



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2026-00019

PROPERTY INFORMATION

ADDRESS(ES): 1656 Boston Blvd

HISTORIC DISTRICT: Boston-Edison

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|---|---|---|--------------------------------|
| <input type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

THE SCOPE OF WORK IS THE CONSTRUCTION OF A NEW DETACHED THREE CAR GARAGE FOR AN EXISTING TWO STORY HOUSE IN THE BOSTON-EDSON HISTORIC DISTRICT.

THE GARAGE WILL BE SLAB ON GRADE WITH WOOD FRAMED WALLS ON A CMU BASE COURSE AND TRUSS FRAMED GABLED ROOF. SITE WORK INCLUDES EXPANSION OF EXISTING CONCRETE DRIVEWAY AND PARTIAL DEMOLITION OF FENCING ALONG ALLEYWAY

AN ELECTRIC SUBPANEL AND LIGHTING FOR THE GARAGE WILL BE PROVIDED

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Elise DeChard

COMPANY NAME: END Studio

ADDRESS: 2000 Brooklyn Street #204

CITY: Detroit

STATE: MI

ZIP: 48226

PHONE: +1 (313) 626-7073

EMAIL: elise@e-n-d-studio.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- | | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application. |
| <input checked="" type="checkbox"/> | I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work. |
| <input checked="" type="checkbox"/> | I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent. |
| <input checked="" type="checkbox"/> | As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531 |

DocuSigned by:

Elise DeChard

E3FC407DFEC0491

01/19/2026

SIGNATURE

DATE

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

No garage currently exists. There is a driveway shared with the neighbor.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

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4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

See attached



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

ADDITIONAL DETAILS





SORENSEN GARAGE

HISTORIC DISTRICT COMMISSION APPLICATION

02.11.2026

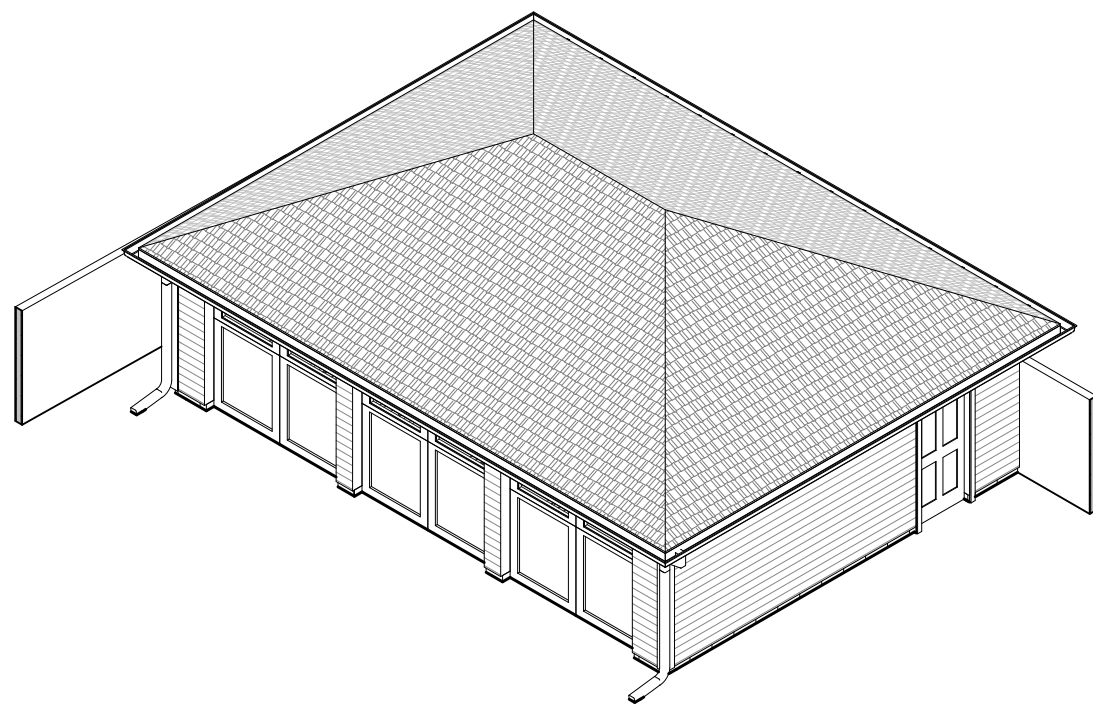
SORENSEN GARAGE

ARCHITECT
ELISE DECHARD, AIA
END STUDIO, LLC
2000 BROOKLYN STREET #204
DETROIT, MI 48226
313.626.7073, EXT. 102
ELISE@E-N-D-STUDIO.COM

BUILDING OWNER
LAVETTE SORENSON
STEVE SORENSON
1656 W BOSTON BLVD
DETROIT, MI 48206
313.580.8488
SORENSONSTEVE@COMCAST.NET
LAVETTESORENSON2025@GMAIL.COM

STRUCTURAL ENGINEER
JEFFREY PERRY
REDENSIFY, LLC.
1343 BUCKINGHAM RD
GROSSE POINTE, MI 48230
586.258.8616
REDENSIFYSE@GMAIL.COM

CONTRACTOR
TBD



SITE

PROJECT INFORMATION

OWNER: LAVETTE & STEVE SORENSON

ADDRESS: 1656 W BOSTON BLVD
DETROIT, MI 48206

PARCEL ID NUMBER: 08003115

REGULATING BODY: CITY OF DETROIT

ZONING: R1

HISTORIC DISTRICT: BOSTON-EDISON

OVERLAY DISTRICT: N/A

CODE COMPLIANCE

THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

2015 MICHIGAN RESIDENTIAL CODE

SCOPE OF WORK

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ZONING

INTENSITY & DIMENSIONAL STANDARDS - SINGLE FAMILY DWELLING

MAX. BUILDING HEIGHT: 35'-0"
MAX. LOT COVERAGE: 35% INCLUDING ALL ACCESSORY BUILDINGS

MIN. LOT WIDTH: 50'-0"
MIN. LOT DEPTH: NOT REQ'D
MIN. LOT AREA: 5,000 SF

FRONT SETBACK: 20'-0"
SIDE SETBACK: 4'-0" MIN/ 14'-0" COMBINED
REAR SETBACK: 30'-0"

EXISTING

BUILDING FOOTPRINT: 1,385 SF
BUILDING HEIGHT: -----
LOT COVERAGE: 15%

LOT WIDTH: 50'-0"
LOT DEPTH: 175'-0"
LOT AREA: 8,756 SF

FRONT SETBACK: 50'- 4 3/4"
SIDE SETBACK: 7'-1" + 5'-5"; 12'-6" COMBINED
REAR SETBACK: 83'- 1 1/4"

INTENSITY & DIMENSIONAL STANDARDS - ACCESSORY STRUCTURES

MAX. ACC BLDG HEIGHT: 15'-0"
MAX. ACC LOT COVERAGE: <50% OF REAR SETBACK; <750 SF

MIN. LOT WIDTH: NOT REQ'D
MIN. LOT DEPTH: NOT REQ'D
MIN. LOT AREA: NOT REQ'D

FRONT SETBACK: >10'-0" FROM SINGLE FAMILY DWELLING
SIDE SETBACK: 3'-0"
REAR SETBACK: NOT REQ'D

PROPOSED

BLDG FOOTPRINT: 660 SF
BLDG HEIGHT: 11'- 3 5/32" (MID-ROOF SLOPE)

EXIST. RESIDENCE LOT COVERAGE: 15% OF 8,756 SF
ACCESS. BLDG LOT COVERAGE: 07% OF 8,756 SF
TOTAL LOT COVERAGE: 22% OF 8,756 SF

SET BACK COVERAGE: 44%

REAR SETBACK AREA: 1,500 SF - NO CHANGE

PRIMARY STRUCTURE -
FRONT SETBACK: NO CHANGE
SIDE SETBACK: NO CHANGE
REAR SETBACK: NO CHANGE

SHEET LIST

#	SHEET NAME	HDC SUBMISSION (01.20.2026)	PERMIT SET
TITLE			
T-000	TITLE SHEET	●	
GENERAL			
G-000	GENERAL NOTES	●	
DEMOLITION			
D-100	DEMO PLANS	●	
ARCHITECTURE			
A-001	SCHEDULES	●	
A-101	PLANS	●	
A-300	EXTERIOR ELEVATIONS	●	

2015 MICHIGAN RESIDENTIAL CODE TABLE R302.1(1) EXTERIOR WALLS

EXTERIOR WALL ELEMENT	MIN. FIRE SEPARATION DISTANCE	MIN. FIRE-RESISTANCE RATING
WALLS	< 5 FEET	1 HOUR
PROJECTIONS	> 2 FEET TO < 5 FEET	1 HOUR ON THE UNDERSIDE
OPENINGS IN WALLS	< 3 FEET	NOT ALLOWED
PENETRATIONS	< 5 FEET	COMPLY W/ SECTION R302.4

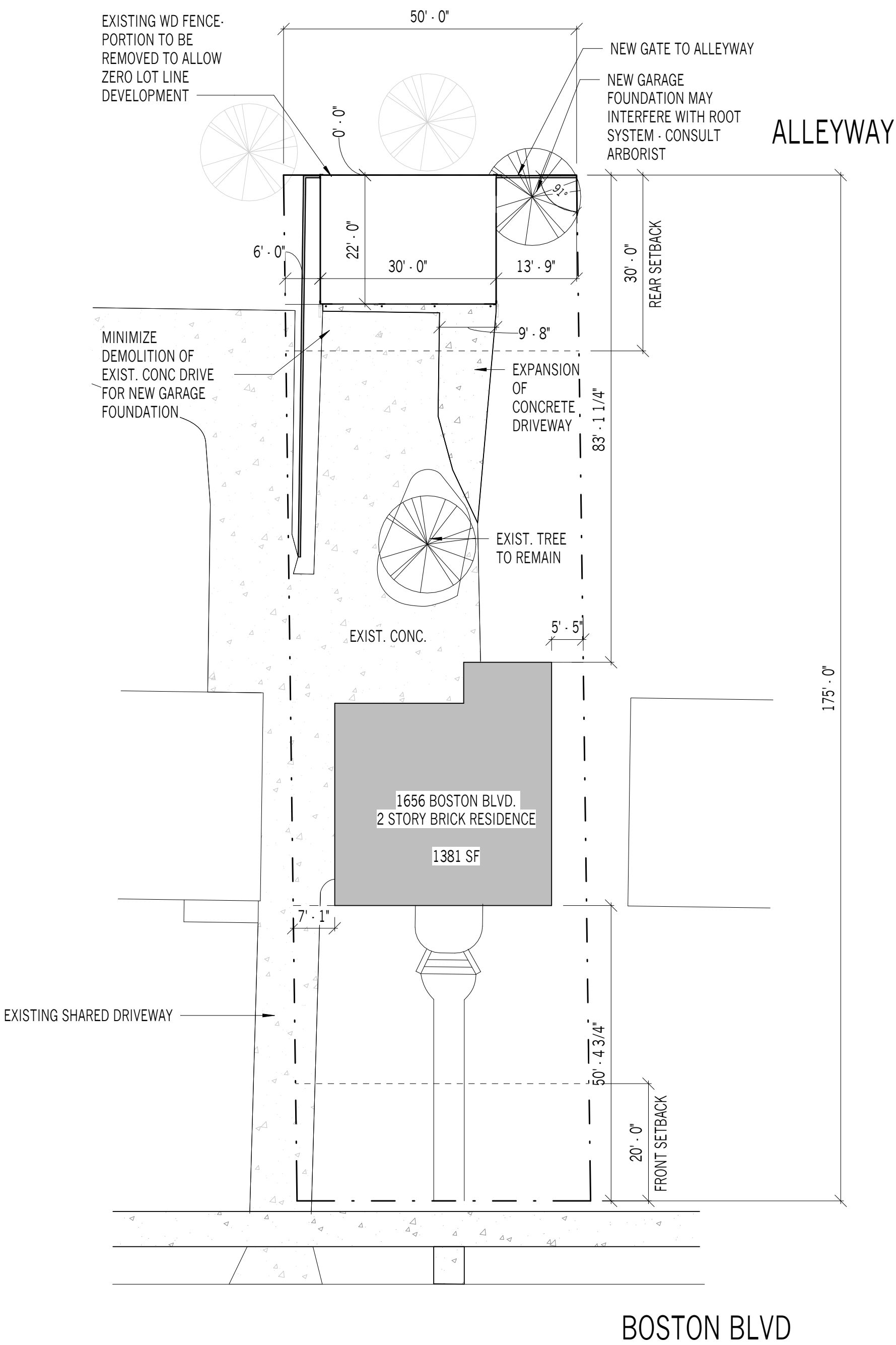
2021 MICHIGAN ENERGY CODE TABLE R 402.1.2.

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENTS (CONDITIONED SPACES)

CLIMATE ZONE: 5A

U-FACTOR	
FENESTRATION:	0.32
SKYLIGHT:	0.55

R-VALUE	
CEILING:	38
WOOD FRAME WALL:	20 OR 13 c.i. + 5
MASS WALL:	13/17
FLOOR:	30 OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MIN.
BASEMENT WALL:	10/13
SLAB:	10 FOR 2'0" DEPTH
CRAWL SPACE:	15/19



01 SITE PLAN
SCALE: 1/16" = 1'-0"



END STUDIO, LLC

2000 Brooklyn St. #204
Detroit, MI 48226
313.626.7073

e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

SORENSEN GARAGE

1656 BOSTON BLVD
DETROIT, MI 48206

NO.	ISSUE/REV.	DATE
0	HDC SET	02-17-2026

NOTE: NOT FOR
CONSTRUCTION PURPOSES

TITLE SHEET

T-000



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2000 Brooklyn St. #204
Detroit, MI 48226
313.626.7073

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SORENSEN GARAGE

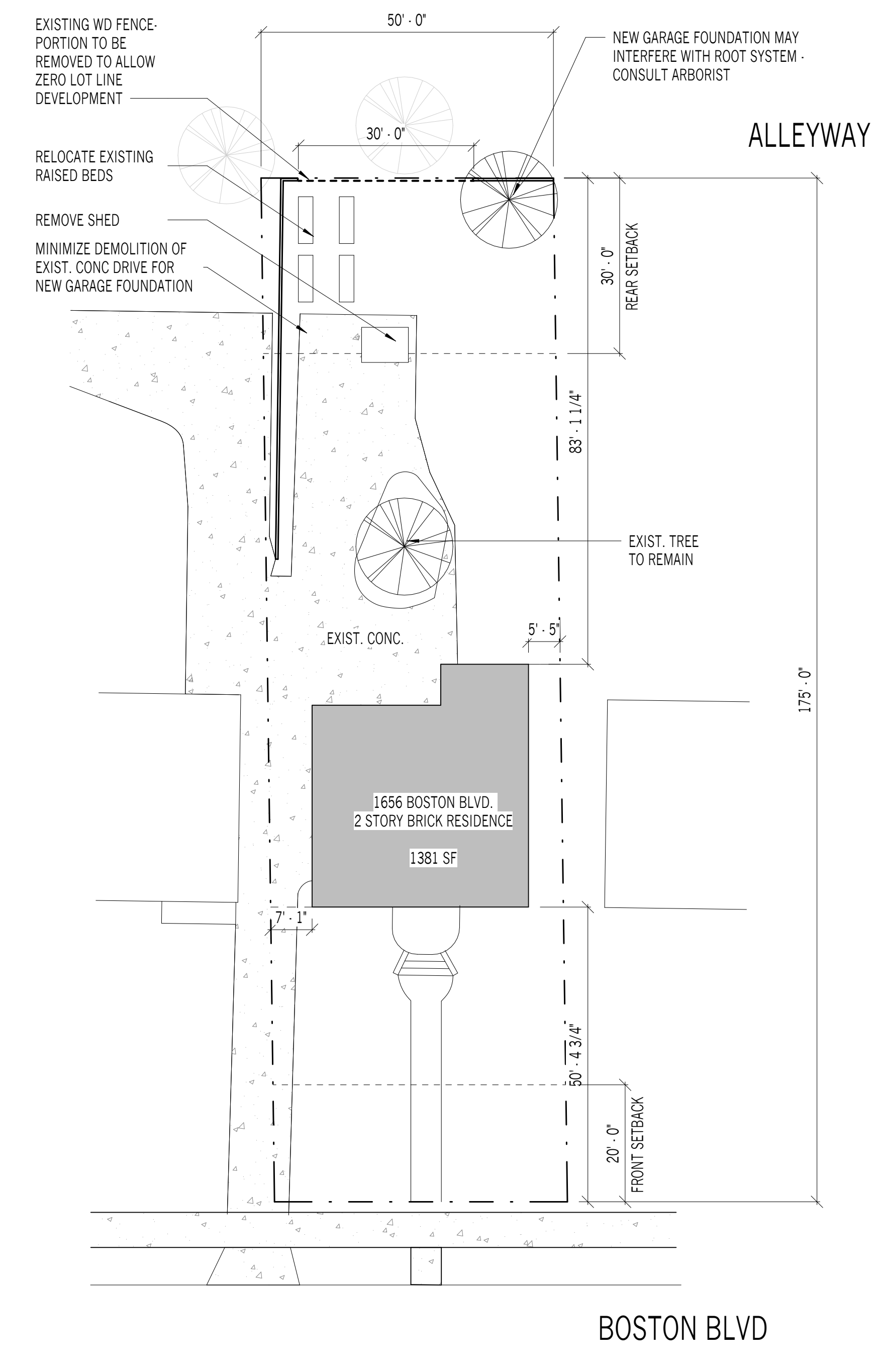
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DETROIT, MI 48206

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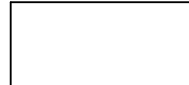
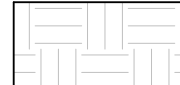



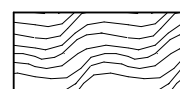



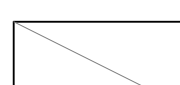



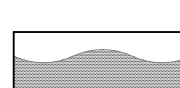
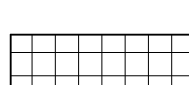
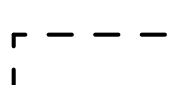
NOTE: NOT FOR
CONSTRUCTION PURPOSES

DEMO PLANS





















































D-100



1 SITE PLAN
SCALE: 1/16" = 1'-0"

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER
	NEW WALL CONSTRUCTION		EARTH / SOIL
	CAST IN PLACE CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT (CMU)		WOOD
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER
	CRUSHED STONE		WOOD - BLOCKING
	STEEL		BATT INSULATION
	ALUMINUM		SPRAY FOAM INSULATION
	RIGID INSULATION		DEMO WALL

DRAWING SYMBOL KEY

	ROOM TAG		F FLOOR	
			W WALL	
	DOOR TAG		C CEILING	
			B BASE	FINISH TAG
	WINDOW TAG		T TRIM	
			CR CROWN	
	WALL TYPE		MW MILLWORK	
	PLUMBING/EQUIP TAG		UPH UPHOLSTERY	
				REVISION TAG
	EXTERIOR ELEVATION			
	<u>DWG NUMBER</u>			
	<u>SHEET NUMBER</u>			
				
	INTERIOR ELEVATION(S)			
				
				
				
				
				
				
				
				
				
				
				
				









ABBREVIATIONS

ABV	ABOVE	COL	COLUMN
ACOUS	ACOUSTICAL	CONC	CONCRETE
ADA	AMERICANS WITH DISABILITIES ACT	CONST	CONSTRUCTION
ADD	ADDITIONAL	COORD	COORDINATE
ADJ	ADJACENT	CORR	CORRIDOR
AFF	ABOVE FINISHED FLOOR	CPT	CARPET
ALT	ALTERNATE	CEN	CENTER
ALW	ALLOW	CW	COLD WATER
ALWB	ALLOWABLE		
ALUM	ALUMINUM	DBL	DOUBLE
ANOD	ANODIZED	DEMO	DEMOLITION
ARCH	ARCHITECT	DIA	DIAMETER
ASMB	ASSEMBLY	DEG	DEGREE
		DIM	DIMENSION
BLDG	BUILDING	DW	DRYWALL
BLT-IN	BUILT-IN	DISP	DISPENSER
BTW	BETWEEN	DN	DOWN
B/W	BETWEEN	DR	DOOR
		DSPT	DOWNSPOUT
CAB	CABINET	DTL	DETAIL
CEM	CEMENT	DWG	DRAWING
CIP	CAST IN PLACE	EA	EACH
CL	CENTER LINE	EC	ELECTRICAL CONTRACTOR
CLG	CEILING	EL	ELEVATION
CLO	CLOSET	ELEC	ELECTRICAL
CMU	CONCRETE MASONRY UNIT	ELEV	ELEVATOR












POWER & DATA KEY

SYMBOL	DESCRIPTION
	DUPLEX
42"	DUPLEX - SPECIFIC MOUNTING HT.
	DUPLEX - GFCI
	DUPLEX - WATERPROOF
	DUPLEX - SWITCHED
	DENOTES EXISTING
	QUADPLEX
	DUPLEX IN FLOOR / COUNTER
	DUPLEX IN CEILING
	SWITCH
	DIMMER SWITCH
	THREE-WAY SWITCH
	THREE-WAY DIMMER SWITCH
	JAMB SWITCH
	SWITCH WITH OCC. SENSOR
	TELEPHONE
	DATA
	TELEPHONE & DATA
	TELEVISION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SPEAKER LOCATION
	SPEAKER INPUT
	CAMERA







MECHANICAL KEY

SYMBOL	DESCRIPTION
	EXHAUST FAN
	FLOOR/CLNG SUPPLY REGISTER
	FLOOR/CLNG RETURN GRILLE
	WALL/HORIZ. SUPPLY REGISTER
	WALL/HORIZ. RETURN REGISTER
	CEILING GRID SUPPLY REGISTER
	CEILING GRID RETURN GRILLE
	ROUND SUPPLY REGISTER


LIGHTING KEY

SYMBOL	DESCRIPTION
()	RECESSED FIXTURE
	WALL MOUNTED SCONCE
	PENDANT FIXTURE
	FLUSH MOUNT FIXTURE
= =	LED STRIP LIGHT
	TRACK LIGHT
	LINEAR LENSED FIXTURE
	TROFFER FIXTURE
	MOTION SENSOR FLOOD LIGHT
	EXTERIOR FLOOD LIGHT
(W)	DENOTES WET-RATED FIXTURE
	DENOTES EXISTING FIXTURES
	CEILING FAN
	REC. LIGHT VENT FAN COMBO

LIFE SAFETY KEY

SYMBOL	DESCRIPTION
	EXIT SIGN W/ ONE LIGHT
	EXIT SIGN W/ DIR. ARROW
	EXIT SIGN W/ TWO LIGHTS
	EXIT SIGN W/ EMERGENCY LTG
	EMERGENCY LIGHTING
	PORTABLE FIRE EXTINGUISHER

PLUMBING KEY

SYMBOL	DESCRIPTION
— · · —	COLD WATER
— · —	HOT WATER
— —	DRAIN
———	VENT
	FLOOR DRAIN
	ROOF DRAIN

GENERAL NOTES

1. CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, INCIDENTALS, AND ANY OTHER ITEMS REQUIRED FOR THE COMPLETION OF THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS, AND ANY OTHER APPLICABLE REGULATIONS INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
4. NOTIFY ARCHITECT FOR CLARIFICATION IN CASE OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. AN ADDENDUM TO THE CONTRACT DOCUMENTS WILL BE PROVIDED AS NECESSARY.
5. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
6. DIMENSIONING RULES:
 - 6.1. DIMENSIONS ARE TAKEN FROM FACE OF FINISHED SURFACE TO FACE OF FINISHES SURFACE, UNLESS OTHERWISE NOTED.
 - 6.2. DIMENSIONS MARKED "VERIFY", "VERIFY IN FIELD" OR "VIF" SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCUSSED WITH THE ARCHITECT IF DISCREPANCIES ARISE.
 - 6.3. DIMENSIONS MARKED "CLEAR" OR "CLR" OR "HOLD" MUST BE PRECISELY MAINTAINED
 - 6.4. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL BY ARCHITECT UNLESS MARKED "+/-"
 - 6.5. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT FOR CLARIFICATION IF WRITTEN DIMENSION IS NOT SHOWN IN DRAWINGS.
7. CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
8. ABBREVIATIONS ON THE DRAWINGS ARE AS NOTED IN THE KEY. NOTIFY ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
9. MAINTAIN A FREE AND SAFE PASSAGE TO AND FROM CONSTRUCTION AREA AND ADJACENT BUILDING AREAS AT ALL TIME. REQUIRED EXITS SHOULD NOT BE BLOCKED AT ANY TIME.
10. SUBMIT SHOP DRAWINGS, MOCK-UPS, SAMPLES, AND OTHER REQUIRED SUBMITTALS IN A TIMELY FASHION AND ALLOW ARCHITECT SUFFICIENT TIME, MINIMUM OF (5) WORKING DAYS, FOR REVIEW PRIOR TO FABRICATION OR ORDER PLACEMENT.

DEMOLITION NOTES

1. DEMOLITION SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
2. ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE PROVIDE BRACING OR SHORING AS REQUIRED TO SUPPORT THE STRUCTURE DURING DEMOLITION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER. REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
3. COORDINATE DEMOLITION REQUIRED TO PERFORM NEW WORK WITH CONTRACT DOCUMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL, AND PLUMBING BACK TO THEIR PRIMARY SOURCE OR AS DIRECTED, DISCONNECT, CAP, AND IDENTIFY ALL UTILITIES IN AREAS OF DEMOLITION. MAINTAIN UTILITIES TO ALL OCCUPIED AREAS OF THE BUILDING AND COORDINATE TEMPORARY DISRUPTION WITH OWNER AND ANY OTHER AFFECTED PARTIES.
5. CAREFULLY REMOVE, PROTECT, AND STORE FOR REINSTALLATION OR SALVAGE ALL: LIGHT FIXTURES, PLUMBING FIXTURES, DOORS, FIRE SAFETY & EMERGENCY FIXTURES.
6. PROVIDE ENCLOSURE AND PROTECTION AS REQUIRED TO CONTAIN SPREAD OF ALL DUST, FUMES, ETC. PROVIDED DURING DEMOLITION AND CONSTRUCTION.
7. REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OR CONSTRUCTION. IN OCCUPIED AREAS, CLEAN AND DISPOSE OF MATERIALS DAILY.
8. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE AREAS AND SITE BROOM SWEEP, ORDERLY, AND IN CONDITION ACCEPTABLE FOR CONSTRUCTION.

PLAN NOTES

1. LAYOUT PARTITIONS AS NOTED ON DRAWING. CUT AND FIT COMPONENTS OF EXISTING WORK AS REQUIRED TO INSTALL NEW WORK. ALL NEW FINISHES ARE TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION. WHERE NEW GYPSUM BOARD ALIGNS WITH EXISTING PLASTER, ALIGN THE PARTITION STUD TO CREATE FLUSH SURFACE.
2. TYPICAL DETAILS ARE KEYED AND NOTED "TYPICAL" AND ARE USUALLY REPRESENTATIVE OF TYPICAL CONDITIONS THROUGHOUT. IN CASE OF QUESTION OR DISCREPANCY, NOTIFY ARCHITECT.
3. PROVIDE EXTRA STUD FOR SWITCH OR POWER OUTLETS AS REQUIRED. REINFORCE DOOR AND WINDOW JAMBS WITH EXTRA STUD AS REQUIRED.
4. PROVIDE FIRE DAMPERS AT ALL DUCT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
5. ALL FIRE RATED DOORS AND WINDOWS SHALL BE LABELED AS REQUIRED BY CODE. TEMPERED GLASS TO BE INSTALLED WITH MANUFACTURER'S SEAL IN BOTTOM CORNER.

FINISH NOTES

1. FINISHES SHALL BE CONTINUOUS THROUGHOUT UNLESS OTHERWISE NOTED. APPLY FINISHES AND COVERINGS SO SURFACE IS DIVIDED WITH A MINIMUM NUMBER OF SEAMS AND EQUAL WIDTH PANELS UNLESS OTHERWISE NOTED.
2. ALL FINISH MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
3. PROVIDE LEVELING COMPOUND AS REQUIRED SO THAT FLOORING TRANSITIONS ARE SMOOTH FROM ONE SURFACE TO THE NEXT. FEATHER TRANSITIONS AT 1" PER 20" MAXIMUM. ALL TRANSITIONS BETWEEN FLOOR FINISHES TO BE LOCATED DIRECTLY UNDER CENTER OF DOOR, UNLESS OTHERWISE NOTED. PROVIDE TRANSITION STRIPS AS REQUIRED. COORDINATE FINISH & LOCATION WITH ARCHITECT.

RCP, MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

3. UNLESS OTHERWISE NOTED, ALL MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES SHALL BE LOCATED AS SHOWN IN THE TYPICAL MOUNTING RULES DIAGRAM. ACCESS PANELS SHALL BE PROVIDED AS REQUIRED BY CODE AND PER MANUFACTURER'S INSTRUCTIONS FOR MAINTENANCE AND REPAIRS.
2. IF EXISTING LOCATIONS DO NOT CONFLICT WITH CODE OR MAXIMUM/MINIMUM REACH HEIGHTS, RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING RULES DIAGRAM, UNLESS OTHERWISE NOTED.
3. SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE GANGED IN BANKS. SWITCHES, FIXTURES, AND RECEPTACLES WITH DISSIMILAR MOUNTING HEIGHTS SHOWN ADJACENT ON PLAN SHALL BE STACKED VERTICALLY.
4. EXISTING OUTLETS, FIXTURES, AND SWITCHES NOT SHOWN ON PLAN TO REMAIN AND BE REUSED.
5. ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.
6. OUTLETS AND SWITCHES SHOULD NOT BE INSTALLED BACK-TO-BACK WITHOUT SEPARATING STUD OR INSULATION.
7. PROVIDE GFCI OUTLETS AND WET-RATED FIXTURES IN ALL WET AREAS, OUTDOOR AREAS, AND ANY OTHER LOCATION REQUIRED BY CODE.
8. ALL SWITCH PLATES AND OUTLETS COVERS, ETC., SHOULD BE INSTALLED AFTER PAINTING AND WALL COVERINGS ARE INSTALLED. PROTECTIVE COVERINGS ON ALL FIXTURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. DAMAGED FIXTURES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
9. PROVIDE EMERGENCY LIGHTING AND EXIT SIGNAGE AS REQUIRED BY CODE.
10. COORDINATE LIGHT FIXTURE AND MECHANICAL REGISTER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. IF ANY CONFLICT OCCURS BETWEEN THE WORK OF SEPARATE TRADES OR BETWEEN DRAWINGS AND EXISTING CONDITIONS, COORDINATE WITH ARCHITECT IN FIELD.
11. WHERE ACOUSTICAL TILES ARE REQUIRED TO BE CUT, CUT TO MAINTAIN A SHARP AND NEAT EDGE. INSTALL ALL LIGHTS, REGISTERS, SIGNAGE, AND OTHER FIXTURES AND EQUIPMENT IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.
12. UNLESS OTHERWISE NOTED, ALL CONDUIT SHOULD BE STRAIGHT AND TRUE AND AT RIGHT ANGLES, AND AS EFFICIENT AS POSSIBLE, UNLESS OTHERWISE NOTED.

E N D

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SORENSEN GARAGE

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GENERAL NOTES

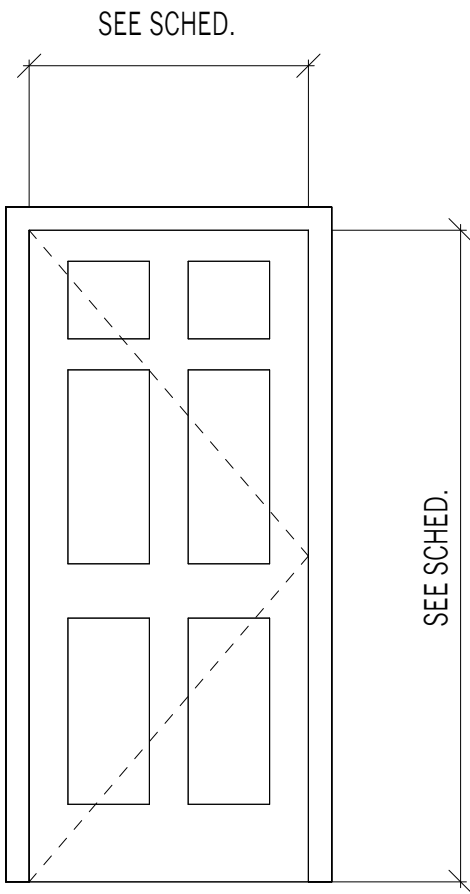
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DOOR SCHEDULE															
#	DESCRIPTION	MANUFACTURER	MODEL		SIZE		TYPE	HARDWARE	FINISH			FIRE RATING	U-VAL	SHGC	NOTES
			NAME	#	W	H			INT.	EXT.	GLAZING				
101	CARRIAGE STYLE GARAGE DOOR - C2 OVERLAY	OVERHEAD DOOR CO.	COURTYARD COLLECTION	7560	8' - 0"	7' - 0"	B	MFR STD	-	WHITE/ CLAY	-	N/A			
102	CARRIAGE STYLE GARAGE DOOR - C2 OVERLAY	OVERHEAD DOOR CO.	COURTYARD COLLECTION	7560	8' - 0"	7' - 0"	B	MFR STD	-	WHITE/ CLAY	-	N/A			
103	CARRIAGE STYLE GARAGE DOOR - C2 OVERLAY	OVERHEAD DOOR CO.	COURTYARD COLLECTION	7560	8' - 0"	7' - 0"	B	MFR STD	-	WHITE/ CLAY	-	N/A			
104	SIX PANEL SOLID CORE DOOR	TBD	-	-	3' - 0"	7' - 0"	A	TBD	PT-1	PT-1	-	N/A			MATCH EXISTING DOOR ON RESIDENCE

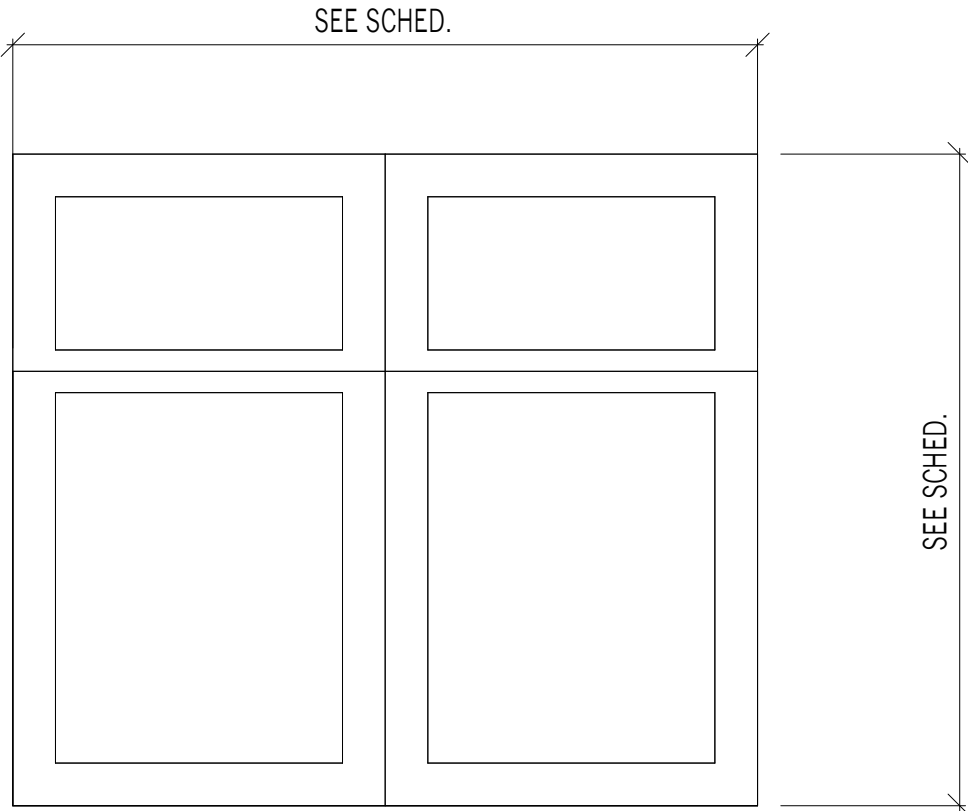
*N1101.6 (R101.5.2) LOW-ENERGY BUILDINGS. BUILDINGS THAT DO NOT CONTAIN CONDITIONED SPACE SHALL BE EXEMPT FROM THE BUILDING THERMAL ENVELOPE PROVISIONS OF THE 2015 MRC

LIGHTING SCHEDULE									
#	DESCRIPTION	MANUFACTURER	MODEL		WET RATED	DIMENSIONS	COLOR	FINISH	INSTALL NOTES
			NAME	#					
L-1	EXTERIOR WALL SCONCE	WEST ELM	SANTANA		●	9"	BLACK		

FINISH SCHEDULE							
#	DESCRIPTION	MANUFACTURER	MODEL		DIMENSIONS	COLOR/FINISH	INSTALL NOTES
			NAME	#			
PAINT							
PT-01	EXTERIOR MASONRY PAINT	SHERWIN WILLIAMS	-	SW-0037	-	MORRIS ROOM GREY/ SEMI-GLOSS	PROVIDE SAMPLE & CONFIRM COLOR W/ OWNER
PAINT							
PT-02	EXTERIOR TRIM PAINT	SHERWIN WILLIAMS	-	SW-0037		MORRIS ROOM GREY/ SEMI-GLOSS	PROVIDE SAMPLE & CONFIRM COLOR W/ OWNER
SIDING							
SD-01	FIBER CEMENT LAP SIDING	JAMES HARDIE · HARDIE PLANK	STATEMENT COLLECTION		5.25" x 144"	ARCTIC WHITE/ SMOOTH	
ROOFING							
SH-01	ASPHALT SHINGLES	GAF	TIMBERLINE			FOX HOLLOW	CONFIRM SELECTION MATCHES PRIMARY ROOF SHINGLES · CONFIRM W/ ARCH. & OWNER



A DOUBLE ENTRY
SCALE: 1/2" = 1'-0"



B CARRIAGE STYLE GARAGE DOOR
SCALE: 1/2" = 1'-0"



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SCHEDULES

A-001



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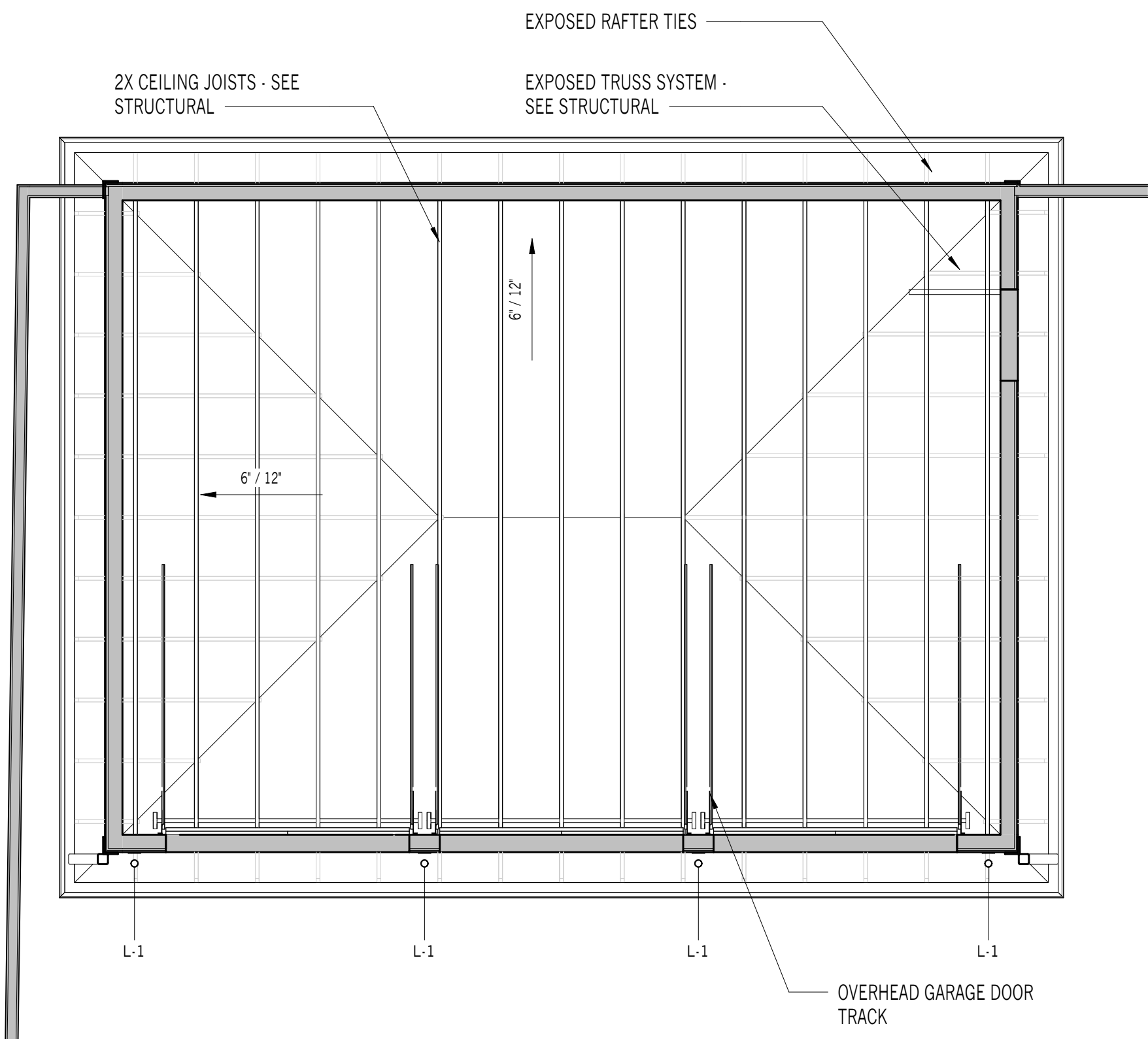
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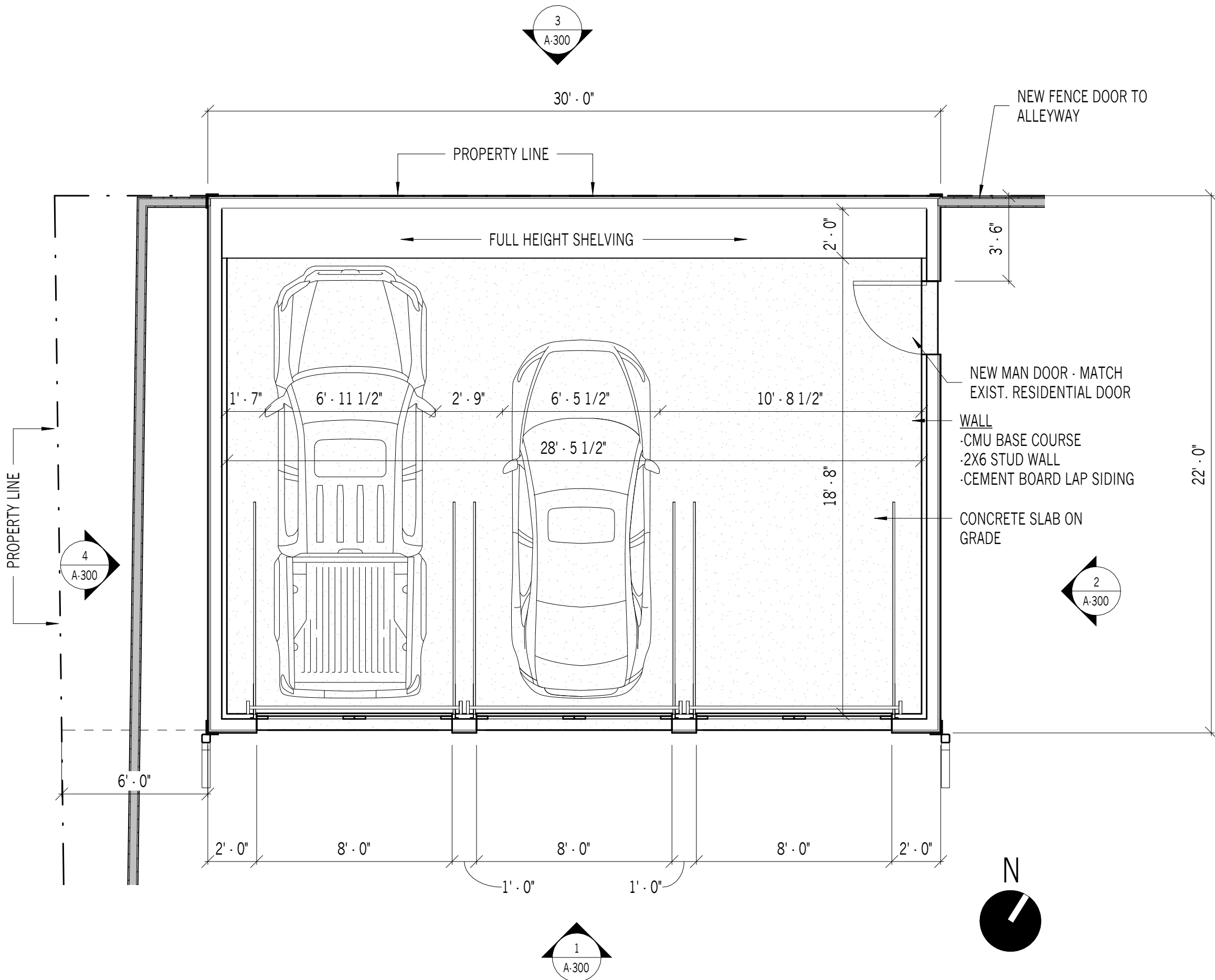
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PLANS

A-101



2 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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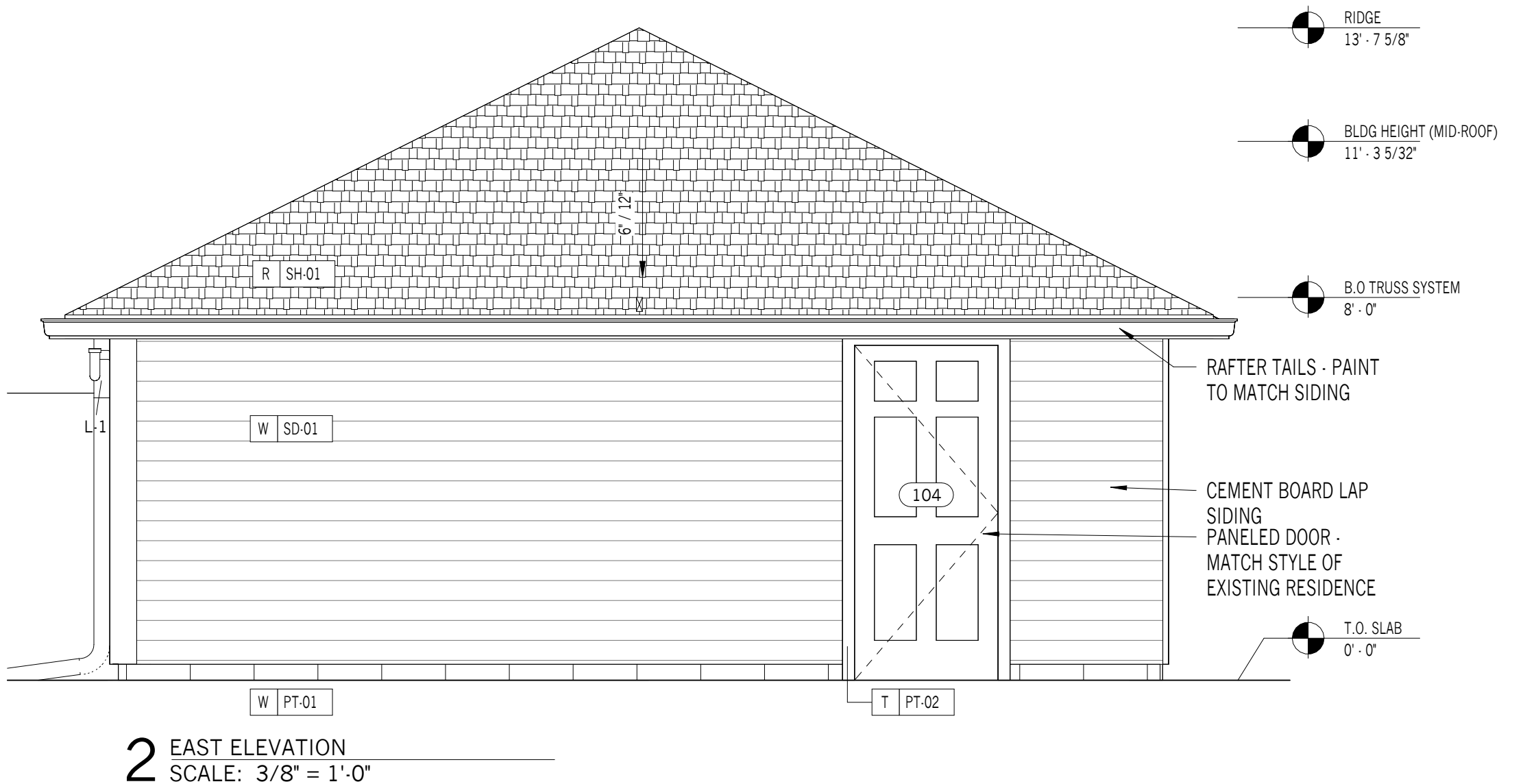
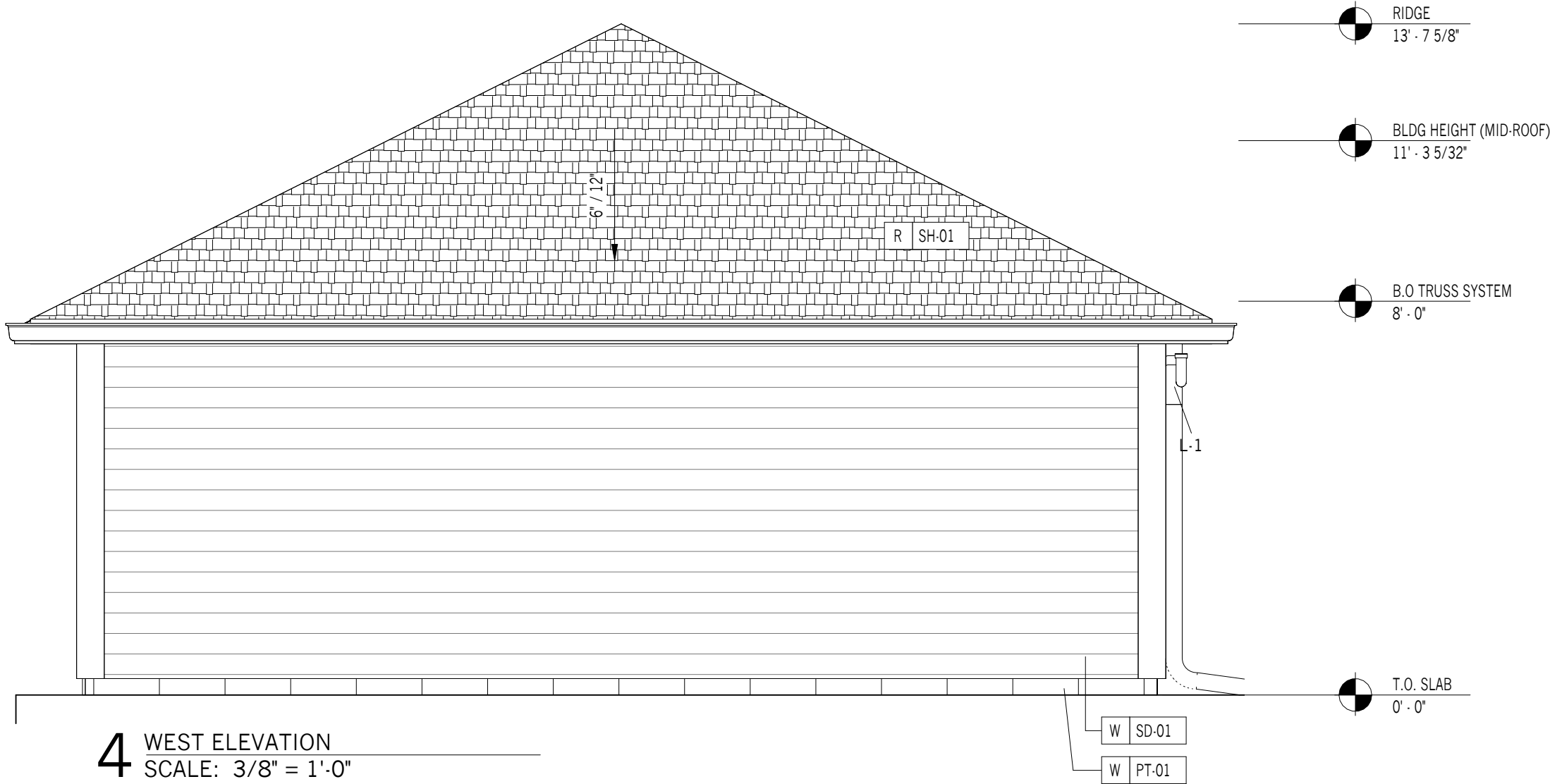
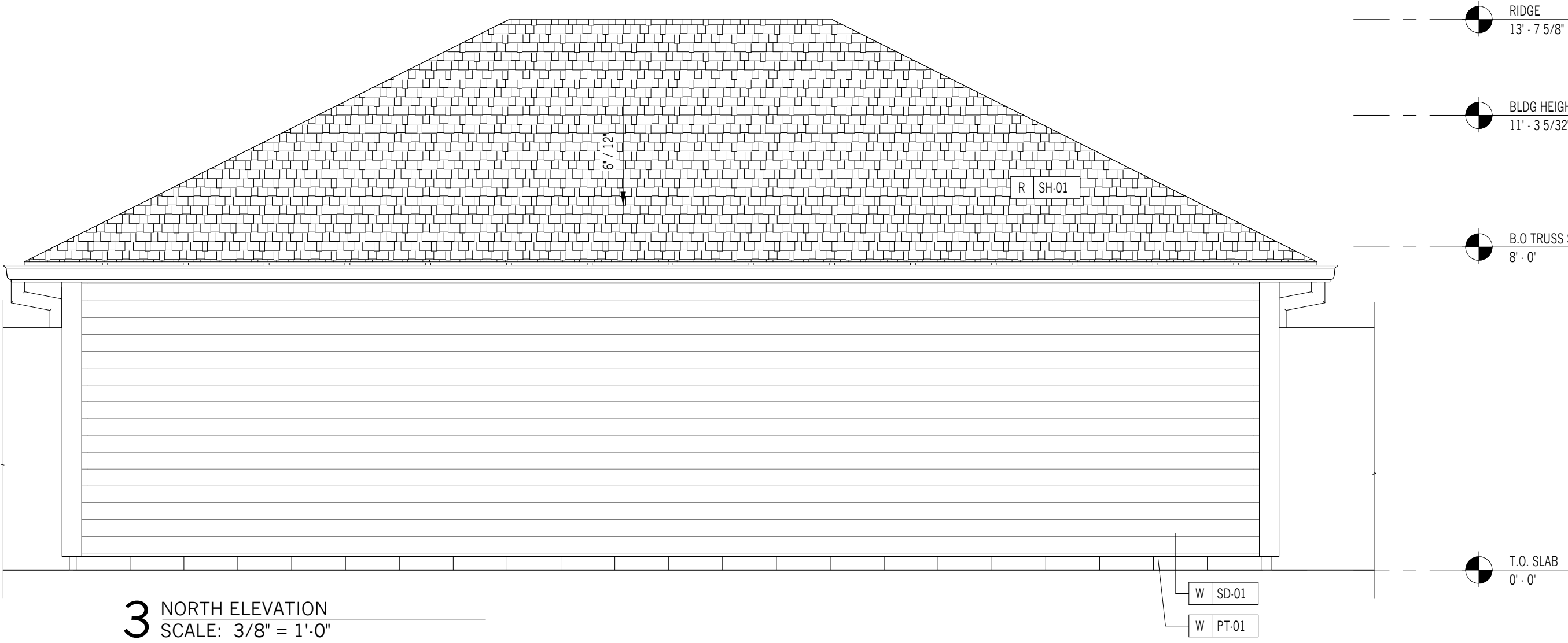
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EXTERIOR
ELEVATIONS

A-300





EXTERIOR WALL SCONCE:



SANTANA SCONCE - WEST
ELM - \$249 EA

ROLLTOP GARAGE DOOR:

Carriage House COLLECTION

Door Designs

Select your door panel style

1

Choose a panel style

Model 7540 Square top

	Horizontal Overlay (H)	Horizontal Vertical Overlay (E2)	A Shaped Overlay (A)	V Shaped Overlay (V)	Recessed Flush Panel (RFP)	Mixed Panel (MP)	Horizontal Vertical Overlay (E3)	Horizontal Vertical Overlay (E4)	X Shaped Overlay (X)
7' high									
8' high									

2

Choose a color

Painted finishes

White (Standard)

Gray

Clay

Green

Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Distributor for accurate color matching before ordering your door.

Two-toned painted finishes

Gray/White

Clay/White

Green/White

With two-tone option the trim boards are white (standard).

Stained finishes

Mahogany

Walnut

Oak

Red Oak

Honduran Mahogany

Gray

Clay

Green

