



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**APPLICATION ID**

HDC2026-00021

## PROPERTY INFORMATION

**ADDRESS(ES):** 1676 Chicago Blvd.

**HISTORIC DISTRICT:** Boston-Edison

### SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/Doors	<input type="checkbox"/> Walls/Siding	<input type="checkbox"/> Painting	<input checked="" type="checkbox"/> Roof/Gutters/Chimney	<input checked="" type="checkbox"/> Porch/Deck/Balcony	<input type="checkbox"/> Other
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.)	

### BRIEF PROJECT DESCRIPTION:

Exterior renovation of main house and detached garage, window restoration, approval of completed unapproved work

## APPLICANT IDENTIFICATION

**TYPE OF APPLICANT:** Architect/Engineer/Consultant

<b>NAME:</b> Alissa Jacobs	<b>COMPANY NAME:</b> 4545 Architecture		
<b>ADDRESS:</b> 2761 E. Jefferson, Suite 302	<b>CITY:</b> Detroit	<b>STATE:</b> MI	<b>ZIP:</b> 48207
<b>PHONE:</b> +1 (313) 826-8016	<b>EMAIL:</b> alissa.jacobs@4545architecture.com		

## I AGREE TO AND AFFIRM THE FOLLOWING:

<input checked="" type="checkbox"/>	I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
<input checked="" type="checkbox"/>	I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
<input checked="" type="checkbox"/>	I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.
<input checked="" type="checkbox"/>	As required by the state Local Historic Districts Act, <a href="#">Act 169 of 1970</a> (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, <a href="#">1972 PA 230, MCL 125.1501 to 125.1531</a>

Signed by:  
Alissa Jacobs  
REAGAE5205774F5

SIGNATURE

01/20/2026

DATE

NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

## PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

### ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

n/a

## GENERAL

### 1. DESCRIPTION OF EXISTING CONDITION

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*

### 2. PHOTOGRAPHS

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



### 3. DESCRIPTION OF PROJECT

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)*



### 4. DETAILED SCOPE OF WORK

*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*



### 5. BROCHURES/CUT SHEETS

*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*



## ADDITIONAL DETAILS

### 6. WINDOWS/DOORS

*Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)*



### 8. SITE IMPROVEMENTS

*If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.*





January 20, 2026

1676 Chicago Blvd.,  
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

### Scope of Work

#### Main House

1. Tuckpointe and repair all existing brick as required
2. Remove asphalt shingles from all (5) dormer roofs
  - a. Replace with EverGuard TPO Color Membrane in Dark Brown
3. Repair, strip, and repaint all existing original wood windows and associated exterior trim elements as required (excluding basement level)
  - a. Remove and reinstall existing storm windows as required for access
4. Replace missing windows with Andersen E-Series aluminum-clad wood windows
  - a. Color-match to existing windows
  - b. See "Window Documentation" for individual window elevations
5. Remove and replace existing basement level windows with glass block
  - a. Refer to Detroit Historic Commission Guidelines for installation of glass block
6. Repair, strip, and repaint existing wood elements (trim, fascia, soffit, pilasters, etc.) of front entry portico as required
  - a. Repair, strip, and repaint existing front entry door and sidelites
7. Repair, strip, and repaint existing wood trim elements of front bay window as required
8. Repair roof flashing of front bay window as required
9. Install 36" painted wood handrail on front porch
10. Replace (2) missing doors at east elevation
  - a. Both doors to be Andersen Straightline Glass Panel Style 194; painted white
11. Repair, strip, and repaint existing wood trim elements of second floor east bay window as required
12. Repair, strip, and repaint wood elements of northwest first floor porch (incl. landing, stairs, column, ceiling, roof eave)



13. Install painted wood handrail at second floor northwest roof deck
14. Repair, strip, and repaint existing french door and adjacent sidelites at rear
15. Clear debris from northeast porch drainage spouts, repair as required
16. Repair, strip, and repaint as required rear second floor exterior door
17. Repair, strip, and repaint existing wood trim at west bay window
18. Install aluminum gutters and downspouts at roof eaves
  - a. Classic Gutters 5" half-round aluminum gutter in Dark Bronze

#### Garage

1. Tuckpointe and repair all existing brick as required
2. Install missing roof fascia; paint
  - a. Paint newly installed soffit and existing frieze board; repair as required
  - b. Flash roof edge as required
3. Install aluminum gutters and downspouts at roof eaves
  - a. Classic Gutters 5" half-round aluminum gutter in Dark Bronze
4. Strip and repaint existing overhead garage door frames and trim as required

All existing wood elements to be repainted are to be painted their existing color, unless noted otherwise

#### Other

1. Remove (2) damaged trees in front yard

# 5" x .027 Half Round Aluminum Gutter

[Home](#) / [5" Half Round Gutter](#) / [5" x .027 Half Round Aluminum Gutter](#)



**\$3.25 – \$4.10**

---

Gutter can be shipped in lengths of 6, 10, 15 and 19 feet. Gutter can also be shipped at 20 & 26 foot lengths, but is considered and rated as excessive length by freight companies. (6' maximum lengths shipped via UPS)

Our unique front lip design adds 3 times the front-to-back strength compared to traditional front roll out gutters.

Available in several colors, featuring a low gloss baked-on enamel finish which can be painted. See Color Chart below.

▼ STANDARD COLORS ▼

LOW GLOSS  
& HIGH GLOSS  
**WHITE**

**DARK  
BRONZE**

**ROYAL  
BROWN**

▼ SELECT COLORS ▼

**ALMOND**

**BLACK**

**CLAY**

**COPPERTONE**

**GRECIAN  
GREEN**

**LIGHT  
BRONZE**

**MUSKET  
BROWN**

**PEARL  
GRAY**

**WICKER**



# ENTRY DOORS



**HANDCRAFTED PREMIUM  
WOOD ENTRY DOORS**



# One of a kind. Like your home.

With Andersen, create an entry door with character and handcrafted origins, built in solid fine-grain wood. Styled to suit you perfectly. One of a kind. Like your home. And like you.





# EXPAND YOUR VIEW

## ENTRY DOOR STYLES

All styles available with wood or clad exteriors, as single or double doors, and with inswing or outswing operation. Doors are offered in standard and custom sizes.

**Arts & Crafts**  
Glass Panel



402



403



404

**Arts & Crafts (403)**  
Shown in oak



**Straightline**  
Full Panel



178



195



193



180

**Straightline**  
Glass Panel



181



194



179



334



102

Gothic, Elliptical, Arch and Springline™ door styles are also available. Visit [andersenwindows.com/entrydoors](http://andersenwindows.com/entrydoors) or contact your Andersen supplier for more information.

## SIDE LIGHTS & TRANSOMS

To provide seamless alignment with Straightline or Arts & Crafts style entry doors, sidelights and transoms are available. For more information, visit [andersenwindows.com/entrydoors](http://andersenwindows.com/entrydoors).



# REALIZE YOUR VISION

## INTERIOR AND EXTERIOR WOOD SPECIES

Select from an expansive array of the finest grades of wood species to add warmth and beauty to your home's entranceway.

Available on both the interior and exterior of your door.

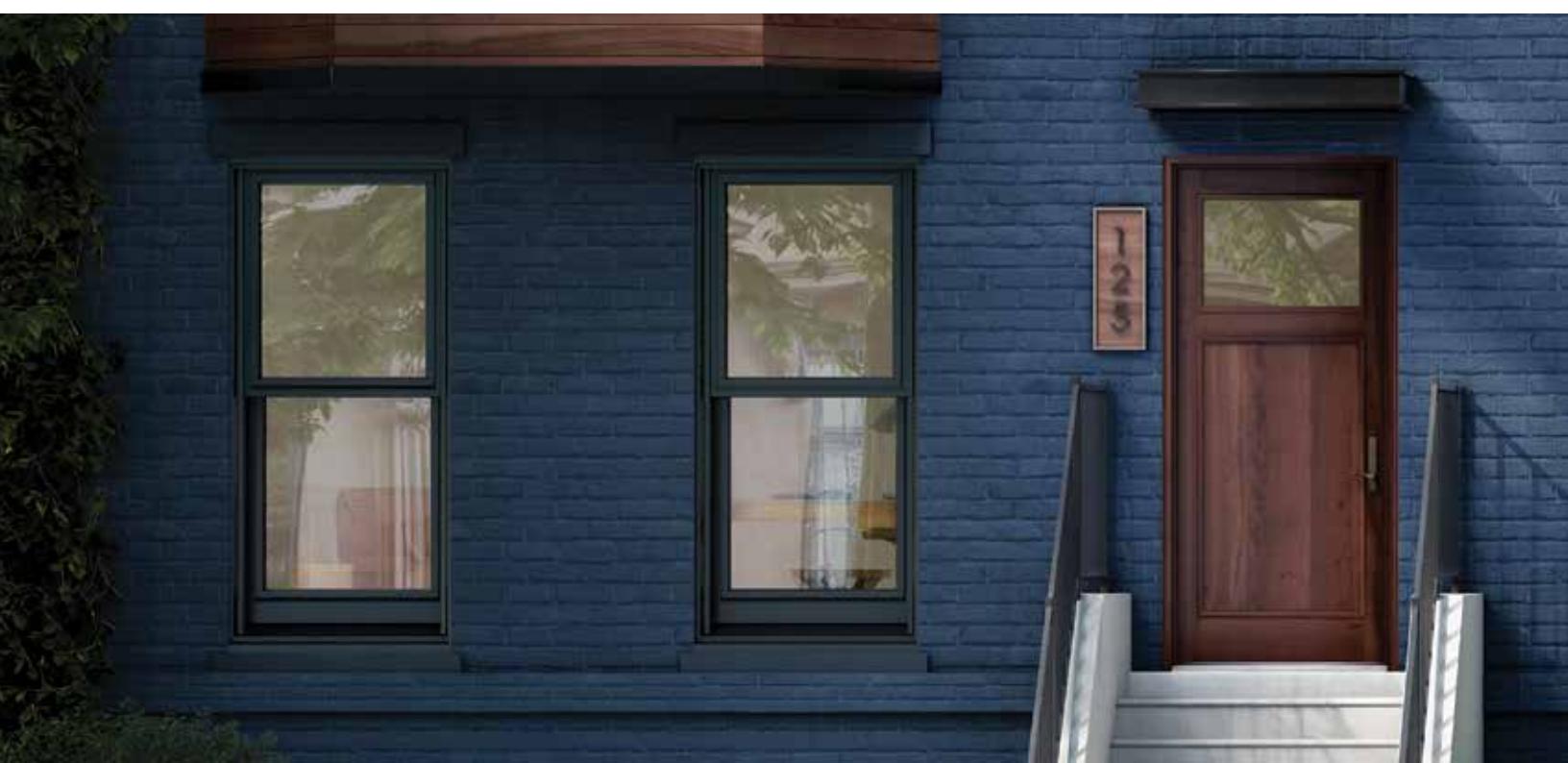
### Brick Mould and Interior Casings

A variety of exterior brick mould and interior casing profiles are available.



\*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

Naturally occurring variations in grain, color and texture of wood makes each window or door one of a kind. Printing limitations prevent exact replication of finishes. Please see your Andersen supplier for actual finish samples.



## COLOR OPTIONS

Make a bold first impression with color – choose from 50 commercial-grade, aluminum exterior color options. On the interior of the door, choose from our painted options or enjoy the look of unfinished wood.

### Exterior Colors



### Interior Painted Options

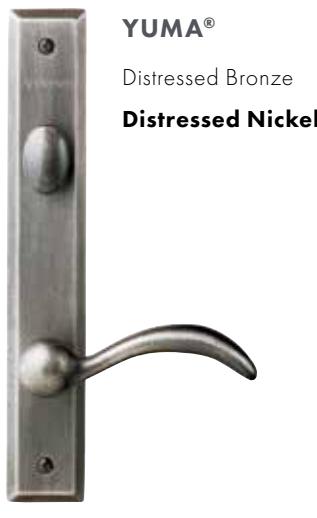


Available on pine. Black and dark bronze also available on maple. Anodized silver available only on maple.

# ADD A VISUAL ACCENT

Add a carefully considered detail to your home's overall look with Andersen® hardware or have your door prepped for hardware manufactured by others.

## HARDWARE OPTIONS\*



### YUMA®

Distressed Bronze

**Distressed Nickel**



### ENCINO®

**Distressed Bronze**

Distressed Nickel



### NEWBURY®

Antique Brass

Bright Brass

**Oil Rubbed Bronze**

Satin Nickel

## HARDWARE FINISHES



Antique Brass



Black



Bright Brass



Distressed  
Bronze



Distressed  
Nickel



Oil Rubbed  
Bronze



Satin  
Nickel



Stone

## FSB® HARDWARE\*

Durable FSB hinged door hardware features clean lines and a sleek finish for a thoroughly modern look.



1035



1075



1076



1102\*\*



Black Anodized  
Aluminum



Satin  
Stainless Steel

**Black Anodized Aluminum**  
Satin Stainless Steel

**Satin Stainless Steel**

\*Hardware sold separately.

\*\*FSB style 1102 is not available in black anodized aluminum.

FSB hardware is stainless steel or aluminum.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.



### ALBANY

**Black**

Stone

White



### ANVERS®

Bright Brass

Oil Rubbed Bronze

**Satin Nickel**



### TRIBECA®

Black

Stone

**White**



White

Tribeca and Albany hardware are zinc die cast with powder-coat durable finish.

Yuma, Encino, Newbury and Anvers are solid forged brass. Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use. Bright brass and satin nickel finishes on patio door hardware feature a 10-year limited warranty.

## YALE® ASSURE LOCK®\*

Monitor, lock and unlock from anywhere with the Yale Assure Lock. This slim, sleek keyless lock is designed exclusively for Andersen® hinged doors\*\* and integrates with a wide range of smart home platforms.



Black



Satin Nickel



White

\*Hardware sold separately.

\*\*Available on select hinged doors, see your Andersen supplier for details.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples. Yale manufactures and supports the limited warranty for Yale Assure Lock for Andersen doors.

# BRIGHTEN YOUR VIEW

Glass can affect energy efficiency more than any other part of a door. Choose from these High-Performance glass options for your climate and home.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™	Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ○	● ● ● ○
SmartSun with HeatLock® Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4®	Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ○	● ● ● ○	● ● ● ○
Sun	Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ○	● ● ● ○
PassiveSun®	Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ○ ○	● ○ ○ ○	● ○ ○ ○
Triple-Pane with Low-E coatings on two surfaces	Three panes of glass combine with either argon gas blend air or Low-E coatings to provide enhanced energy performance.	● ● ● ○	● ● ● ○	● ● ● ○

Center of glass performance only. Ratings based on glass options as of January 2022. Visit [andersenwindows.com/energystar](https://andersenwindows.com/energystar) for ENERGY STAR® map and NFRC total unit performance data.

## Patterned Glass

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch to your home. Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.



Cascade



Fern



Obscure



Reed



Satin Etch



## Art Glass

With art glass from Andersen, you can add interest, create a focal point and make your doors stand out. These finely crafted inserts are available to complement any home's architecture. For more information, visit [andersenwindows.com/artglass](https://andersenwindows.com/artglass).

## Arts & Crafts (403)

Shown in oak with Arts & Crafts art glass pattern.



## GRILLE OPTIONS

### Grille Patterns

Choose from Colonial, Prairie or Specified Equal Light grille patterns.



Colonial



Prairie



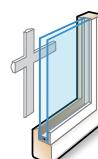
Specified Equal Light

### Grille Types Available



#### Full Divided Light

Permanent exterior  
Permanent interior with spacer



#### Removable Interior

Removable interior



#### Simulated Divided Light

Permanent exterior  
Permanent interior



#### Simulated Divided Light with Removable Interior Grilles

Permanent exterior  
Removable interior

### Profiles & Widths

Grilles are available in four standard widths:  $\frac{3}{4}$ ",  $\frac{7}{8}$ ",  $1\frac{1}{8}$ " and  $1\frac{1}{2}$ ".

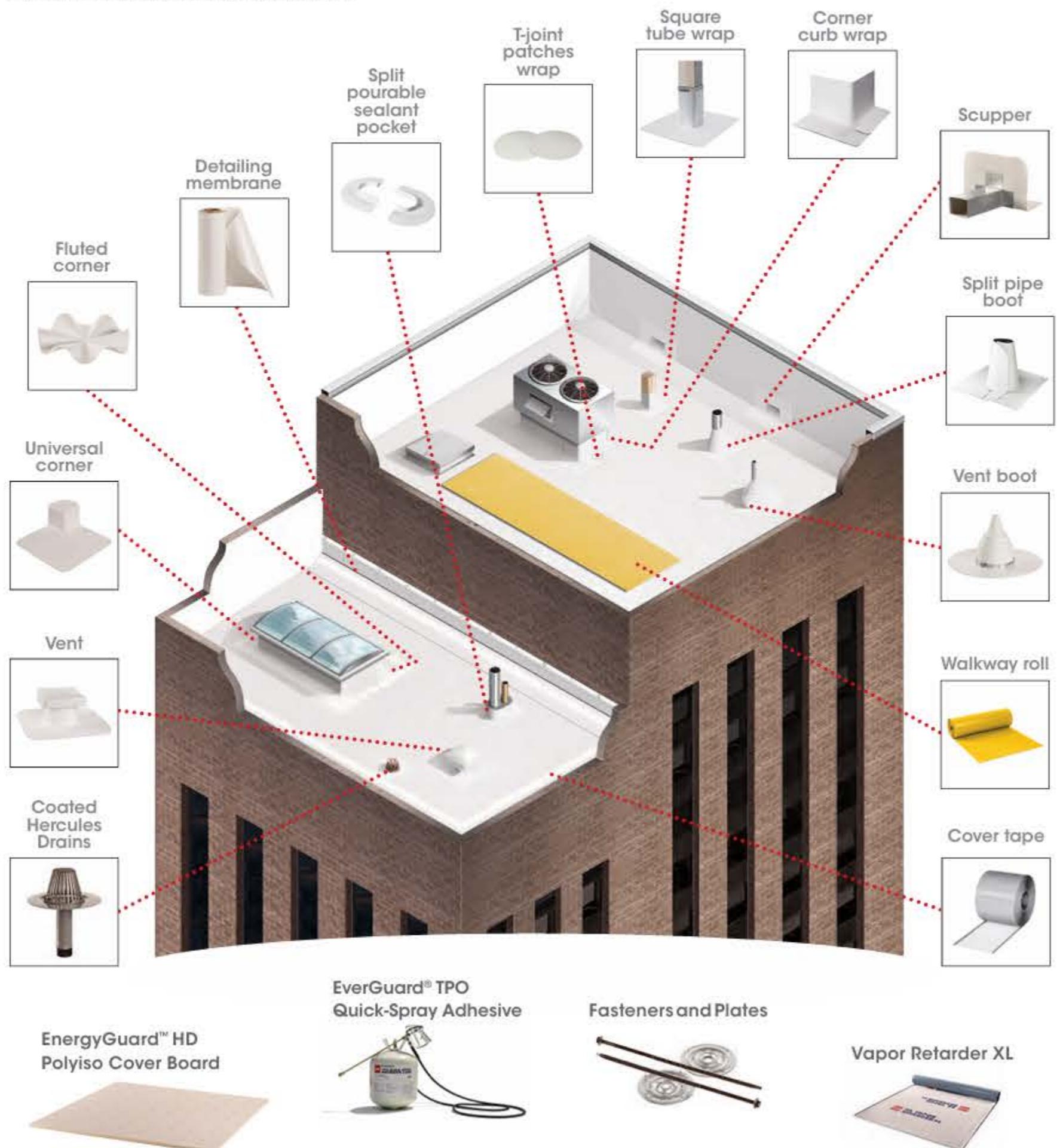


[andersenwindows.com/entrydoors](http://andersenwindows.com/entrydoors)

"Andersen" and all other marks where denoted are trademarks of Andersen Corporation.  
©2022 Andersen Corporation. All rights reserved. 04/22 Part #2000652

# GAF TPO Accessories

- Eliminate field fabrication and reduce installation time with these accessories
- GAF offers a wide range of preformed accessories for various details including penetrations, corners, curbs, and edges
- Preformed accessories offer a consistent built and finished-looking detail
- Various accessories come in different sizes to best fit various details on your roof
- Custom accessories are also available



## Find out more. Contact us at:

**GAF** EverGuard® **TPO**  
Single-Ply Roofing Systems

### Customer Care

Hours: 7:30 am - 6:30 pm EST, Monday - Friday

All inquiries regarding product order placement, product availability, shipment tracking, and jobsite deliveries.

[customercarecommercial@gaf.com](mailto:customercarecommercial@gaf.com)

### Warranty Claims

Hours: 8:30 am - 5:00 pm EST, Monday - Friday

Claims involving Commercial Guarantees.

[guaranteeleak@gaf.com](mailto:guaranteeleak@gaf.com)

### Guarantee Services

Hours: 7:30 am - 6:00 pm EST, Monday - Friday

All inquiries regarding Commercial Guarantees support including registration, coverage, and transfer information.

[guaranteeservices@gaf.com](mailto:guaranteeservices@gaf.com)

### Design Services

Hours: 8:00 am - 5:00 pm EST, Monday - Friday

Answers questions and provides assistance with everything from master specification preparation, to assisting with complete submittals related to your project at no charge to contractors, specifiers, and architects.

[designservices@gaf.com](mailto:designservices@gaf.com)

### Tapered Design Group

Hours: 8:30 am - 5:00 pm EST, Monday - Friday

Tapered insulation take-offs and drawings for architects, contractors, and distributors.

[tdg@gaf.com](mailto:tdg@gaf.com)

### TPO Manufacturing Locations

New Columbia, PA

2093 Old Rte 15, New Columbia, PA

Valdosta, GA — Coming Soon

2100 Steeda Way, Valdosta, GA 31606

Mount Vernon, IN

901 Givens Rd, Mt Vernon, IN 47620

Gainesville, TX

1301 Corporate Dr, Gainesville, TX 76240

Cedar City, UT

5080 UT-56, Cedar City, UT 84721



TPO (thermoplastic polyolefin) is a single-ply roofing membrane that offers excellent performance and has been the most popular roofing membrane for many years. GAF

EverGuard® TPO products offer a balance of long-term performance and state-of-the-art innovation designed to help tackle your specific roofing challenge.

©2024 GAF • COMEG17-0424 43581-0724



We protect what matters most™



We protect what matters most™

A **standard** INDUSTRIES COMPANY

# Why GAF EverGuard® TPO

When you choose TPO from GAF, you have the experience and expertise of North America's largest manufacturer of roofing products standing behind your product.

Over the last 20+ years, building owners from coast to coast have chosen to install more than 6 billion square feet of GAF EverGuard® TPO to protect their investments, their businesses, and their tenants.



## A network of highly experienced specialists

Whether it's your first day on the job or your thousandth, you can rely on GAF for quality products, training, and support services. From technical help to professional education programs, we can help you address your every roofing need.

Discover how GAF can make your job easier and more efficient at [gaf.com/tpo](http://gaf.com/tpo)



## Access to industry-leading training

From industry-leading videos ([gaf.com/roofingitright](http://gaf.com/roofingitright)), in-person classes, or trailer trainings, CARE offers a wide range of training opportunities.

Available in both English and Spanish: [gaf.com/care](http://gaf.com/care)

<sup>1</sup> Additional requirements apply. Contact GAF for more information.

<sup>2</sup> For EverGuard® Diamond Pledge™ NDL Roof Guarantees and System Pledge™ Roof Guarantees only. Refer to applicable guarantee available at [gaf.com](http://gaf.com) for complete coverage and restrictions.

# TPO Membranes



## EverGuard® TPO

- For performance you can count on, the construction of our EverGuard® TPO membrane has remained consistent for decades, during which the company has sold more than 6 billion square feet of membrane
- A 20-plus year track record for performance
- Available in the widest selection of colors in the industry



## EverGuard Extreme® TPO

- Includes an enhanced weathering package that allows GAF to offer a guarantee of up to 35 years<sup>4</sup>, the longest in the industry
- Great for high-heat and solar applications
- Available in White



## EverGuard® TPO Fleece-Back Membrane

- Best for re-cover applications or where strong protection against punctures and hail resistance is paramount<sup>3</sup>
- Available in White, Tan, and Gray



## EverGuard® TPO Fleece-Back 100, 115, and 135 Membranes

- Select when a thicker fleece is specified, including re-cover applications or where strong protection against punctures and hail resistance is paramount<sup>4</sup>
- Available in White



## EverGuard Extreme® TPO Fleece-Back Membrane

- Best for re-cover applications or where strong protection against punctures and hail resistance is paramount<sup>3</sup>
- Available in White



## EverGuard® SA TPO Self-Adhered Roof Membrane

- GAF EverGuard® SA TPO Self-Adhered Roof Membrane is ready to install direct from the factory
- Ideal for jobs on occupied buildings where odor associated with traditional solvent-based adhesives are a concern
- An excellent alternative for adhered installations in colder weather, down to 20°F
- Available in White

# Smooth TPO Standard Colors<sup>3</sup>



White -920



Gray 345



Slate Gray 740



Energy Gray 322



Tan 820



Energy Tan 822



Dark Bronze 220

# TPO Attachment Methods

## Mechanically Attached Smooth TPO with Drill-Tec™ Fasteners



After attaching insulation to the deck, attach the TPO to the deck at the seams, then weld. It's one of the fastest installation methods, with the widest application temperature range<sup>5</sup>, and qualifies for a 30-year warranty.<sup>1</sup> Ideal for many office buildings.

## GAF Quick-Spray Adhesive Smooth TPO



Adhesive is sprayed uniformly on the substrate and membrane underside. When the adhesive dries to a tacky feel, roll out the membrane and apply pressure. One of the fastest installation methods, with excellent finished look and high wind-uplift resistance. Qualifies for up to a 35-year guarantee<sup>1</sup> when using EverGuard Extreme® 80 mil TPO.

## Adhered Smooth TPO with Traditional Bonding Adhesive



After attaching insulation to the deck, roll adhesive on both the substrate and the membrane and allow to flash off. Weld the membrane at the seams and bond in. This installation method offers a uniform, smooth appearance; minimizes thermal drift, and acts as a vapor barrier. Ideal for warm and windy environments. Adhered installations can qualify for a longer guarantee<sup>1</sup> duration than mechanically attached installations.

## Induction-welded with smooth TPO



Use RhinoBond™ technology to induction-weld the membrane to plates secured to the insulation layer, then heat-weld the seams. With quick dry-in, no cure time, fumes, or mess, it offers a fast and easy installation in the widest temperature range. Qualifies for up to a 30-year guarantee.<sup>1</sup> Ideal for office buildings.

## EverGuard® SA TPO Self-Adhered Roof Membrane



Ready to install straight from the factory, this self-adhered roof membrane can help save time and labor, and can be installed at temps down to 20°F. Seam-weld as usual. Ideal for occupied buildings where solvent odors are a concern. Qualifies for up to a 25 year guarantee.<sup>1</sup>

## Adhered Fleece-back TPO with Low-rise Foam



Apply adhesive in a spatter pattern, apply the membrane, weld the seam, and smooth with a weighted roller. This membrane installation method is up to 50% faster than installation of smooth membrane with traditional solvent-based bonding adhesive, increasing productivity, requires no expensive equipment, and the fleece backing offers additional puncture resistance.<sup>4</sup> Qualifies for up to a 35-year guarantee.<sup>1</sup> Ideal for most environments.

# TPO Membrane Sizes

## EverGuard® TPO Fleece-Back Membrane



Thickness	Unit Size
45 mil	12' x 100' (3.66 m x 30.5 m)
	10' x 100' (3.05 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
60 mil	12' x 100' (3.66 m x 30.5 m)
	10' x 100' (3.05 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
80 mil	12' x 100' (3.66 m x 30.5 m)
	10' x 100' (3.05 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)

## EverGuard® TPO Fleece-Back 100, 115, and 135 Membranes



Thickness	Unit Size
50 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)
60 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)
70 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)
80 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)

## EverGuard Extreme® TPO



Thickness	Unit Size
100 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)
115 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)
135 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30.5 m)
	4' x 100' (1.22 m x 30.5 m)

## EverGuard® TPO Fleece-Back Membrane



Thickness	Unit Size
100 mil	10' x 100' (3.05 m x 30.5 m)
	5' x 100' (1.52 m x 30.5 m)
	8' x 100' (2.44 m x 30.5 m)
	6' x 100' (1.83 m x 30



# EverGuard® TPO Colors: Boost Your Roof with Color



Get even more benefit from GAF EverGuard® TPO by leveraging the industry's largest selection of color options. Color transforms your TPO roof system into an aesthetic attribute that can also help you save energy. We formulate our colors to minimize fading and to increase reflectivity, reducing energy costs.



# EverGuard® TPO Colors

## Color Guide

### Standard Colors\*:



White 920



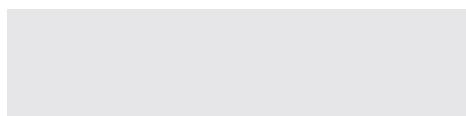
Energy Tan 822



Tan 820



Slate Gray 740



Energy Gray 322



Gray 345



Dark Bronze 220

### Additional Colors\*\*:



Dark Brown 229



Terra Cotta 815



Regal Red 661



Regal Blue 663



Electric Blue 274



Sky Blue - 124



Hartford Green 384



Patina Green 541



Goldenrod 353



Desert Tan 247

GAF can manufacture  
virtually any color you need.  
The possibilities are limitless!\*

NOTE: It is difficult to reproduce the color clarity and actual color of the installed product. Final installed colors may vary from colors shown. Please ask to see a sample of the actual material before you make a final selection. View the actual sample outdoors, under a variety of lighting conditions.

These colors are available for EverGuard® TPO smooth membrane. In addition to white, EverGuard® TPO fleece-back membrane is only available in Gray 345 or Tan 820.

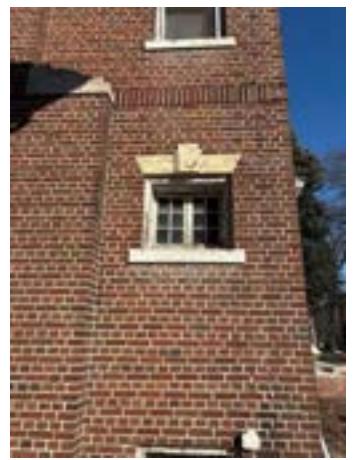
\* Standard colors are stocked in 60 mil only. Other thicknesses require a 400 square minimum order. Contact your local GAF Sales Representative.

\*\* 400 square minimum order required. For more information, contact your local GAF Sales Representative.

For additional information, contact GAF Design Services  
at **1-877-423-7663** or [designservices@gaf.com](mailto:designservices@gaf.com)

We protect what matters most™



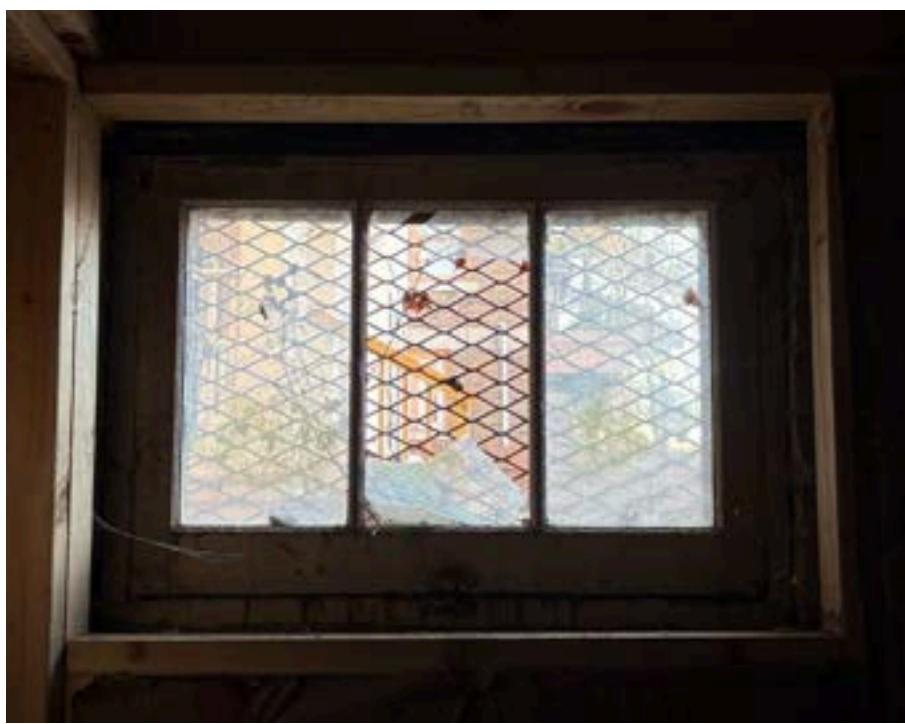


WEST ELEVATION



007

REPLACE WITH GLASS BLOCK



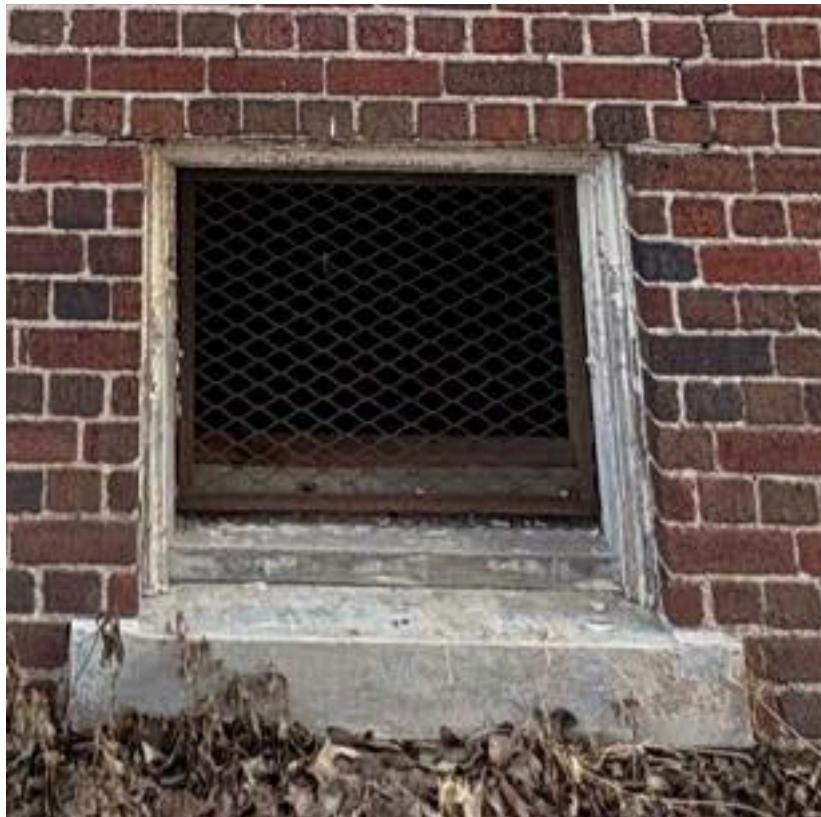
008

REPLACE WITH GLASS BLOCK



009

REPLACE WITH GLASS BLOCK



010

REPLACE WITH GLASS BLOCK



011

REPLACE WITH GLASS BLOCK



012

REPLACE WITH GLASS BLOCK



120-123



124-126







217-220



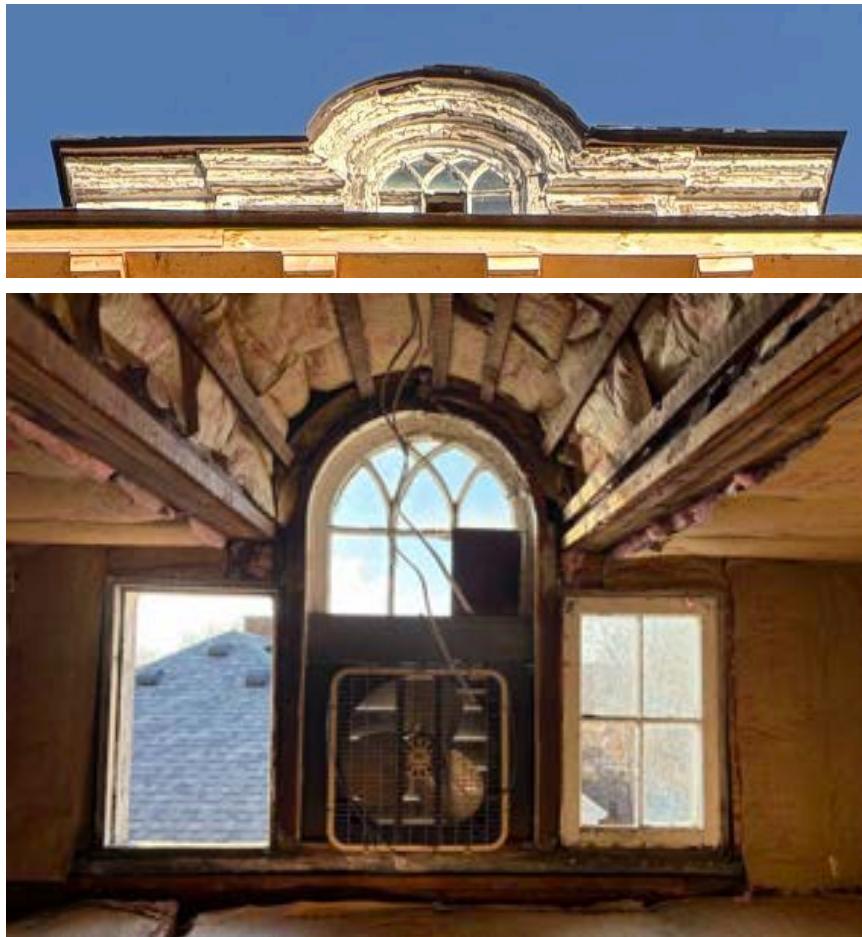
221-222



223



224



307-309



309 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW (FIXED)

## GARAGE WINDOWS



129



130



January 20, 2026

1676 Chicago Blvd.,  
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Window Documentation



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



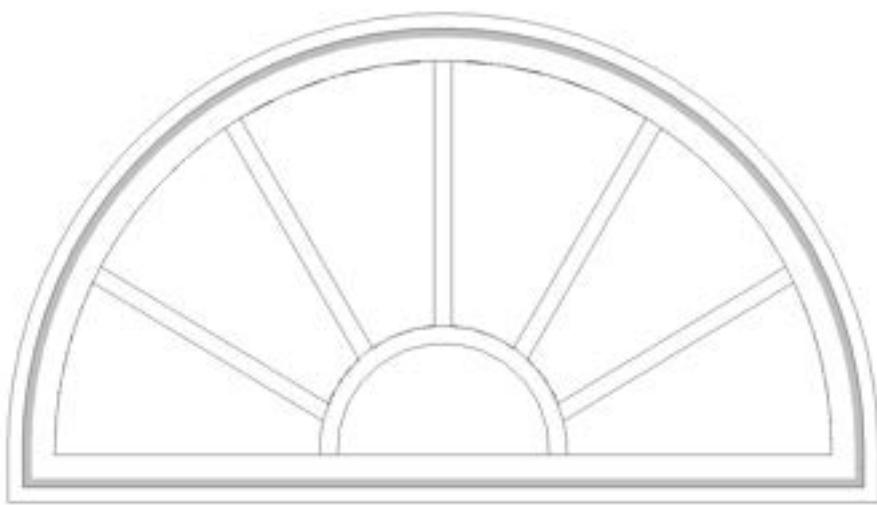
SOUTH ELEVATION



101-104



105



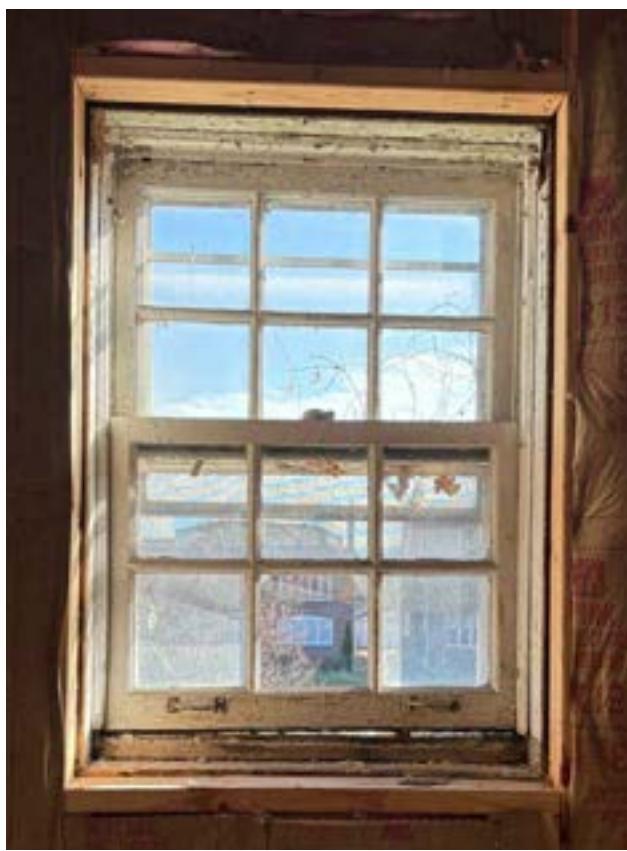
105 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW  
(CUSTOM SUNBURST HALF-CIRCLE)







201-202





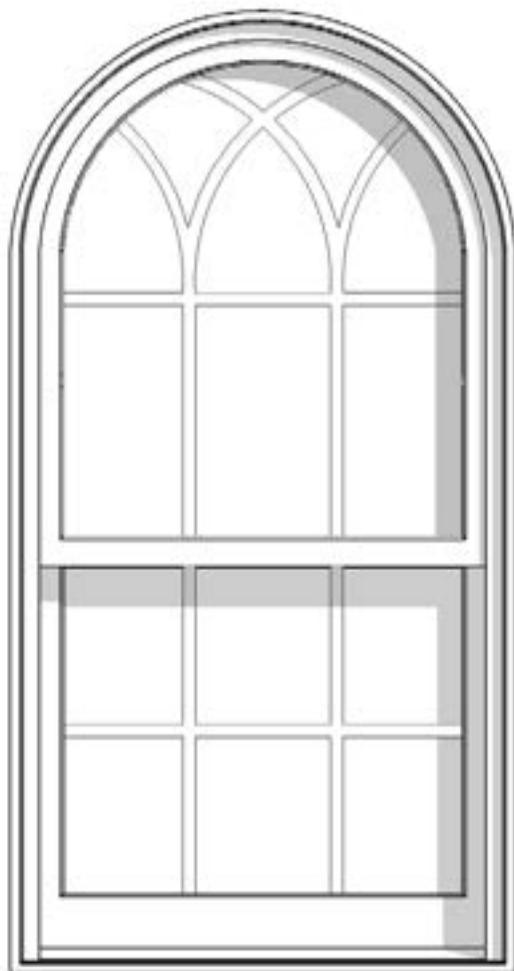
204-205



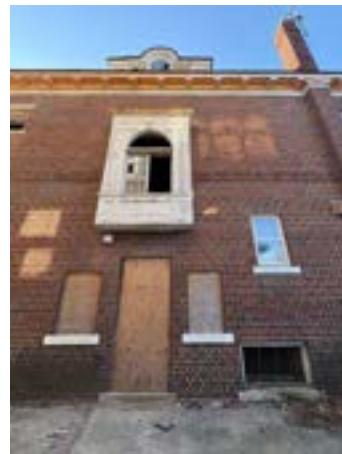
301



302



301-302 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW; SINGLE HUNG WITH CUSTOM SIMULATED DIVIDED LITE TO MATCH EXISTING DORMER WINDOWS



EAST ELEVATION



001

REPLACE WITH GLASS BLOCK



002

REPLACE WITH GLASS BLOCK



003-004  
REPLACE WITH GLASS BLOCK



108-109



110





112



113-114



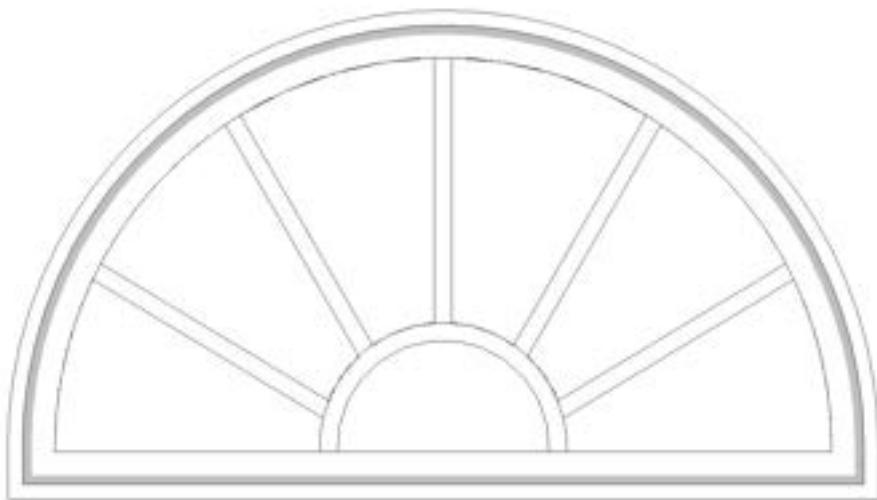
206-207



206-207 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW (CASEMENT)



208-209



208 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW  
(CUSTOM SUNBURST HALF-CIRCLE)



210-211



303-305



NORTH ELEVATION



005-006  
REPLACE WITH GLASS BLOCK







117-119



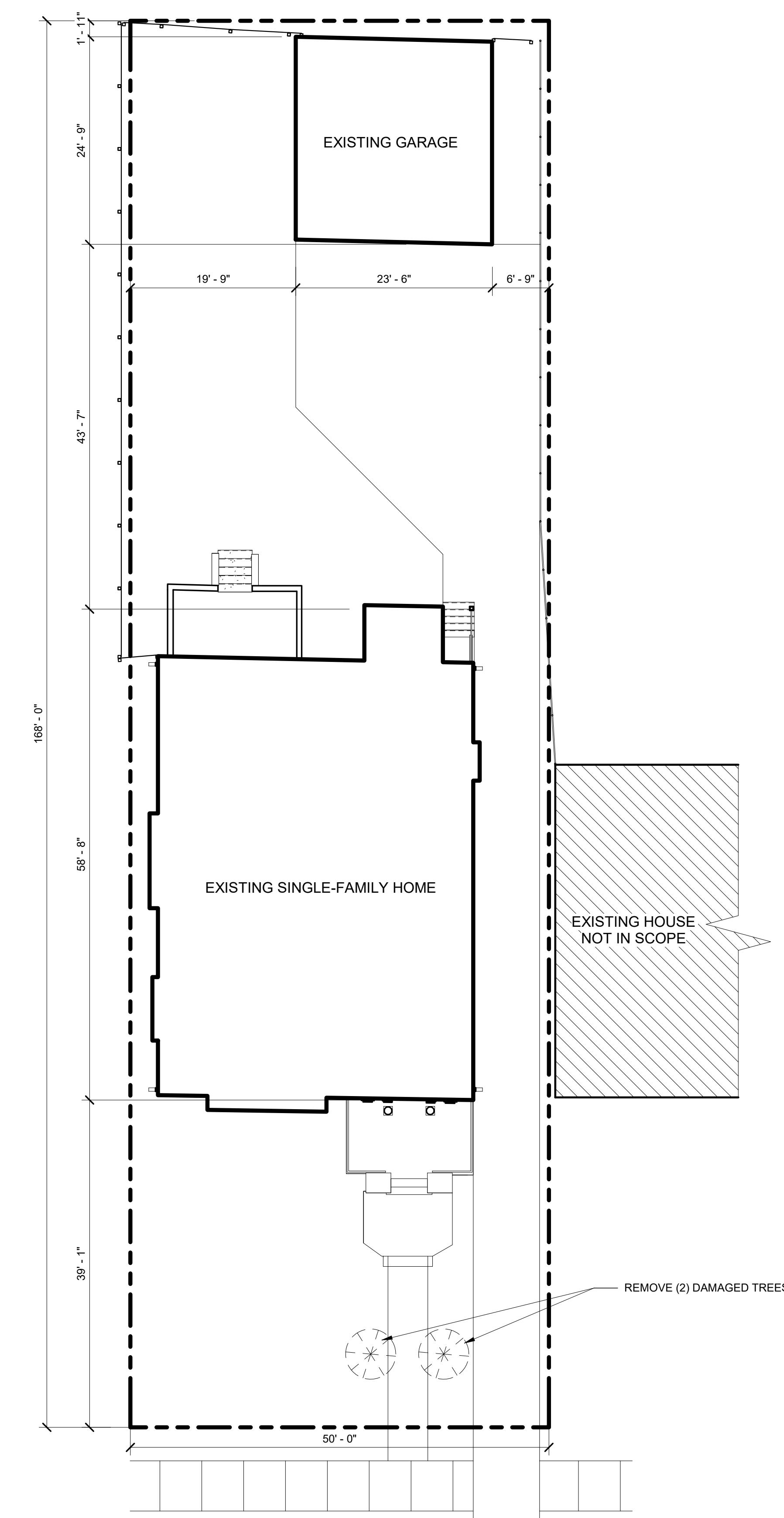
212



213-216



ENDER STREET LOCATION



1 SITE PLAN  
SCALE: 1" = 10'-0"

N

DO NOT SCALE DRAWINGS | ©2021 Timothy Flinoff Architect, PLLC  
Project No.: 2025063  
Sheet No.: SP1.1  
Sheet Title: ARCHITECTURAL SITE PLAN  
Drawn by: ANJ  
Checked by: TRF  
Architect: 4545 architecture  
2761 E. JEFFERSON  
SUITE 302  
DETROIT, MI 48207  
P. 313.450.4545  
T. 313.450.4545  
E. TIM.FLINOFF@4545ARCHITECTURE.COM  
Consultant:

Project :  
1676 CHICAGO BLVD.  
RENOVATION  
1676 CHICAGO BLVD.,  
DETROIT, MI 48206

Issued for :  
HDC SUBMIT 01/20/2026



January 20, 2026

1676 Chicago Blvd.,  
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Project Narrative

1676 Chicago Blvd. is a two-story single family residence in the Boston Edison historic district of Detroit. Built in 1921, it has many classic Neo-Georgian features, including red brick cladding, a detailed wood portico entry at the main front door, wood dentils at the soffits, and arched and palladian dormers. The front porch is offset to the right of the street-facing facade, and is balanced on the left with a protruding window bay featuring four double-hung wood windows, with a 6-over-1 muntin pattern. The brick clad porch steps down to a large lower landing before again stepping down to level with the front sidewalk. The second floor and roof at the front facade are symmetrical, with the exception of the visible chimney. Two arched dormers on the roof face the street. The majority of the original wood windows are present and intact, with the notable exceptions of the two arch dormer windows at front and the half-round transom above the main entry door, as well as one of the flanking windows of the west palladian dormer, the half-round transom at the second floor east bay window, a set of two mulled windows at the east second floor, and a single basement window at the rear. Many of the present basement windows do have missing or broken glass panes. The east facade features a protruding window bay with a trimmed wood surround above the side entry door, centered on the dormer above. There is also a chimney near the rear. The northeast corner of the house features a small porch with wood steps and landing, with a second floor roof deck above. At the opposite side of the back of the house is a raised concrete porch with brick half-walls surrounding it; concrete stairs at the porch center lead up to a set of french doors with sidelites which make the porch its own symmetrical element. The west facade, similar to the east, has a set of windows aligned with the dormer above, but at the ground level. There is also a larger chimney closer to the front.

The property features a 2-car detached garage in the backyard. It is brick-clad and features its original tile roofing. Two single-car overhead doors face the driveway in the backyard; the alley-side facade (north) is brick. The east and west sides of the garage each have a wood double-hung window. The soffit of the garage has been recently replaced, and the roof fascia is missing or severely deteriorated throughout.

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



The intent of this project is to make improvements to the property while still maintaining its historic character. General improvements, such as tuckpointing existing brickwork, will be performed as required. All original windows which are present, as well as the rear set of french doors, will be repaired and repainted as needed. Missing windows are to be replaced with Andersen E-Series aluminum-clad wood windows, and color-matched to those existing. It is also proposed to replace all basement windows with glass block for security purposes. Wood trim elements throughout the project, such as the portico, bay windows, window trim, soffit, dentils, and elements of the rear porch and roof deck are to be repaired and repainted as needed. Any replacement found to be necessary will be done with in-kind elements which are the same color/finish/shape/size. The two existing doors (the main entry door and the rear second floor door) will be refinished. The two missing entry doors (at the east side and rear first floor porch) will be replaced with Andersen Straightline Glass Panel wood doors, style 194 (half-lite), and painted to match. A wood handrail will be installed at the front porch in a similar style to what is present in historic photos, as well as at the rear roof deck. Half-round aluminum gutters and downspouts are to be installed at all 4 sides of the roof; they are to be dark bronze. Asphalt shingles present on the five dormer roofs will be removed and replaced with a dark brown membrane roof, to mimic the contrast of the original copper roof which has been removed.

At the garage, similar tuckpointing will occur as required. Missing roof flashing at the eaves and a wood fascia board will be installed. The new fascia and existing soffit & frieze board are to be painted to match existing trim elements. The same aluminum gutters and downspouts of the main house are to be installed at the garage. The existing overhead door frames and windows are to be repaired and repainted as needed. Two damaged trees are to be removed from the front yard.

# 1676 CHICAGO BLVD. RENOVATION

1676 CHICAGO BLVD.,  
DETROIT, MI 48206

**ARCHITECT**  
**4545 ARCHITECTURE | DESIGN**  
TIMOTHY FLINTOFF  
2761 E. JEFFERSON, SUITE 302  
DETROIT, MI 48207

## PROJECT DATA

BUILDING CODE AUTHORITY:  
CITY OF DETROIT

APPLICABLE CODES:

BUILDING CODE  
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL BUILDING CODE"  
2021 MICHIGAN RESIDENTIAL CODE (MRC) AS AMENDED

MECHANICAL CODE  
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"  
2021 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE  
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"  
2021 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE  
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"  
2023 MICHIGAN ELECTRICAL CODE AS AMENDED

ENERGY CODE  
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS  
AMERICANS WITH DISABILITIES ACT (ADA)  
MBC-2015, CHAPTER 11  
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

## SHEET INDEX

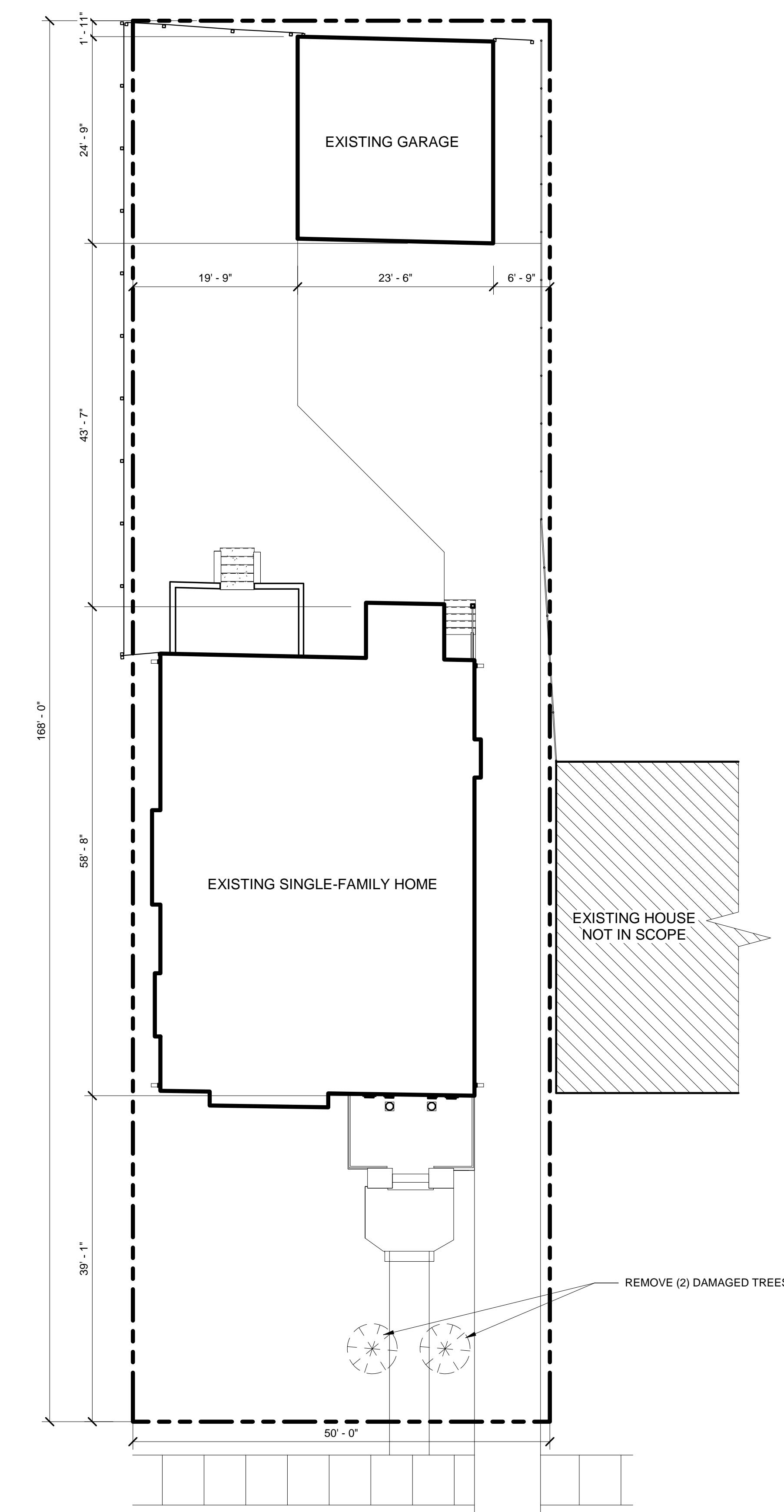
SP1.1	ARCHITECTURAL SITE PLAN
A1.5	ROOF PLAN
A3.1	SOUTH ELEVATION
A3.2	EAST ELEVATION
A3.3	NORTH ELEVATION
A3.4	WEST ELEVATION
A3.5	GARAGE ELEVATIONS
A3.6	GARAGE DETAILS



SYMBOL LEGEND	ABBREVIATIONS
<p><b>Drawing Navigation</b></p> <p><b>Elevation Callout</b> Sheet Number Drawing Number 1 A101 1</p> <p><b>Section Callout</b> "SIM" (If present) means this condition is similar to the drawing referenced. Drawing Number Sheet Number 1 SIM A101</p> <p><b>Detail Callout</b> "SIM" (If present) means this condition is similar to the drawing referenced. Drawing Number Sheet Number 1 SIM A101</p> <p><b>Other</b></p> <p>Keynote Tag - refer to keynotes on that sheet</p> <p>Wall Tag - refer to Wall Schedule</p> <p>Door Tag - refer to Door Schedule</p> <p>Window Tag - refer to Window Schedule</p> <p>Name Elevation Floor Level Elevation</p>	<p>@ ACROUST At Acoustical</p> <p>ACT Acoustic Ceiling Tile</p> <p>ADJ Adjacent</p> <p>AFF Above Finish Floor</p> <p>ALUM Aluminum</p> <p>ANOD Anodized</p> <p>BD Board</p> <p>BLDG Building</p> <p>BLK Block</p> <p>BLKG Blocking</p> <p>CEM Cement</p> <p>CJ Control Joint</p> <p>CLG Ceiling</p> <p>CL Centerline</p> <p>CO Clean Out</p> <p>COL Column</p> <p>CONC Concrete</p> <p>CG Corner Guard</p> <p>CONST Construction</p> <p>CONT Continuous</p> <p>CORR Corrugated</p> <p>CPT Carpet</p> <p>CT Ceramic Tile</p> <p>DET Detail</p> <p>DIA Diameter</p> <p>DM Dimension</p> <p>DN Down</p> <p>DO Door Opening</p> <p>DR Door</p> <p>DWG Drawing</p> <p>EA Each</p> <p>ELEV Elevation</p> <p>EW Each Way</p> <p>EXG Existing</p> <p>EXIST Existing</p> <p>EXP Expansion, Exposed</p> <p>FD Floor Drain</p> <p>FDN Foundation</p> <p>FRP Fiber Reinforced Panels</p> <p>FIN Finish</p> <p>FLR Floor</p> <p>FO Face Of</p> <p>FOS Face Of Stud</p> <p>FR Frame</p> <p>FTG Footing</p> <p>FV Field Verify</p> <p>GA Gauge</p> <p>GALV Galvanized</p> <p>GYP Gypsum</p> <p>HDW Hardware</p> <p>HM Hollow Metal</p> <p>HORIZ Horizontal</p> <p>HT Height</p> <p>ID Inside Diameter</p> <p>INSUL Insulation</p> <p>INT Interior</p> <p>JT Joint</p> <p>LAV Lavatory</p> <p>LG Long</p> <p>LLO Long Leg Outstanding</p> <p>LLV Long Leg Vertical</p> <p>MAX Maximum</p> <p>MECH Mechanical</p> <p>MET Metal</p> <p>MEZZ Mezzanine</p> <p>MI Miscellaneous Iron</p> <p>MIN Minimum</p> <p>MISC Miscellaneous</p> <p>MO Masonry Opening</p> <p>NIC Not In Contract</p> <p>NTS Not To Scale</p> <p>OC On Center</p> <p>OD Outside Diameter</p> <p>OPNG Opening</p> <p>OPP Opposite</p> <p>PLG Plate Glass</p> <p>PLS Pipe Steel</p> <p>PLAM Plastic Laminate</p> <p>PLAS Plaster</p> <p>PREFAB Prefabricated</p> <p>PROJ Project, Projection</p> <p>PSF Pounds per Square Foot</p> <p>PT Paint, Point, Pressure Treated</p> <p>R Riser</p> <p>RA Return Air</p> <p>RB Rubber Base</p> <p>RC Roof Conductor</p> <p>RCP Reflected Ceiling Plan</p> <p>RD Roof Deck</p> <p>RF Rubber Flooring</p> <p>REINF Reinforced, Reinforcing</p> <p>REQD Required</p> <p>RFG Roofing</p> <p>RM Room</p> <p>RS Roof Sump</p> <p>RT Rubber Tile</p> <p>SAN Sanitary</p> <p>SCHED Schedule</p> <p>SHT Sheet</p> <p>SIM Similar</p> <p>SPEC Specification</p> <p>SS Service Sink</p> <p>STL Steel</p> <p>STD Standard</p> <p>STOR Storage</p> <p>STRUCT Structural</p> <p>SUSP Suspended</p> <p>SW Switch</p> <p>SYM Symmetrical</p> <p>T Tread</p> <p>T&amp;B Top and Bottom</p> <p>TEL Telephone</p> <p>TERR Terrazzo</p> <p>T&amp;G Tongue and Groove</p> <p>THK Thick, Thickness</p> <p>THRES Threshold</p> <p>TOS Top Of Steel</p> <p>TYP Typical</p> <p>U/C Undercut</p> <p>UNO Unless Noted Otherwise</p> <p>VB Vinyl Base</p> <p>VCT Vinyl Composition Tile</p> <p>VIF Verify In Field</p> <p>W Wide</p> <p>VERT Vertical</p> <p>WA/INS Walkscot</p> <p>WC Water Closet</p> <p>WD/WIN Wood Window</p> <p>WT Weight</p> <p>WWF Welded Wire Fabric</p>

DO NOT SCALE DRAWINGS   ©2021 Timothy Flintoff Architect, PLLC	ARCHITECT: <b>4545</b> architecture 2761 E. JEFFERSON SUITE 302 DETROIT, MI 48207 P. 313.450.4545 T.M.FLINTOFF@4545ARCHITECTURE.COM CONSULTANT:
Project :	1676 CHICAGO BLVD. RENOVATION 1676 CHICAGO BLVD., DETROIT, MI 48206
Issued for :	HDC SUBMIT 01/20/2026
Drawn by :	ANJ
Checked by :	TRF
Sheet Title :	TITLE SHEET
Project No. :	2025063
Sheet No. :	TS1.1

ENDER STREET LOCATION



1 SITE PLAN  
SCALE: 1" = 10'-0"

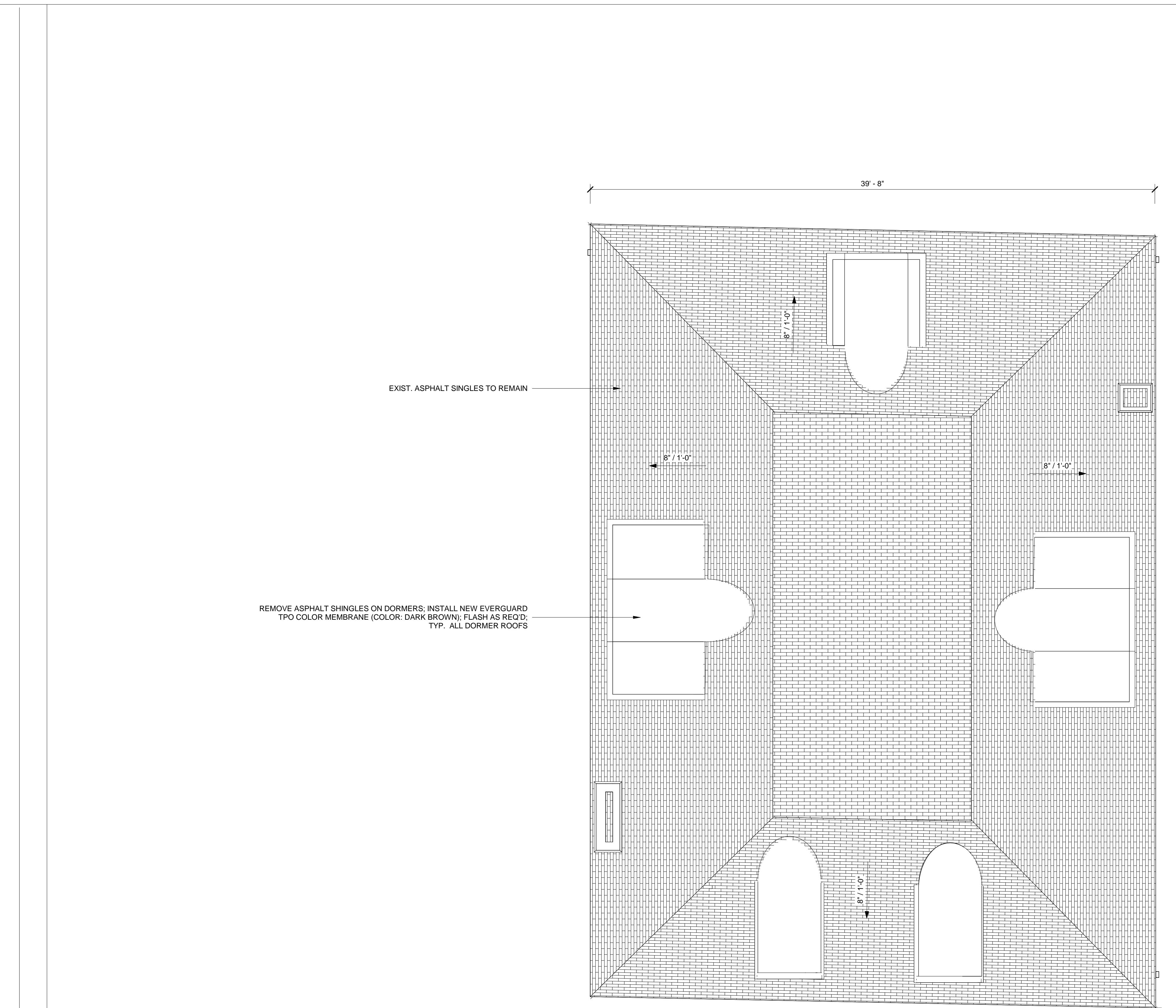
N

DO NOT SCALE DRAWINGS | ©2021 Timothy Flinoff Architect, PLLC  
Project No. : 2025063  
Sheet No. : SP1.1

ARCHITECT:  
**4545** architecture  
2761 E. JEFFERSON  
SUITE 302  
DETROIT, MI 48207  
P. 313.450.4545  
T.M.FLINOFF@4545ARCHITECTURE.COM  
CONSULTANT:

Project :  
1676 CHICAGO BLVD.  
RENOVATION  
1676 CHICAGO BLVD.,  
DETROIT, MI 48206

Issued for :  
HDC SUBMIT 01/20/2026



**1** ROOF PLAN  
SCALE: 1/4" = 1'-0"

BINDER STRIKE LOCATION

**GENERAL NOTES:**

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. DO NOT BACKFILL WALLS UNTIL FLOOR DECKS ARE INSTALLED
6. ALL POSTS CONTINUOUS TO FOUNDATION
7. SHEAR WALLS TO BE PERScriptive PER MBC 2015

ARCHITECT:  
**4545** architecture  
2761 E. JEFFERSON  
SUITE 302  
DETROIT, MI 48207  
P. 313.450.4545  
TM.FLINTOFF@4545ARCHITECTURE.COM

CONSULTANT:

Project :  
1676 CHICAGO BLVD.  
RENOVATION  
1676 CHICAGO BLVD.,  
DETROIT, MI 48206

Issued for :  
HDC SUBMIT 01/20/2026

Drawn by :  
ANJ  
Checked by :  
TRF  
Sheet Title :  
ROOF PLAN

Project No. :  
2025063

Sheet No. :

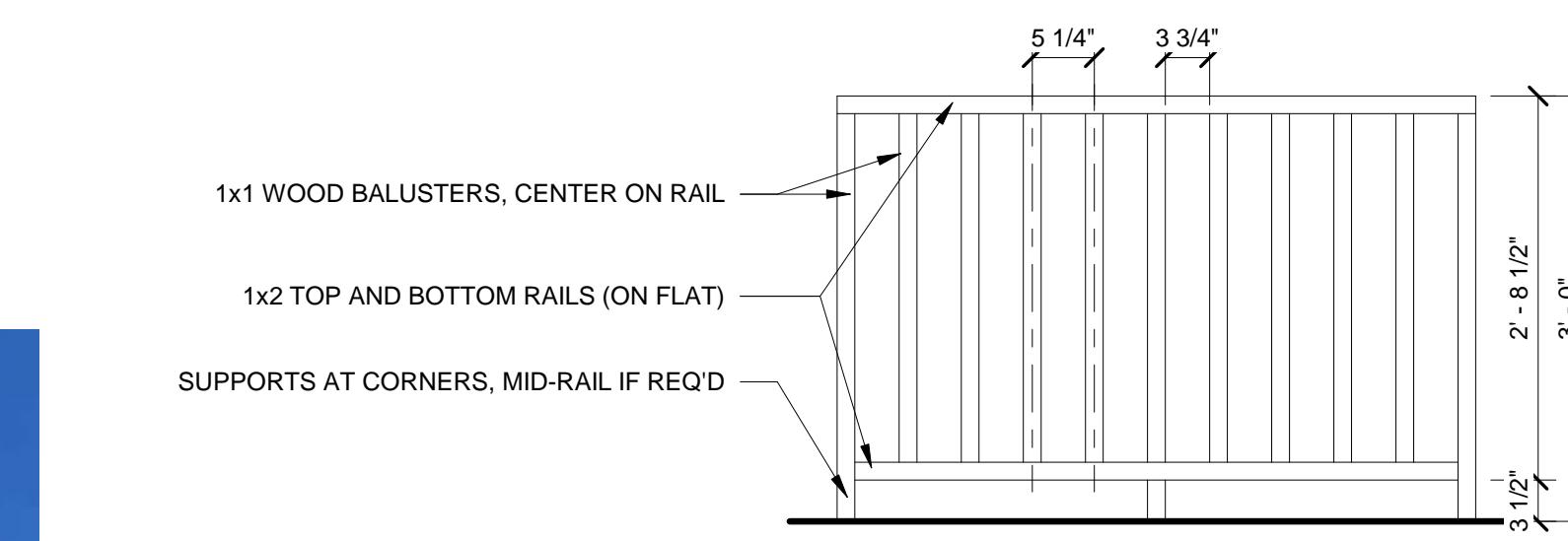
DO NOT SCALE DRAWINGS | ©2021 Timothy Flintoff Architect, PLLC  
**A1.5**



**3 FRONT WINDOW BAY DETAILS**



**2 SOUTH ELEVATION PHOTO**



**4 WOOD RAILING PROFILE**



**1 SOUTH ELEVATION**

DO NOT SCALE DRAWINGS | ©2021 Timothy Flintoff, Architect, PLLC  
Drawn by : ANJ  
Checked by : TRF  
Sheet Title : SOUTH ELEVATION  
Project No. : 2025063  
Sheet No. : A3.1

**GENERAL ELEVATION/SECTION NOTES:**

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SUBSTITUTIONS TO ENSURE ACCURACY AND INTEGRITY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
4. REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS.
5. CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGGS REQUIREMENTS

**EXTERIOR KEY NOTES:**

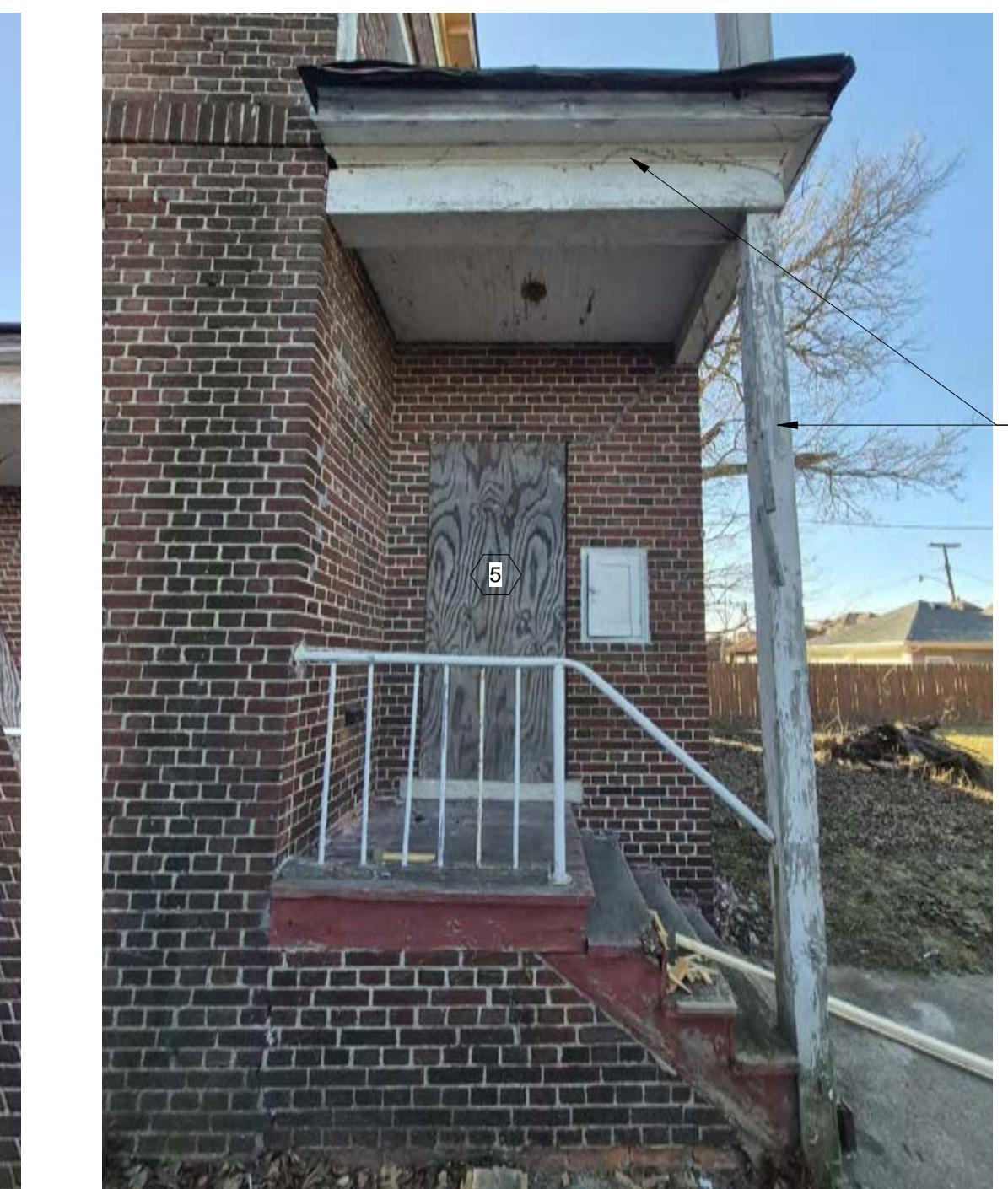
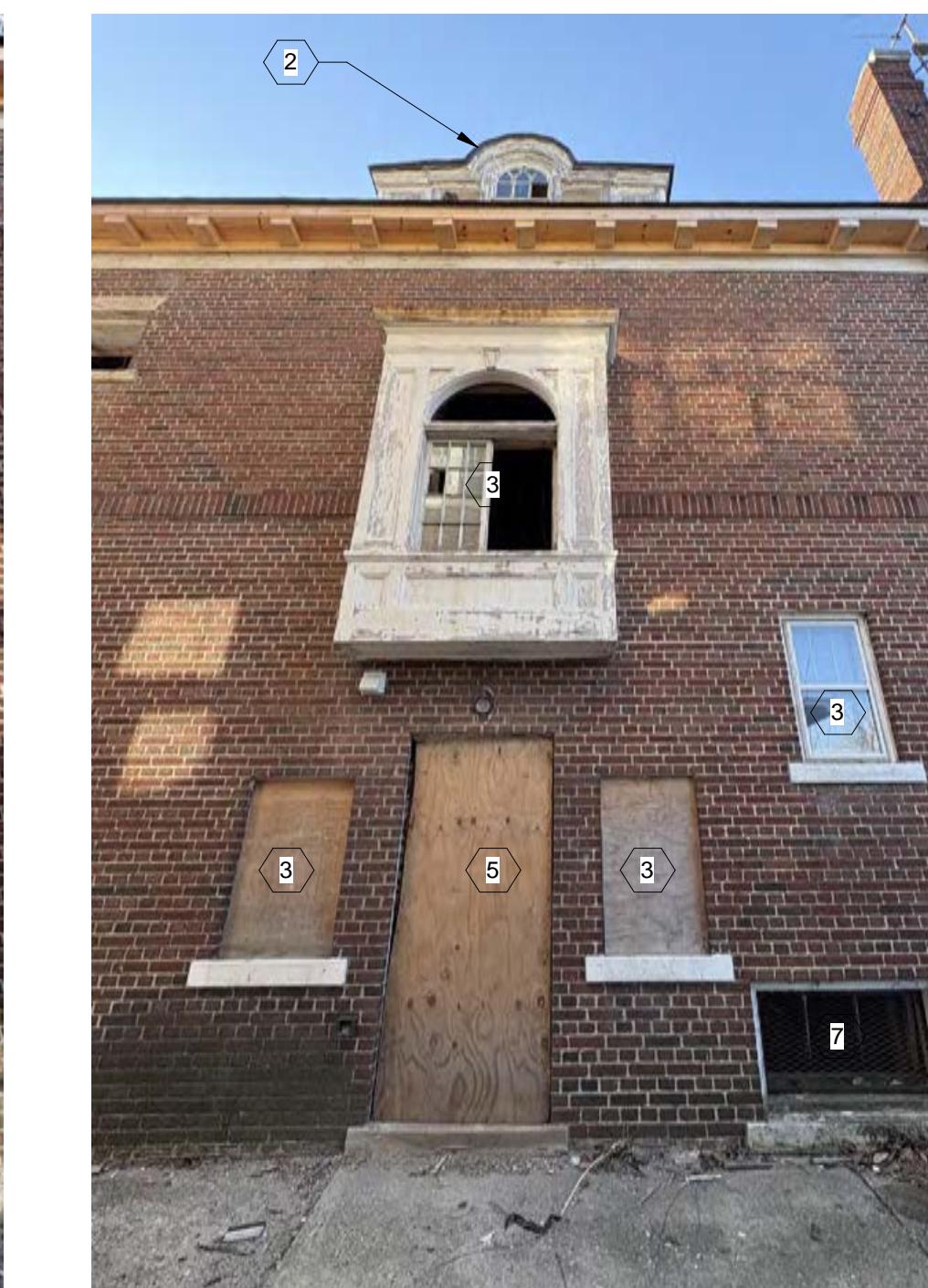
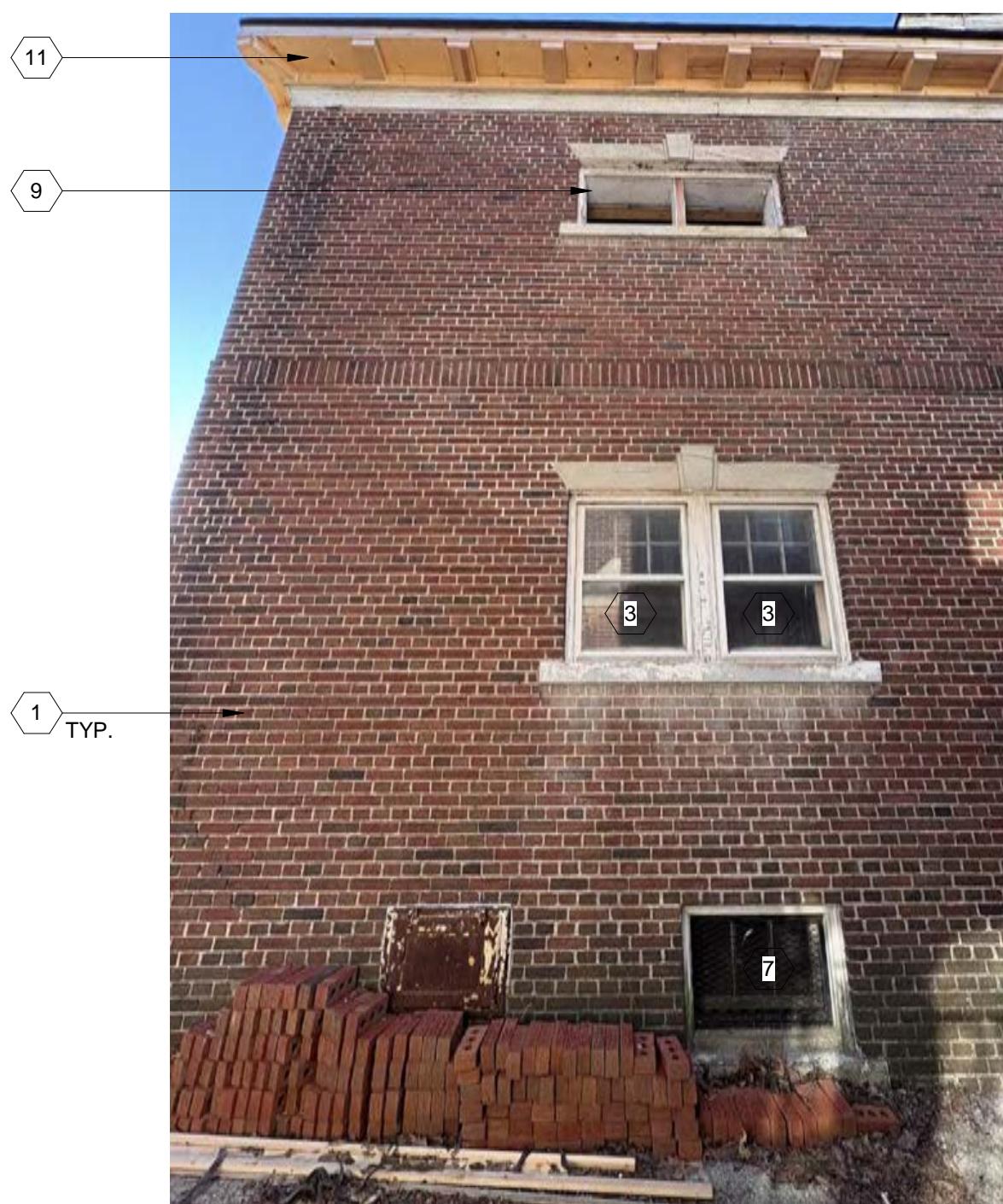
1. TUCKPOINT AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT)
2. REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D
3. REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
4. REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D
5. WOOD PILSTERS AND TRIM ELEMENTS TO REMAIN; REPAIR AND REPAINT AS REQ'D
6. ALUM.-CLAD COLUMNS TO REMAIN; PAINT TO MATCH EXIST. AS REQ'D
7. INSTALL WOOD HANDRAIL, PAINT TO MATCH EXIST. TRIM ELEMENTS
8. INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
9. REPLACE MISSING WINDOWS WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD SINGLE HUNG WINDOW W/ ROUND TOP; SIM. DIVIDED LITE PATTERN TO MATCH EXISTING DORMER WINDOWS AS SHOWN; MATCH COLOR TO EXIST. WINDOWS
10. REPLACE MISSING TRANSOM WINDOW WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD FIXED SEMI-CIRCLE WINDOW; SIM. DIVIDED LITE PROFILE TO HAVE 'SUNBURST' PATTERN AS SHOWN; MATCH COLOR TO EXIST. WINDOWS
11. PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE
12. REPAIR BAY WINDOW FLASHING ON ALL SIDES AS REQ'D

Project :  
1676 CHICAGO BLVD.  
RENOVATION  
1676 CHICAGO BLVD.,  
DETROIT, MI 48206

Issued for :  
HDC SUBMIT 01/20/2026

ARCHITECT:  
4545 architecture  
2761 E. JEFFERSON  
SUITE 302  
DETROIT, MI 48207  
P. 313.450.4545  
T.M.FLINTOFF@4545ARCHITECTURE.COM  
CONSULTANT:

DO NOT SCALE DRAWINGS | ©2021 Timothy Flintoff, Architect, PLLC  
Drawn by : ANJ  
Checked by : TRF  
Sheet Title : SOUTH ELEVATION  
Project No. : 2025063  
Sheet No. : A3.1



### GENERAL ELEVATION/SECTION NOTES:

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SUBSTITUTIONS TO ENSURE ACCURACY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
4. REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS
5. CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGGS REQUIREMENTS

ARCHITECT:  
**4545** architecture  
 2761 E. JEFFERSON  
 SUITE 302  
 DETROIT, MI 48207  
 P. 313.450.4545  
 TIM.FLINTOFF@4545ARCHITECTURE.COM  
 CONSULTANT:

Project :  
 1676 CHICAGO BLVD.  
 RENOVATION  
 1676 CHICAGO BLVD.,  
 DETROIT, MI 48206

Issued for :  
 HDC SUBMIT 01/20/2026



1 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

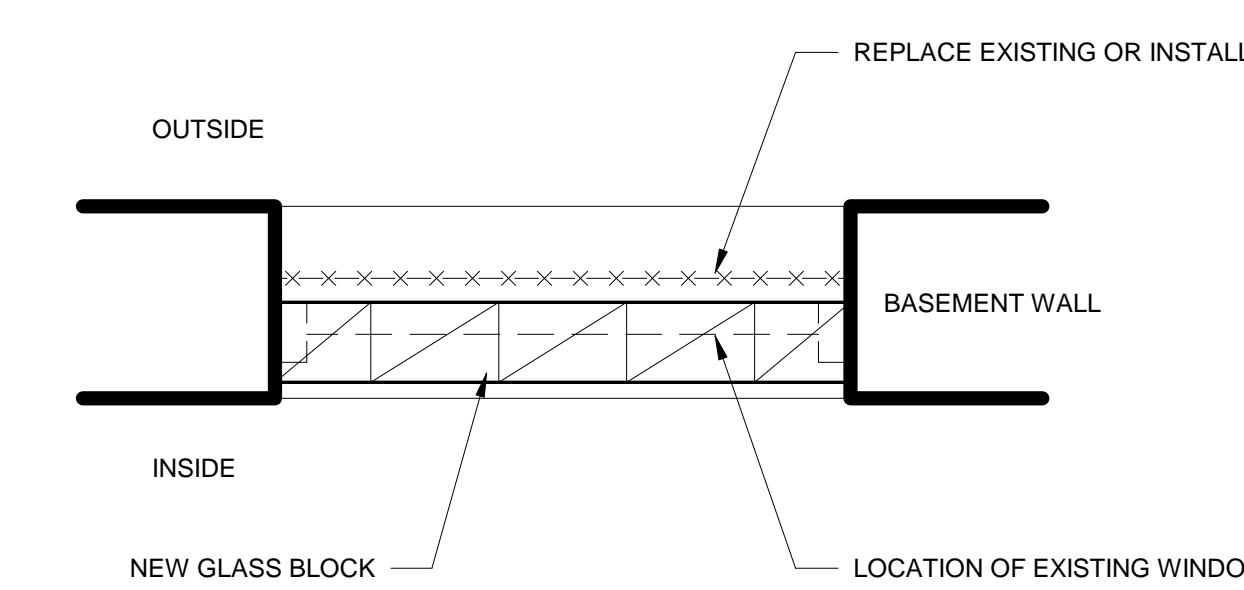
3 EAST WINDOW BAY DETAILS

Drawn by :  
 ANJ  
 Checked by :  
 TRF  
 Sheet Title :  
 EAST ELEVATION

Project No. :  
 2025063

Sheet No. :

**A3.2**



3 GLASS BLOCK SECTION

SCALE: 1" = 1'-0"



2 NORTH ELEVATION PHOTO

SCALE: 12" = 1'-0"

UNDER STRIKE LOCATION



1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

**GENERAL ELEVATION/SECTION NOTES:**

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SUBMIT COORDINATED SET OF DRAWINGS TO THE OWNER OF THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
4. REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS.
5. CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGGS REQUIREMENTS

ARCHITECT:  
**4545** architecture  
 2761 E. JEFFERSON  
 SUITE 302  
 DETROIT, MI 48207  
 P. 313.450.4545  
 TIM.FLINTOFF@4545ARCHITECTURE.COM

CONSULTANT:

**EXTERIOR KEY NOTES:**

1. TUCKPOINT AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT)
2. REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D
3. REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
4. REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D
5. REPAIR, STRIP, AND REPAINT EXIST. FRENCH DOOR, SIDELITES, AND ASSOCIATED TRIM AS REQ'D
6. REPAIR, STRIP, AND REPAINT EXIST. EXTERIOR DOOR
7. INSTALL WOOD HANDRAIL, PAINT TO MATCH EXIST. TRIM ELEMENTS
8. INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
9. REMOVE AND REPLACE EXIST. BASMENT WINDOWS W/ GLASS BLOCK; REFER TO DETROIT HISTORIC COMMISSION GUIDELINES ON INSTALLATION (3/4.3.3)
10. CLEAR DEBRIS FROM PORCH DRAINAGE SPOUTS; PAINT AND REPAIR AS REQ'D
11. PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE

Project :  
 1676 CHICAGO BLVD.  
 RENOVATION  
 1676 CHICAGO BLVD.,  
 DETROIT, MI 48206

Issued for :  
 HDC SUBMIT 01/20/2026

Drawn by :  
 ANJ  
 Checked by :  
 TRF

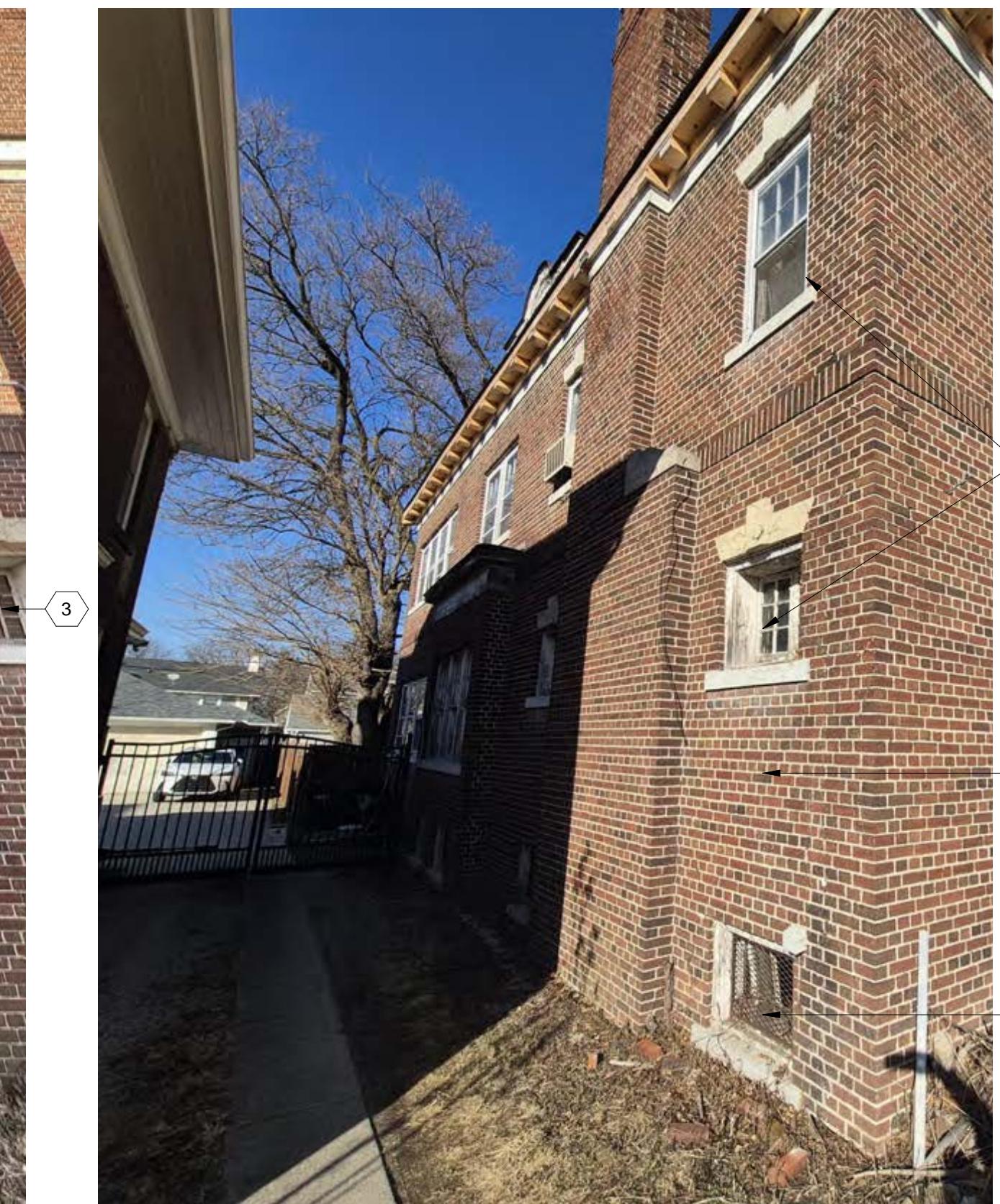
Sheet Title :  
 NORTH ELEVATION

Project No. :  
 2025063

Sheet No. :

**A3.3**

DO NOT SCALE DRAWINGS | ©2021 Timothy Flintoff, Architect, PLLC



2 WEST ELEVATION PHOTOS



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

ENDER STRIPE LOCATION

**GENERAL ELEVATION/SECTION NOTES:**

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SUBSTITUTIONS ACCORDING TO THE EXISTENCE OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
4. REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS.
5. CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGRESS REQUIREMENTS

**EXTERIOR KEY NOTES:**

- 1 TUCKPOINT AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT)
- 2 REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D
- 3 REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
- 4 REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D
- 5 REPLACE MISSING WINDOW WITH ANDERSEN E-SERIES ALUM-CLAD WOOD FIXED WINDOW W/ 2x2 SIM. DIVIDED LITE PATTERN TO MATCH ADJACENT WINDOW AS SHOWN; MATCH COLOR TO EXIST. WINDOWS
- 6 INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
- 7 PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE
- 8 REPAIR BAY WINDOW FLASHING ON ALL SIDES AS REQ'D
- 9 REMOVE AND REPLACE EXIST. BASEMENT WINDOWS W/ GLASS BLOCK; REFER TO DETROIT HISTORIC COMMISSION GUIDELINES ON INSTALLATION (3A3.3)

Project :  
1676 CHICAGO BLVD.  
RENOVATION  
1676 CHICAGO BLVD.,  
DETROIT, MI 48206

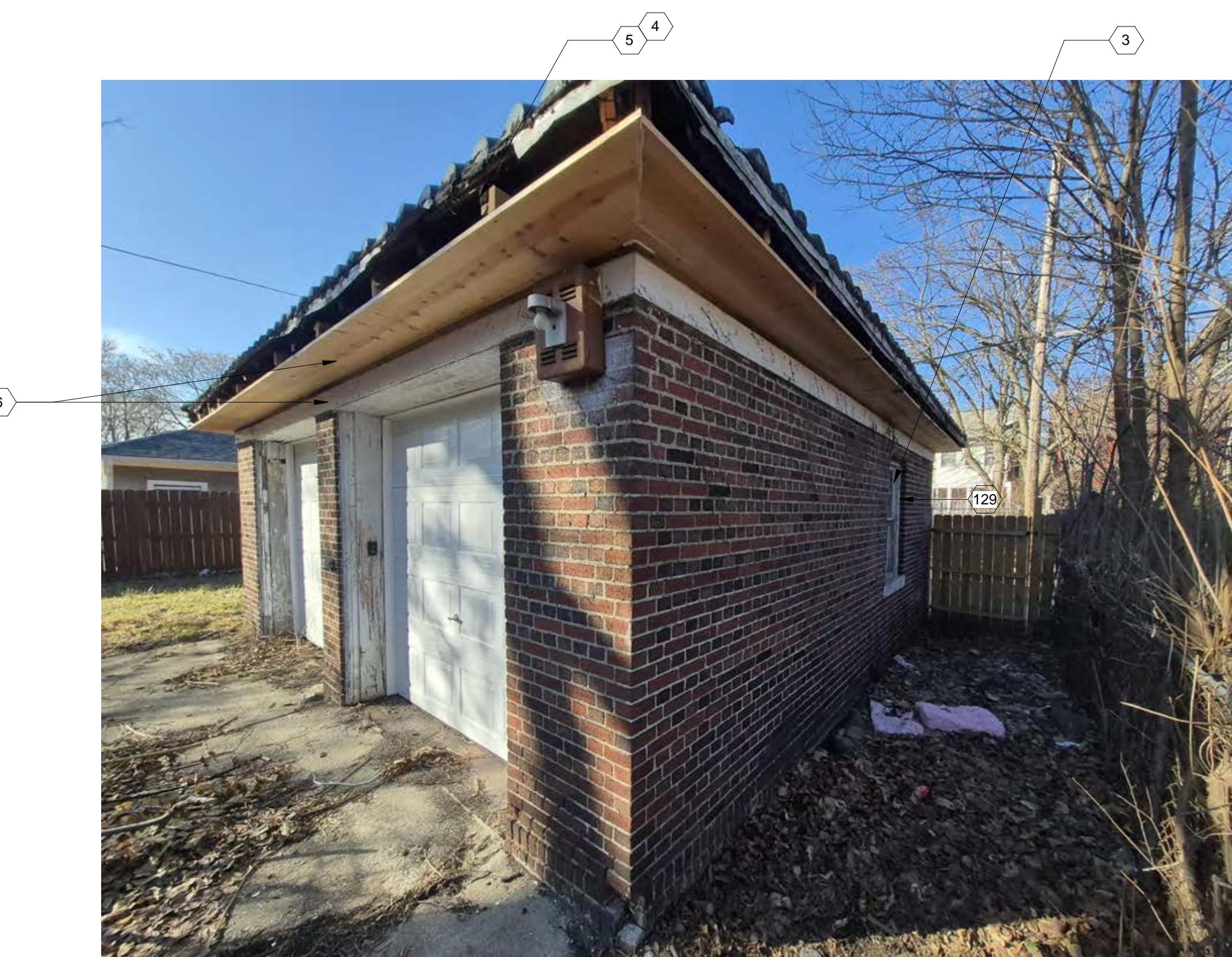
Issued for :  
HDC SUBMIT 01/20/2026

Drawn by :  
ANJ  
Checked by :  
TRF  
Sheet Title :  
WEST ELEVATION  
Project No. :  
2025063  
Sheet No. :  
A3.4



**3 GARAGE NORTH ELEVATION**

SCALE: 12" = 1'-0"



**4 GARAGE SOUTHEAST CORNER**

SCALE: 12" = 1'-0"



**1 GARAGE SOUTH ELEVATION**

SCALE: 12" = 1'-0"



**2 GARAGE WEST ELEVATION**

SCALE: 12" = 1'-0"

**GENERAL ELEVATION/SECTION NOTES:**

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SUBSTITUTIONS ACCORDING TO THE EXISTING SET OF DRAWINGS IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
4. REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS
5. CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGRESS REQUIREMENTS

**EXTERIOR KEY NOTES:**

- 1 TUCKPOINT AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT)
- 2 REPAIR, STRIP, AND REPAINT OVERHEAD GARAGE DOOR FRAMES AND TRIM AS REQ'D
- 3 REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
- 4 INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5' HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
- 5 INSTALL MISSING WOOD FASCIA BOARD; PAINT
- 6 PAINT PREVIOUSLY INSTALLED ROOF SOFFIT AND FRIEZE

ARCHITECT:  
**4545** architecture  
2761 E. JEFFERSON  
SUITE 302  
DETROIT, MI 48207  
P. 313.450.4545  
T.M.FLINTOFF@4545ARCHITECTURE.COM

CONSULTANT:

Project :  
1676 CHICAGO BLVD.  
RENOVATION  
1676 CHICAGO BLVD.,  
DETROIT, MI 48206

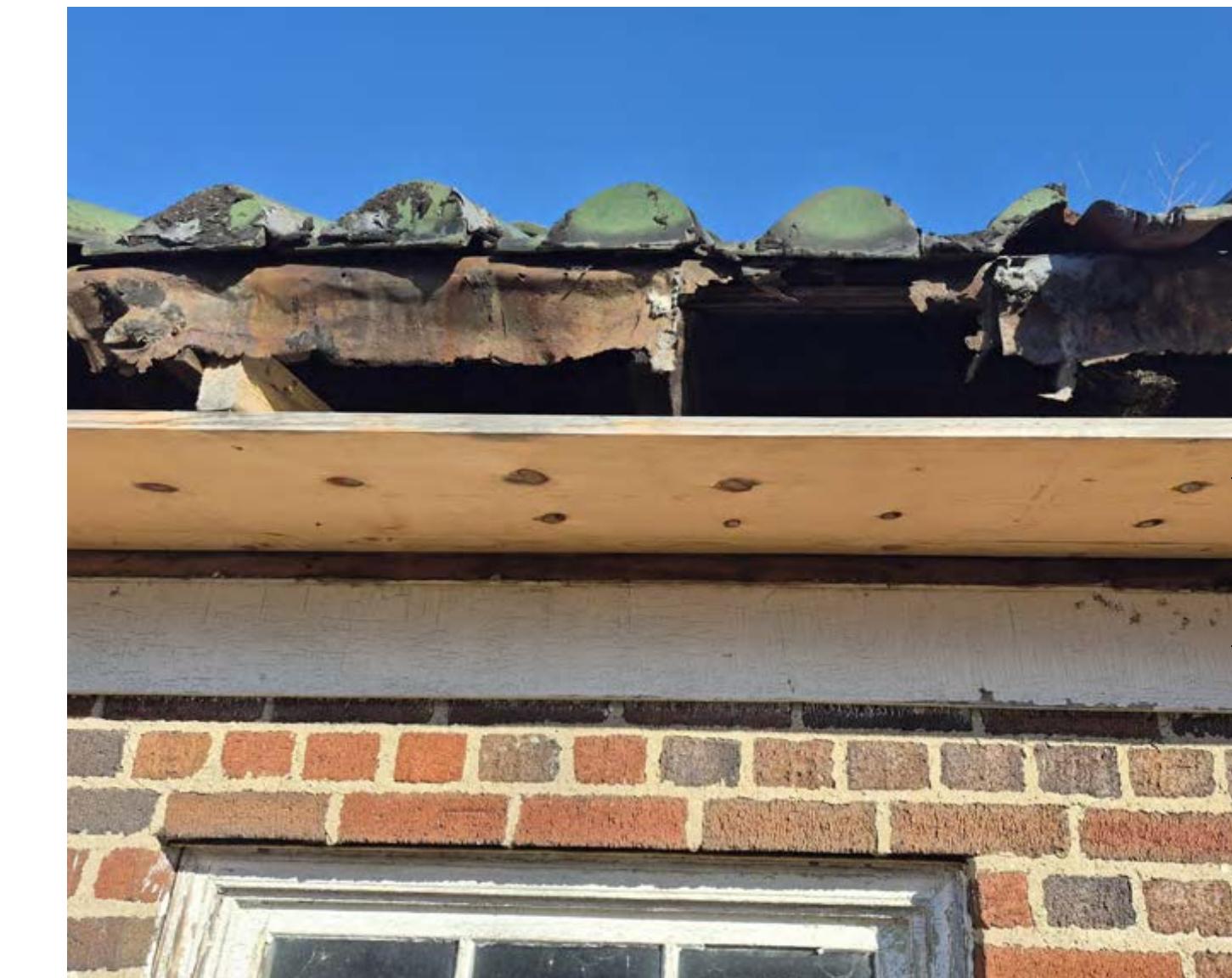
Issued for :  
HDC SUBMIT 01/20/2026

Drawn by :  
ANJ  
Checked by :  
TRF  
Sheet Title :  
GARAGE ELEVATIONS

Project No. :  
2025063

Sheet No. :

**A3.5**

		<p><b>GENERAL ELEVATION/SECTION NOTES:</b></p> <ol style="list-style-type: none"> <li>1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SUBMIT DOCUMENTS FOR APPROVAL PRIOR TO THE COMMENCEMENT OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.</li> <li>2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.</li> <li>3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.</li> <li>4. REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS.</li> <li>5. CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGRESS REQUIREMENTS</li> </ol>		<p>ARCHITECT: <b>4545</b> architecture</p> <p>2761 E. JEFFERSON SUITE 302 DETROIT, MI 48207 P. 313.450.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM</p> <p>CONSULTANT:</p>
		<p><b>EXTERIOR KEY NOTES:</b></p> <ul style="list-style-type: none"> <li>1 TUCKPOINT AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT)</li> <li>2 REPAIR, STRIP, AND REPAINT OVERHEAD GARAGE DOOR FRAMES AND TRIM AS REQ'D</li> <li>3 REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D</li> <li>4 INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE</li> <li>5 INSTALL MISSING WOOD FASCIA BOARD; PAINT</li> <li>6 PAINT PREVIOUSLY INSTALLED ROOF SOFFIT AND FRIEZE</li> </ul>		
				<p>Project : 1676 CHICAGO BLVD. RENOVATION 1676 CHICAGO BLVD., DETROIT, MI 48206</p> <p>Issued for : HDC SUBMIT 01/20/2026</p>
 <p><b>2</b> GARAGE EAVE - SOUTHWEST CORNER</p>		 <p><b>3</b> GARAGE EAVE - WEST</p>		
 <p><b>1</b> GARAGE EAVE - NORTHWEST CORNER</p> <p><small>UNDER STRIKE LOCATION</small></p>				<p>Drawn by : ANJ Checked by : TRF</p> <p>Sheet Title : GARAGE DETAILS</p> <p>Project No. : 2025063</p> <p>Sheet No. : A3.6</p>
<p>DO NOT SCALE DRAWINGS   ©2021 Timothy Flintoff, Architect, PLLC</p>				



January 20, 2026

1676 Chicago Blvd.,  
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

A Staff Report for a Historic District Commission meeting on July 9, 2025 recommended a denial of work completed involving replacement of the soffits and dentiling at 1676 Chicago Blvd., on the basis that the newly installed dentils did not match the original spacing. This document is to show the dentils have since been replaced and align more with the original in terms of size, number, and spacing. Among other items present in this application, we are requesting approval for the completed work of replacing the soffit/dentils.



*June 2025 photo taken by staff*

Photo taken from July 2025 HDC Staff Report, showing previous condition of dentils



Current front elevation, photo taken January 2026 by 4545 Architecture



Designation photo, 1980, via HDC

Note that in both photos, 22 dentils are present (not including corners)

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



January 20, 2026

1676 Chicago Blvd.,  
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Existing Photos

(See "Window Documentation" document for detailed photos of windows)



South (Front) Elevation

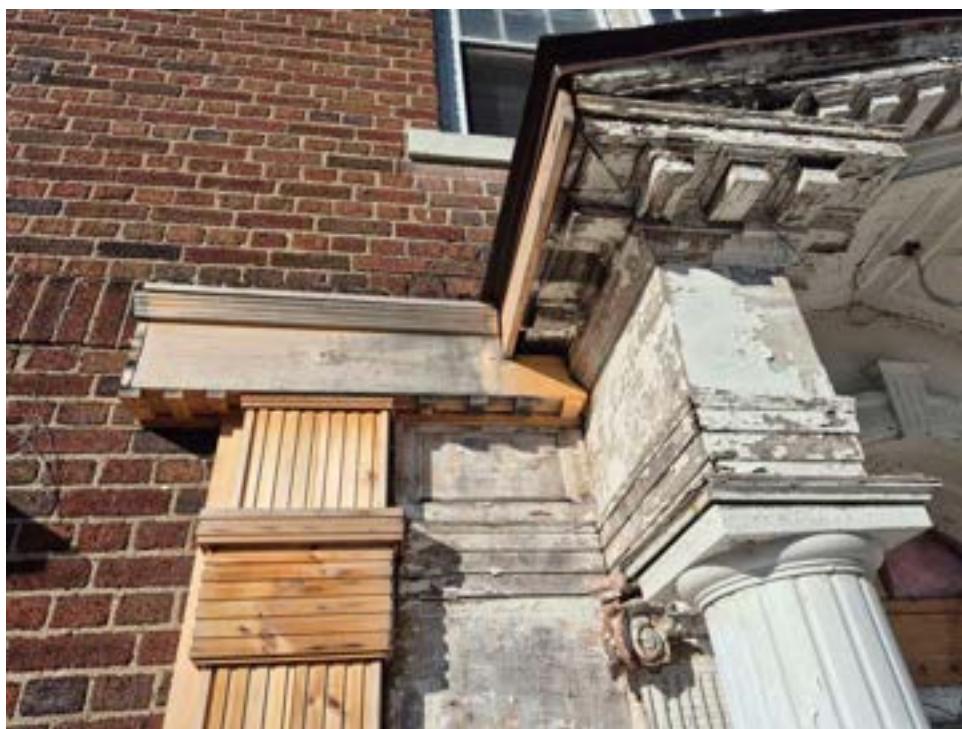


Front Portico Details

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Front Portico Details

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Front Column Details

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Front Porch & Lower Landing

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)

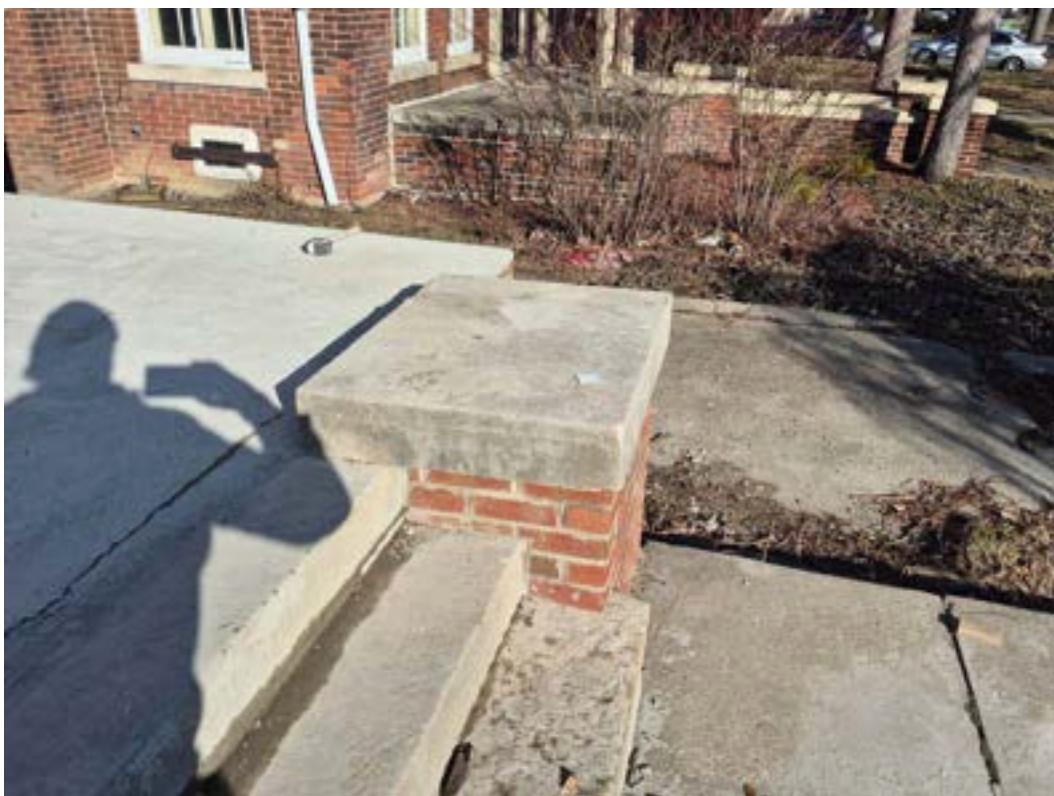


Porch Lower Landing

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Front Bay Window

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Damage to front window trim; missing partial window frame

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Typical state of front window

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

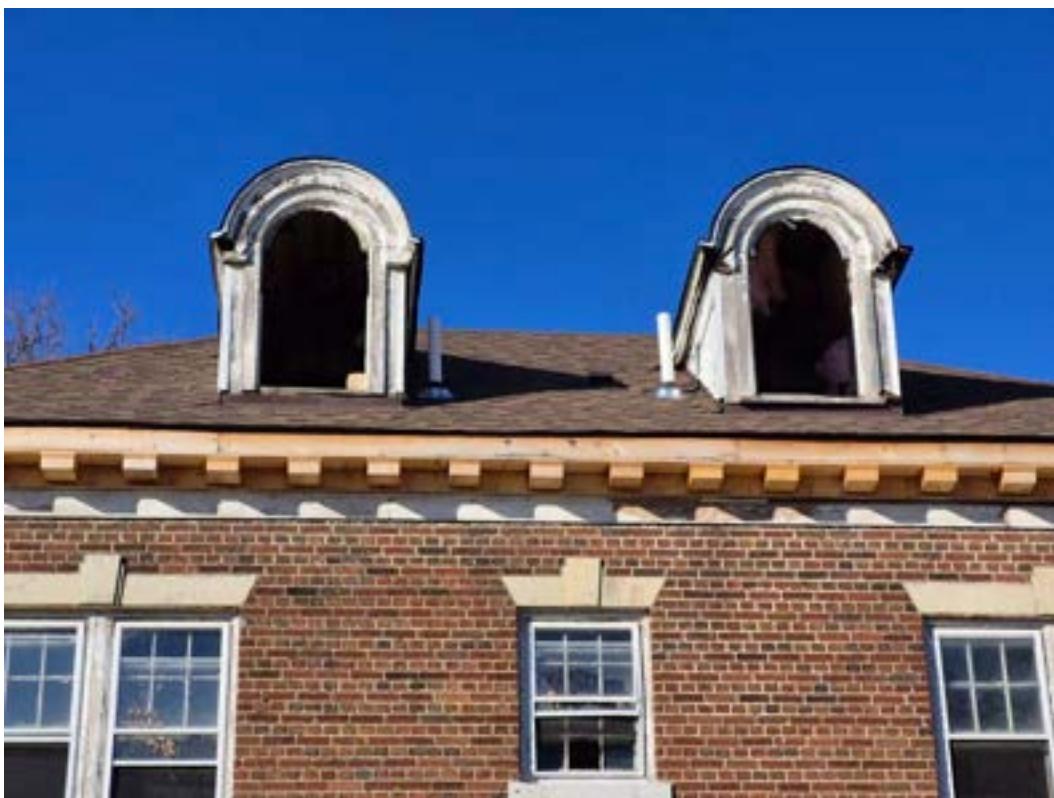
e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Front Dormer Windows and Dentiling

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Soffit detail, southwest corner; note new dentil spacing at front

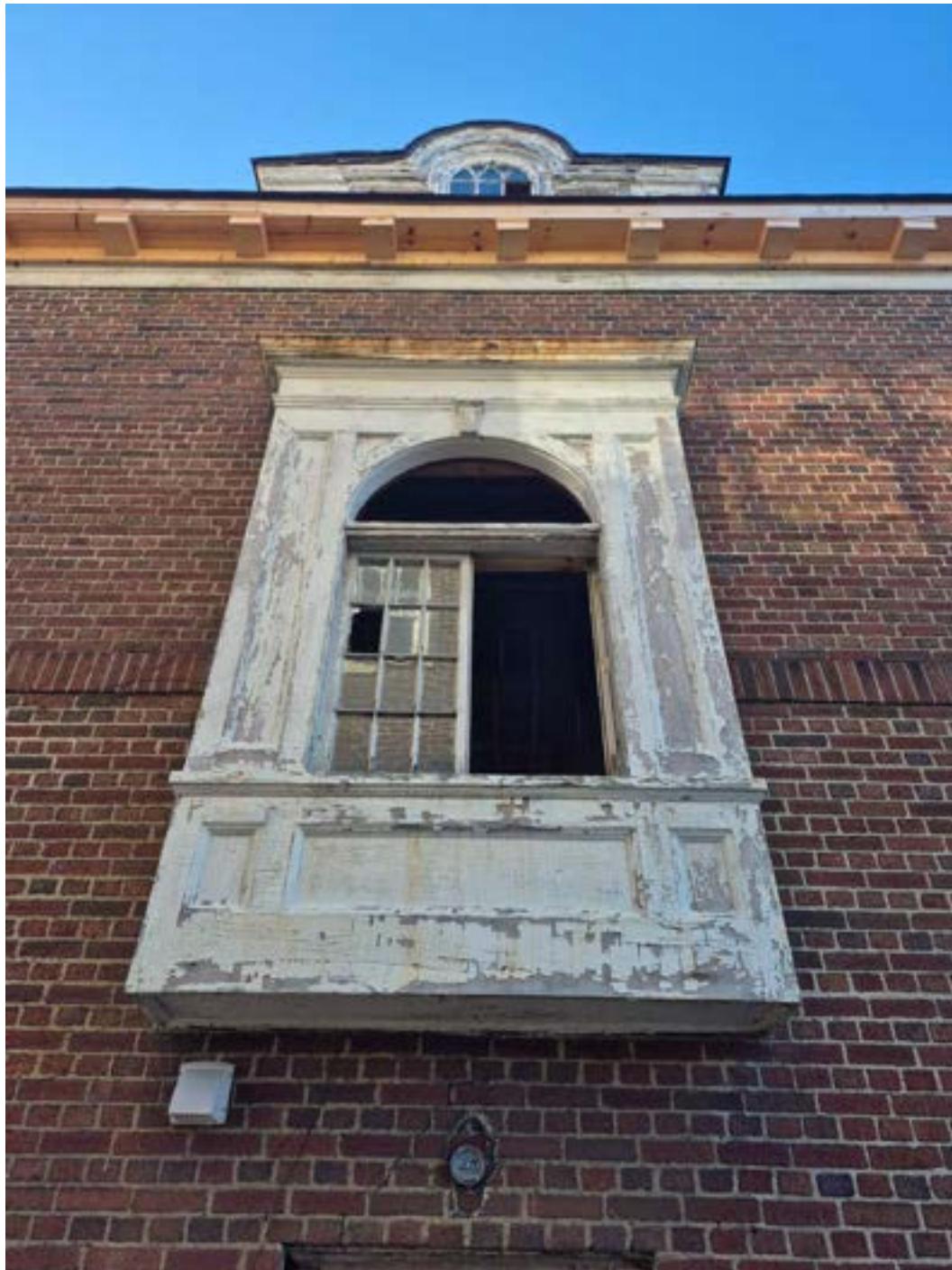


EAST ELEVATION

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



East second floor window

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



East side entry door: note cracks in masonry joints



East chimney

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Rear porch and roof eave seen from east side



North Elevation

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Northeast protrusion eave, typ. condition



Northeast porch ceiling



Northeast porch



North elevation between porches

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)

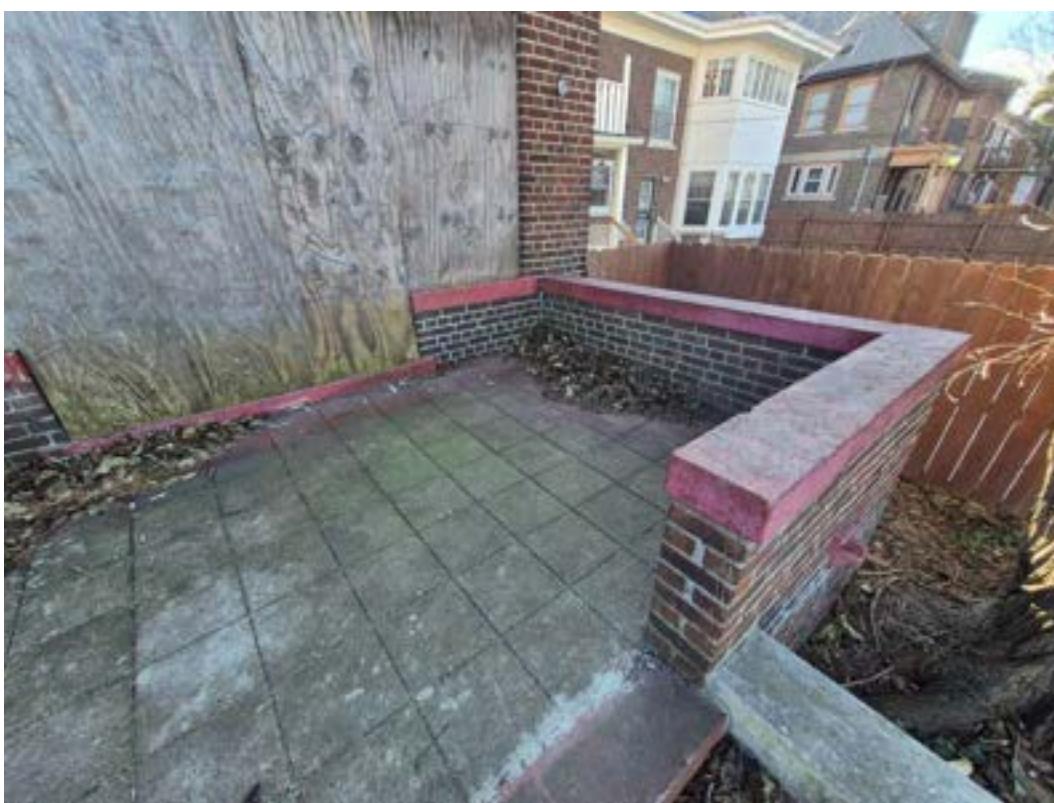


Rear exterior porch (northwest)

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Porch drainage spout (typ. condition)

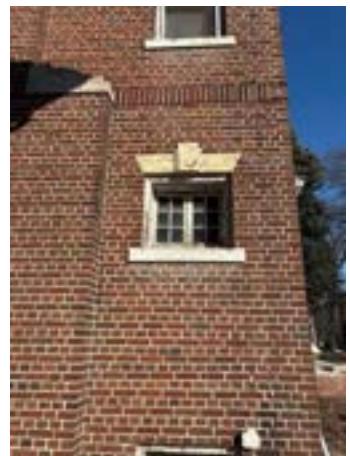


Rear soffit and dentiling

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



WEST ELEVATION

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



West Bay Window

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



West window from south

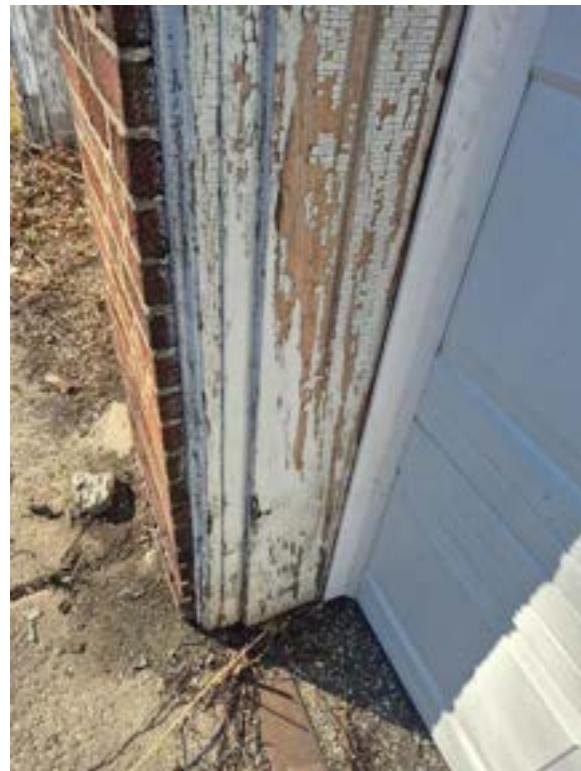
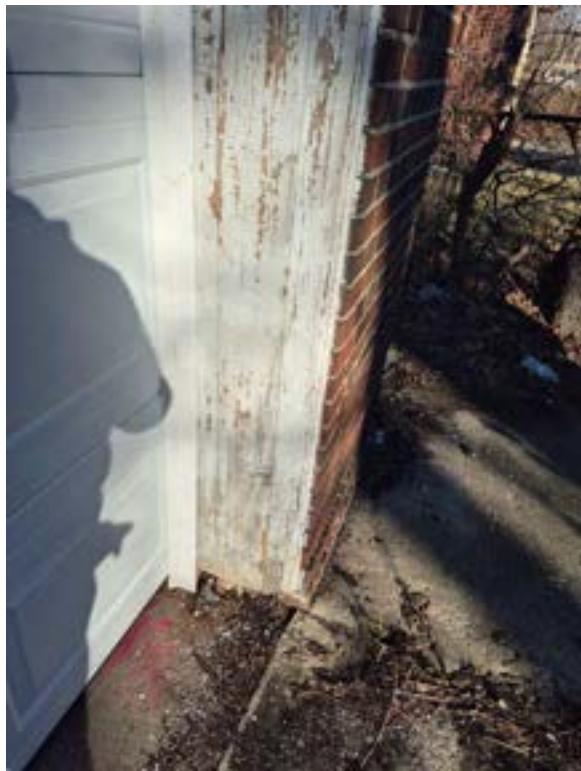




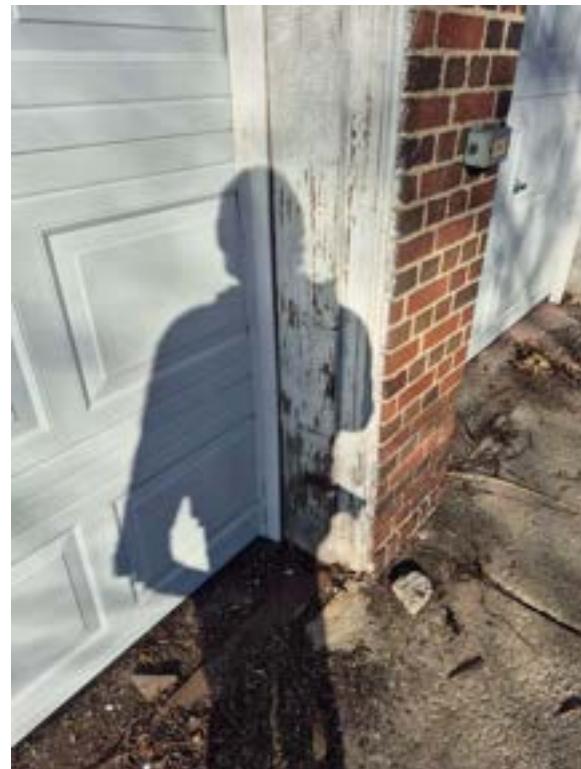
Garage, south elevation



East garage overhead door



Garage east O.H. door frame



Garage west O.H. door frame

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Garage, west elevation



Garage, west window

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Garage, west window

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Garage, west window



Roof eave at garage west elevation, typ. condition

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Garage, southeast corner



Garage north elevation (alley)

---

2761 E. Jefferson, Suite 302, Detroit, MI 48207

e | [tim.flintoff@4545architecture.com](mailto:tim.flintoff@4545architecture.com) • c | 248.320.6098 • w | [4545architecture.com](http://4545architecture.com)



Roof eave at garage north elevation, typ. condition



Roof eave at garage north elevation, typ. condition



Fence at rear (from backyard)



Front yard trees, current condition



Front yard trees, current condition