



HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 2/13/26

Application Number: HDC2026-00039

APPLICANT & PROPERTY INFORMATION

NAME: Brendan Britt		COMPANY NAME: Dul Landscape Architecture	
ADDRESS: 74 W. Long Lake	CITY: Bloomfield Hills	STATE: MI	ZIP: 48304
PROJECT ADDRESS: 892 W. Boston Boulevard			
HISTORIC DISTRICT: Boston-Edison			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Thank you for this application. It is not yet complete. Thank you for providing the historical photos compared with the current conditions in side-by-side shots. Those are helpful. What we don't quite have is an understanding of the whole site in its current condition or the product cut sheets and specs for the proposed materials, including pavers and pool materials.

--Please provide more sweeping photos (taken from a distance and not so close-up) that show the vistas and complete yards from different angles and please label them.

--Does a site plan exist that shows existing conditions? If so, please provide it. For such a comprehensive proposal, it would help make the review more efficient if staff and the commission could understand the existing plan and what will be removed, changed, and restored, and could compare this document with the proposal.

--Please provide product materials and cut sheets for all the proposed work.

The Historic District Commission will need to understand what the current conditions on site are, what the historic character-defining features are (which might also include large trees or other landscape features), and what the property and those character-defining features will look like once the work is complete.

Please contact us at hdc@detroitmi.gov or at 313-224-1762 with questions. Thank you again.

APPLICANT RESPONSE

Response Date: 02/17/2026

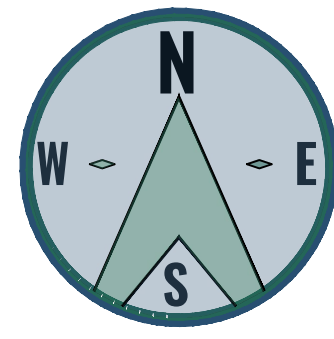


Hello,

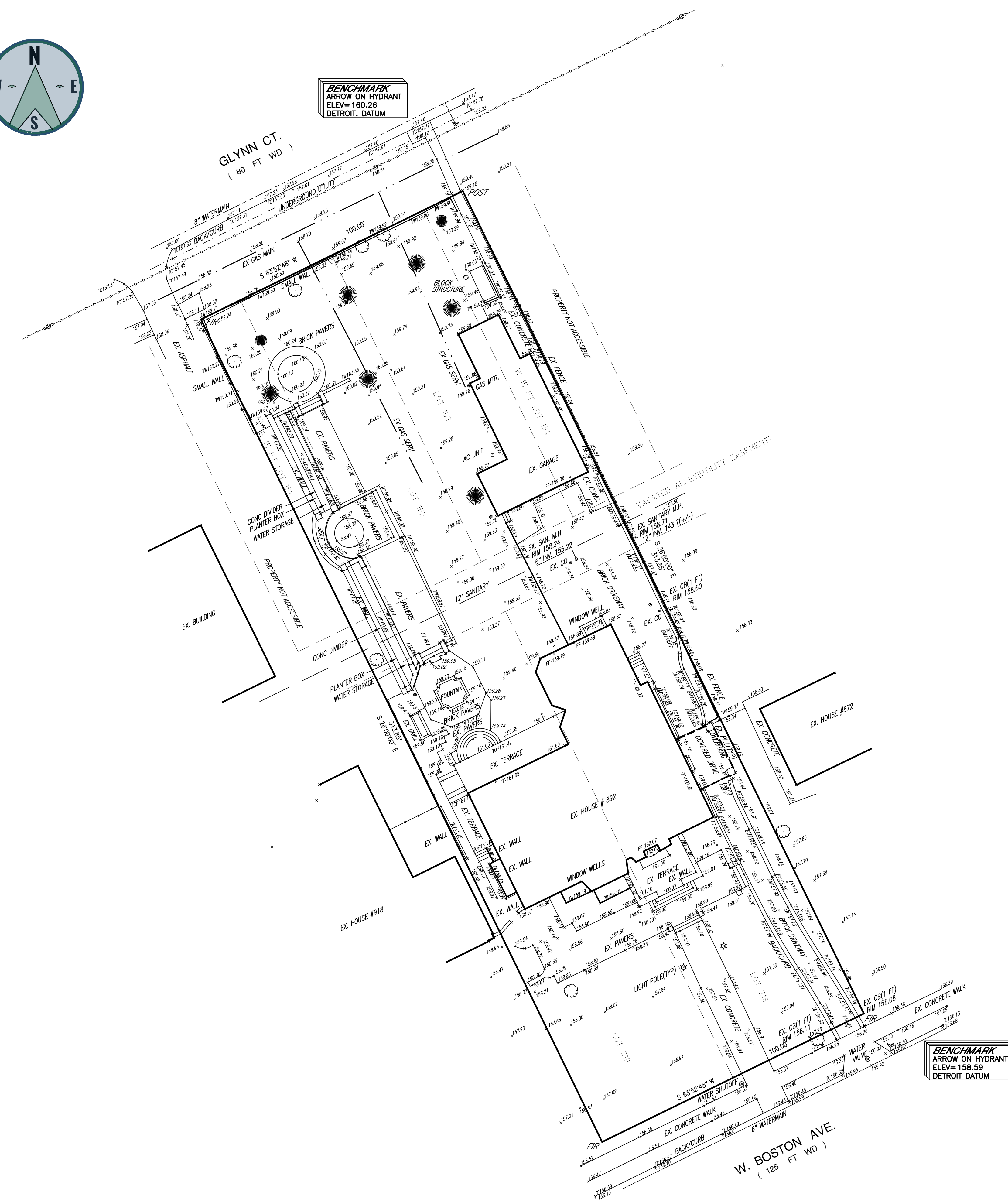
Please see attached documents as requested. These documents outline the scope of work and break down each proposed space with images and a description.

Thank you!

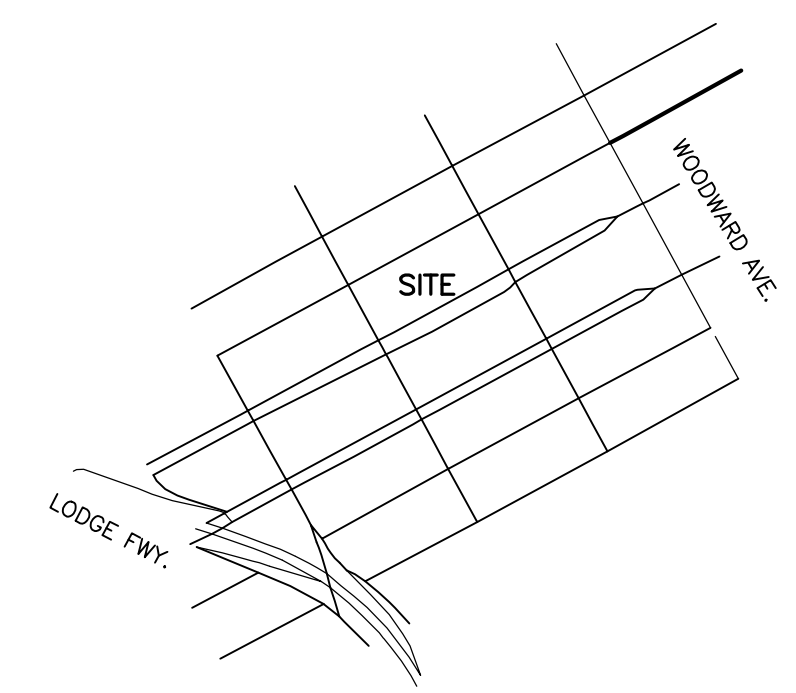
Brendan Britt - Dul Landscape Architecture



BENCHMARK
ARROW ON HYDRANT
ELEV= 160.26
DETROIT DATUM



BENCHMARK
ARROW ON HYDRANT
ELEV= 158.59
DETROIT DATUM



LOCATION MAP
NO SCALE



LEGEND

- EX. GRADE
- EX. INDEX CONTOUR
- EX. CONTOUR
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. OVERHEAD
- EX. GAS
- EX. UNDERGROUND
- EX. FENCE
- EX. RAILROAD
- EX. WALL
- EX. G. OF DITCH
- EX. WETLAND
- HYDRANT
- CATCH BASIN
- MANHOLE
- SIGN
- GATE VALVE
- LIGHT POLE
- UTILITY POLE
- METAL LIGHT POLE
- TOP OF BERM
- TOE OF BERM
- TREE TAG
- TOP OF CURB
- GUTTER
- TOP OF ASPHALT
- TOP OF WALK
- FOUND IRON ROD
- SET IRON ROD
- FOUND IRON PIPE
- ASPHALT
- CONCRETE

TOPO. NOTES:

- THIS SURVEY WILL NOT SHOW ALL EASEMENTS OF RECORD UNTIL AN UPDATED TITLE POLICY HAS BEEN FURNISHED TO THE SURVEYOR BY THE OWNER.
- ALL ELEVATIONS ARE EXISTING ELEVATIONS
- SUBJECT PROPERTY LOCATED IN ZONE X. AREA OF MINIMAL FLOODING. PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26163C0125E EFFECTIVE DATE: FEB. 2, 2012.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANIES RECORDS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES. ANY POTENTIAL CONFLICT SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

LEGAL DESCRIPTION:

LOTS 162, 163, 218 & 219, THE EAST 15 FT OF 161 & THE WEST 15 OF LOT 164, ALSO THAT PART OF VACATED ALLEY LYING ADJACENT THERETO, VOIGT PARK, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 22 OF PLATS, PAGE 94, WAYNE COUNTY RECORDS.

PRIORITY ENGINEERING, LLC

Engineer's Seal

Certification

North SCALE

GRAPHIC SCALE: 1" = 20'

Project
892 W. BOSTON AVE

Project Location
892 W. BOSTON AVE
DETROIT, MI 48202

Sheet Name
TOPOGRAPHIC SURVEY

Revisions			
REV	ISSUED FOR	ISSUE DATE	BY

Date: 05/06/2025

Reviewed By: TCS

ENG/CADD: BH

Checked By: TMS

PE Project No. 25-0044

Sheet No. SURV-1.0

DRAWING NOTE: SCALE SHOWN IS NEARLY FOUR (4) TIMES THAT OF ANY OTHER SCALE. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES. ANY POTENTIAL CONFLICT SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.

























FRONT YARD

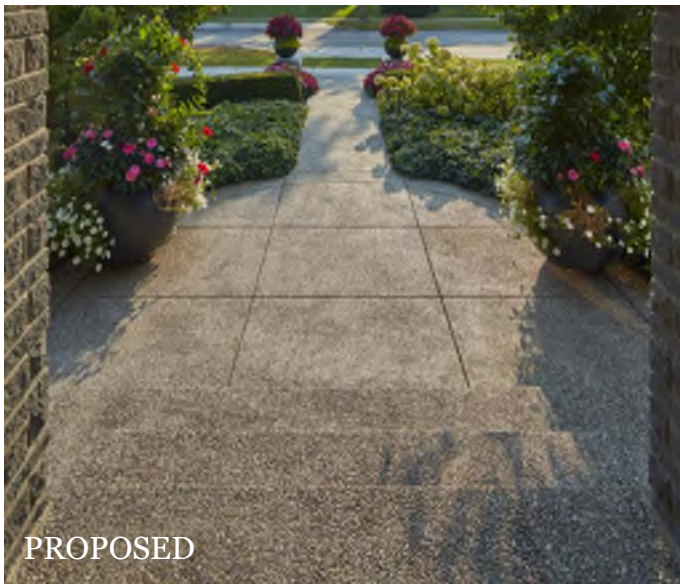
Entry Walk



EXISTING



EXISTING



PROPOSED

Remove existing concrete entry walk and replace with new exposed aggregate concrete. Existing walkway footprint remains.

FRONT YARD

Masonry Staircases, Walls, & Piers



Existing masonry staircases, walls,
& piers to remain. Wash and
tuckpoint to clean up.

FRONT YARD

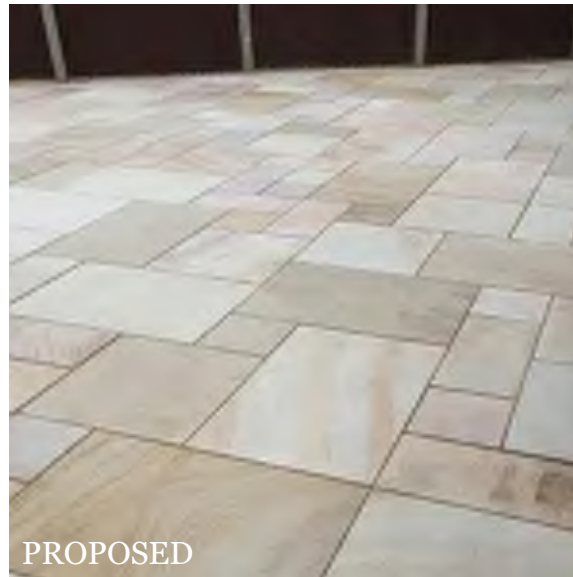
Entry Porch



Existing entry porch flatwork and walls to remain. Wash, tuckpoint, and replace missing pieces. Match with Buff Tayko natural stone.

FRONT YARD

Entry Plaza



Existing entry plaza flatwork and walls to remain. Wash, tuckpoint, and replace missing pieces. Match with Buff Tayko natural stone.

FRONT YARD

Ornamental Curb



Replace existing broken 4" full bull nose limestone curb with new 4" Indiana limestone full bull nose curb.

FRONT YARD

Gas Light Poles



EXISTING

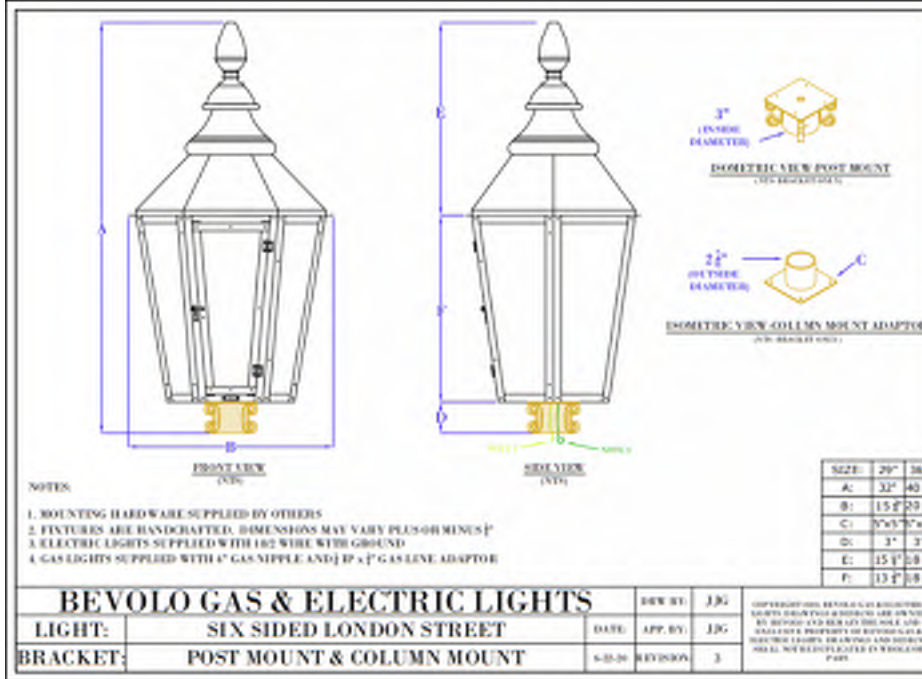
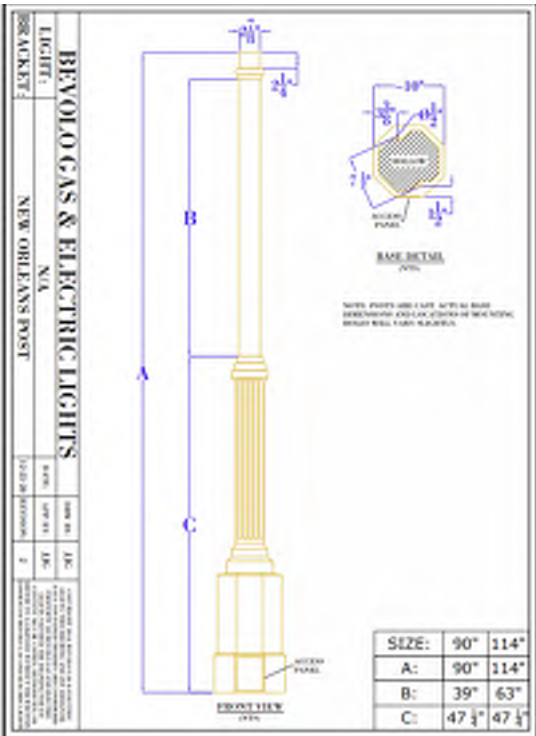


EXISTING

Replace existing broken gas lanterns and replace with Bevolo gas lantern and pole. *See details on next page.*

FRONT YARD

Proposed Gas Light Poles



FRONT YARD

Courtyard Walk



EXISTING



EXISTING



EXISTING

Wash and tuckpoint existing courtyard walkway and steps to clean up.

FRONT YARD

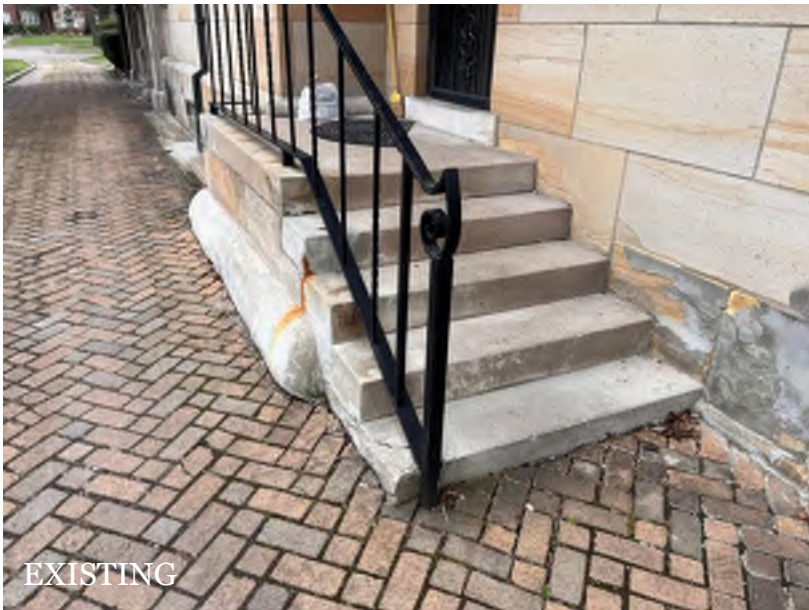
Driveway



Utilize existing brick and install on compacted aggregate base to address compaction issues. Widen to accept modern vehicles.

FRONT YARD

Side Entry Porch, Stairs, & Railing



Repair failing concrete porch and stairs. Install new exposed aggregate concrete porch and stairs. Repair existing railing to make code compliant.

REAR YARD

Service Court



Utilize existing brick for front driveway. Pour new exposed aggregate concrete for service court.

REAR YARD

Service Court Wall



Re-construct & reinforce existing failing service court wall with Briar Hill Sandstone to match existing stone.

REAR YARD

Upper Terrace



Wash and tuckpoint existing upper terrace patio and steps to clean up.

REAR YARD

Transition Terrace



Maintain historic layout. Remove failing concrete pavers and brick pavers. Reinstall with 14" Indiana Limestone band and exposed aggregate concrete.

REAR YARD

Entertainment/Dining Terrace



Install new exposed aggregate concrete pool deck paving.

REAR YARD

Pool & Spa



Install shotcrete construction pool & spa with Indiana Limestone coping, 6" waterline tile and pebble interior finish. Existing masonry wall to remain. *See details on next page.*

REAR YARD

Pool & Spa

Proposed Indiana Limestone Coping.

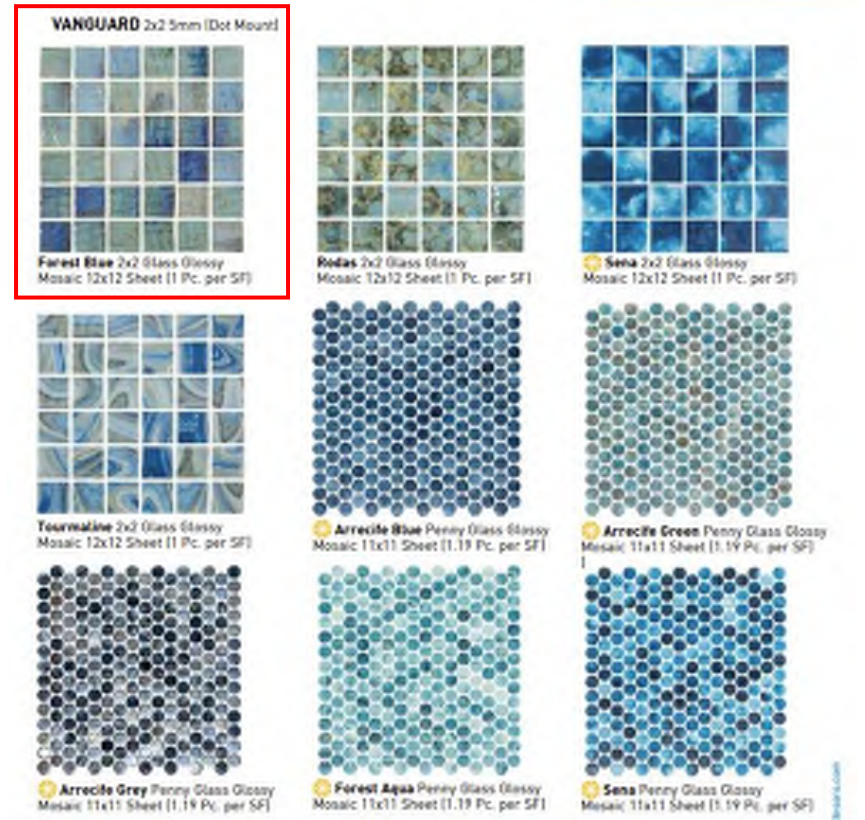


Proposed Pebbletec Interior Pool Finish – French Gray



Proposed Vanguard Forest Blue pool tile.

SINTERED



PLEASE READ: Important information regarding Vanguard®
 This Artisan-edge glass mosaic is made with a variety of recycled glass pieces and may include irregular edges, rustic appearances, minimal imperfections or slight variations in sizing and separations. These characteristics are inherent to this product due to the manufacturing process. The slight size or shape variations may affect the grout joint appearance, further enhancing the natural aspect of this product. Use contributes acceptance.

REAR YARD

Fountain



Restore and repair existing elements with new plumbing and submersible pump.

REAR YARD

Perimeter Fence



Weld and repair existing fence by bending and replacing broken pieces.

REAR YARD

Outdoor Kitchen



Replace failing outdoor kitchen with stainless steel exterior grade unit with new appliances (grill, ice maker, undercounter refrigerator.) 3cm Kodiak Black granite counter, leathered finish, standard edge finish. 8'-6" long x 30" wide.

REAR YARD

Fire Feature



Proposed 36" dia. concrete natural gas fire feature.

REAR YARD

Veggie Planters



PROPOSED



1972 RE. 2425 S.
WOODS CROSS, UT 84087
801.338.0489
info@ore.design

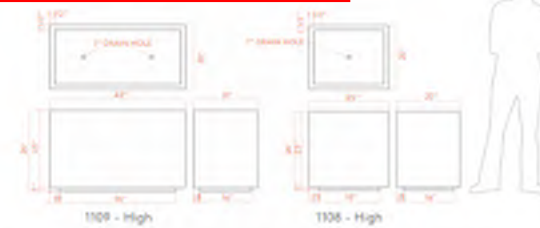
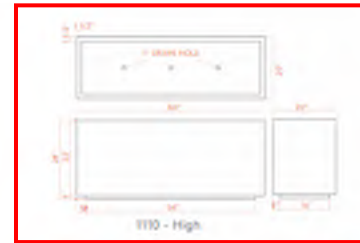
1108 | 1109 | 1110 HIGH RECTANGLE

PRODUCT DESCRIPTION: The HIGH RECTANGLE planter group features our tallest selection of rectangle options. Available in a variety of colors, our HIGH RECTANGLE containers are often paired with matching modular corner containers to better define spaces...

1108 SMALL HIGH: WEIGHT: 71 lbs. Steel | 32 lbs. Aluminum CAPACITY: 6.5 cu ft DIMENSION: 25" L x 20" W x 24" H
1109 MEDIUM HIGH: WEIGHT: 101 lbs. Steel | 45 lbs. Aluminum CAPACITY: 10.75 cu ft DIMENSION: 42" L x 20" W x 24" H
1110 LARGE HIGH: WEIGHT: 128 lbs. Steel | 56 lbs. Aluminum CAPACITY: 15.5 cu ft DIMENSION: 60" L x 20" W x 24" H

Formed of either steel or aluminum, our HIGH RECTANGLE containers are shaped, welded, powder coated (as desired), and packaged exclusively at Ore's independent manufacturing facility in Salt Lake City, Utah.
 For more information, please contact your Ore Project Manager.

OPTIONS:



1110 High Rectangle in Standard Powder Coat Linen White



LEAD POINTS:

- 1) Material Content
- 2) Indoor Environmental Quality - Manufacturing
- 3) Indoor Environmental Quality - Low VOCs
- 4) Material Reuse

Lead points achieved will vary according to materials and destination.

TO SPECIFY THIS PRODUCT:

- 1) Indicate product name, product number, description, and size.
- 2) Select material: recycled steel, COB-FEN, or recycled aluminum. If recycled steel or aluminum is specified, select powder coat color or natural patina finish.
- 3) Select product specific options. Standard options may be viewed at ore.design.

LEGAL INFORMATION:

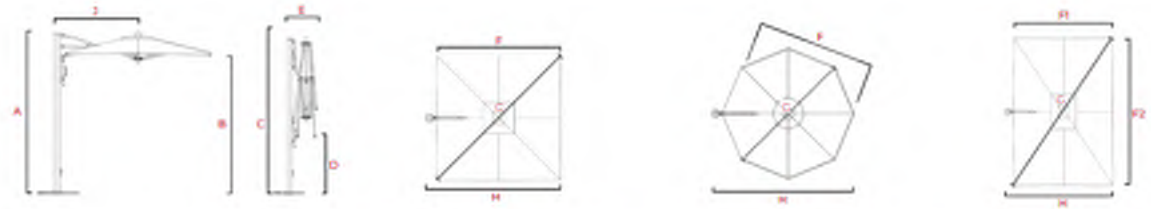
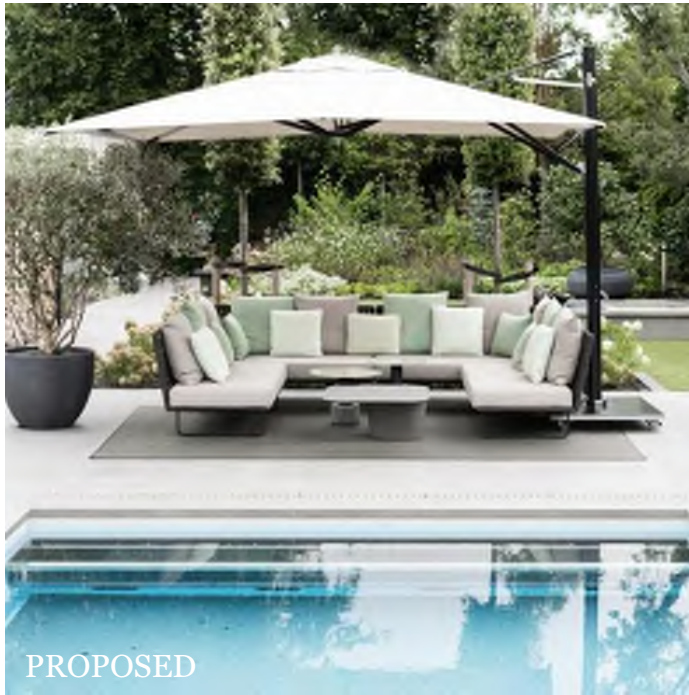
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1108 | 1109 | 1110 HIGH RECTANGLE

Proposed ORE Designs #1110 High Rectangular Planter.

REAR YARD

Tuuci Umbrella



SHAPES	SQUARE		OCTAGON		RECTANGLE
SIZES (ft/in)	8.0 / 243	10.0 / 305	8.0 / 275	11.0 / 340	8.0 x 10.0 / 243 x 305
A (inches)	MAST HEIGHT (sear position)		107 / 270	107 / 270	107 / 270
B (inches)	CANOPY CLEARANCE		90 / 229	90 / 229	92 / 234
C (inches)	MAST HEIGHT (closed position)		107 / 270	107 / 270	107 / 270
D (inches)	TABLE CLEARANCE		39 / 99	21 / 54	23 / 57
E (inches)	PARASOL WIDTH (closed)		27 / 68	28 / 71	30 / 75
F (inches)	FLAT TO FLAT		96 / 244	100 / 264	F1 x F2: 97 x 145 / 243 x 368
G (inches)	POINT TO POINT		108 / 274	109 / 273	134 / 340
H (inches)	PARASOL WIDTH (sear)		106 / 269	109 / 277	106 / 269
J (inches)	CENTER OF CANOPY (from to center of base-arm)		55 / 134	64 / 164	60 / 150

Dimension Tolerances ± 2" / 5cm. Dimensions shown are rounded to the nearest inch/cm and correspond to indicated lift system. Please check our 3D CAD-files for exact dimensions. Options are subject to change without notice.
08.2020, V2

TUUCI.COM

Proposed Tuuci Ocean Master
MAX 10' x 14' Umbrella.

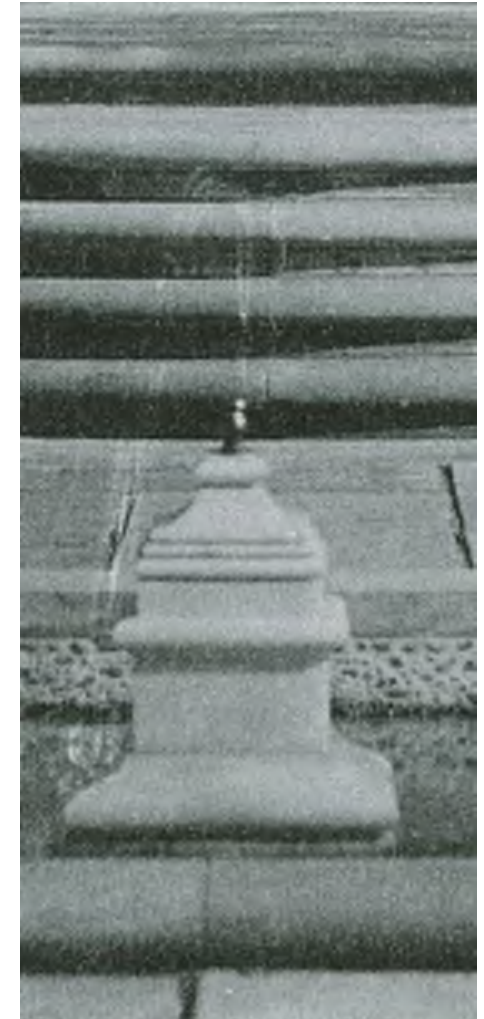
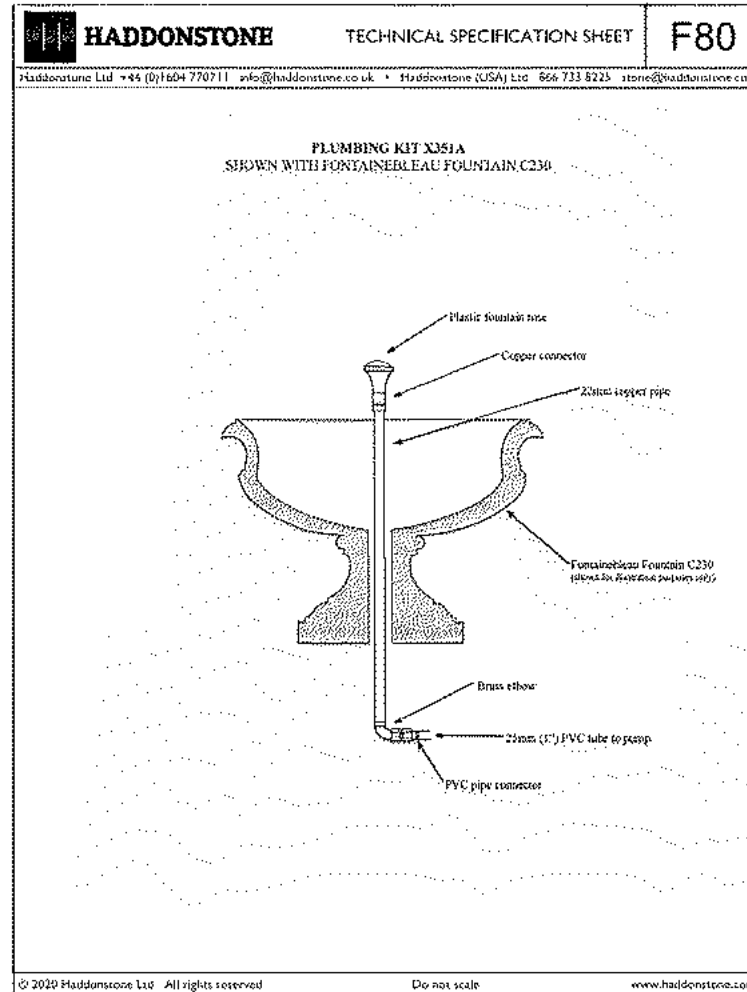
REAR YARD

Water Features

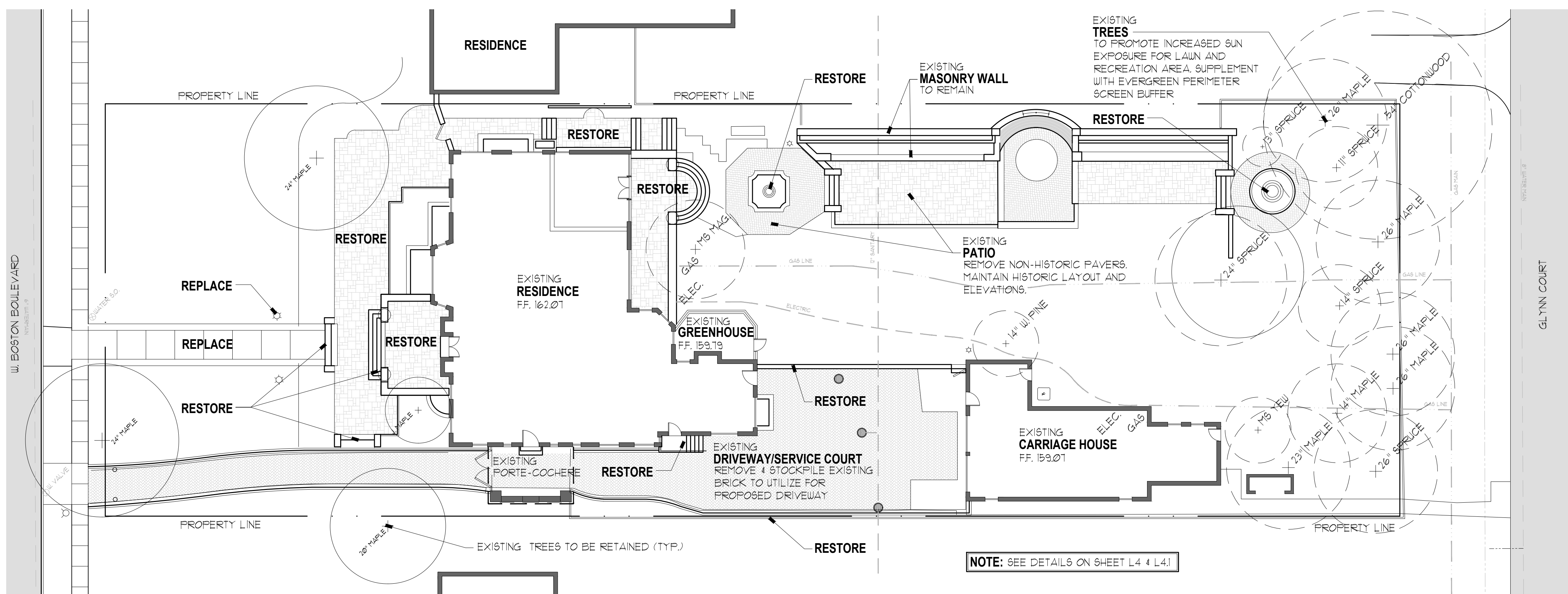


PROPOSED

Proposed Haddonstone Fountainebleau Fountain for North end water feature. 47" dia. top. Material: pre-cast concrete.



Historic water feature to be replicated with limestone for South end water feature.



EDWARD F. FISHER MANSION

892 W. Boston Blvd.
Detroit, Michigan 48202

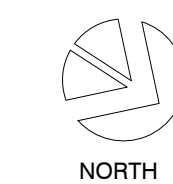
PROJECT

PRELIMINARY

Landscape Development
DEMOLITION PLAN
OVERALL

SHEET TITLE

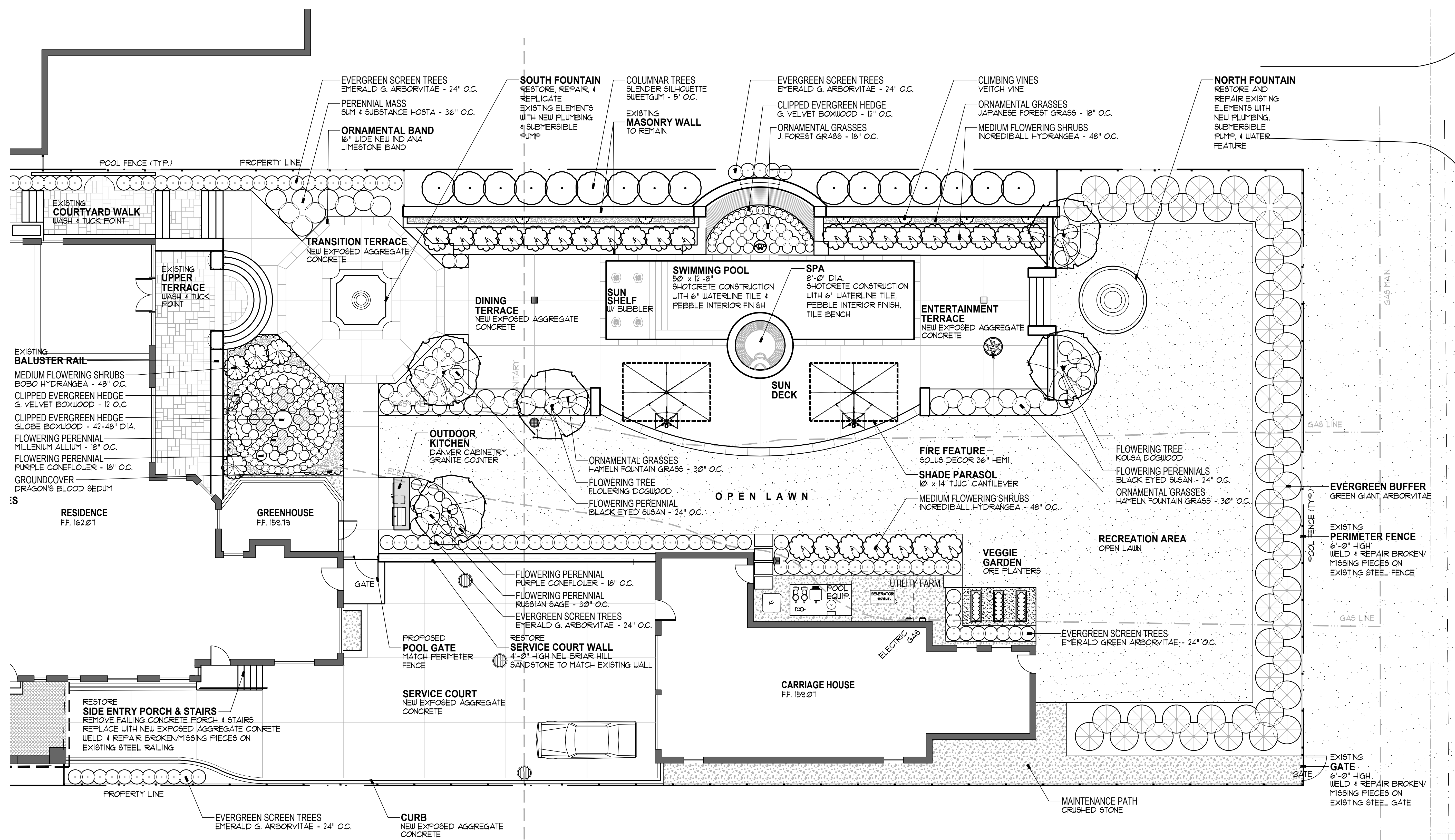
1/16" = 1'-0"



SCALE

PROJECT NUMBER: 25112
DRAWN: B. Britt
CHECKED: P. Funke
DATE: February 17, 2026
REVISIONS:

L1



EDWARD F. FISHER MANSION

892 W. Boston Blvd.
Detroit, Michigan 48202

PROJECT

PRELIMINARY

Landscape Development

SITE PLAN
REAR YARD

SHEET TITLE

1/8" = 1'-0"

SCALE

PROJECT NUMBER: 25112
DRAWN: B. Britt
CHECKED: P. Funke
DATE: February 17, 2026
REVISIONS:

892 W. Boston Blvd., Detroit, MI 48202

SCOPE OF WORK

Fountain Restoration:

This project focuses on the restoration of two existing decorative concrete fountains. Work includes draining, cleaning, repairing cracked concrete surfaces, restoring waterproof integrity, replacing the existing submersible pump and plumbing systems, and returning both fountains to full operational condition.

All work will be performed in accordance with manufacturer specifications, applicable building and electrical codes, and any municipal requirements.

The existing fountains are concrete basins with non-historic water features controlled by a submersible pump. Deficiencies include cracked basin wall/floor, aged/non-functional submersible pump, deteriorated sealant at select joints and penetrations, failing non-historic water features.

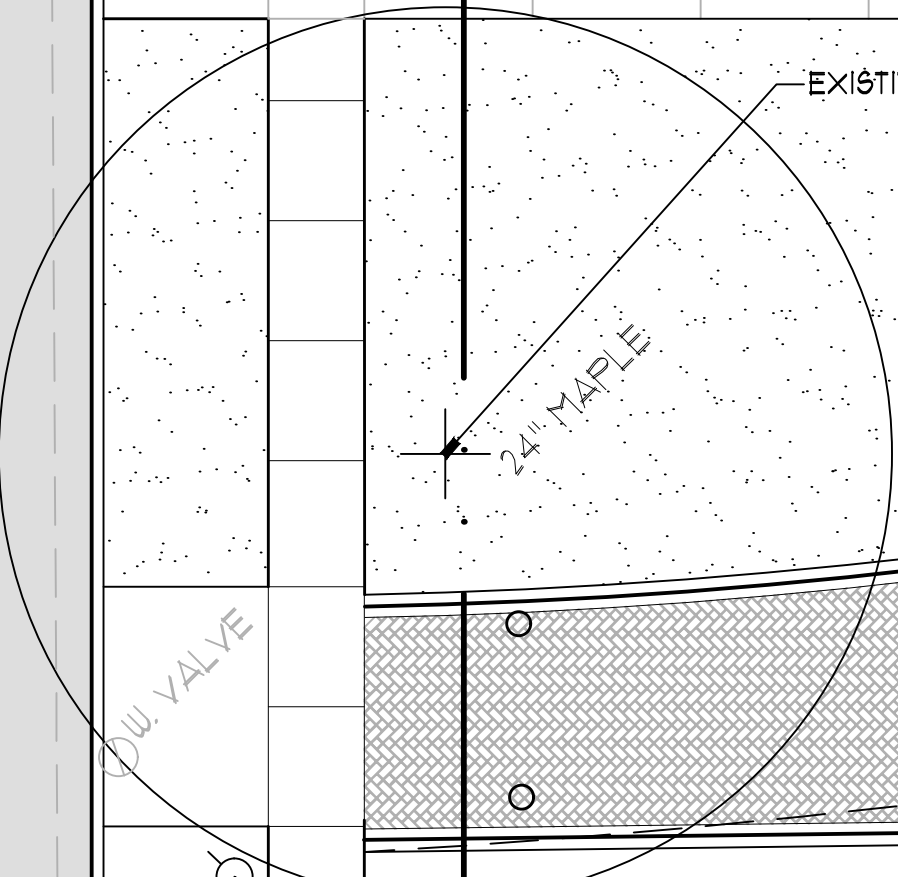
The proposed repair will be completed by routing/widening cracks to create a clean bonding surface, fill with a polymer-modified cement mortar repair NSF-rated for submerged conditions, apply crystalline waterproofing system rated for constant water immersion (coating applied per manufacturer's thickness and curing requirements), install proposed water feature and submersible pump, pump connection to be performed by licensed electrician with watertight conduit fittings and junction boxes.

Materials proposed: polymer-modified cement mortar, waterproof coating, submersible fountain pump, water feature, pebble interior finish, flexible polyurethane sealant for electrical connections.

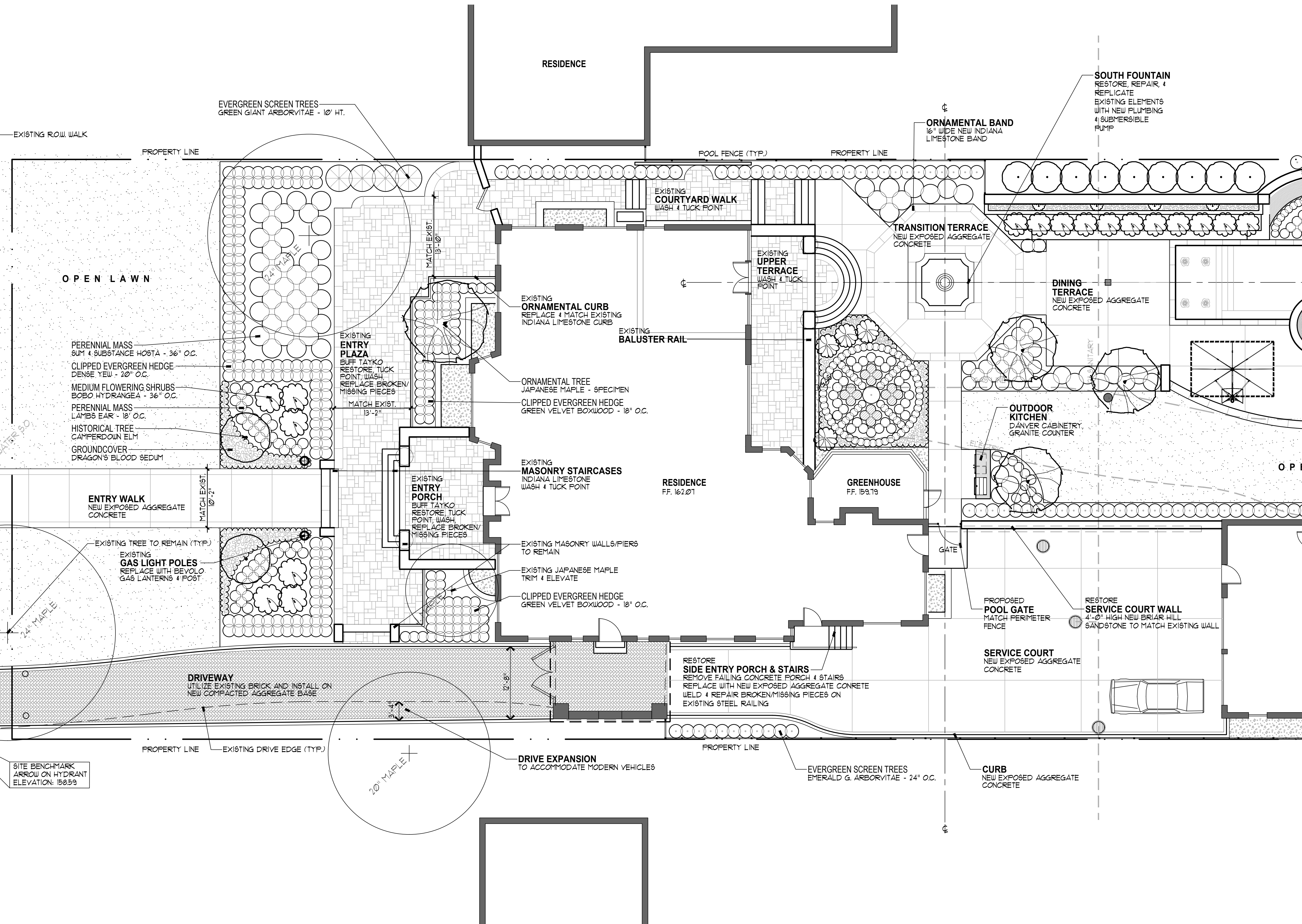
W BOSTON BLVD

6' WATERMAIN

D.W. VALVE



SITE BENCHMARK
ARROW ON HYDRANT
ELEVATION: 158.59



EDWARD F. FISHER MANSION
892 W. Boston Blvd.
Detroit, Michigan 48202

PROJECT

PRELIMINARY

Landscape Development
SITE PLAN
FRONT YARD

SHEET TITLE

1/8" = 1'-0"
SCALE

PROJECT NUMBER: 25112
DRAWN: B. Britt
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DATE: February 17, 2026
REVISIONS: