



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2026-00021

PROPERTY INFORMATION

ADDRESS(ES): 1676 Chicago Blvd.

HISTORIC DISTRICT: Boston-Edison

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|---|--|--|--|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Exterior renovation of main house and detached garage, window restoration, approval of completed unapproved work

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Alissa Jacobs

COMPANY NAME: 4545 Architecture

ADDRESS: 2761 E. Jefferson, Suite 302

CITY: Detroit

STATE: MI

ZIP: 48207

PHONE: +1 (313) 826-8016

EMAIL: alissa.jacobs@4545architecture.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- | | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application. |
| <input checked="" type="checkbox"/> | I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work. |
| <input checked="" type="checkbox"/> | I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent. |
| <input checked="" type="checkbox"/> | As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531 |

Signed by:

Alissa Jacobs

BE8ABES205774F1...

01/20/2026

SIGNATURE

DATE





NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT



Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: (only applicable if you've already applied for permits through ePLANS)	n/a
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GENERAL

1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i>	
2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i>	
3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i>	
4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i>	
5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i>	

ADDITIONAL DETAILS

<div>6. WINDOWS/DOORS</div> <div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div>	
<div>8. SITE IMPROVEMENTS</div> <div>If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.</div>	



January 20, 2026

1676 Chicago Blvd.,
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Scope of Work

Main House

1. Tuckpointe and repair all existing brick as required
2. Remove asphalt shingles from all (5) dormer roofs
 - a. Replace with EverGuard TPO Color Membrane in Dark Brown
3. Repair, strip, and repaint all existing original wood windows and associated exterior trim elements as required (excluding basement level)
 - a. Remove and reinstall existing storm windows as required for access
4. Replace missing windows with Andersen E-Series aluminum-clad wood windows
 - a. Color-match to existing windows
 - b. See "Window Documentation" for individual window elevations
5. Remove and replace existing basement level windows with glass block
 - a. Refer to Detroit Historic Commission Guidelines for installation of glass block
6. Repair, strip, and repaint existing wood elements (trim, fascia, soffit, pilasters, etc.) of front entry portico as required
 - a. Repair, strip, and repaint existing front entry door and sidelites
7. Repair, strip, and repaint existing wood trim elements of front bay window as required
8. Repair roof flashing of front bay window as required
9. Install 36" painted wood handrail on front porch
10. Replace (2) missing doors at east elevation
 - a. Both doors to be Andersen Straightline Glass Panel Style 194; painted white
11. Repair, strip, and repaint existing wood trim elements of second floor east bay window as required
12. Repair, strip, and repaint wood elements of northwest first floor porch (incl. landing, stairs, column, ceiling, roof eave)



13. Install painted wood handrail at second floor northwest roof deck
14. Repair, strip, and repaint existing french door and adjacent sidelites at rear
15. Clear debris from northeast porch drainage spouts, repair as required
16. Repair, strip, and repaint as required rear second floor exterior door
17. Repair, strip, and repaint existing wood trim at west bay window
18. Install aluminum gutters and downspouts at roof eaves
 - a. Classic Gutters 5" half-round aluminum gutter in Dark Bronze

Garage

1. Tuckpointe and repair all existing brick as required
2. Install missing roof fascia; paint
 - a. Paint newly installed soffit and existing frieze board; repair as required
 - b. Flash roof edge as required
3. Install aluminum gutters and downspouts at roof eaves
 - a. Classic Gutters 5" half-round aluminum gutter in Dark Bronze
4. Strip and repaint existing overhead garage door frames and trim as required

All existing wood elements to be repainted are to be painted their existing color, unless noted otherwise

Other

1. Remove (2) damaged trees in front yard

5" X .027 Half Round Aluminum Gutter

[Home](#) / [5" Half Round Gutter](#) / [5" x .027 Half Round Aluminum Gutter](#)



\$3.25 – \$4.10

Gutter can be shipped in lengths of 6, 10, 15 and 19 feet. Gutter can also be shipped at 20 & 26 foot lengths, but is considered and rated as excessive length by freight companies. (6' maximum lengths shipped via UPS)

Our unique front lip design adds 3 times the front-to-back strength compared to traditional front roll out gutters.

Available in several colors, featuring a low gloss baked-on enamel finish which can be painted. See Color Chart below.

▼ STANDARD COLORS ▼

LOW GLOSS
& HIGH GLOSS
WHITE

**DARK
BRONZE**

**ROYAL
BROWN**

▼ SELECT COLORS ▼

ALMOND

BLACK

CLAY

COPPERTONE

**GRECIAN
GREEN**

**LIGHT
BRONZE**

**MUSKET
BROWN**

**PEARL
GRAY**

WICKER



ENTRY DOORS



**HANDCRAFTED PREMIUM
WOOD ENTRY DOORS**



One of a kind. Like your home.

With Andersen, create an entry door with character and handcrafted origins, built in solid fine-grain wood. Styled to suit you perfectly. One of a kind. Like your home. And like you.





EXPAND YOUR VIEW

ENTRY DOOR STYLES

All styles available with wood or clad exteriors, as single or double doors, and with inswing or outswing operation. Doors are offered in standard and custom sizes.

Arts & Crafts
Glass Panel



402



403



404

Arts & Crafts
(403)
Shown in oak



Straightline
Full Panel



178



195



193



180

Straightline
Glass Panel



181



194



179



334



102

Gothic, Elliptical, Arch and Springline™ door styles are also available. Visit andersenwindows.com/entrydoors or contact your Andersen supplier for more information.

SIDELIGHTS & TRANSOMS

To provide seamless alignment with Straightline or Arts & Crafts style entry doors, sidelights and transoms are available. For more information, visit andersenwindows.com/entrydoors.



REALIZE YOUR VISION

INTERIOR AND EXTERIOR WOOD SPECIES

Select from an expansive array of the finest grades of wood species to add warmth and beauty to your home’s entranceway. Available on both the interior and exterior of your door.

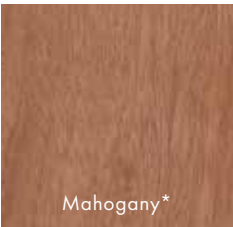


Brick Mould and Interior Casings

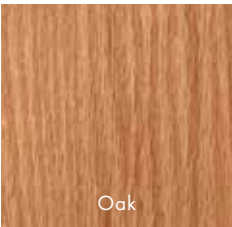
A variety of exterior brick mould and interior casing profiles are available.



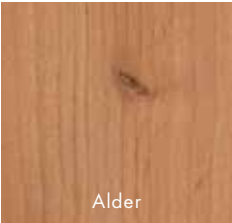
Walnut



Mahogany*



Oak



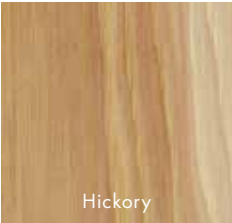
Alder



Cherry



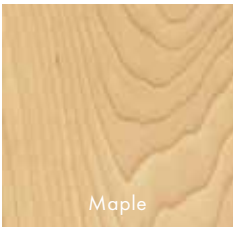
White Oak



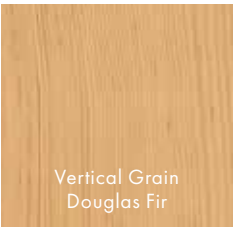
Hickory



Mixed Grain
Douglas Fir



Maple



Vertical Grain
Douglas Fir



Pine

*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies. Naturally occurring variations in grain, color and texture of wood makes each window or door one of a kind. Printing limitations prevent exact replication of finishes. Please see your Andersen supplier for actual finish samples.



COLOR OPTIONS

Make a bold first impression with color – choose from 50 commercial-grade, aluminum exterior color options. On the interior of the door, choose from our painted options or enjoy the look of unfinished wood.

Exterior Colors

 Colony White	 White	 Abalone	 Balsa White	 Canvas	 Maple Syrup	 Harvest Gold	 Prairie Grass	 Flagstone
 Sandtone	 Pebble Tan	 Carmel	 Terratone	 Hot Chocolate	 Bourbon	 Acorn	 Coffee Bean	 Cocoa Bean
 Sierra Bronze	 Dark Bronze	 Clay Canyon	 Red Rock	 Cardinal	 Bing Cherry	 Fire Engine Red	 Cinnamon Toast	 Olive
 Sage	 Billiard Green	 Moss	 Forest Green	 Mallard Green	 Spearmint	 Aquamarine	 Patina	 Sky Blue
 Country Blue	 Blue Denim	 Watercolor Blue	 Caribbean Blue	 Slate	 Moody Blue	 Stormy Blue	 Dove Gray	 Harbor Mist
 Yorktown Pewter	 Smokey Gray	 Mystic Gray	 Dark Ash	 Black	 Custom			

Interior Painted Options

 White	 Birch Bark	 Primed (for paint)	 Canvas	 Prairie Grass	 Sandtone	 Terratone	 Cocoa Bean
 Dark Bronze	 Red Rock	 Forest Green	 Dove Gray	 Black	 Anodized Silver	 Custom	

Available on pine. Black and dark bronze also available on maple. Anodized silver available only on maple.

ADD A VISUAL ACCENT

Add a carefully considered detail to your home’s overall look with Andersen® hardware or have your door prepped for hardware manufactured by others.

HARDWARE OPTIONS*



YUMA®
Distressed Bronze
Distressed Nickel



ENCINO®
Distressed Bronze
Distressed Nickel



NEWBURY®
Antique Brass
Bright Brass
Oil Rubbed Bronze
Satin Nickel

HARDWARE FINISHES



Antique Brass



Black



Bright Brass



Distressed Bronze



Distressed Nickel



Oil Rubbed Bronze



Satin Nickel



Stone

FSB® HARDWARE*

Durable FSB hinged door hardware features clean lines and a sleek finish for a thoroughly modern look.



1035



1075



1076



1102**



Black Anodized Aluminum



Satin Stainless Steel

Black Anodized Aluminum
Satin Stainless Steel

Satin Stainless Steel

*Hardware sold separately.

**FSB style 1102 is not available in black anodized aluminum.

FSB hardware is stainless steel or aluminum.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

*FSB® is a registered trademark of Franz Schneider Brakel GmbH & Co.



ALBANY
Black
Stone
White



ANVERS®
Bright Brass
Oil Rubbed Bronze
Satin Nickel



TRIBECA®
Black
Stone
White



White

Tribeca and Albany hardware are zinc die cast with power-coat durable finish.
Yuma, Encino, Newbury and Anvers are solid forged brass.
Distressed bronze and oil rubbed bronze are “living” finishes that will change with time and use.
Bright brass and satin nickel finishes on patio door hardware feature a 10-year limited warranty.

YALE® ASSURE LOCK®*

Monitor, lock and unlock from anywhere with the Yale Assure Lock. This slim, sleek keyless lock is designed exclusively for Andersen® hinged doors** and integrates with a wide range of smart home platforms.



Black



Satin Nickel



White

*Hardware sold separately.
**Available on select hinged doors, see your Andersen supplier for details.
Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.
Yale manufactures and supports the limited warranty for Yale Assure Lock for Andersen doors.

BRIGHTEN YOUR VIEW

Glass can affect energy efficiency more than any other part of a door. Choose from these High-Performance glass options for your climate and home.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™ Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E4® Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun® Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Triple-Pane with Low-E coatings on two surfaces Three panes of glass combine with either argon gas blend air or Low-E coatings to provide enhanced energy performance.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ●

Center of glass performance only. Ratings based on glass options as of January 2022. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

Patterned Glass

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch to your home. Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.



Cascade



Fern



Obscure



Reed



Satin Etch



Art Glass

With art glass from Andersen, you can add interest, create a focal point and make your doors stand out. These finely crafted inserts are available to complement any home's architecture. For more information, visit andersenwindows.com/artglass.

Arts & Crafts (403)

Shown in oak with Arts & Crafts art glass pattern.



GRILLE OPTIONS

Grille Patterns

Choose from Colonial, Prairie or Specified Equal Light grille patterns.



Colonial



Prairie



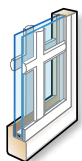
Specified
Equal Light

Grille Types Available



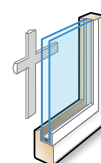
Full Divided Light

Permanent exterior
Permanent interior with spacer



Simulated Divided Light

Permanent exterior
Permanent interior



Removable Interior

Removable interior



Simulated Divided Light with Removable Interior Grilles

Permanent exterior
Removable interior

Profiles & Widths

Grilles are available in four standard widths: $\frac{3}{4}$ ", $\frac{7}{8}$ ", $1\frac{1}{8}$ " and $1\frac{1}{2}$ ".

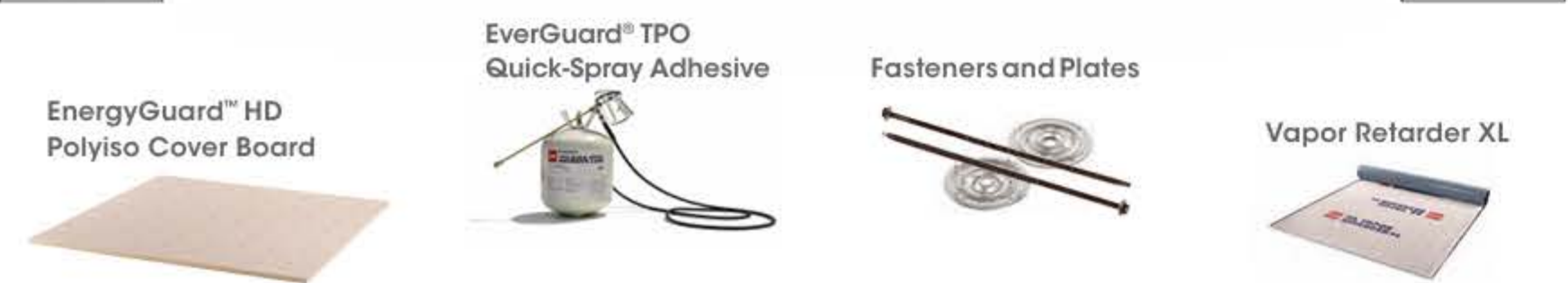
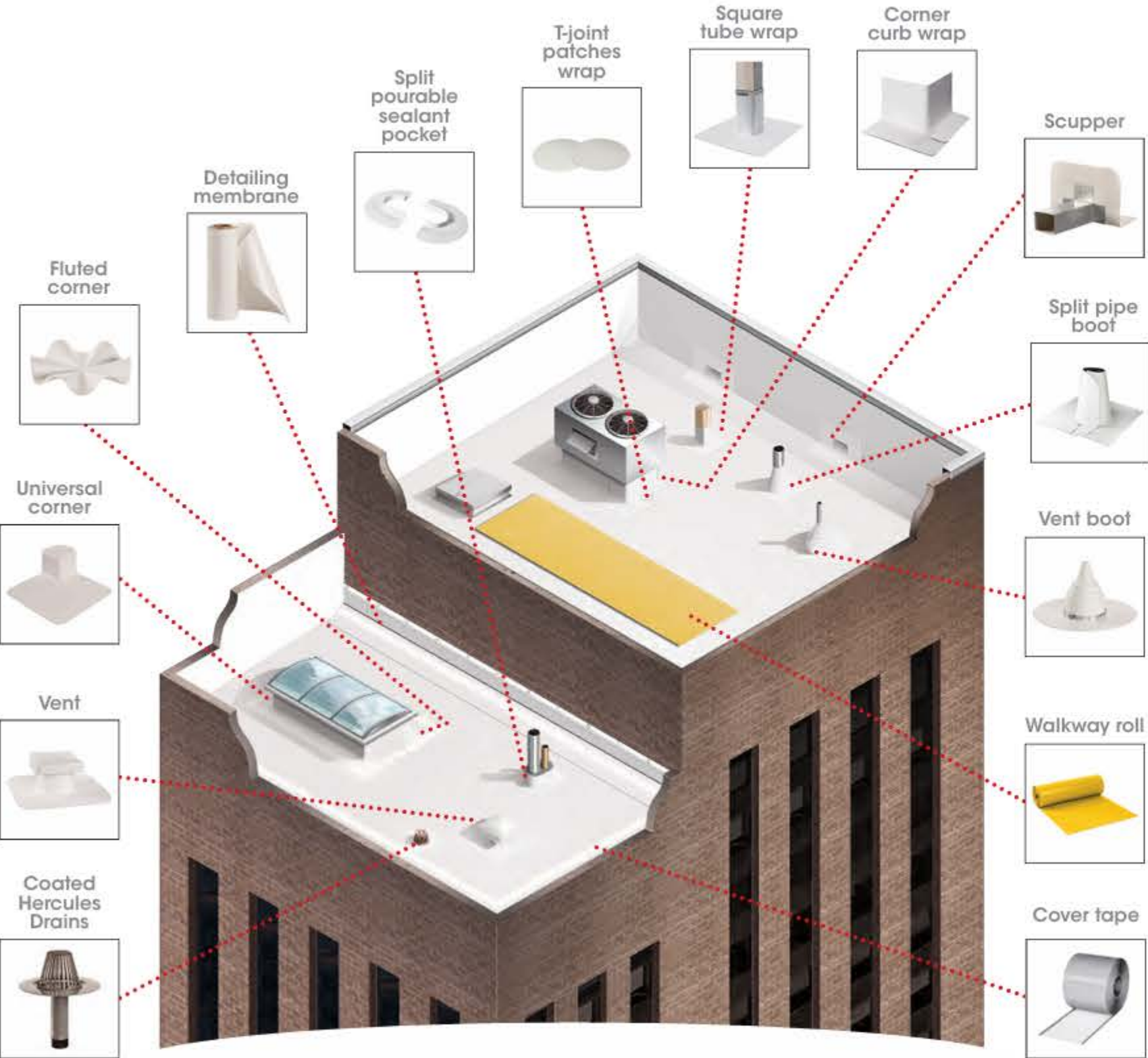


andersenwindows.com/entrydoors

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GAF TPO Accessories

- Eliminate field fabrication and reduce installation time with these accessories
- GAF offers a wide range of preformed accessories for various details including penetrations, corners, curbs, and edges
- Preformed accessories offer a consistent built and finished-looking detail
- Various accessories come in different sizes to best fit various details on your roof
- Custom accessories are also available



Find out more. Contact us at:

Customer Care

Hours: 7:30 am – 6:30 pm EST, Monday – Friday
All inquiries regarding product order placement, product availability, shipment tracking, and jobsite deliveries.
customercarescommercial@gaf.com

Warranty Claims

Hours: 8:30 am – 5:00 pm EST, Monday – Friday
Claims involving Commercial Guarantees.
guaranteeleak@gaf.com

Guarantee Services

Hours: 7:30 am – 6:00 pm EST, Monday – Friday
All inquiries regarding Commercial Guarantees support including registration, coverage, and transfer information.
guaranteeservices@gaf.com

Design Services

Hours: 8:00 am – 5:00 pm EST, Monday – Friday
Answers questions and provides assistance with everything from master specification preparation, to assisting with complete submittals related to your project at no charge to contractors, specifiers, and architects.
designservices@gaf.com

Tapered Design Group

Hours: 8:30 am - 5:00 pm EST, Monday – Friday
Tapered insulation take-offs and drawings for architects, contractors, and distributors.
tdg@gaf.com

TPO Manufacturing Locations

- New Columbia, PA**
2093 Old Rte 15, New Columbia, PA
- Valdosta, GA — Coming Soon**
2100 Steeda Way, Valdosta, GA 31606
- Mount Vernon, IN**
901 Givens Rd, Mt Vernon, IN 47620
- Gainesville, TX**
1301 Corporate Dr, Gainesville, TX 76240
- Cedar City, UT**
5080 UT-56, Cedar City, UT 84721



GAF EverGuard® TPO
Single-Ply Roofing Systems

TPO (thermoplastic polyolefin) is a single-ply roofing membrane that offers excellent performance and has been the most popular roofing membrane for many years. GAF

EverGuard® TPO products offer a balance of long-term performance and state-of-the-art innovation designed to help tackle your specific roofing challenge.



Why GAF EverGuard® TPO

When you choose TPO from GAF, you have the experience and expertise of North America’s largest manufacturer of roofing products standing behind your product.

Over the last 20+ years, building owners from coast to coast have chosen to install more than 6 billion square feet of GAF EverGuard® TPO to protect their investments, their businesses, and their tenants.



A network of highly experienced specialists

Whether it’s your first day on the job or your thousandth, you can rely on GAF for quality products, training, and support services. From technical help to professional education programs, we can help you address your every roofing need.

Discover how GAF can make your job easier and more efficient at gaf.com/tpo



Access to industry-leading training

From industry-leading videos (gaf.com/roofingitright), in-person classes, or trailer trainings, CARE offers a wide range of training opportunities.

Available in both English and Spanish: gaf.com/care



Worry-free protection, for years to come

We worry about producing high-quality products backed by strong guarantees — so that you don’t have to worry about your roof. With available guarantee coverage up to 35 years for qualified systems¹, building owners can rest easy knowing that their commercial roof has true edge-to-edge coverage.²

To find out more about our industry-leading guarantees, visit gaf.com/tpo/guarantee



20-plus year track record for performance

GAF studies of 8- to 16-year-old GAF TPO shows performance often meets current ASTM D6878-19 requirements for new membranes.

Learn more: gaf.com/proven-performance

TPO Membranes



EverGuard® TPO

- For performance you can count on, the construction of our EverGuard® TPO membrane has remained consistent for decades, during which the company has sold more than 6 billion square feet of membrane
- A 20-plus year track record for performance
- Available in the widest selection of colors in the industry



EverGuard Extreme® TPO

- Includes an enhanced weathering package that allows GAF to offer a guarantee of up to 35 years⁴, the longest in the industry
- Great for high-heat and solar applications
- Available in White



EverGuard® TPO Fleece-Back Membrane

- Best for re-cover applications or where strong protection against punctures and hail resistance is paramount³.
- Available in White, Tan, and Gray



EverGuard® TPO Fleece-Back 100, 115, and 135 Membranes

- Select when a thicker fleece is specified, including re-cover applications or where strong protection against punctures and hail resistance is paramount⁴
- Available in White



EverGuard Extreme® TPO Fleece-Back Membrane

- Best for re-cover applications or where strong protection against punctures and hail resistance is paramount³.
- Available in White



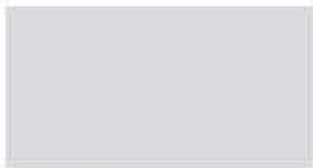
EverGuard® SA TPO Self-Adhered Roof Membrane

- GAF EverGuard® SA TPO Self-Adhered Roof Membrane is ready to install direct from the factory
- Ideal for jobs on occupied buildings where odor associated with traditional solvent-based adhesives are a concern
- An excellent alternative for adhered installations in colder weather, down to 20°F
- Available in White

Smooth TPO Standard Colors³



White -920



Gray 345



Slate Gray 740



Energy Gray 322



Tan 820



Energy Tan 822



Dark Bronze 220

TPO Attachment Methods

Mechanically Attached Smooth TPO with Drill-Tec™ Fasteners



After attaching insulation to the deck, attach the TPO to the deck at the seam, then weld. It’s one of the fastest installation methods, with the widest application temperature range, and qualifies for a 30-year warranty.¹ Ideal for many office buildings.

GAF Quick-Spray Adhesive Smooth TPO



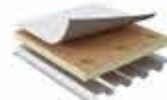
Adhesive is sprayed uniformly on the substrate and membrane underside. When the adhesive dries to a tacky feel, roll out the membrane and apply pressure. One of the fastest installation methods, with excellent finished look and high wind-uplift resistance. Qualifies for up to a 35-year guarantee¹ when using EverGuard Extreme® 80 mil TPO.

Adhered Smooth TPO with Traditional Bonding Adhesive



After attaching insulation to the deck, roll adhesive on both the substrate and the membrane and allow to flash off. Weld the membrane at the seams and broom in. This installation method offers a uniform, smooth appearance; minimizes thermal drift; and acts as a vapor barrier. Ideal for warm and windy environments. Adhered installations can qualify for a longer guarantee¹ duration than mechanically attached installations.

Induction-welded with smooth TPO



Use RhinaBond® technology to induction-weld the membrane to plates secured to the insulation layer, then heat-weld the seams. With quick dry-in, no cure time, fumes, or mess, it offers a fast and easy installation in the widest temperature range. Qualifies for up to a 30-year guarantee.¹ Ideal for office buildings.

EverGuard® SA TPO Self-Adhered Roof Membrane



Ready to install straight from the factory, this self-adhered roof membrane can help save time and labor, and can be installed at temps down to 20°F. Seam-weld as usual. Ideal for occupied buildings where solvent odors are a concern. Qualifies for up to a 25 year guarantee.¹

Adhered Fleece-back TPO with Low-rise Foam



Apply adhesive in a spatter pattern, apply the membrane, weld the seams, and smooth with a weighted roller. This membrane installation method is up to 50% faster than installation of smooth membrane with traditional solvent-based bonding adhesive, increasing productivity, requires no expensive equipment, and the fleece backing offers additional puncture resistance.⁴ Qualifies for up to a 35-year guarantee.¹ Ideal for most environments.

TPO Membrane Sizes

EverGuard® TPO

	Thickness	Unit Size	
		Feet	Meters
45 mil		12' x 100'	(3.66 m x 30.5 m)
		10' x 100'	(3.05 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
		6' x 100'	(1.83 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
60 mil		12' x 100'	(3.66 m x 30.5 m)
		10' x 100'	(3.05 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
		6' x 100'	(1.83 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
		10' x 50'	(3.05 m x 15.24 m)
		5' x 50'	(1.52 m x 15.24 m)
80 mil		12' x 100'	(3.66 m x 30.5 m)
		10' x 100'	(3.05 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
		6' x 100'	(1.83 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)

EverGuard® SA TPO Self-Adhered Roof Membrane

	Thickness	Unit Size
60 mil	100	5' x 100' (1.52 m x 30.5 m)
		10' x 100' (3.05 m x 30.5 m)
80 mil	100	5' x 100' (1.52 m x 15.24 m)
		10' x 100' (3.05 m x 30.5 m)

EverGuard® TPO Fleece-Back Membrane

	Thickness	Unit Size	
		Feet	Meters
45 mil		12' x 100'	(3.66 m x 30.5 m)
		10' x 100'	(3.05 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
		6' x 100'	(1.83 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
60 mil		12' x 100'	(3.66 m x 30.5 m)
		10' x 100'	(3.05 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
		6' x 100'	(1.83 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
80 mil		12' x 50'	(3.66 m x 15.24 m)
		10' x 50'	(3.05 m x 15.24 m)
		6' x 50'	(1.83 m x 15.24 m)
		5' x 50'	(1.52 m x 15.24 m)
		5' x 50'	(1.52 m x 15.24 m)

EverGuard® TPO Fleece-Back 100, 115, and 135 Membranes

	Thickness	Unit Size
100	100	10' x 100' (3.05 m x 30.5 m)
		5' x 100' (1.52 m x 30.5 m)
115	115	10' x 100' (3.05 m x 30.5 m)
		5' x 100' (1.52 m x 30.5 m)
135	135	10' x 80' (3.05 m x 24.38 m)
		5' x 100' (1.52 m x 30.5 m)

EverGuard Extreme® TPO

	Thickness	Unit Size	
		Feet	Meters
50 mil		10' x 100'	(3.05 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
60 mil		10' x 100'	(3.05 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
70 mil		10' x 100'	(3.05 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)
		8' x 100'	(2.44 m x 30.5 m)
80 mil		10' x 100'	(3.05 m x 30.5 m)
		5' x 100'	(1.52 m x 30.5 m)

EverGuard Extreme® TPO Fleece-Back Membrane

	Thickness	Unit Size
50 mil	50	10' x 100' (3.05 m x 30.5 m)
		5' x 100' (1.52 m x 30.5 m)
60 mil	60	10' x 100' (3.05 m x 30.5 m)
		5' x 100' (1.52 m x 30.5 m)
70 mil	70	10' x 50' (3.05 m x 15.24 m)
		5' x 50' (1.52 m x 15.24 m)
80 mil	80	10' x 50' (3.05 m x 15.24 m)
		5' x 50' (1.52 m x 15.24 m)

¹ Visit gaf.com for additional smooth TPO colors. EverGuard®/EverGuard Extreme® Fleece-back TPO has limited color availability. EverGuard Extreme® TPO, EverGuard Extreme Fleece-back TPO and EverGuard SA® TPO are only available in white. It is difficult to reproduce the actual color of the product. Final installed colors may vary from colors shown. Please ask to see a sample of the actual material before you make a final selection.

³ GAF warranties and guarantees do not provide coverage against hail or punctures except where additional puncture resistance coverage is purchased on eligible jobs. Refer to gaf.com for more information on warranty and guarantee coverage and restrictions.



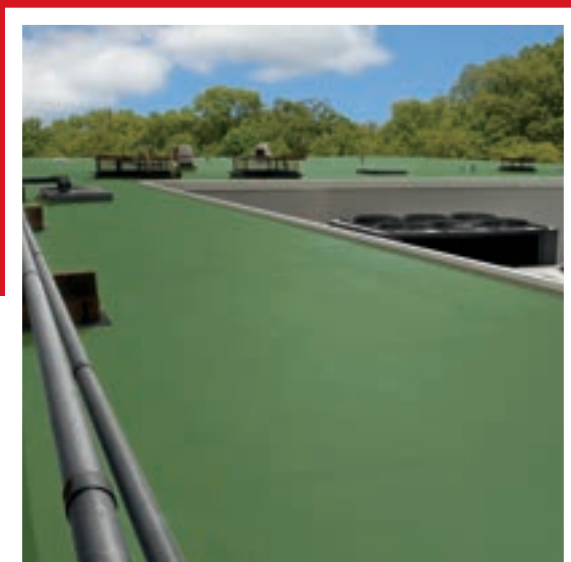
¹ Additional requirements apply. Contact GAF for more information.

² For EverGuard® Diamond Pledge™ NDL Roof Guarantees and System Pledge™ Roof Guarantees only. Refer to applicable guarantee available at gaf.com for complete coverage and restrictions.



EverGuard® TPO Colors:

Boost Your Roof with Color



Get even more benefit from GAF EverGuard® TPO by leveraging the industry's largest selection of color options. Color transforms your TPO roof system into an aesthetic attribute that can also help you save energy. We formulate our colors to minimize fading and to increase reflectivity, reducing energy costs.

We protect what matters most™

GAF



EverGuard® TPO Colors

Color Guide

Standard Colors*:



White 920



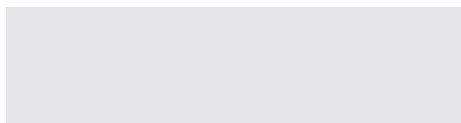
Energy Tan 822



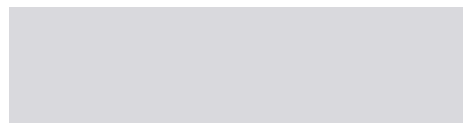
Tan 820



Slate Gray 740



Energy Gray 322



Gray 345



Dark Bronze 220

Additional Colors**:



Dark Brown 229



Terra Cotta 815



Regal Red 661



Regal Blue 663



Electric Blue 274



Sky Blue - 124



Hartford Green 384



Patina Green 541



Goldenrod 353



Desert Tan 247

GAF can manufacture
virtually any color you need.
The possibilities are limitless!*

NOTE: It is difficult to reproduce the color clarity and actual color of the installed product. Final installed colors may vary from colors shown. Please ask to see a sample of the actual material before you make a final selection. View the actual sample outdoors, under a variety of lighting conditions.

These colors are available for EverGuard® TPO smooth membrane. In addition to white, EverGuard® TPO fleece-back membrane is only available in Gray 345 or Tan 820.

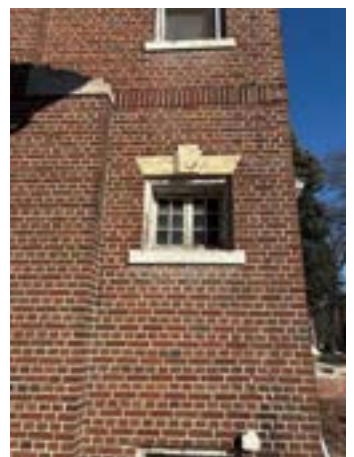
* Standard colors are stocked in 60 mil only. Other thicknesses require a 400 square minimum order. Contact your local GAF Sales Representative.

** 400 square minimum order required. For more information, contact your local GAF Sales Representative.

For additional information, contact GAF Design Services
at **1-877-423-7663** or designservices@gaf.com

We protect what matters most™



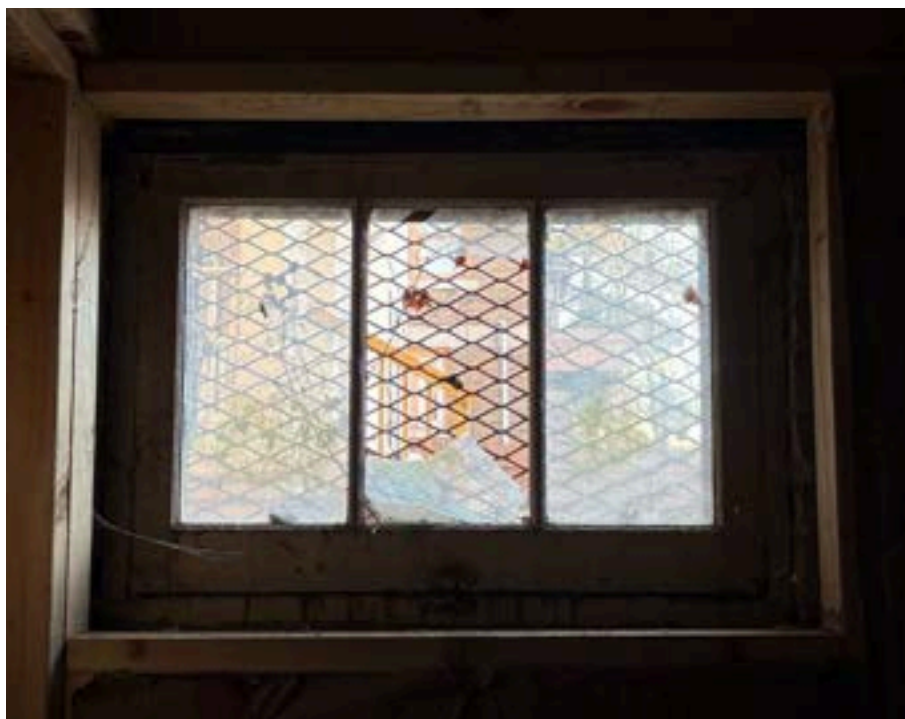
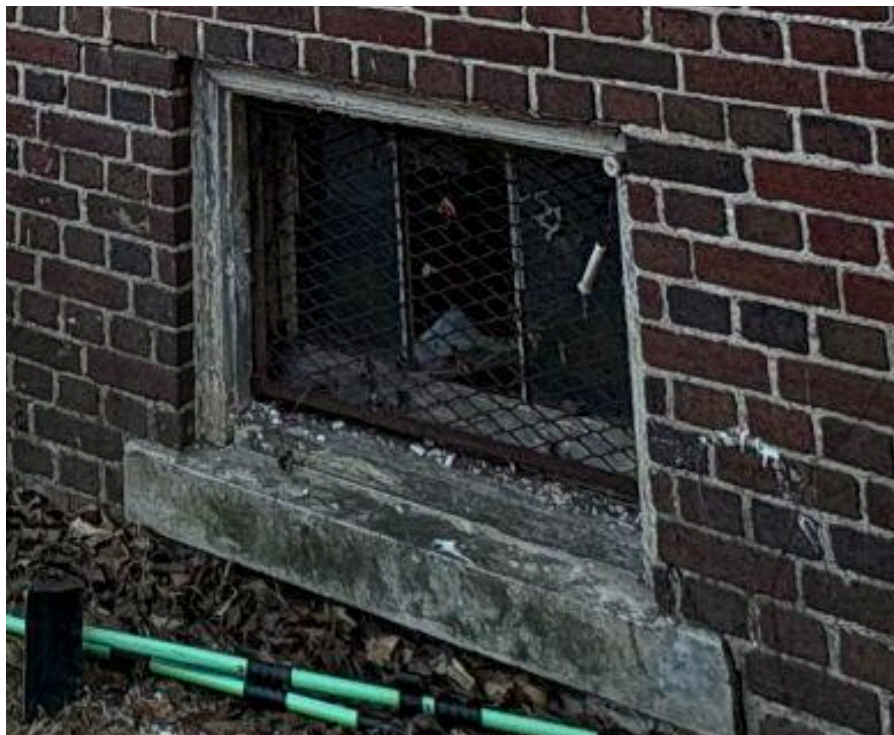


WEST ELEVATION



007

REPLACE WITH GLASS BLOCK



008
REPLACE WITH GLASS BLOCK



009
REPLACE WITH GLASS BLOCK



010
REPLACE WITH GLASS BLOCK



011
REPLACE WITH GLASS BLOCK



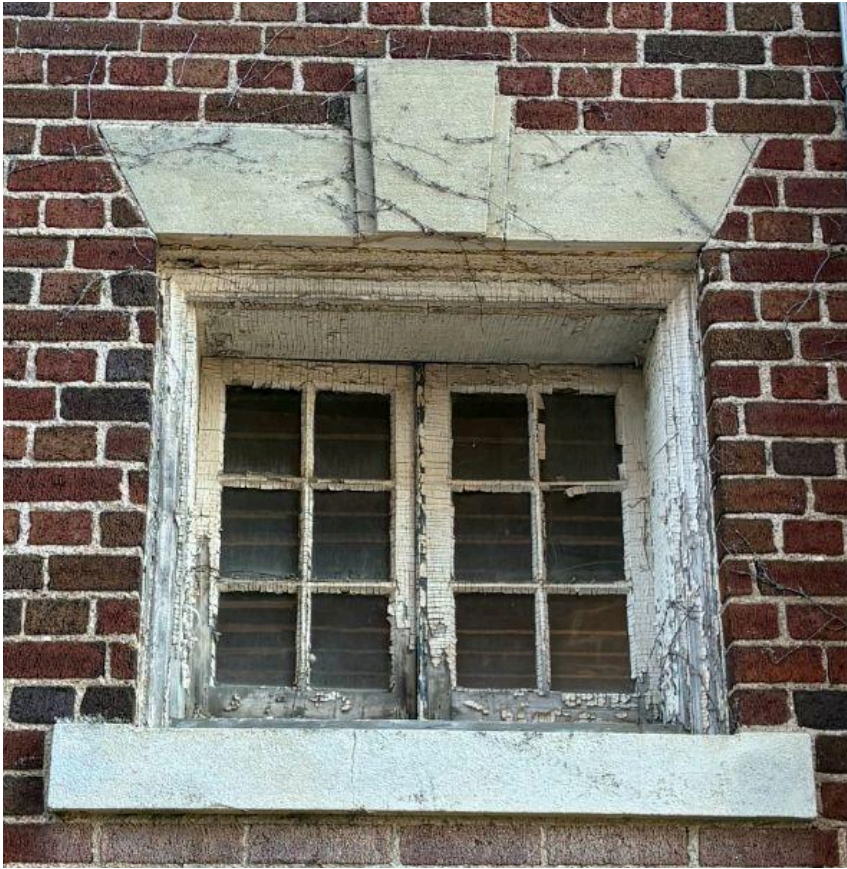
012
REPLACE WITH GLASS BLOCK



120-123



124-126







217-220



221-222



223



224



307-309



309 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW (FIXED)

GARAGE WINDOWS



129



130

4545 architecture

January 20, 2026

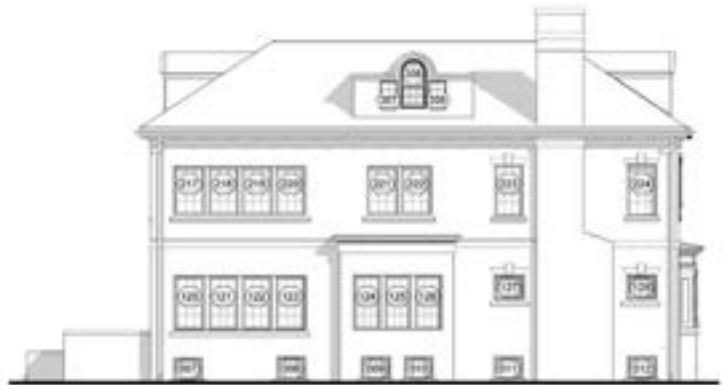
1676 Chicago Blvd.,
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Window Documentation



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



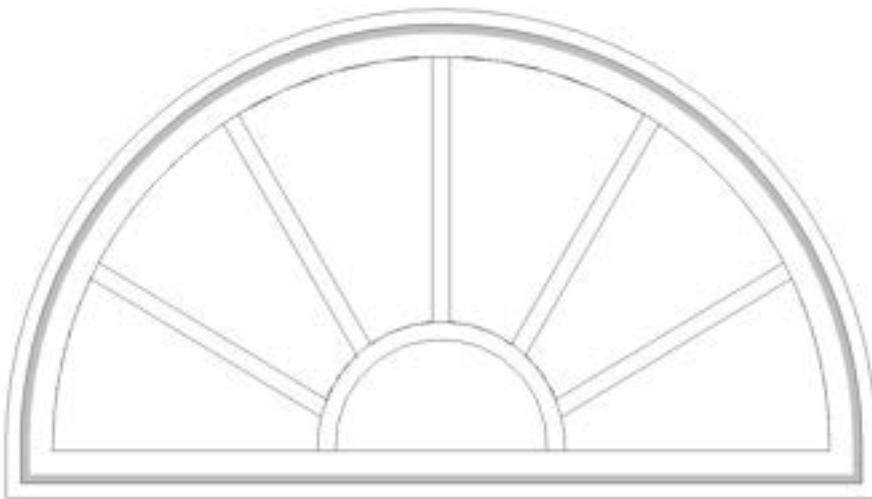
SOUTH ELEVATION



101-104

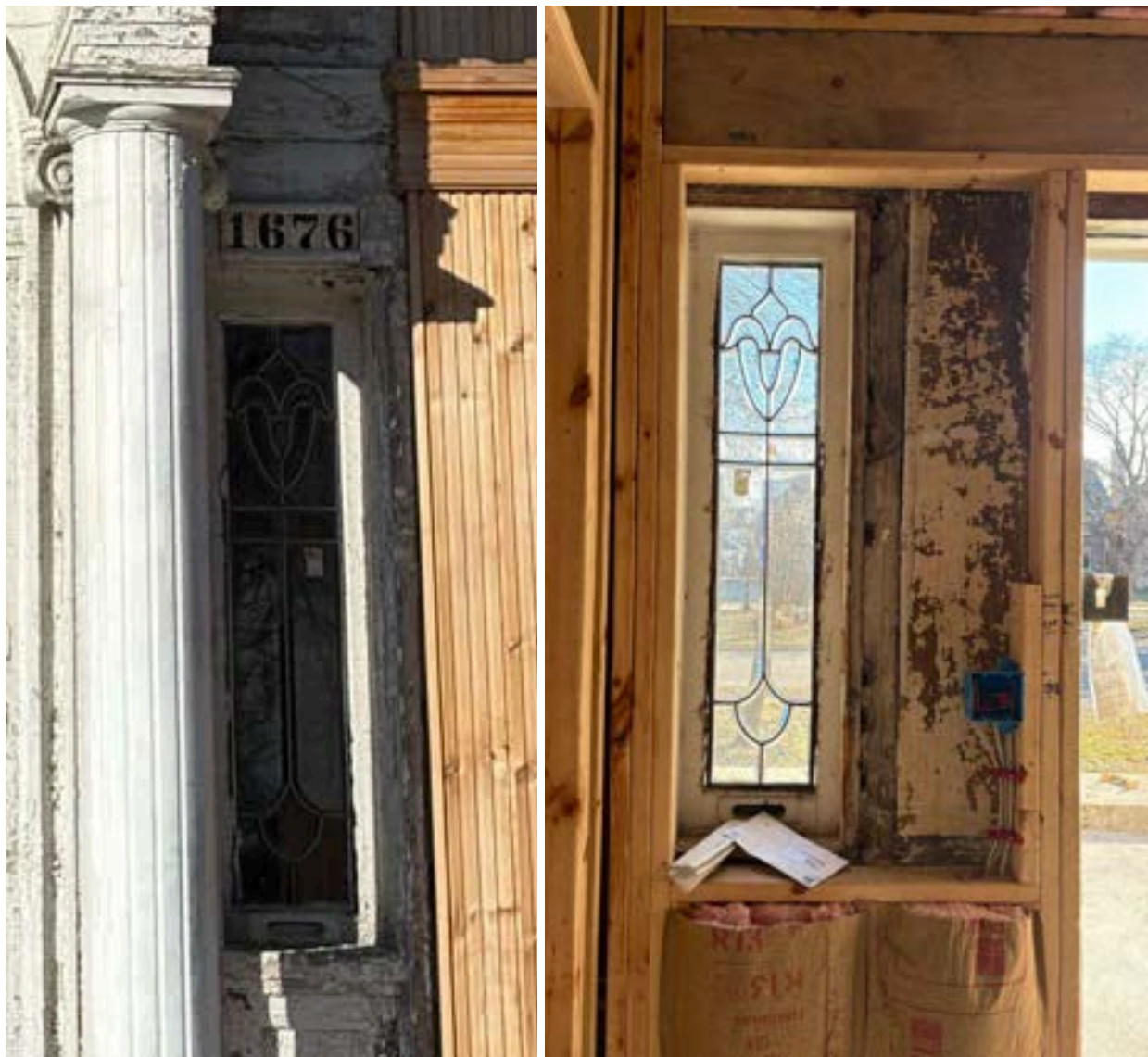


105



105 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW
(CUSTOM SUNBURST HALF-CIRCLE)







201-202





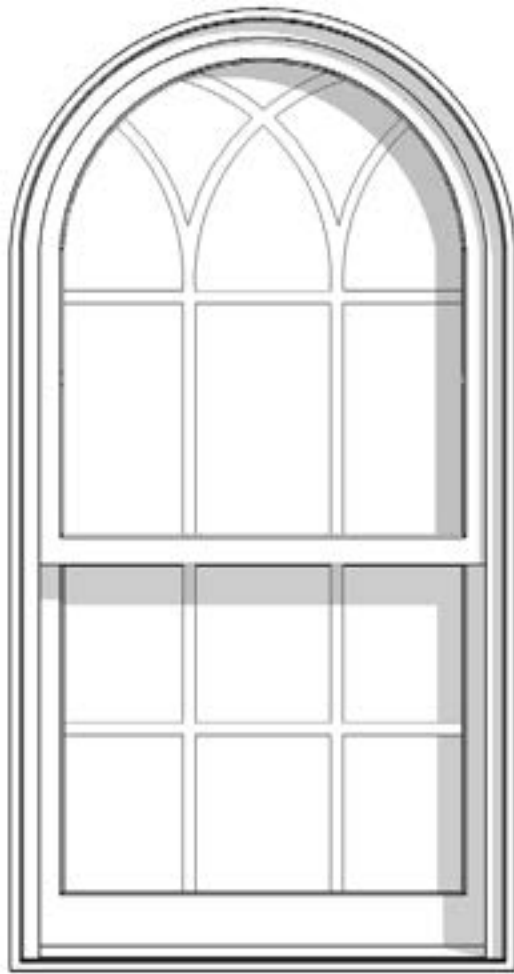
204-205



301



302



301-302 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW; SINGLE HUNG WITH CUSTOM SIMULATED DIVIDED LITE TO MATCH EXISTING DORMER WINDOWS



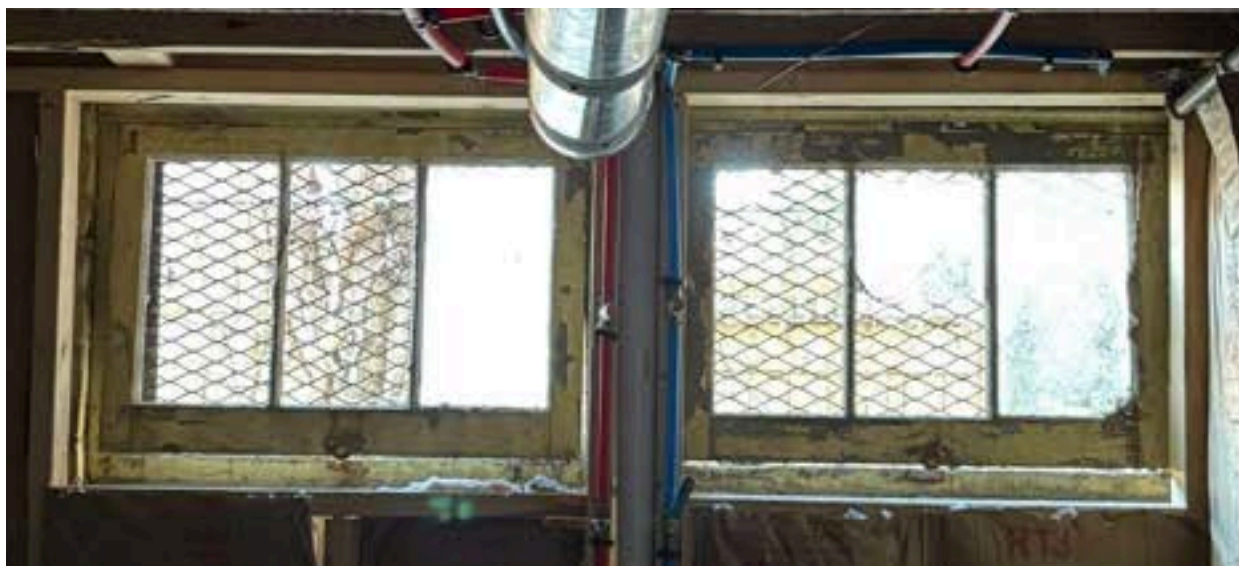
EAST ELEVATION



001
REPLACE WITH GLASS BLOCK



002
REPLACE WITH GLASS BLOCK



003-004

REPLACE WITH GLASS BLOCK



108-109



110





112



113-114



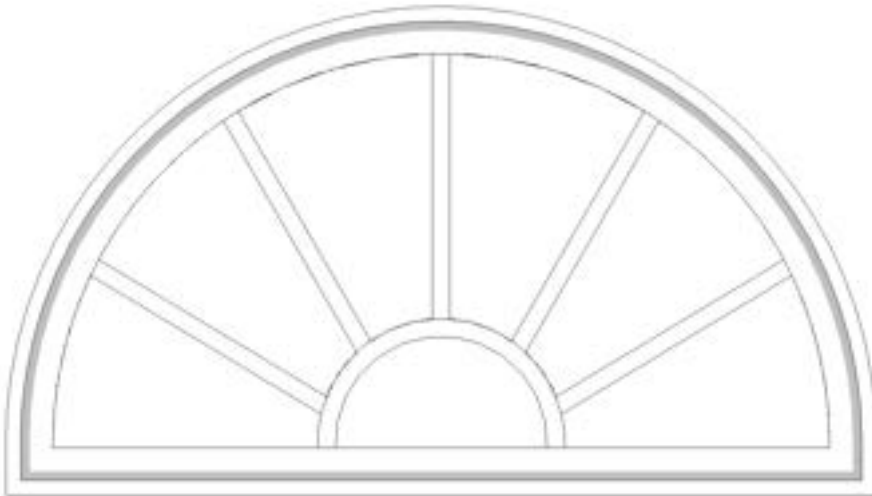
206-207



206-207 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW (CASEMENT)



208-209



208 REPLACEMENT: ANDERSEN E-SERIES ALUM.-CLAD WOOD WINDOW
(CUSTOM SUNBURST HALF-CIRCLE)



210-211



303-305



NORTH ELEVATION



005-006
REPLACE WITH GLASS BLOCK







117-119



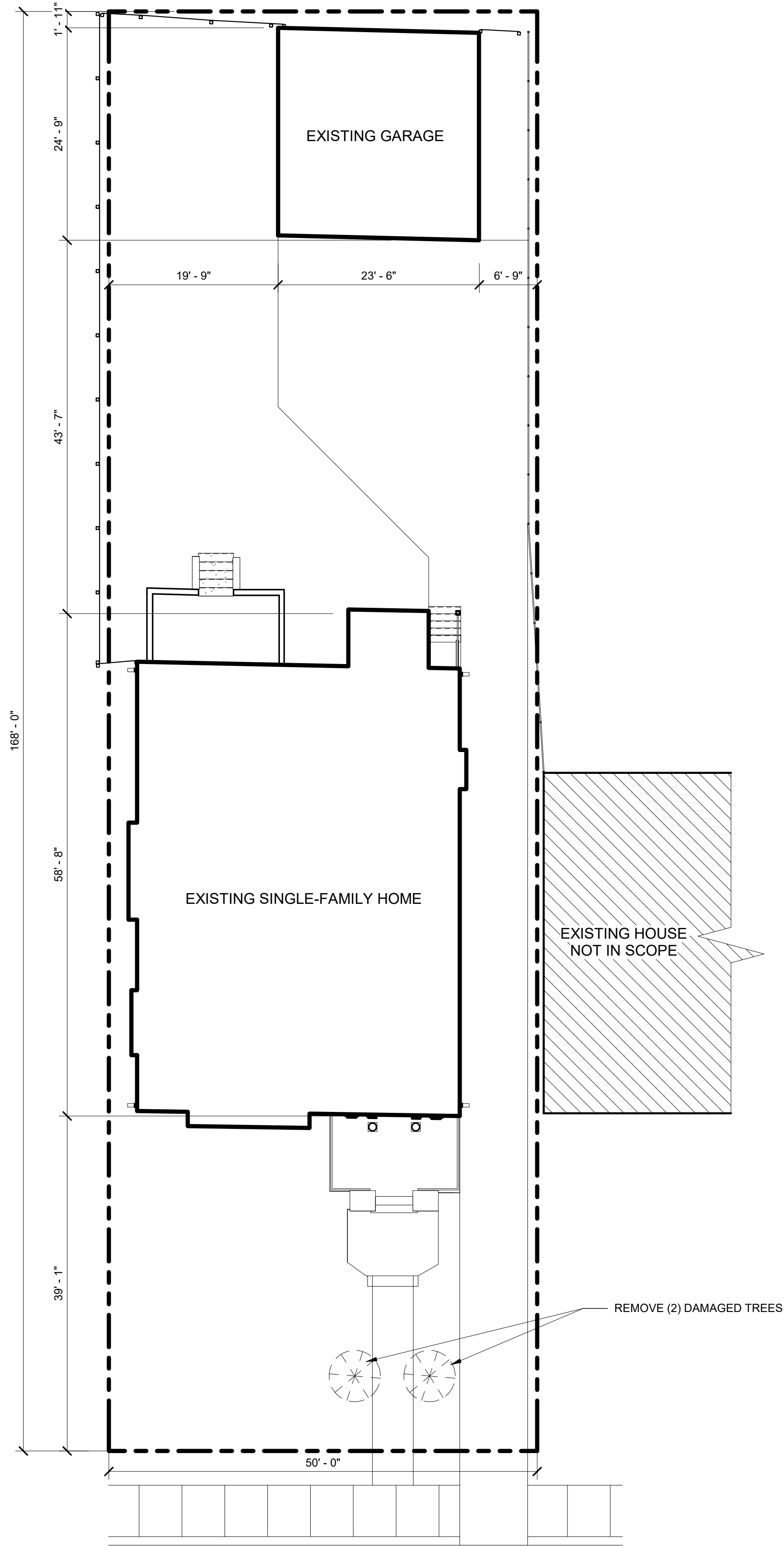
212



213-216



BINDER STRIP LOCATION



1 SITE PLAN
SCALE: 1" = 10'-0"



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Project :

1676 CHICAGO BLVD.
RENOVATION
1676 CHICAGO BLVD.,
DETROIT, MI 48206

Issued for :

HDC SUBMIT 01/20/2026

Drawn by :

ANJ

Checked by :

TRF

Sheet Title :

ARCHITECTURAL SITE
PLAN

Project No. :

2025063

Sheet No. :

SP1.1

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January 20, 2026

1676 Chicago Blvd.,
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Project Narrative

1676 Chicago Blvd. is a two-story single family residence in the Boston Edison historic district of Detroit. Built in 1921, it has many classic Neo-Georgian features, including red brick cladding, a detailed wood portico entry at the main front door, wood dentils at the soffits, and arched and palladian dormers. The front porch is offset to the right of the street-facing facade, and is balanced on the left with a protruding window bay featuring four double-hung wood windows, with a 6-over-1 muntin pattern. The brick clad porch steps down to a large lower landing before again stepping down to level with the front sidewalk. The second floor and roof at the front facade are symmetrical, with the exception of the visible chimney. Two arched dormers on the roof face the street. The majority of the original wood windows are present and intact, with the notable exceptions of the two arch dormer windows at front and the half-round transom above the main entry door, as well as one of the flanking windows of the west palladian dormer, the half-round transom at the second floor east bay window, a set of two mulled windows at the east second floor, and a single basement window at the rear. Many of the present basement windows do have missing or broken glass panes. The east facade features a protruding window bay with a trimmed wood surround above the side entry door, centered on the dormer above. There is also a chimney near the rear. The northeast corner of the house features a small porch with wood steps and landing, with a second floor roof deck above. At the opposite side of the back of the house is a raised concrete porch with brick half-walls surrounding it; concrete stairs at the porch center lead up to a set of french doors with sidelites which make the porch its own symmetrical element. The west facade, similar to the east, has a set of windows aligned with the dormer above, but at the ground level. There is also a larger chimney closer to the front.

The property features a 2-car detached garage in the backyard. It is brick-clad and features its original tile roofing. Two single-car overhead doors face the driveway in the backyard; the alley-side facade (north) is brick. The east and west sides of the garage each have a wood double-hung window. The soffit of the garage has been recently replaced, and the roof fascia is missing or severely deteriorated throughout.



The intent of this project is to make improvements to the property while still maintaining its historic character. General improvements, such as tuckpointing existing brickwork, will be performed as required. All original windows which are present, as well as the rear set of french doors, will be repaired and repainted as needed. Missing windows are to be replaced with Andersen E-Series aluminum-clad wood windows, and color-matched to those existing. It is also proposed to replace all basement windows with glass block for security purposes. Wood trim elements throughout the project, such as the portico, bay windows, window trim, soffit, dentils, and elements of the rear porch and roof deck are to be repaired and repainted as needed. Any replacement found to be necessary will be done with in-kind elements which are the same color/finish/shape/size. The two existing doors (the main entry door and the rear second floor door) will be refinished. The two missing entry doors (at the east side and rear first floor porch) will be replaced with Andersen Straightline Glass Panel wood doors, style 194 (half-lite), and painted to match. A wood handrail will be installed at the front porch in a similar style to what is present in historic photos, as well as at the rear roof deck. Half-round aluminum gutters and downspouts are to be installed at all 4 sides of the roof; they are to be dark bronze. Asphalt shingles present on the five dormer roofs will be removed and replaced with a dark brown membrane roof, to mimic the contrast of the original copper roof which has been removed.

At the garage, similar tuckpointing will occur as required. Missing roof flashing at the eaves and a wood fascia board will be installed. The new fascia and existing soffit & frieze board are to be painted to match existing trim elements. The same aluminum gutters and downspouts of the main house are to be installed at the garage. The existing overhead door frames and windows are to be repaired and repainted as needed. Two damaged trees are to be removed from the front yard.

1676 CHICAGO BLVD. RENOVATION

1676 CHICAGO BLVD.,
DETROIT, MI 48206

ARCHITECT
4545 ARCHITECTURE | DESIGN
TIMOTHY FLINTOFF
2761 E. JEFFERSON, SUITE 302
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PROJECT DATA

BUILDING CODE AUTHORITY:
CITY OF DETROIT

APPLICABLE CODES:

BUILDING CODE
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL BUILDING CODE"
2021 MICHIGAN RESIDENTIAL CODE (MRC) AS AMENDED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2021 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2021 MICHIGAN PLUMBING CODE AS AMENDED

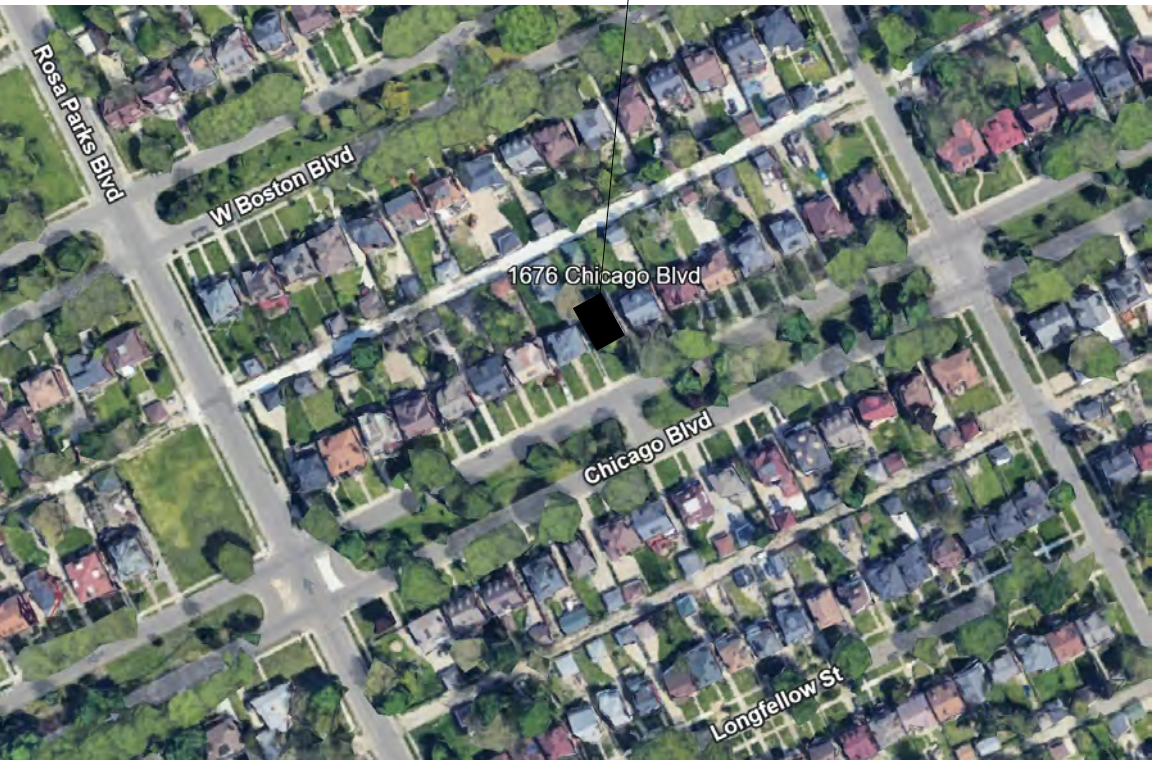
ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2023 MICHIGAN ELECTRICAL CODE AS AMENDED

ENERGY CODE
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS
AMERICANS WITH DISABILITIES ACT (ADA)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

SHEET INDEX

SP1.1	ARCHITECTURAL SITE PLAN
A1.5	ROOF PLAN
A3.1	SOUTH ELEVATION
A3.2	EAST ELEVATION
A3.3	NORTH ELEVATION
A3.4	WEST ELEVATION
A3.5	GARAGE ELEVATIONS
A3.6	GARAGE DETAILS



PROJECT LOCATION: 1676 CHICAGO BLVD., DETROIT, MI

1 LOCATION

SYMBOL LEGEND	ABBREVIATIONS
<div>Drawing Navigation</div> <div>Elevation Callout</div> <div>Section Callout</div> <div>Detail Callout</div> <div>Other</div>	<div>@ A1</div> <div>ACOUST Acoustical</div> <div>ACT Acoustic Ceiling Tile</div> <div>ADJ Adjacent</div> <div>AFF Above Finish Floor</div> <div>ALUM Aluminum</div> <div>ANOD Anodized</div> <div>BD Board</div> <div>BLDG Building</div> <div>BLK Block</div> <div>BLKG Blocking</div> <div>CEM Cement</div> <div>CJ Control Joint</div> <div>CLG Ceiling</div> <div>CL Centerline</div> <div>CO Clean Out</div> <div>COL Column</div> <div>CONC Concrete</div> <div>CG Corner Guard</div> <div>CONST Construction</div> <div>CONT Continuous</div> <div>CORR Corrugated</div> <div>CPT Carpet</div> <div>CT Ceramic Tile</div> <div>DET Detail</div> <div>DIA Diameter</div> <div>DM Dimension</div> <div>DN Down</div> <div>DO Door Opening</div> <div>DR Door</div> <div>DWG Drawing</div> <div>EA Each</div> <div>ELEV Elevation</div> <div>EW Each Way</div> <div>EXG Existing</div> <div>EXIST Existing</div> <div>EXP Expansion, Exposed</div> <div>FD Floor Drain</div> <div>FDN Foundation</div> <div>FRP Fiber Reinforced Panels</div> <div>FIN Finish</div> <div>FLR Floor</div> <div>FO Face Of</div> <div>FOS Face of Stud</div> <div>FR Frame</div> <div>FTG Footing</div> <div>FV Field Verify</div> <div>GA Gauge</div> <div>GALV Galvanized</div> <div>GYP Gypsum</div> <div>HDW Hardware</div> <div>HM Hollow Metal</div> <div>HORIZ Horizontal</div> <div>HT Height</div> <div>ID Inside Diamtere</div> <div>INSUL Insulation</div> <div>INT Interior</div> <div>JT Joint</div> <div>LAV Lavatory</div> <div>LG Long</div> <div>LLO Long Leg Outstanding</div> <div>LLV Long Leg Vertical</div> <div>MAX Maximum</div> <div>MECH Mechanical</div> <div>MET Metal</div> <div>MEZZ Mezzanine</div> <div>MI Miscellaneous Iron</div> <div>MIN Minimum</div> <div>MISC Miscellaneous</div> <div>MO Masonry Opening</div> <div>NIC Not In Contract</div> <div>NTS Not To Scale</div> <div>OC On Center</div> <div>OD Outside Diameter</div> <div>OPNG Opening</div> <div>OPP Opposite</div> <div>PLG Plate Glass</div> <div>PLS Plate Steel</div> <div>PLAM Plastic Laminate</div> <div>PLAS Plaster</div> <div>PREFAB Prefabricated</div> <div>PROJ Project, Projection</div> <div>PSF Pounds per Square Foot</div> <div>PT Paint, Point, Pressure Treated</div> <div>R Riser</div> <div>RA Return Air</div> <div>RB Rubber Base</div> <div>RC Roof Conductor</div> <div>RCP Reflected Ceiling Plan</div> <div>RD Roof Drain</div> <div>RF Rubber Flooring</div> <div>REINF Reinforced, Reinforcing</div> <div>REQD Required</div> <div>RFG Roofing</div> <div>RM Room</div> <div>RS Roof Sump</div> <div>RT Rubber Tile</div> <div>SAN Sanitary</div> <div>SCHED Schedule</div> <div>SHT Sheet</div> <div>SIM Similar</div> <div>SPEC Specification</div> <div>SS Service Sink</div> <div>STL Steel</div> <div>STD Standard</div> <div>STOR Storage</div> <div>STRUCT Structural</div> <div>SUSP Suspended</div> <div>SW Switch</div> <div>SYM Symmetrical</div> <div>T Tread</div> <div>T&B Top and Bottom</div> <div>TEL Telephone</div> <div>TERR Terrazzo</div> <div>T&G Tongue and Groove</div> <div>THK Thick, Thickness</div> <div>THRES Threshold</div> <div>TOS Top Of Steel</div> <div>TYP Typical</div> <div>UC Undercut</div> <div>UNO Unless Noted Otherwise</div> <div>VB Vinyl Base</div> <div>VCT Vinyl Composition Tile</div> <div>VIF Verify In Field</div> <div>W Wide</div> <div>VERT Vertical</div> <div>WAINS Wainscot</div> <div>WC Water Closet</div> <div>WD WIN Wood Window</div> <div>WT Wight</div> <div>WWF Welded Wire Fabric</div>

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RENOVATION
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DETROIT, MI 48206

Issued for :

HDC SUBMIT 01/20/2026

Drawn by :

ANJ
Checked by :
TRF

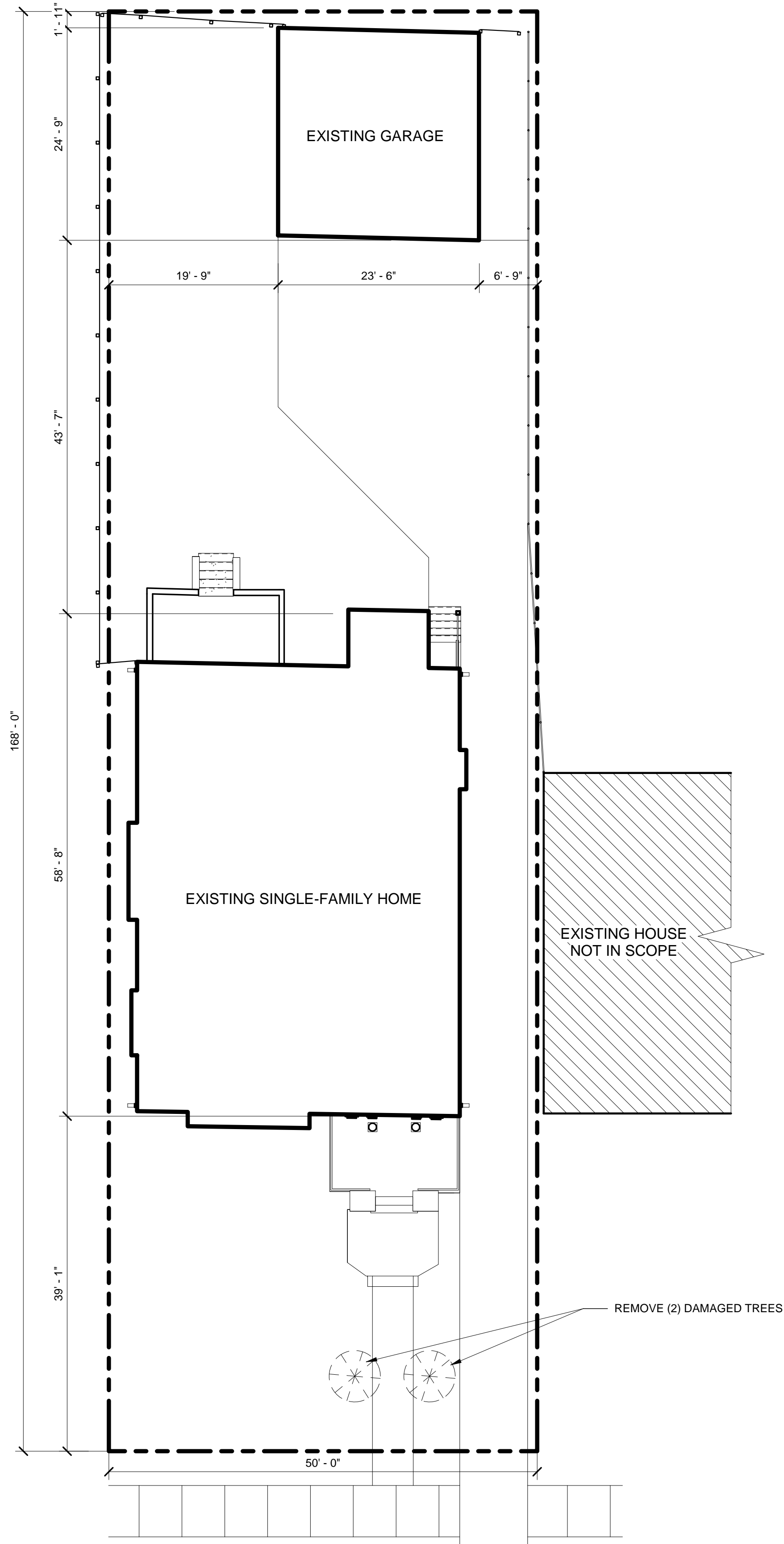
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TITLE SHEET

Project No. :
2025063

Sheet No. :

TS1.1

BINDER STRIP LOCATION



1 SITE PLAN
SCALE: 1" = 10'-0"



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ARCHITECTURAL SITE
PLAN

Project No. :

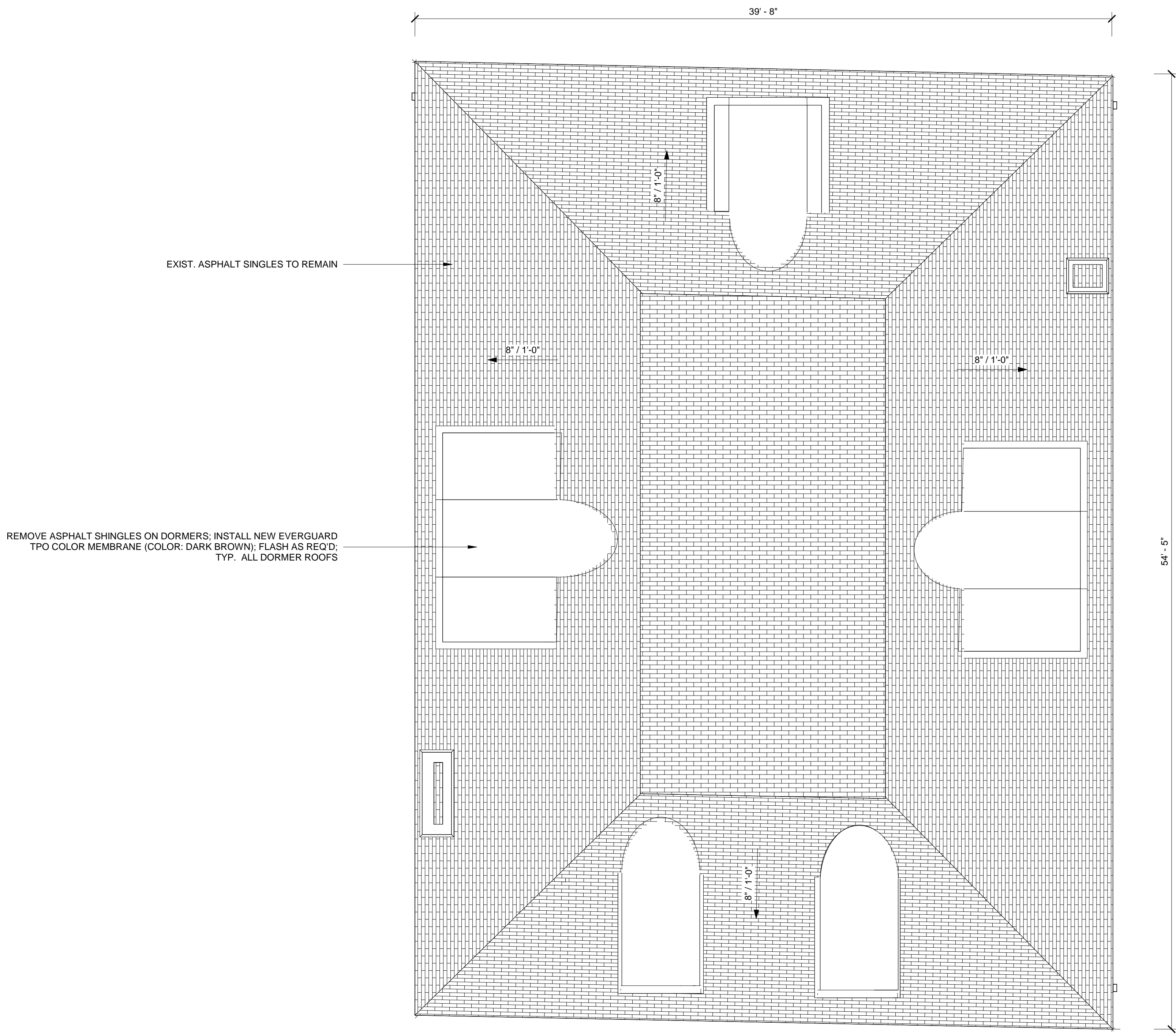
2025063

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BINDER STAPLE LOCATION



REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD
TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D;
TYP. ALL DORMER ROOFS

EXIST. ASPHALT SINGLES TO REMAIN

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- DO NOT BACKFILL WALLS UNTIL FLOOR DECKS ARE INSTALLED
- ALL POSTS CONTINUOUS TO FOUNDATION
- SHEAR WALLS TO BE PERSCRIPTIVE PER MBC 2015

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Project :

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RENOVATION
1676 CHICAGO BLVD.,
DETROIT, MI 48206

Issued for :

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Drawn by :

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Sheet Title :

ROOF PLAN

Project No. :

2025063

Sheet No. :

A1.5

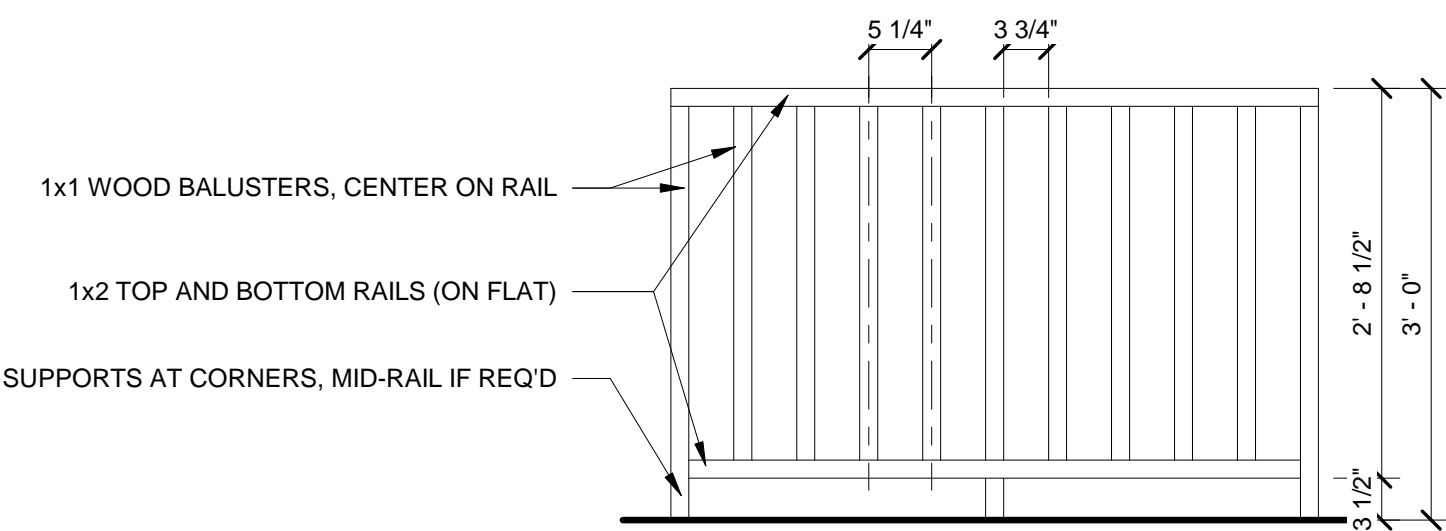
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3 FRONT WINDOW BAY DETAILS



2 SOUTH ELEVATION PHOTO



4 WOOD RAILING PROFILE
SCALE: 3/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL ELEVATION/SECTION NOTES:

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- CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGRESS REQUIREMENTS

EXTERIOR KEY NOTES:

- TUCKPOINTE AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT)
- REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D
- REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
- REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D
- WOOD PILASTERS AND TRIM ELEMENTS TO REMAIN; REPAIR AND REPAINT AS REQ'D
- ALUM.-CLAD COLUMNS TO REMAIN; PAINT TO MATCH EXIST. AS REQ'D
- INSTALL WOOD HANDRAIL, PAINT TO MATCH EXIST. TRIM ELEMENTS
- INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
- REPLACE MISSING WINDOWS WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD SINGLE HUNG WINDOW W/ ROUNDED TOP, SIM. DIVIDED LITE PATTERN TO MATCH EXISTING DORMER WINDOWS AS SHOWN; MATCH COLOR TO EXIST. WINDOWS
- REPLACE MISSING TRANSOM WINDOW WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD FIXED SEMI-CIRCLE WINDOW; SIM. DIVIDED LITE PROFILE TO HAVE "SUNBURST" PATTERN AS SHOWN; MATCH COLOR TO EXIST. WINDOWS
- PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE
- REPAIR BAY WINDOW FLASHING ON ALL SIDES AS REQ'D

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DETROIT, MI 48206

Issued for :

HDC SUBMIT 01/20/2026

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ANJ

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Sheet Title :

SOUTH ELEVATION

Project No. :

2025063

Sheet No. :

A3.1



2 EAST ELEVATION PHOTOS



3 EAST WINDOW BAY DETAILS



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL ELEVATION/SECTION NOTES:

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EXTERIOR KEY NOTES:

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- REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D
- REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
- REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D
- REPLACE MISSING DOORS W/ ANDERSEN STRAIGHTLINE GLASS PANEL DOOR STYLE 194; PAINT TO MATCH EXIST. TRIM ELEMENTS
- REPAIR, STRIP, AND REPAINT WOOD STAIR RISERS, TREADS, TRIM, ETC.
- REMOVE AND REPLACE EXIST. BASMENT WINDOWS W/ GLASS BLOCK; REFER TO DETROIT HISTORIC COMMISSION GUIDELINES ON INSTALLATION (3/A3.3)
- INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
- REPLACE MISSING WINDOWS WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD CASEMENT WINDOWS (2 MULLED UNITS) WITH 3x2 SIM. DIVIDED LITE PATTERN AS SHOWN; COLOR TO MATCH EXIST. WINDOWS
- REPLACE MISSING TRANSOM WINDOW WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD FIXED SEMI-CIRCLE WINDOW; SIM. DIVIDED LITE PROFILE TO HAVE 'SUNBURST' PATTERN AS SHOWN; COLOR TO MATCH EXIST. WINDOWS
- PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE

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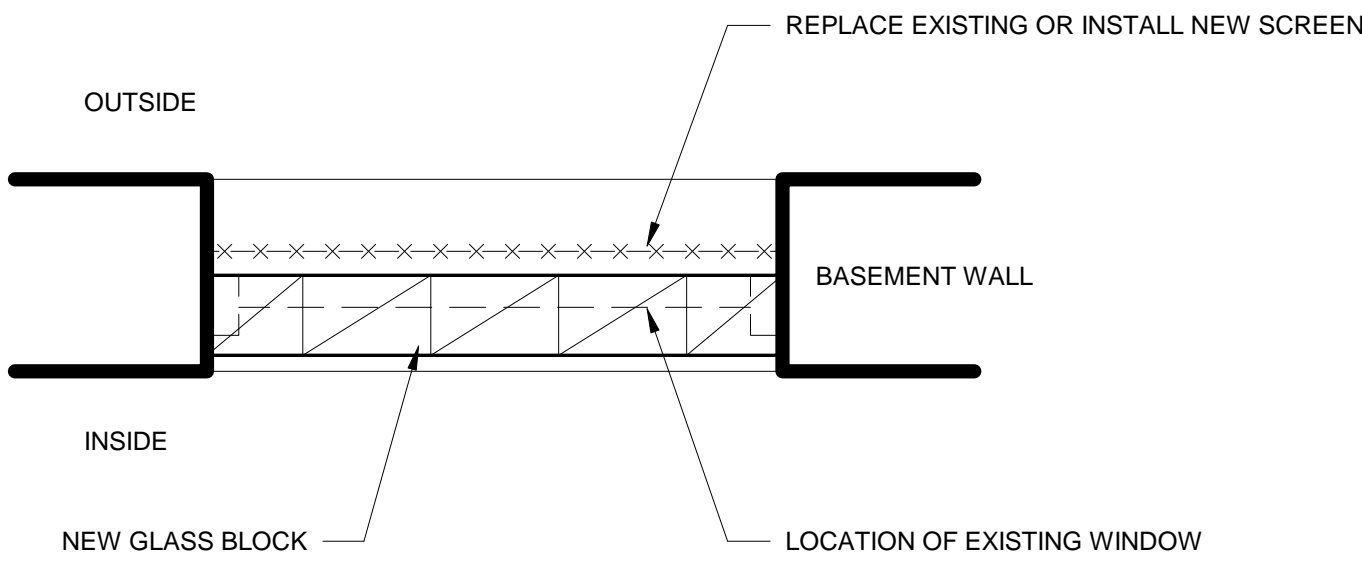
EAST ELEVATION

Project No. :

2025063

Sheet No. :

A3.2



3 GLASS BLOCK SECTION
SCALE: 1" = 1'-0"



2 NORTH ELEVATION PHOTO
SCALE: 12" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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- 2 REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D
- 3 REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D
- 4 REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D
- 5 REPAIR, STRIP, AND REPAINT EXIST. FRENCH DOOR, SIDELITES, AND ASSOCIATED TRIM AS REQ'D
- 6 REPAIR, STRIP, AND REPAINT EXIST. EXTERIOR DOOR
- 7 INSTALL WOOD HANDRAIL, PAINT TO MATCH EXIST. TRIM ELEMENTS
- 8 INSTALL ALUMINUM GUTTERS, DOWNSPOUT; BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE
- 9 REMOVE AND REPLACE EXIST. BASMENT WINDOWS W/ GLASS BLOCK; REFER TO DETROIT HISTORIC COMMISSION GUIDELINES ON INSTALLATION (3/A3.3)
- 10 CLEAR DEBRIS FROM PORCH DRAINAGE SPOUTS; PAINT AND REPAIR AS REQ'D
- 11 PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE

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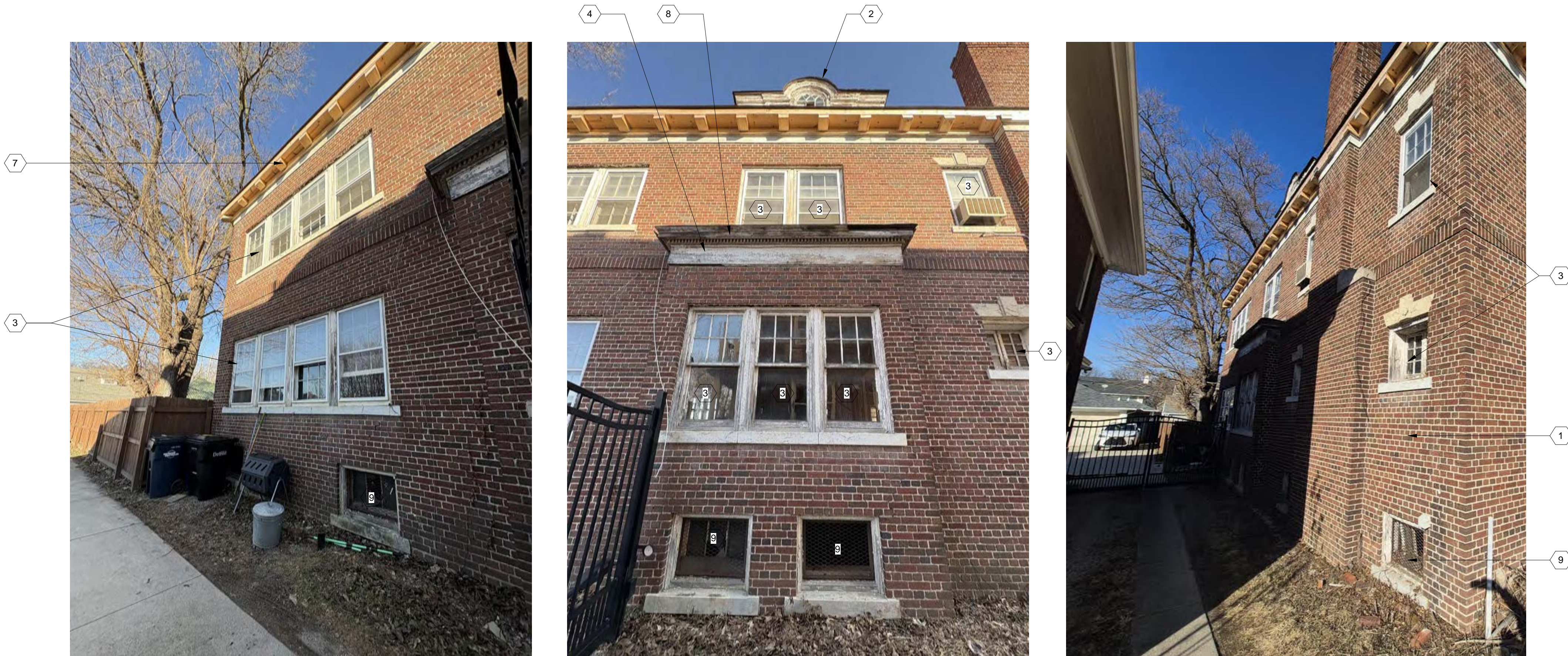
NORTH ELEVATION

Project No. :

2025063

Sheet No. :

A3.3



2 WEST ELEVATION PHOTOS



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

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EXTERIOR KEY NOTES:

- | | |
|---|--|
| 1 | TUCKPOINT AND REPAIR EXIST. BRICK AS REQ'D (TYP. THROUGHOUT) |
| 2 | REMOVE ASPHALT SHINGLES ON DORMERS; INSTALL NEW EVERGUARD TPO COLOR MEMBRANE (COLOR: DARK BROWN); FLASH AS REQ'D |
| 3 | REPAIR, STRIP, AND REPAINT EXIST. WOOD WINDOWS AND ASSOCIATED TRIM AS REQ'D |
| 4 | REPAIR, STRIP, AND REPAINT WOOD TRIM ELEMENTS AS REQ'D |
| 5 | REPLACE MISSING WINDOW WITH ANDERSEN E-SERIES ALUM.-CLAD WOOD FIXED WINDOW w/ 2x2 SIM. DIVIDED LITE PATTERN TO MATCH ADJACENT WINDOW AS SHOWN; MATCH COLOR TO EXIST. WINDOWS |
| 6 | INSTALL ALUMINUM GUTTERS, DOWNSPOUT: BASIS OF DESIGN: CLASSIC GUTTERS 5" HALF-ROUND ALUMINUM GUTTER IN DARK BRONZE |
| 7 | PAINT ROOF SOFFIT, DENTIL, FASCIA, AND FRIEZE |
| 8 | REPAIR BAY WINDOW FLASHING ON ALL SIDES AS REQ'D |
| 9 | REMOVE AND REPLACE EXIST. BASEMENT WINDOWS w/ GLASS BLOCK; REFER TO DETROIT HISTORIC COMMISSION GUIDELINES ON INSTALLATION (3A/3.3) |

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WEST ELEVATION

Project No. :
2025063

Sheet No. :

A3.4

DO NOT SCALE DRAWINGS | ©2021 Timothy Flintoff Architect, PLLC



3 GARAGE NORTH ELEVATION
SCALE: 12" = 1'-0"



4 GARAGE SOUTHEAST CORNER
SCALE: 12" = 1'-0"



1 GARAGE SOUTH ELEVATION
SCALE: 12" = 1'-0"



2 GARAGE WEST ELEVATION
SCALE: 12" = 1'-0"

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- INSTALL MISSING WOOD FASCIA BOARD; PAINT
- PAINT PREVIOUSLY INSTALLED ROOF SOFFIT AND FRIEZE

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GARAGE ELEVATIONS

Project No. :

2025063

Sheet No. :

A3.5



2 GARAGE EAVE - SOUTHWEST CORNER



3 GARAGE EAVE - WEST



1 GARAGE EAVE - NORTHWEST CORNER



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- 5 INSTALL MISSING WOOD FASCIA BOARD; PAINT
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GARAGE DETAILS

Project No. :
2025063

Sheet No. :

A3.6

4545 architecture

January 20, 2026

1676 Chicago Blvd.,
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

A Staff Report for a Historic District Commission meeting on July 9, 2025 recommended a denial of work completed involving replacement of the soffits and dentiling at 1676 Chicago Blvd., on the basis that the newly installed dentils did not match the original spacing. This document is to show the dentils have since been replaced and align more with the original in terms of size, number, and spacing. Among other items present in this application, we are requesting approval for the completed work of replacing the soffit/dentils.



June 2025 photo taken by staff

Photo taken from July 2025 HDC Staff Report, showing previous condition of dentils



Current front elevation, photo taken January 2026 by 4545 Architecture



Designation photo, 1980, via HDC

Note that in both photos, 22 dentils are present (not including corners)

4545 architecture

January 20, 2026

1676 Chicago Blvd.,
Detroit, MI 48206

RE: 1676 Chicago Blvd. Historic District Commission Submission

Existing Photos

(See "Window Documentation" document for detailed photos of windows)



South (Front) Elevation



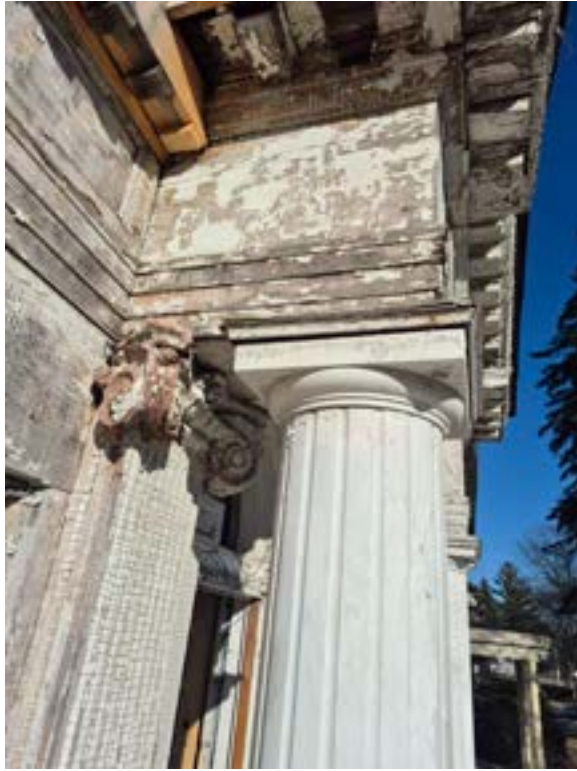
Front Portico Details

2761 E. Jefferson, Suite 302, Detroit, MI 48207

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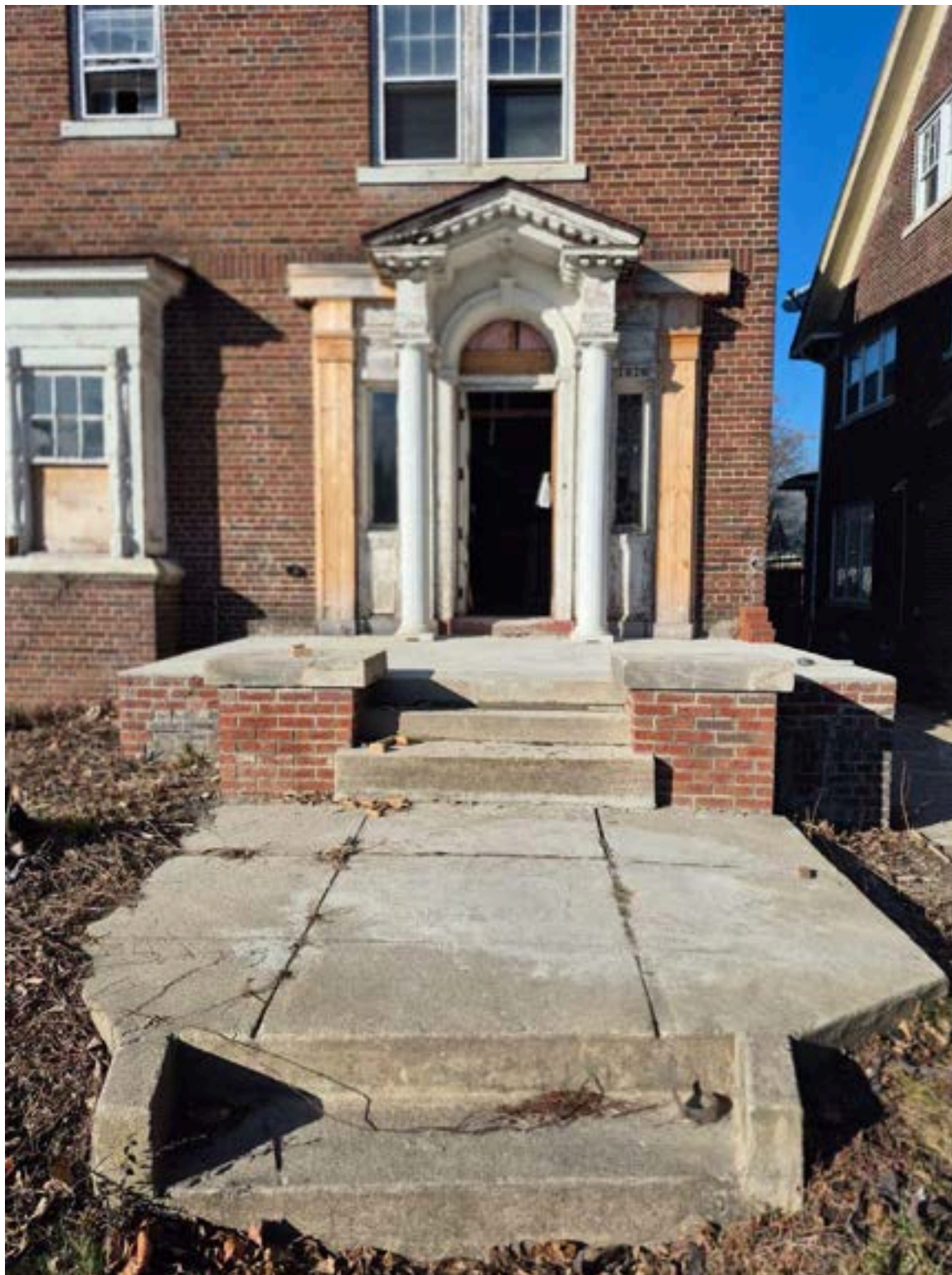
Front Portico Details



Front Column Details

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Front Porch & Lower Landing

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Porch Lower Landing



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Front Bay Window



Damage to front window trim; missing partial window frame



Typical state of front window



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Front Dormer Windows and Dentiling

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Soffit detail, southwest corner; note new dentil spacing at front



EAST ELEVATION



East second floor window



East side entry door: note cracks in masonry joints



East chimney



Rear porch and roof eave seen from east side



North Elevation



Northeast protrusion eave, typ. condition



Northeast porch ceiling



Northeast porch



North elevation between porches



Rear exterior porch (northwest)



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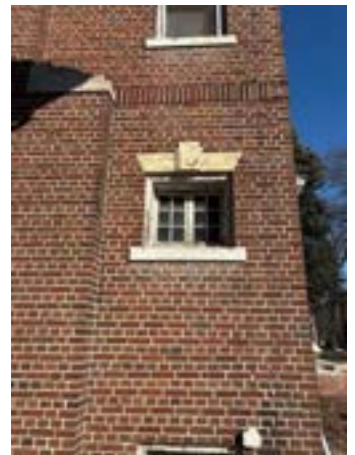
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Porch drainage spout (typ. condition)



Rear soffit and dentiling



WEST ELEVATION



West Bay Window



West window from south

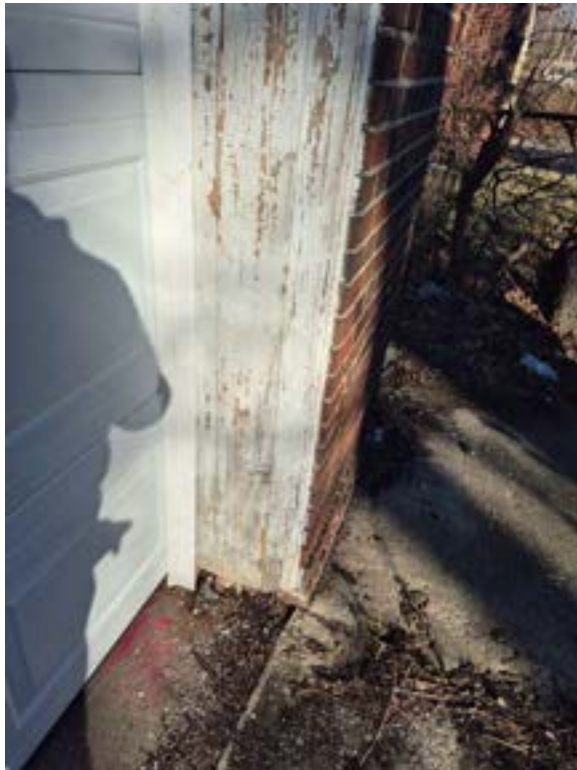




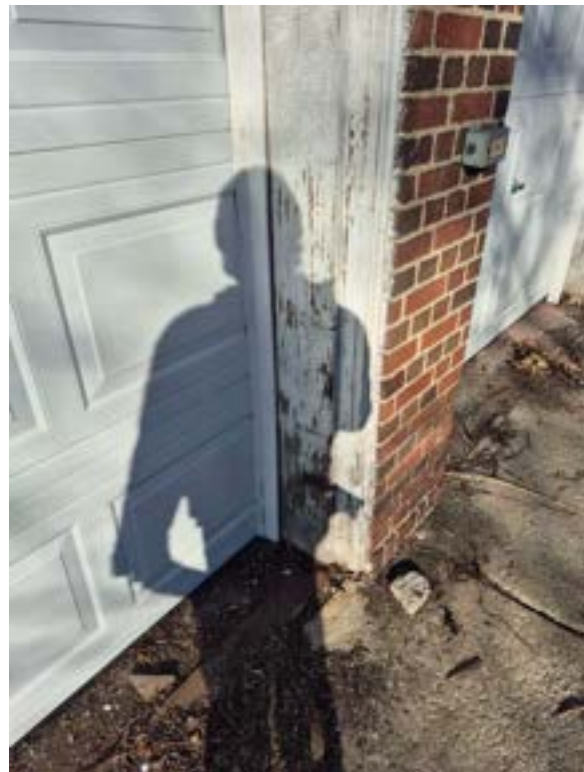
Garage, south elevation



East garage overhead door



Garage east O.H. door frame



Garage west O.H. door frame



Garage, west elevation



Garage, west window



Garage, west window



Garage, west window



Roof eave at garage west elevation, typ. condition



Garage, southeast corner



Garage north elevation (alley)



Roof eave at garage north elevation, typ. condition



Roof eave at garage north elevation, typ. condition



Fence at rear (from backyard)



Front yard trees, current condition



Front yard trees, current condition