



HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 01/22/26

Application Number: HDC2026-00006

APPLICANT & PROPERTY INFORMATION

NAME: STEVEN SORENSON

COMPANY NAME: N/A

ADDRESS: 1656 W. Boston Blvd.

CITY: Detroit

STATE: MI

ZIP: 48206

PROJECT ADDRESS: 1656 W. Boston Blvd.

HISTORIC DISTRICT: Boston-Edison

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Please see the attached document for staff's comments on the current application and supporting documents.



PSR: Audra

260122AD

APPLICANT RESPONSE

Response Date: 01/26/2026



Good afternoon,

Thank you for the comments and questions. The attachments are a photo of the rear of the house taken from the back fence, plus a PDF with floor plan (existing + proposed) and north elevation (existing + proposed).

The existing roof and siding of the enclosed porch attached to the house will remain in place, so green wood siding and flat rubber sheet roofing with the existing pitch will be in place. The north face of the enclosed porch will be moved forward 5' to be flush with the north-facing rear brick wall at the northeast corner of the house. We propose also to reuse the existing porch door (36" wide) and window (48" wide) in this moved wall. It may be necessary to replace the window with something narrower. Apologies for not being more precise about this. The windows currently installed in the east and west walls of the enclosed porch will be eliminated. The east wall of the enclosure will be the brick wall of the house. The west wall will be solid green existing siding.

I realize I did not include the height of the porch window sill in the elevation. The sill is 58" above the concrete, 36" above the level of the deck and the porch floor.

The deck material will be treated wood. The railings will be Trex aluminum square baluster, black. The steps are also treated wood, 7" high, 36" wide. Initially the wood will be unpainted or stained. We plan to stain it. If there are designated allowable colors we would appreciate knowing what those are.

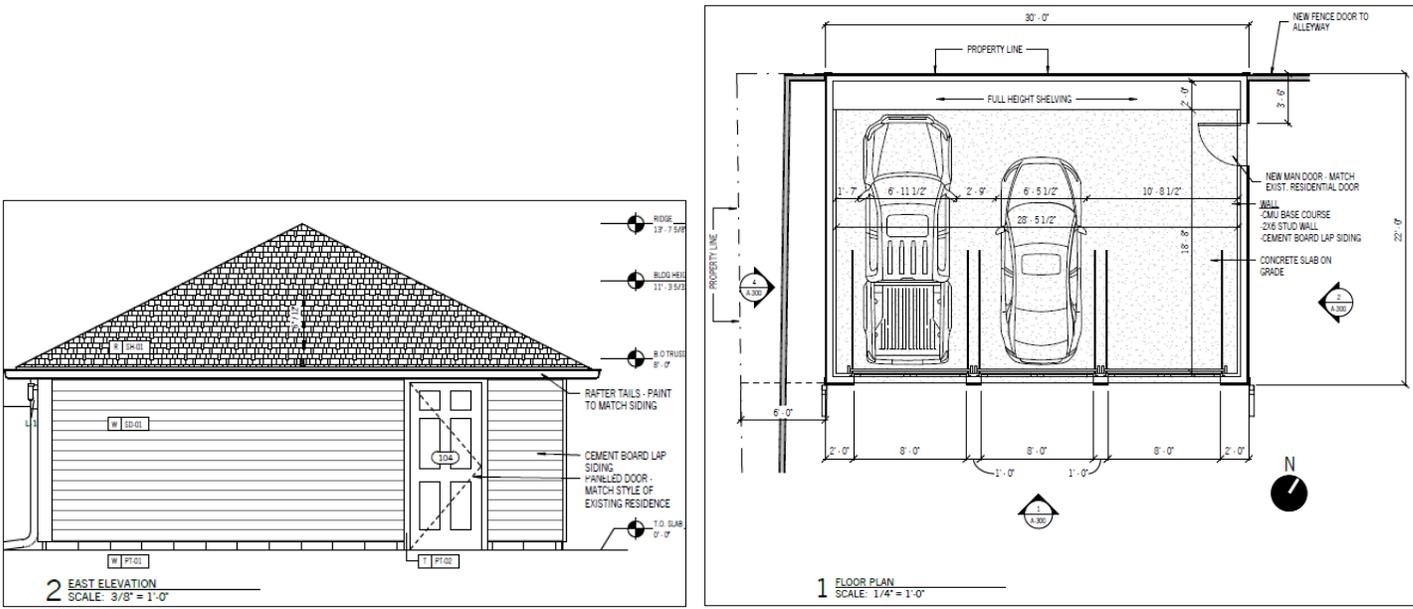
Regarding the question about width of the proposed enclosed porch... yes, it will be reduced from 9'-0" to 7'-6" to account for the existing overlap over the corner of the house. This overlap will be eliminated

If this is not sufficient detail, please let us know.

Best regards,
Steve Sorenson

The individual line drawings are very confusing and don't offer the information needed for HDC review. The Commission can't review/approve written intent – drawings must clearly identify existing conditions and what is being proposed.

A detailed dimensioned floor plan and elevations are necessary. Hand drawn drawings are fine, but: 1) the elevations must include the level of detail as shown in the below elevation (which offers clarity on how the garage will look as it includes trim, exact placement of the door, roof material/pitch, etc.), and the floor plan must include not just the overall dimensions, but also dimensions of each opening and the spaces between them), AND 2) as your proposal is not a standalone building like this garage, the rear wall elevation (which you called "front") must include the full width of the rear of the house, so the Commission can see how the new enclosure will look and fit within the existing rear walls/window openings on the back of the house. Please also identify on the drawings how high up from the ground the windowsill will be installed, and list the lap siding material/finish/color, roof material, etc.

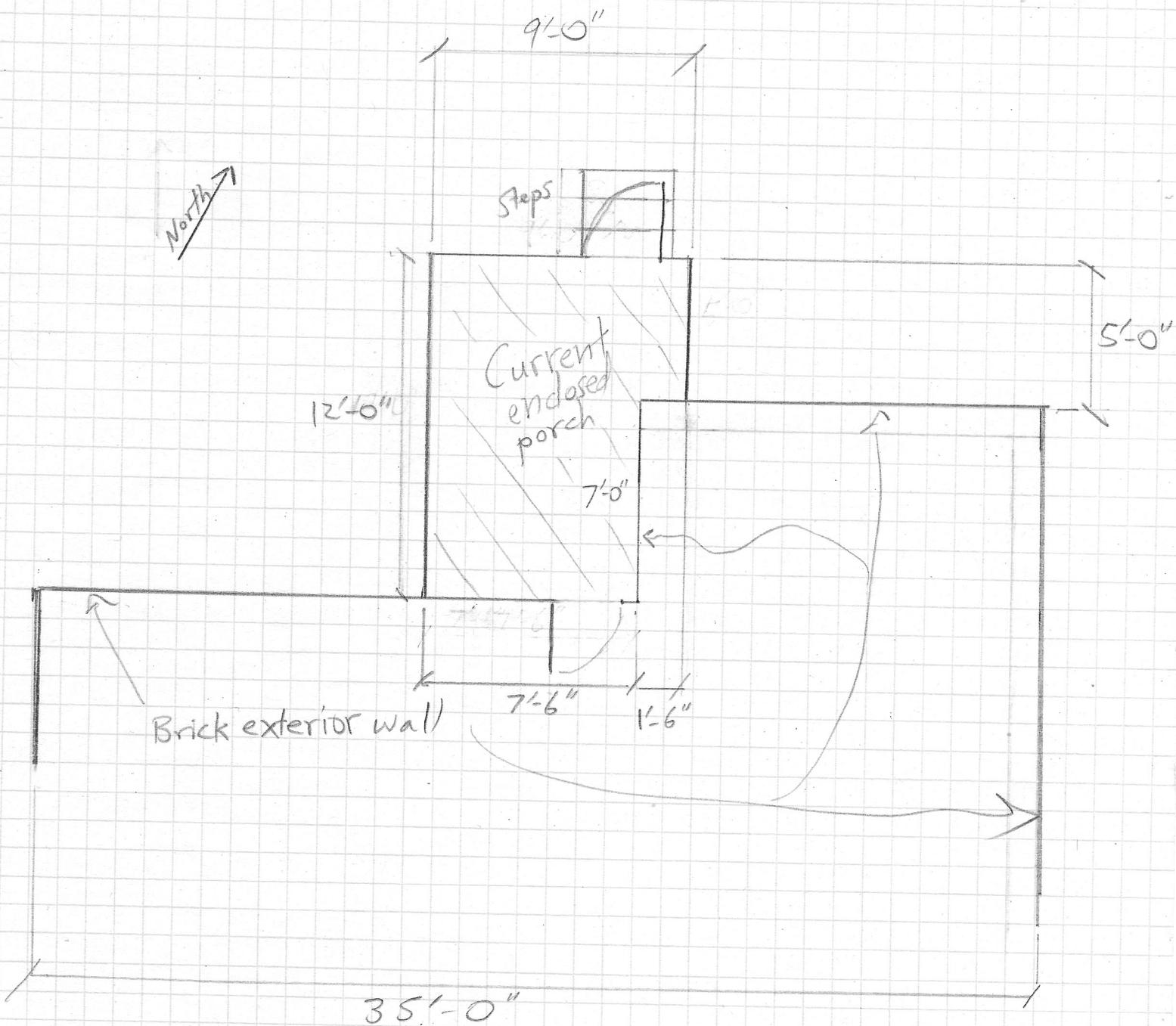


Staff has noted the following condition that must be identified in the revised drawings - the width of the existing rear enclosure extends across a portion of the masonry wall, therefore, the proposed enclosure will be narrower and less space will be between the door and window, correct?



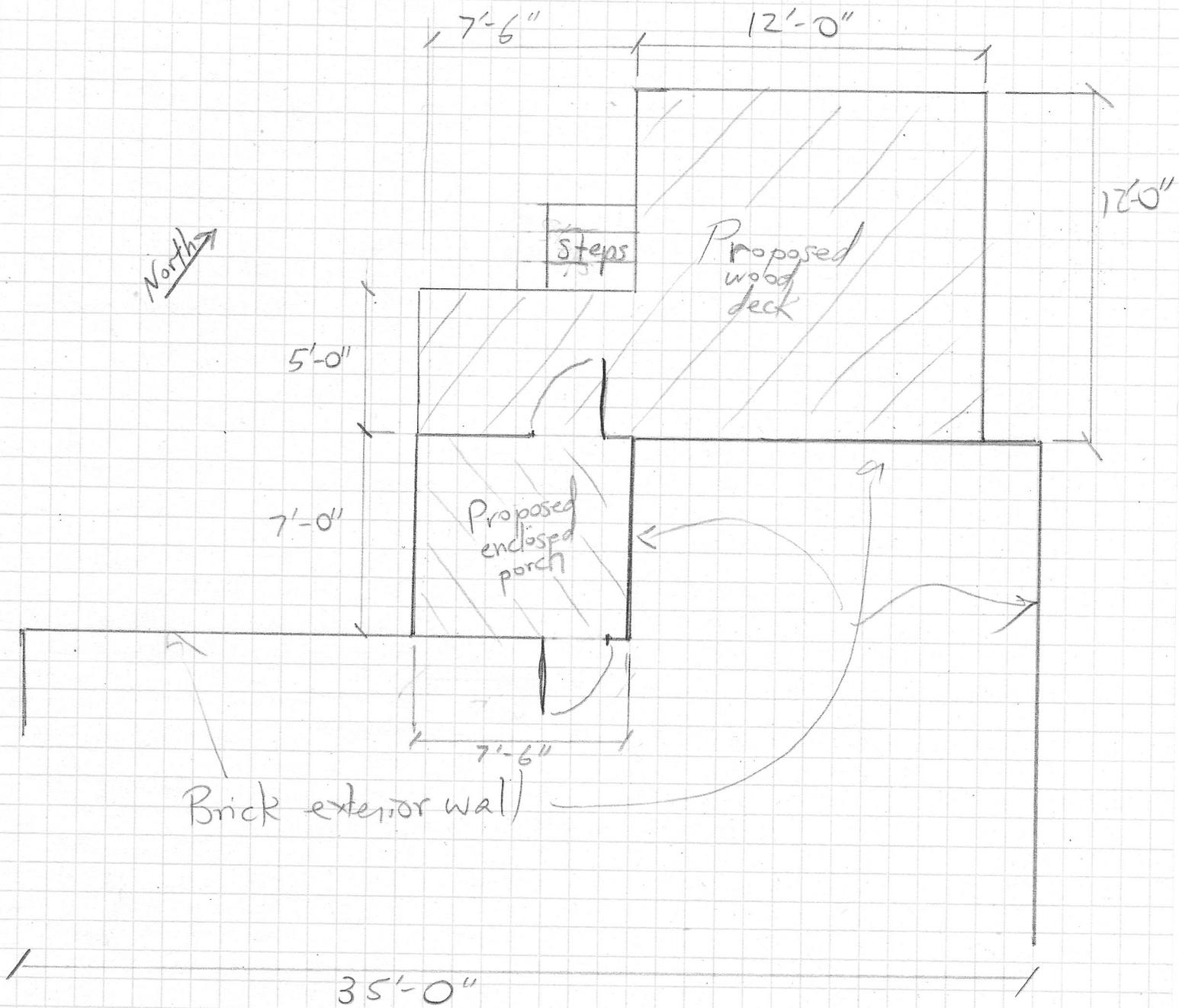
For the deck, please identify the Trex components (square or round baluster kit for railing, railing color, decking color), and material specifications and dimensions of the stairs leading from the deck to the yard (also Trex?)

Also include a photo of the backyard, where the majority of the deck will be located.



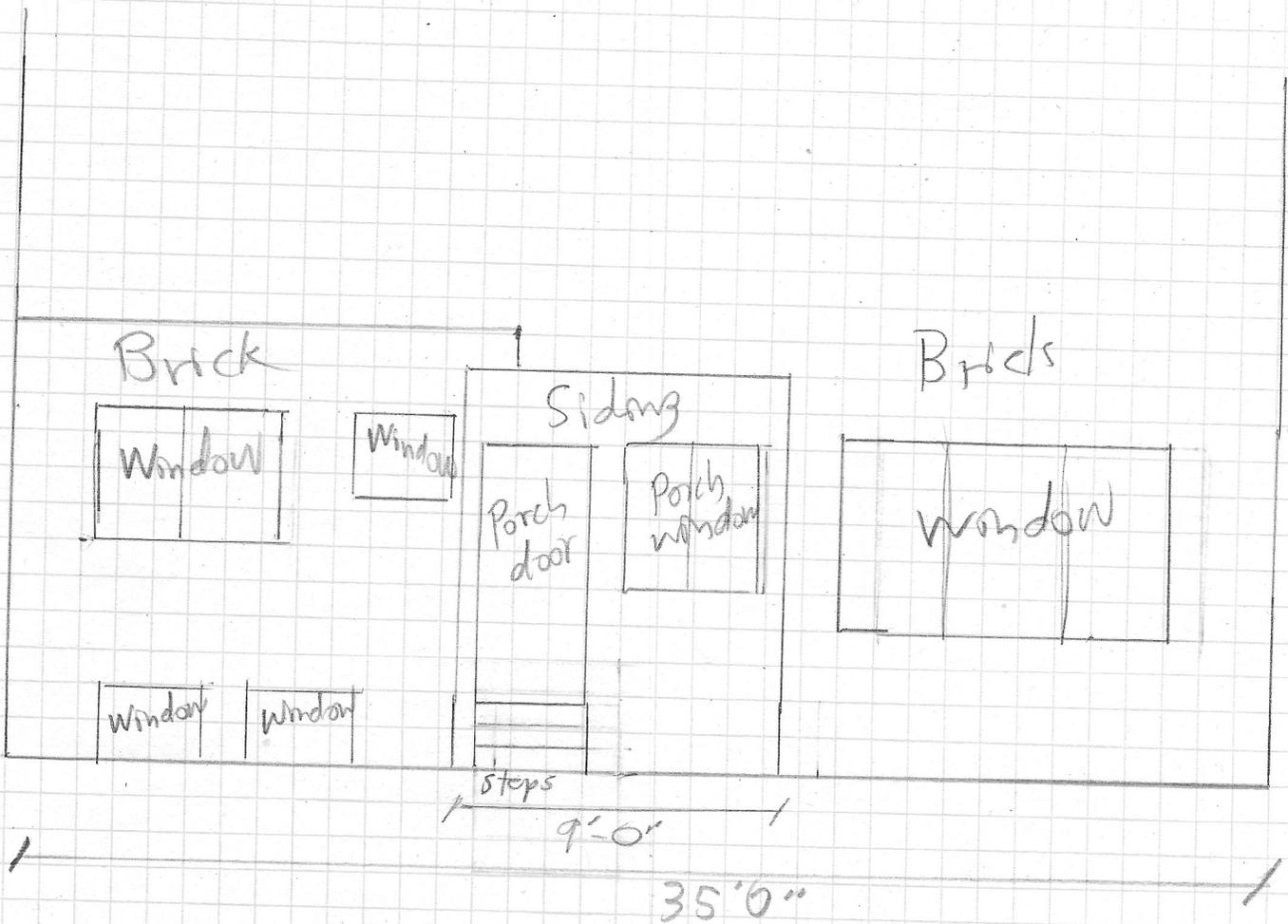
1656 W. Boston Blvd.
Existing enclosed porch

Floor plan
0.5 cm = 1 foot



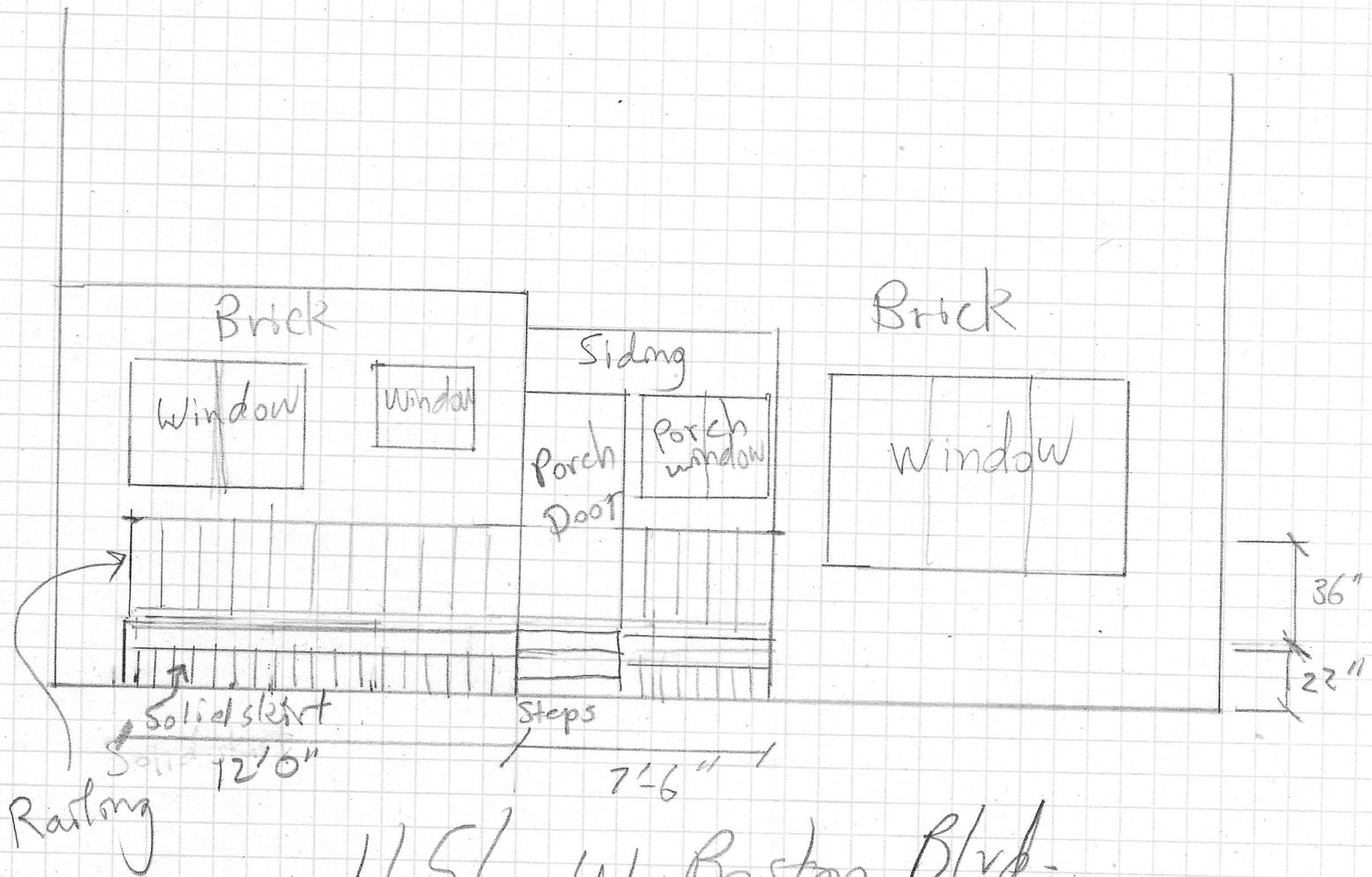
1656 W. Boston Blvd.
 Proposed enclosed porch + wood deck

Floor plan
 0.5 cm = 1 foot



1656 W. Boston Blvd.
 Existing enclosed porch

North elevation
 0.5cm = 1 foot



1656 W. Boston Blvd.
 Proposed deck/enclosed porch
 North elevation
 0.5cm = 1 foot

