
30. EXTERIOR STAIRS AND DECKS AREAS AT THE REAR TO BE FRAMED WITH TREATED WOOD FRAMING. ALL WALKING SURFACES TO BE TREX OR EQUAL. (CC TO SUBMIT STANDARD COLORS FOR SELECTION) SECURED WITH CONCEALED FASTENERS.



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consultant:

seal:



drawing issue:

hdc review set

client name:

nevar jahwary
stonebridge development group
1142 e. big beaver road
froy, mi 48083

project name:

**longfellow
residence**

2008 longfellow street
detroit, mi 48206

sheet name:

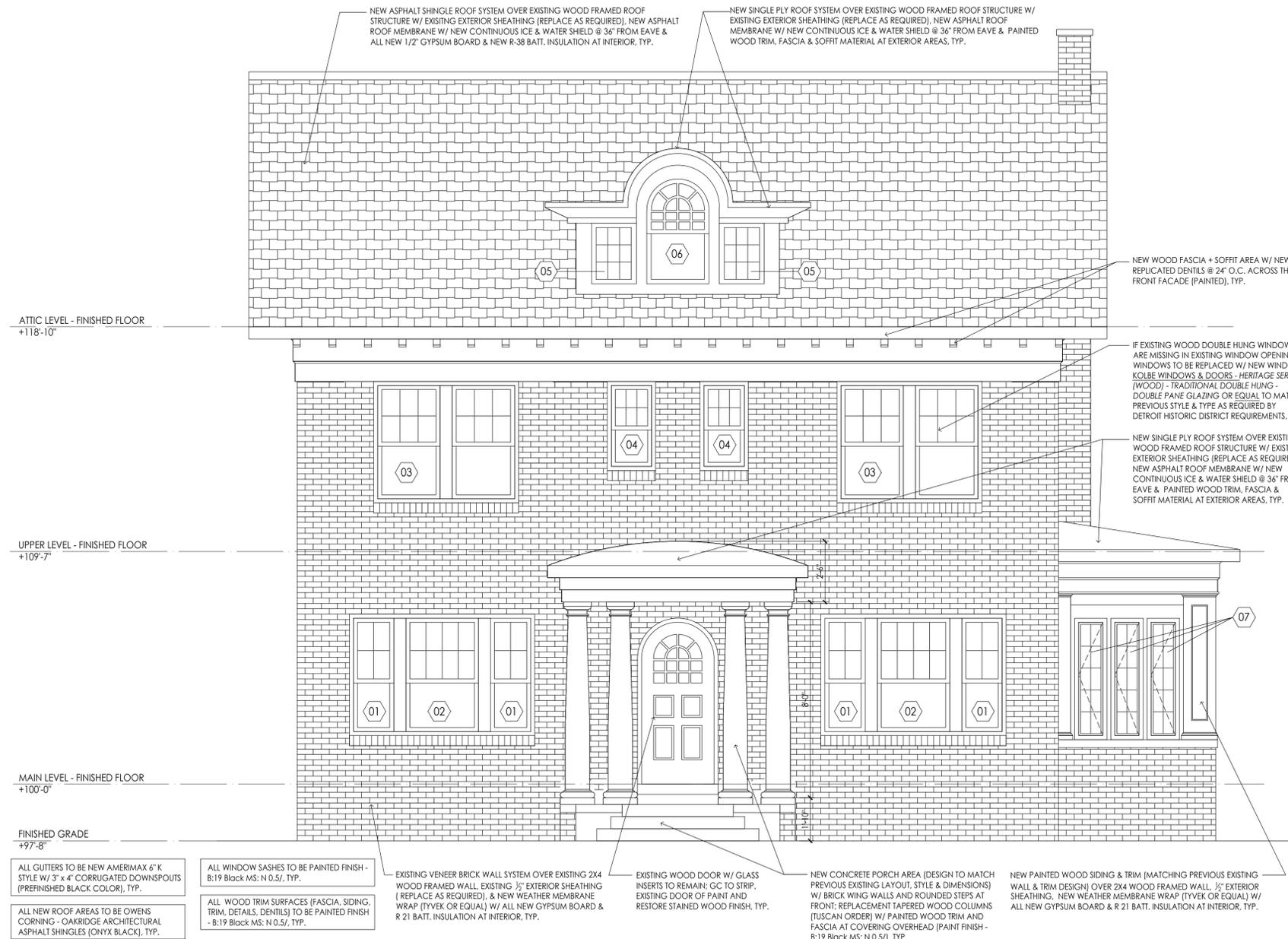
floor plan - attic level

issue date(s)

03 . 11 . 2026

sheet number:

a.1.03



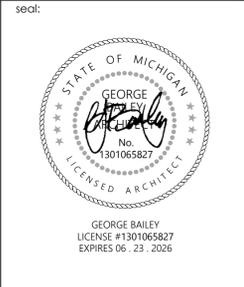
01 exterior elevation - south
3/8" = 1'-0"

GENERAL NOTES

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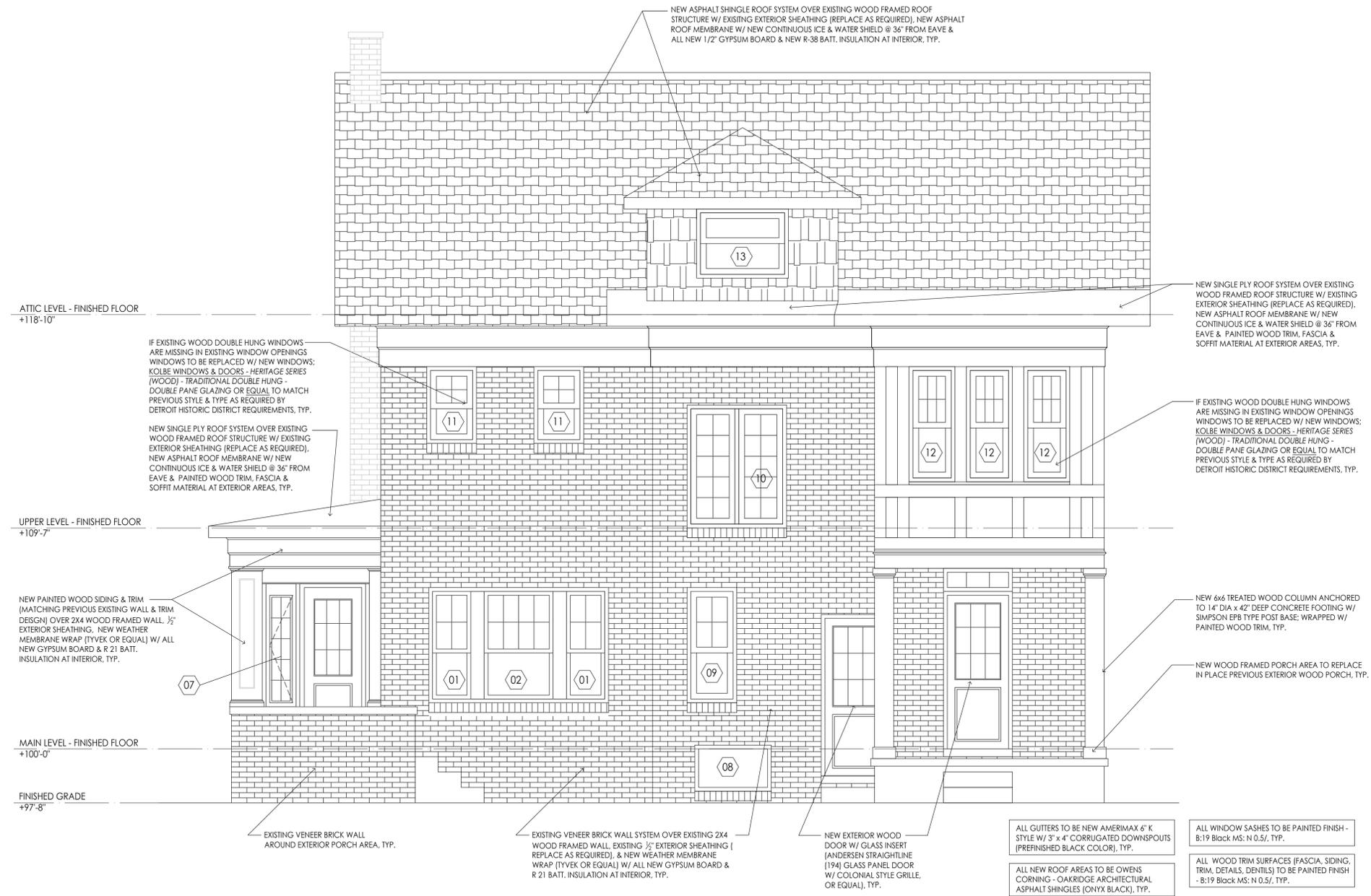
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 1142 e. big beaver road
 troy, mi 48083

project name:
longfellow residence
 2008 longfellow street
 detroit, mi 48206

sheet name:
 exterior elevations

issue date(s)
 03.11.2026

sheet number:
a.2.00



01 exterior elevation - north
3/8" = 1'-0"

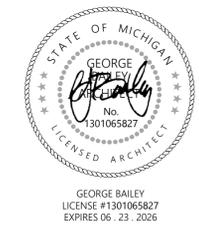
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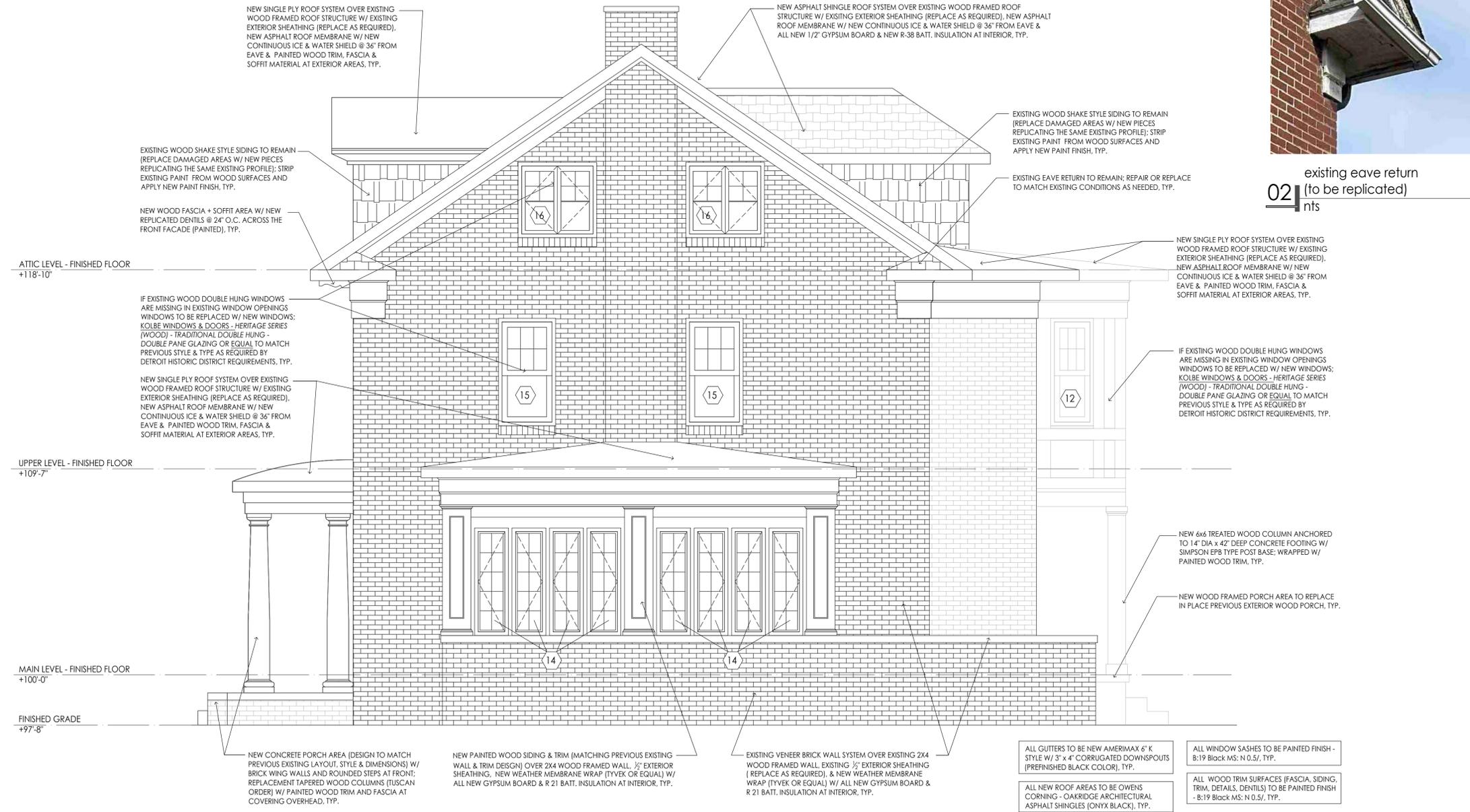
project name:
longfellow residence

2008 longfellow street
 detroit, mi 48206

sheet name:
 exterior elevations

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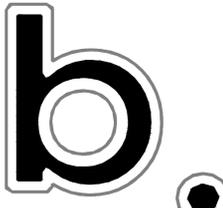
02 existing eave return (to be replicated) nts

01 exterior elevation - east
3/8" = 1'-0"

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architect:



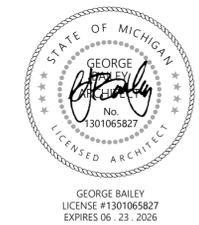
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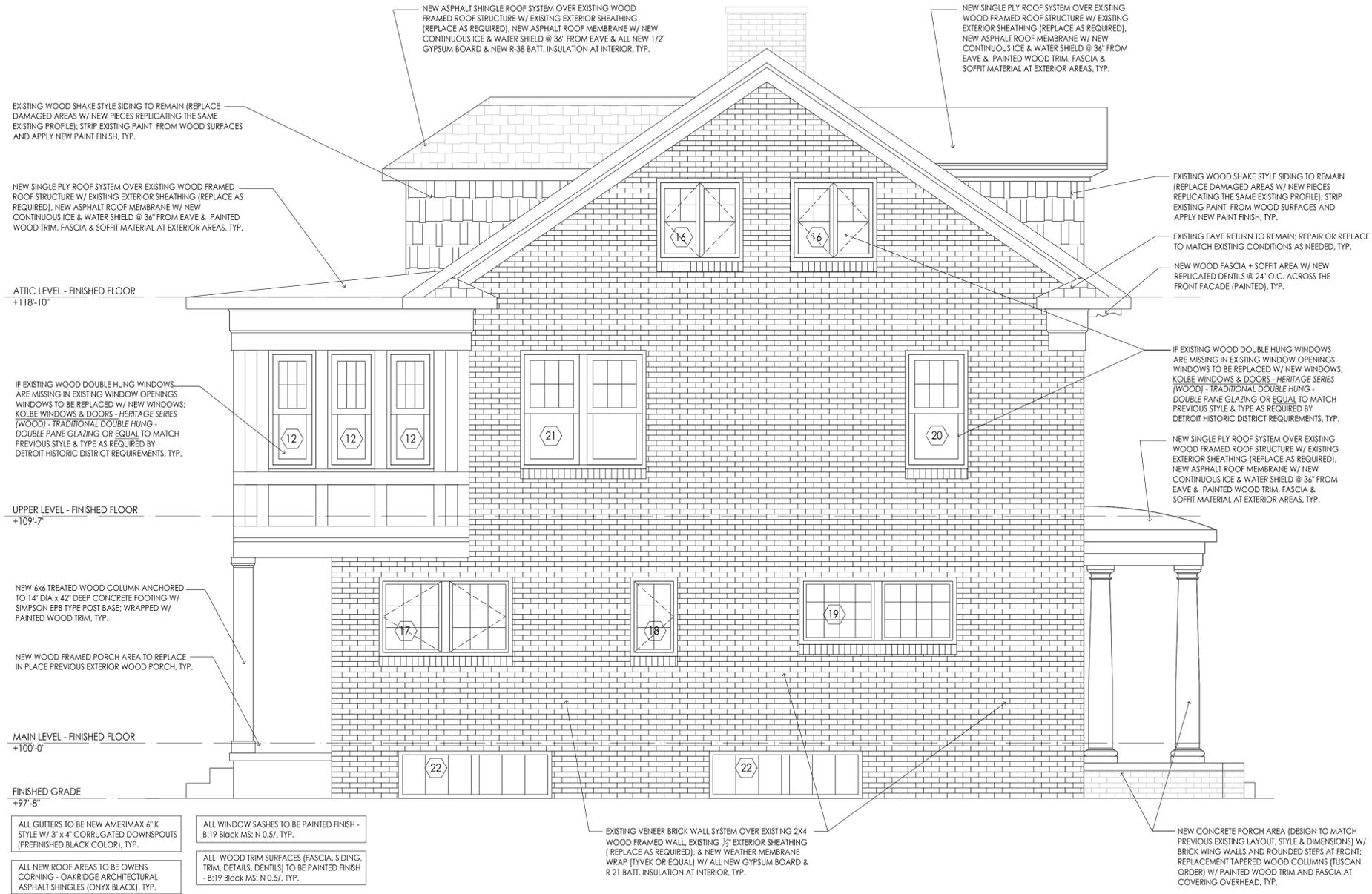
exterior elevations

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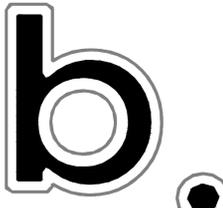


01 exterior elevation - west
3/8" = 1'-0"

GENERAL NOTES

- COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
- REFER TO BUILDING AND WALL SECTIONS FOR ELEVATION AND BUILDING HEIGHT INFORMATION.
- ALL NOTES INDICATE AREAS OF WORK TO BE COMPLETED BUT MAY NOT COVER OR INCLUDE EVERY INSTANCE REQUIRED. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR) PRIOR TO COMMENCING ANY SCOPE OF WORK.
- IF CONFLICTS EXIST BETWEEN THESE DRAWINGS / DOCUMENTS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, ALERT THE ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION OF CONFLICT.
- ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.
- PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING AND DRIP EDGES WHEREVER NECESSARY AND / OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATERTIGHT SEAL AND TO PRESERVE ALL WARRANTIES.
- CONTRACTOR IS TO CLEAN ALL CLADDING AND SIDING ASSEMBLIES UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING DIMENSIONS.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY MATERIAL AND APPLICATION.
- VENTILATE ROOFING ASSEMBLY PER CODE.
- ALL PANEL HEIGHTS AND WIDTHS - AS WELL AS COURSING HEIGHTS SHOWN IN ELEVATION OR WITHIN SCHEDULES - ARE NOMINAL, CONCEPTUAL, AND INTENDED FOR PLANNING PURPOSES ONLY. THE GENERAL CONTRACTOR, WITH THE MANUFACTURER AND INSTALLER ARE TO COORDINATE FINAL SIZES, ARRANGEMENTS AND PLACEMENT VIA ORIGINAL SHOP DRAWINGS BASED UPON VERIFIED FIELD CONDITIONS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

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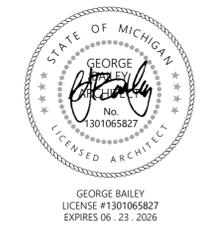
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troy, mi 48083

project name:

longfellow residence

2008 longfellow street
detroit, mi 48206

sheet name:

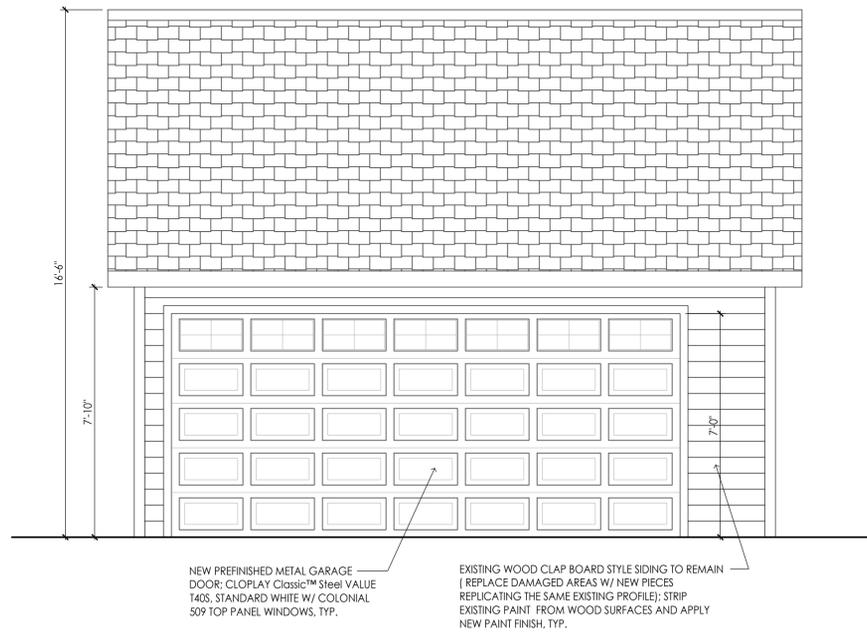
exterior elevations

issue date(s)

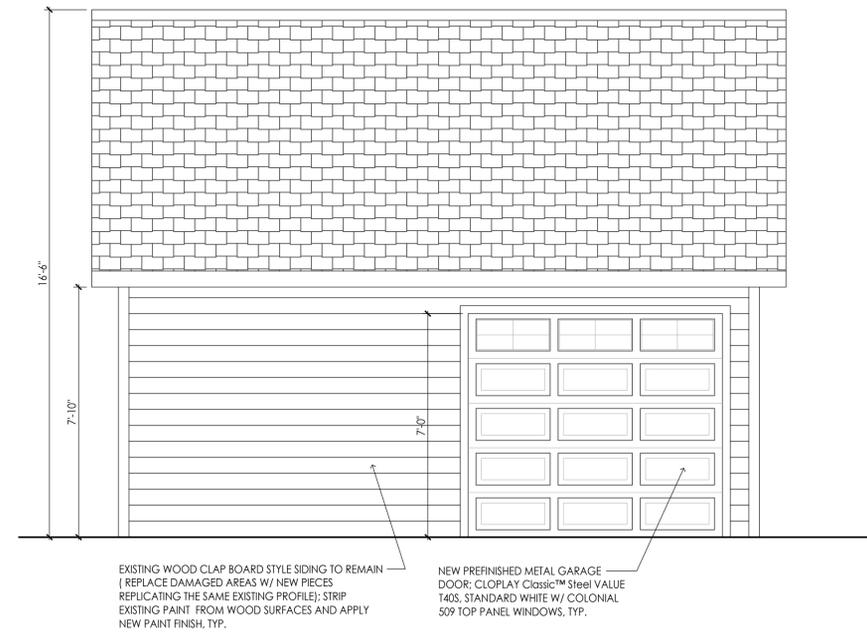
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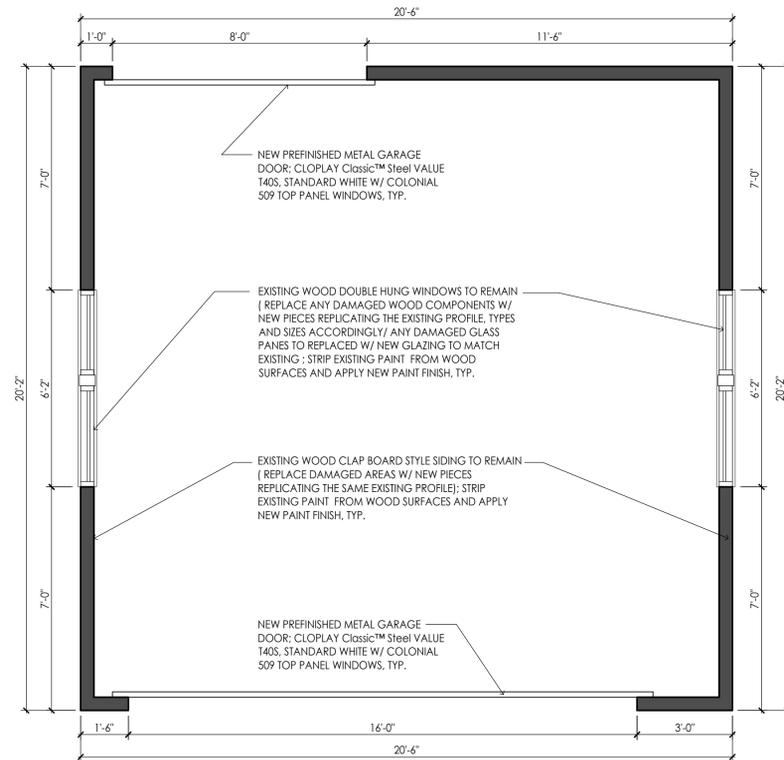
a.2.03



03 exterior elevation - south
3/8" = 1'-0"



04 exterior elevation - north
3/8" = 1'-0"



01 floor plan - garage
3/8" = 1'-0"



02a existing eave return
(to be replicated)
nts



02 exterior elevation - east + west
3/8" = 1'-0"

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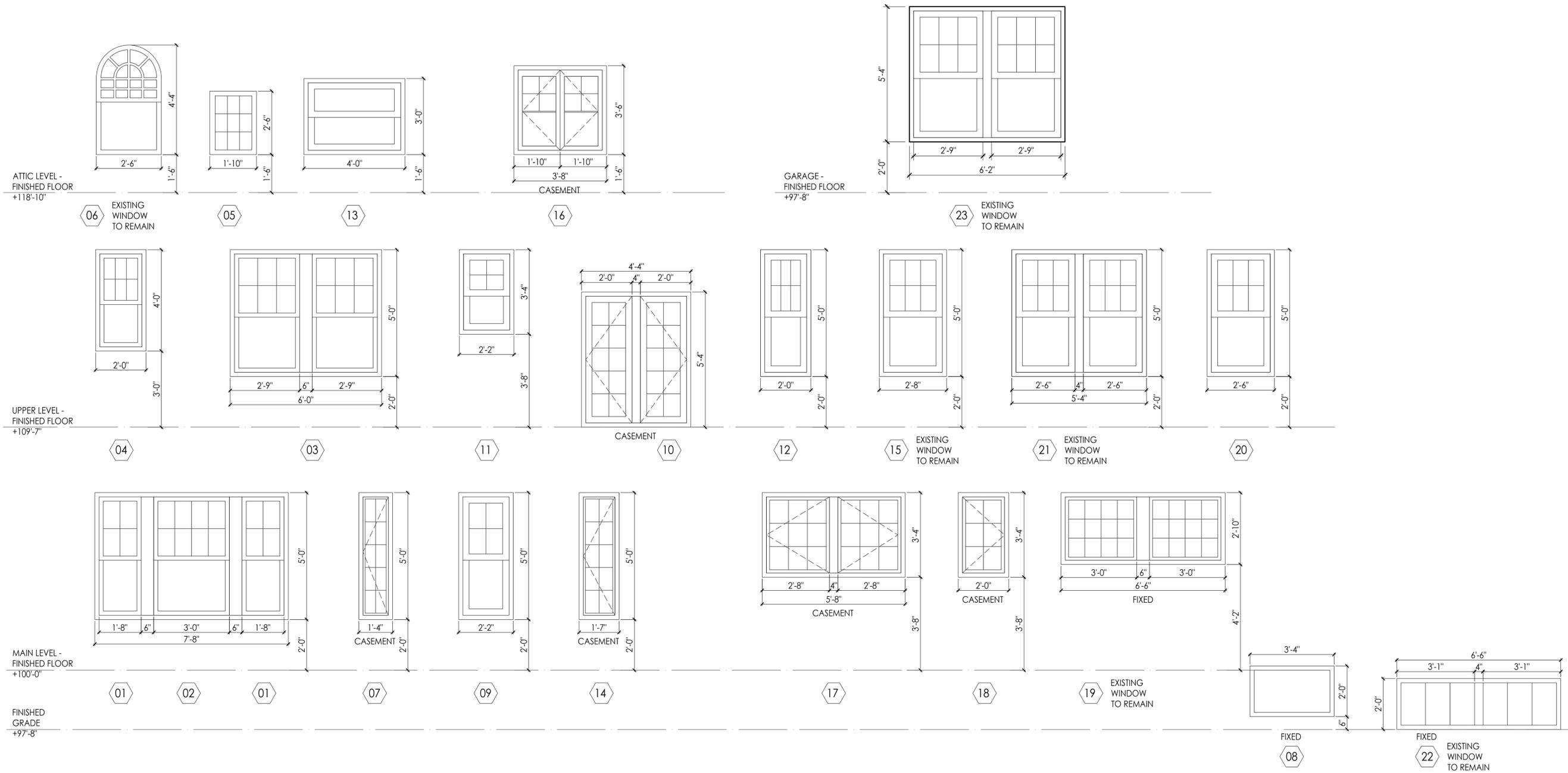
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a.2.03



01 window types
1/2" = 1'-0"

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window types

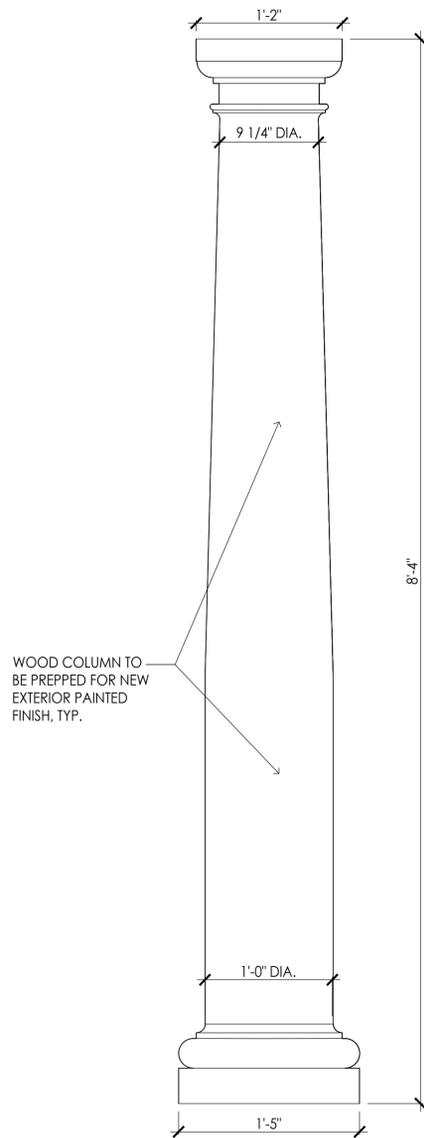
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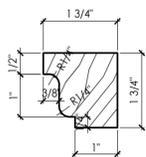
WOOD COLUMN TO BE PREPPED FOR NEW EXTERIOR PAINTED FINISH, TYP.

SOMERSET DOOR & COLUMN CLASSIC ORDER OF ARCHITECTURE STYLES TUSCAN #110 (OR EQUAL)

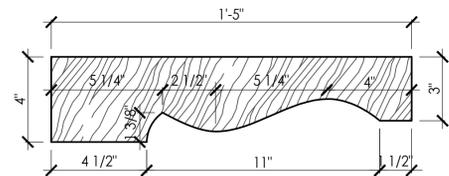
08 exterior porch columns 1 1/2" = 1'-0"



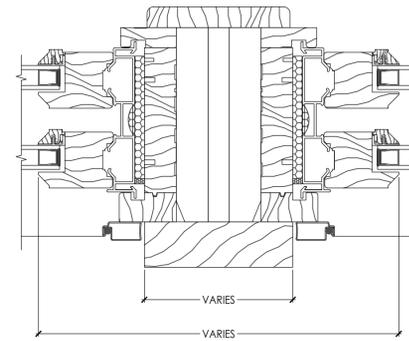
07 existing window conditions



06 brickmold profile (replicated) 6" = 1'-0"

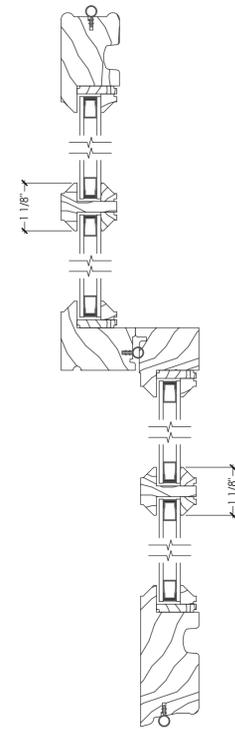


05 dentil trim profile (replicated) 1 1/2" = 1'-0"



KOLBE WINDOWS & DOORS HERITAGE SERIES (WOOD) - TRADITIONAL DOUBLE HUNG - MULL TO TRADITIONAL DOUBLE HUNG

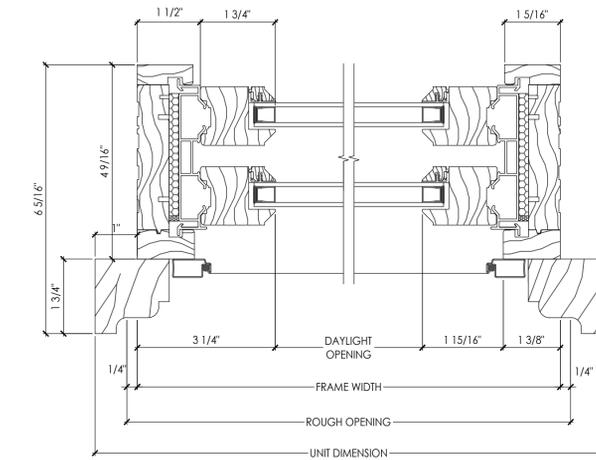
04 typical double hung window detail 6" = 1'-0"



KOLBE WINDOWS & DOORS HERITAGE SERIES (WOOD) - TRADITIONAL DOUBLE HUNG - DOUBLE PANE GLAZING TRUE DIVIDED LITE - CROSS SECTION

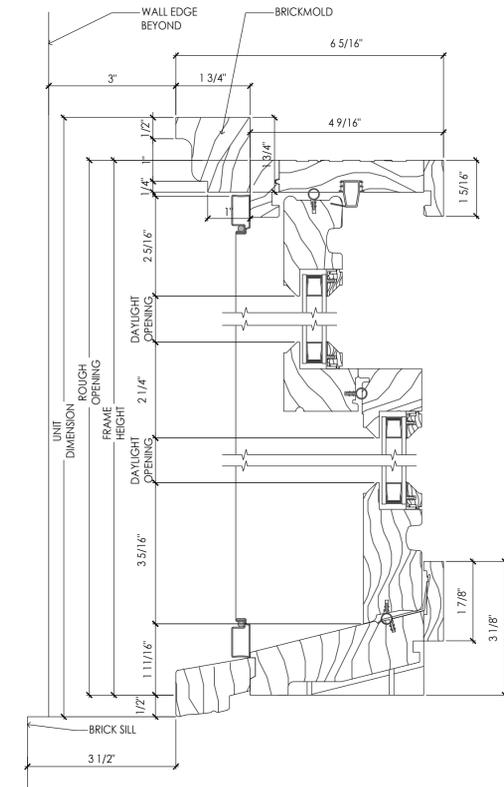
02 typical double hung window detail 6" = 1'-0"

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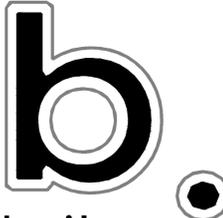
03 typical double hung window detail 6" = 1'-0"



KOLBE WINDOWS & DOORS HERITAGE SERIES (WOOD) - TRADITIONAL DOUBLE HUNG - DOUBLE PANE GLAZING CROSS SECTION

01 typical double hung window detail 6" = 1'-0"

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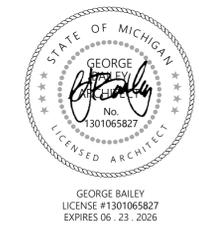
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05 garage view
nts



03 west view
nts



04 east view
nts



01 north view
nts



02 south view
nts