



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2026-00019

PROPERTY INFORMATION

ADDRESS(ES): 1656 Boston Blvd

HISTORIC DISTRICT: Boston-Edson

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---------------------------------------|--|---|---|--------------------------------|
| <input type="checkbox"/> Windows/Doors | <input type="checkbox"/> Walls/Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

THE SCOPE OF WORK IS THE CONSTRUCTION OF A NEW DETACHED THREE CAR GARAGE FOR AN EXISTING TWO STORY HOUSE IN THE BOSTON-EDSON HISTORIC DISTRICT.

THE GARAGE WILL BE SLAB ON GRADE WITH WOOD FRAMED WALLS ON A CMU BASE COURSE AND TRUSS FRAMED GABLED ROOF. SITE WORK INCLUDES EXPANSION OF EXISTING CONCRETE DRIVEWAY AND PARTIAL DEMOLITION OF FENCING ALONG ALLEYWAY

AN ELECTRIC SUBPANEL AND LIGHTING FOR THE GARAGE WILL BE PROVIDED

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Elise DeChard	COMPANY NAME: END Studio		
ADDRESS: 2000 Brooklyn Street #204	CITY: Detroit	STATE: MI	ZIP: 48226
PHONE: +1 (313) 626-7073	EMAIL: elise@e-n-d-studio.com		

I AGREE TO AND AFFIRM THE FOLLOWING:

<input checked="" type="checkbox"/>	I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
<input checked="" type="checkbox"/>	I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
<input checked="" type="checkbox"/>	I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.
<input checked="" type="checkbox"/>	As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531

DocuSigned by:

Elise DeChard

F3FC407DFFC0491

SIGNATURE

01/19/2026

DATE

ADDITIONAL DETAILS





SORENSEN GARAGE

HISTORIC DISTRICT COMMISSION APPLICATION

02.11.2026

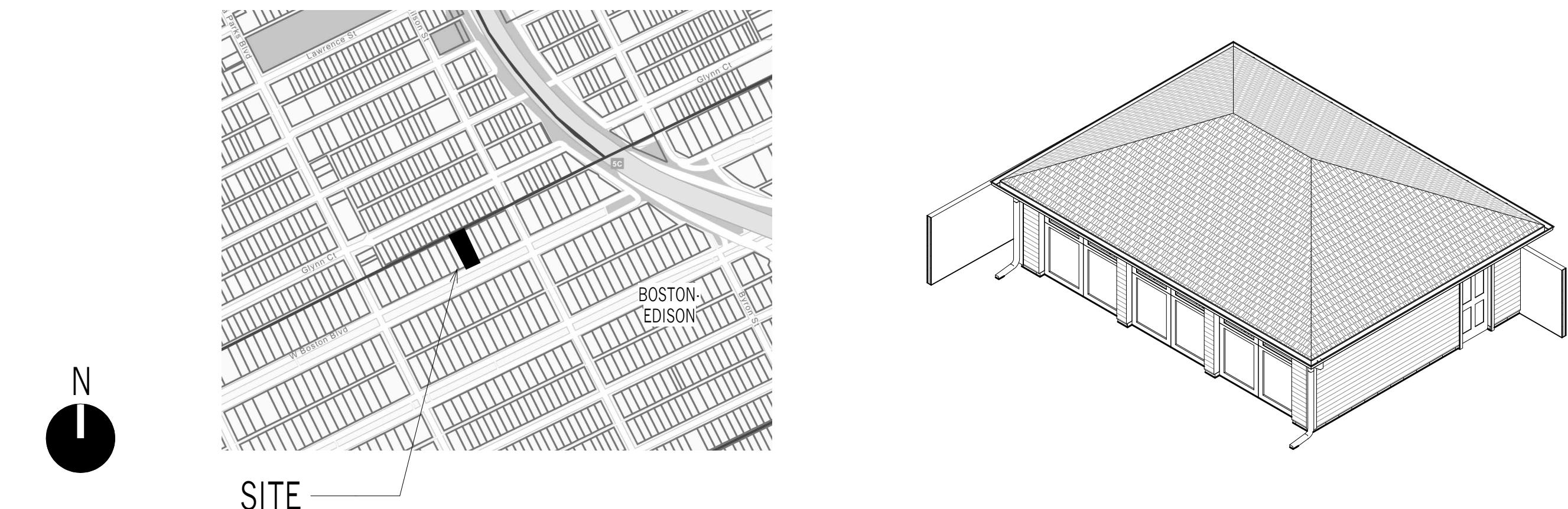
SORENSEN GARAGE

ARCHITECT
ELISE DECHARD, AIA
END STUDIO, LLC
2000 BROOKLYN STREET #204
DETROIT, MI 48226
313.626.7073, EXT. 102
ELISE@E-N-D-STUDIO.COM

BUILDING OWNER
LAVETTE SORENSEN
STEVE SORENSEN
1656 W BOSTON BLVD
DETROIT, MI 48206
313.580.8488
SORENSENSTEVE@COMCAST.NET
LAVETTE.SORENSEN2025@GMAIL.COM

STRUCTURAL ENGINEER
JEFFREY PERRY
REDENSIFY, LLC.
1343 BUCKINGHAM RD
GROSSE POINTE, MI 48230
586.258.8616
REDENSIFYSE@GMAIL.COM

CONTRACTOR
TBD



PROJECT INFORMATION

ZONING
OWNER: LAVETTE & STEVE SORENSEN
ADDRESS: 1656 W BOSTON BLVD DETROIT, MI 48206
PARCEL ID NUMBER: 08003115
REGULATING BODY: CITY OF DETROIT
ZONING: R1
HISTORIC DISTRICT: BOSTON-EDISON
OVERLAY DISTRICT: N/A

INTENSITY & DIMENSIONAL STANDARDS - SINGLE FAMILY DWELLING
MAX. BUILDING HEIGHT: 35'-0"
MAX. LOT COVERAGE: 35% INCLUDING ALL ACCESSORY BUILDINGS
MIN. LOT WIDTH: 50'-0"
MIN. LOT DEPTH: NOT REQ'D
MIN. LOT AREA: 5,000 SF
FRONT SETBACK: 20'-0"
SIDE SETBACK: 4'-0" MIN/ 14'-0" COMBINED
REAR SETBACK: 30'-0"

EXISTING

BUILDING FOOTPRINT: 1,385 SF
BUILDING HEIGHT:
LOT COVERAGE: 15%
LOT WIDTH: 50'-0"
LOT DEPTH: 175'-0"
LOT AREA: 8,756 SF

FRONT SETBACK: 50'-4 3/4"
SIDE SETBACK: 7'-1" + 5'-5"; 12'-6" COMBINED
REAR SETBACK: 83'-1 1/4"

CODE COMPLIANCE

THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

2015 MICHIGAN RESIDENTIAL CODE

SCOPE OF WORK

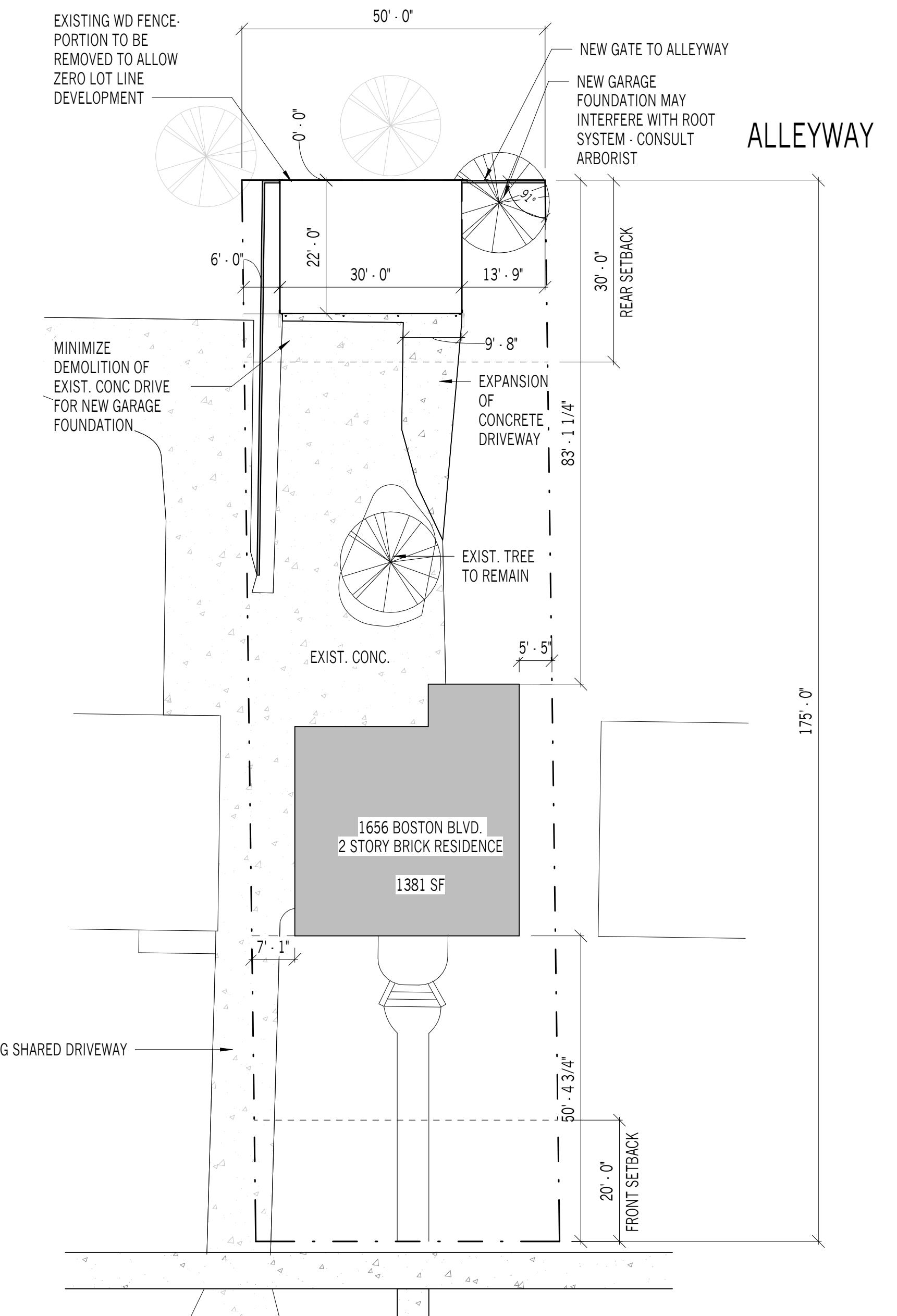
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SHEET LIST

#	sheet name	HDC SUBMISSION (01.20.2026)	PERMIT SET
T-000	TITLE SHEET	●	
GENERAL	GENERAL NOTES	●	
DEMOLITION	DEMO PLANS	●	
ARCHITECTURE	SCHEDULES	●	
A-001	PLANS	●	
A-101	EXTERIOR ELEVATIONS	●	
A-300		●	



BOSTON BLVD

01 SITE PLAN
SCALE: 1/16" = 1'-0"

SORENSEN GARAGE

1656 BOSTON BLVD
DETROIT, MI 48206

NO.	ISSUE/REV.	DATE
0	HDC SET	02-17-2026

NOTE: NOT FOR CONSTRUCTION PURPOSES

TITLE SHEET

T-000

END STUDIO, LLC
2000 Brooklyn St. #204
Detroit, MI 48226
313.626.7073
e-n-d-studio.com

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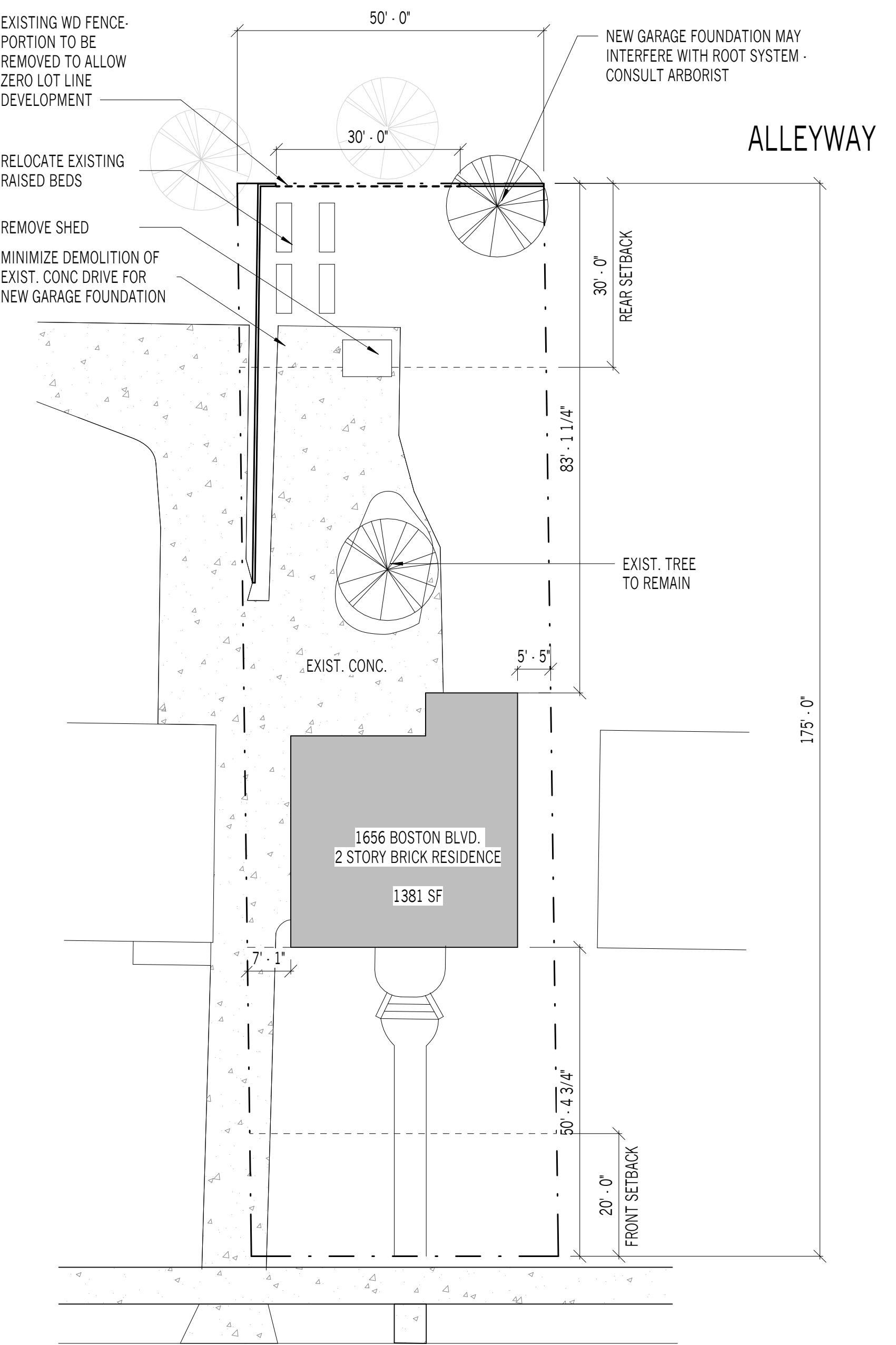


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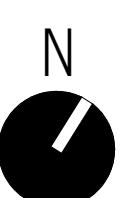
1 SITE PLAN
SCALE: 1/16" = 1'-0"

NOTE: NOT FOR
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DEMO PLANS

D-100

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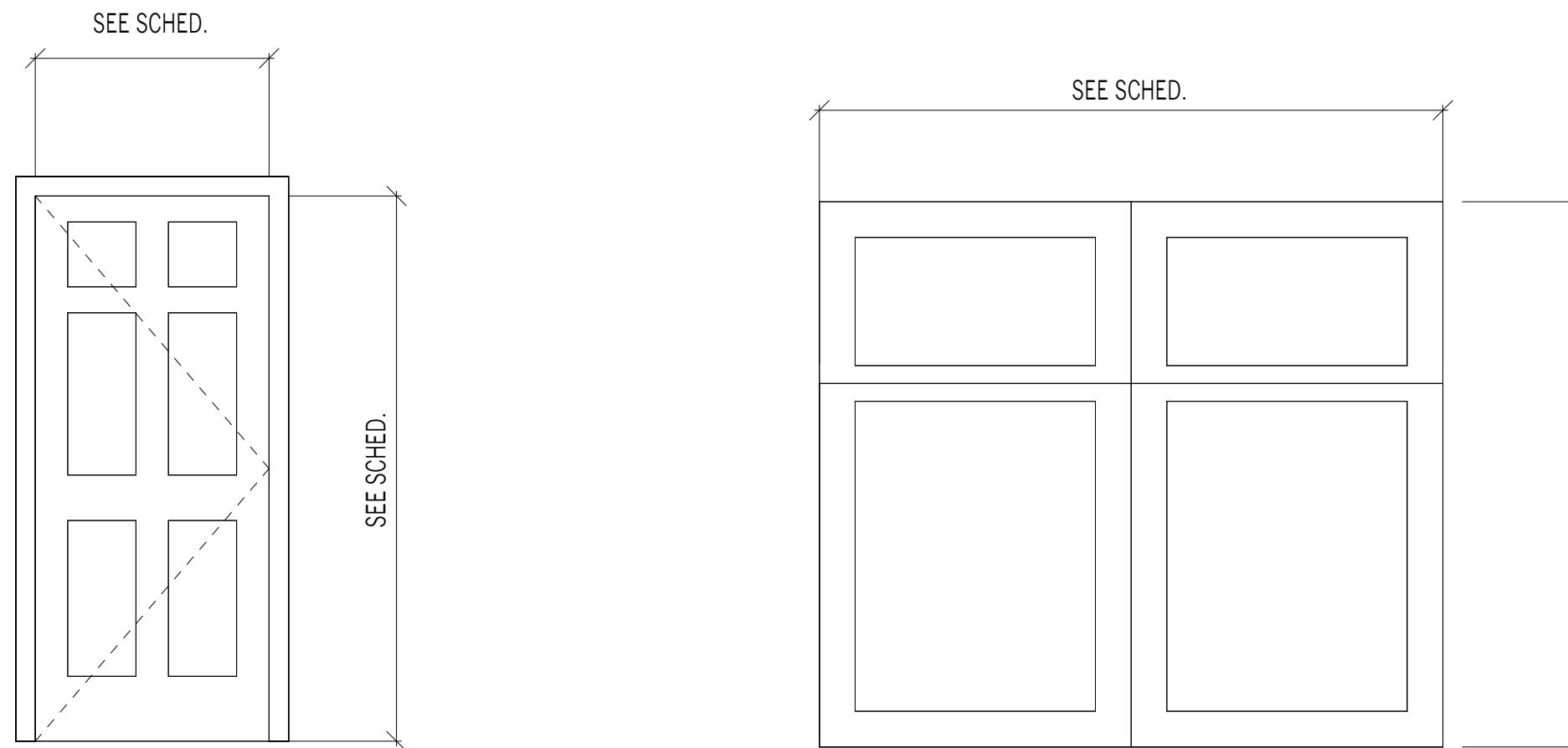


DOOR SCHEDULE																		
#	DESCRIPTION	MANUFACTURER	MODEL		SIZE		TYPE	HARDWARE	FINISH			FIRE RATING	U-VAL	SHGC	NOTES			
			NAME	#	W	H			INT.	EXT.	GLAZING							
101	CARRIAGE STYLE GARAGE DOOR - C2 OVERLAY	OVERHEAD DOOR CO.	COURTYARD COLLECTION	7560	8'-0"	7'-0"	B	MFR STD	.	WHITE/ CLAY	.	N/A						
102	CARRIAGE STYLE GARAGE DOOR - C2 OVERLAY	OVERHEAD DOOR CO.	COURTYARD COLLECTION	7560	8'-0"	7'-0"	B	MFR STD	.	WHITE/ CLAY	.	N/A						
103	CARRIAGE STYLE GARAGE DOOR - C2 OVERLAY	OVERHEAD DOOR CO.	COURTYARD COLLECTION	7560	8'-0"	7'-0"	B	MFR STD	.	WHITE/ CLAY	.	N/A						
104	SIX PANEL SOLID CORE DOOR	TBD	.	.	3'-0"	7'-0"	A	TBD	PT-1	PT-1	.	N/A					MATCH EXISTING DOOR ON RESIDENCE	

*N1101.6 (R101.5.2) LOW-ENERGY BUILDINGS. BUILDINGS THAT DO NOT CONTAIN CONDITIONED SPACE SHALL BE EXEMPT FROM THE BUILDING THERMAL ENVELOPE PROVISIONS OF THE 2015 MRC

LIGHTING SCHEDULE									
#	DESCRIPTION	MANUFACTURER	MODEL	WET RATED	DIMENSIONS	COLOR	FINISH	INSTALL NOTES	
L-1	EXTERIOR WALL SCONCE	WEST ELM	SANTANA	.	● 9"	BLACK	.		

FINISH SCHEDULE								
#	DESCRIPTION	MANUFACTURER	MODEL	NAME	#	DIMENSIONS	COLOR/FINISH	INSTALL NOTES
PAINT	EXTERIOR MASONRY PAINT	SHERWIN WILLIAMS	.	SW-0037	.	MORRIS ROOM GREY/ SEMI-GLOSS	PROVIDE SAMPLE & CONFIRM COLOR W/ OWNER	
PAINT	EXTERIOR TRIM PAINT	SHERWIN WILLIAMS	.	SW-0037	.	MORRIS ROOM GREY/ SEMI-GLOSS	PROVIDE SAMPLE & CONFIRM COLOR W/ OWNER	
SIDING	FIBER CEMENT LAP SIDING	JAMES HARDIE - HARDIE PLANK	STATEMENT COLLECTION	.	5.25" x 144"	ARCTIC WHITE/ SMOOTH		
ROOFING	ASPHALT SHINGLES	GAF	TIMBERLINE	.	.	FOX HOLLOW	CONFIRM SELECTION MATCHES PRIMARY ROOF SHINGLES - CONFIRM W/ ARCH. & OWNER	



A DOUBLE ENTRY
SCALE: 1/2" = 1'-0"

B CARRIAGE STYLE GARAGE DOOR
SCALE: 1/2" = 1'-0"

SORENSEN GARAGE

166 BOSTON BLVD
DETROIT, MI 48206

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NOTE: NOT FOR
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SCHEDULES

A-001

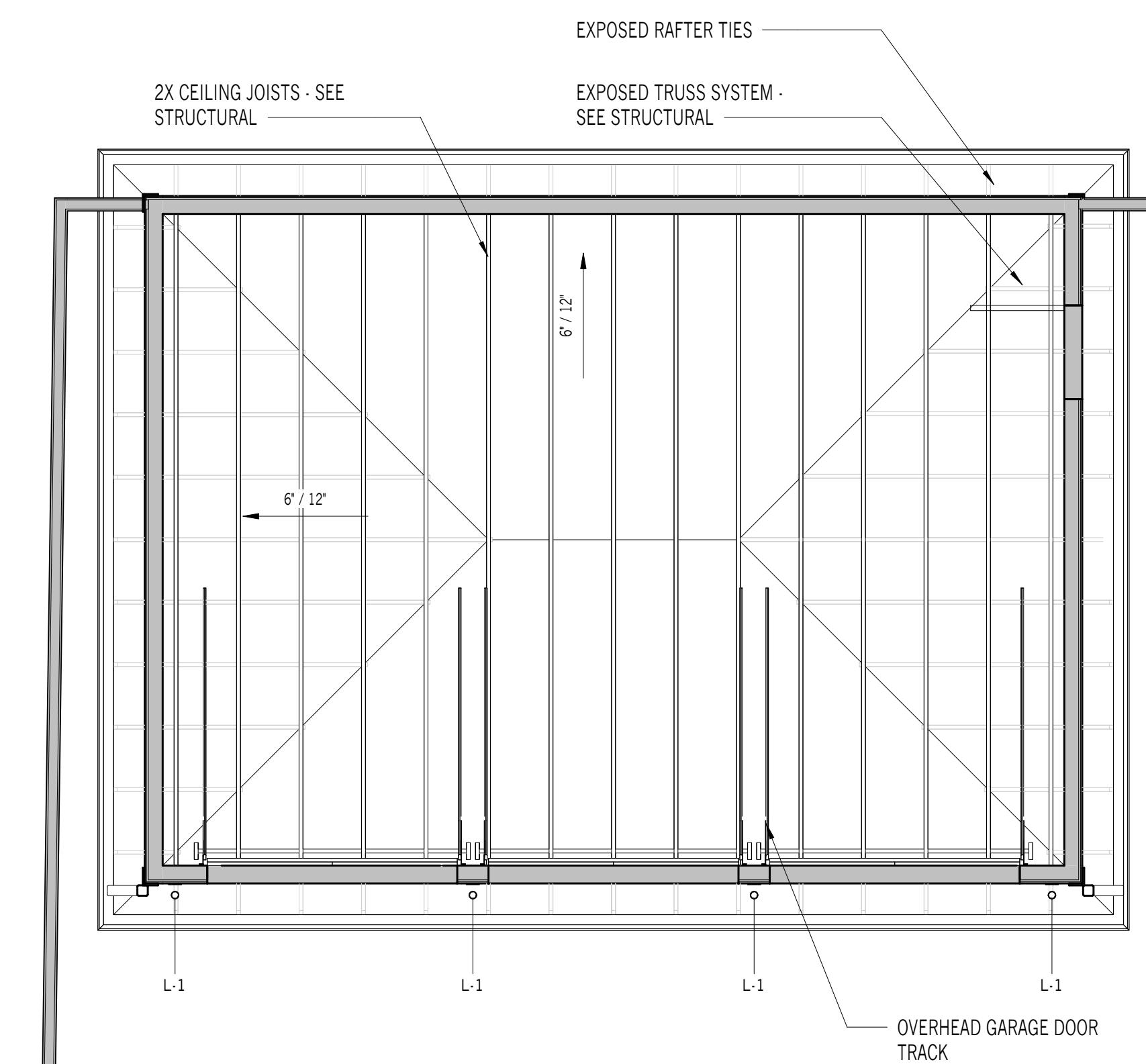


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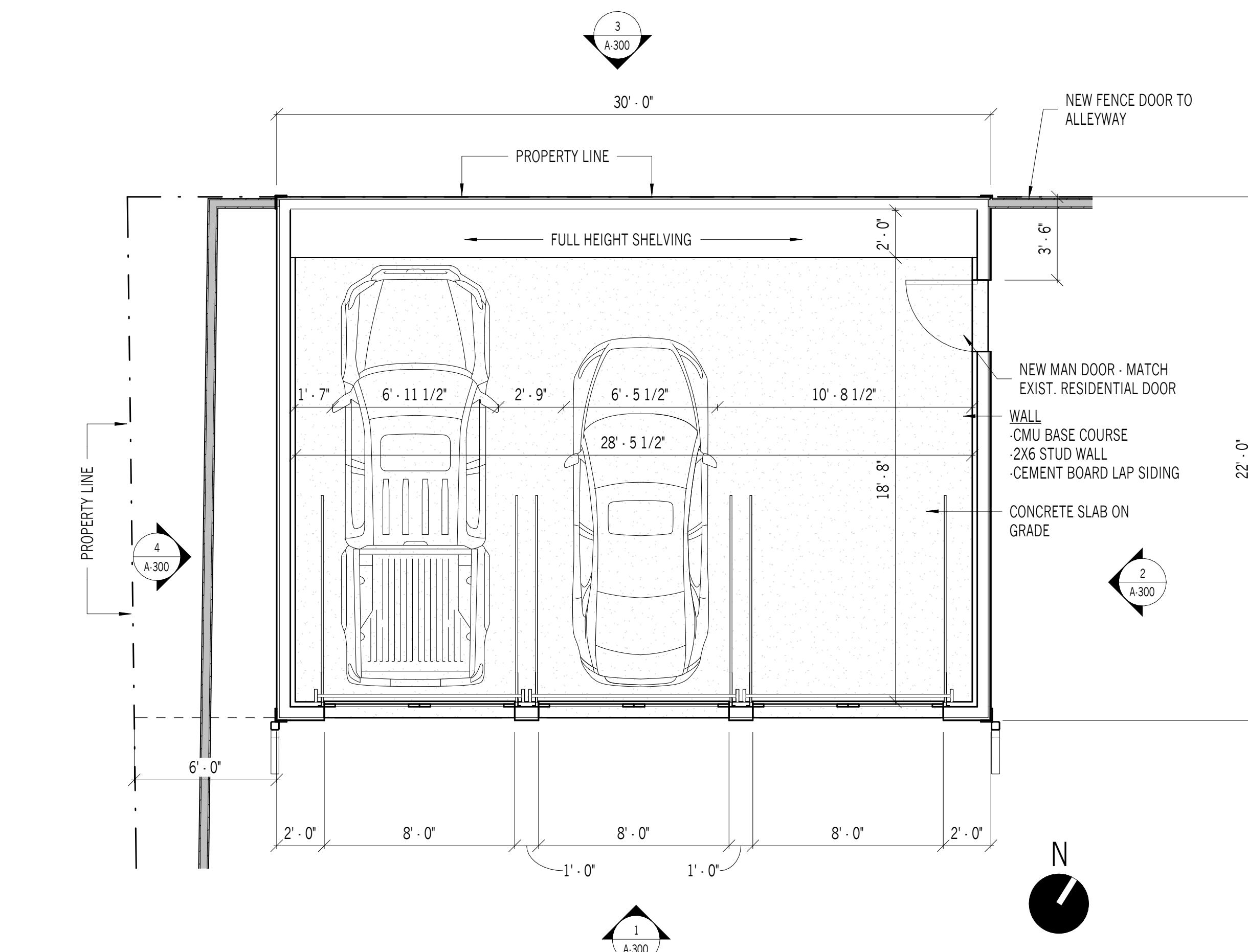
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2 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

SORENSEN GARAGE

1666 BOSTON BLVD
DETROIT, MI 48206

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PLANS

A-101

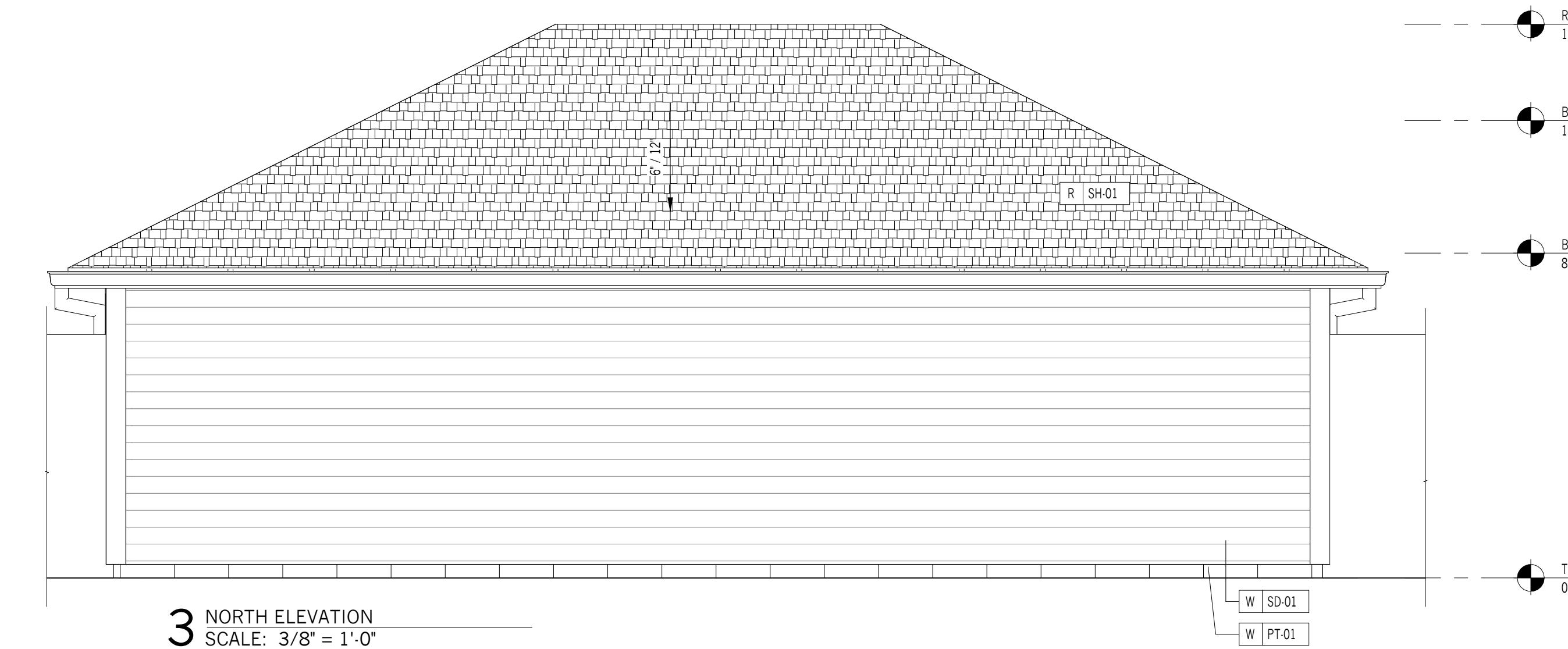


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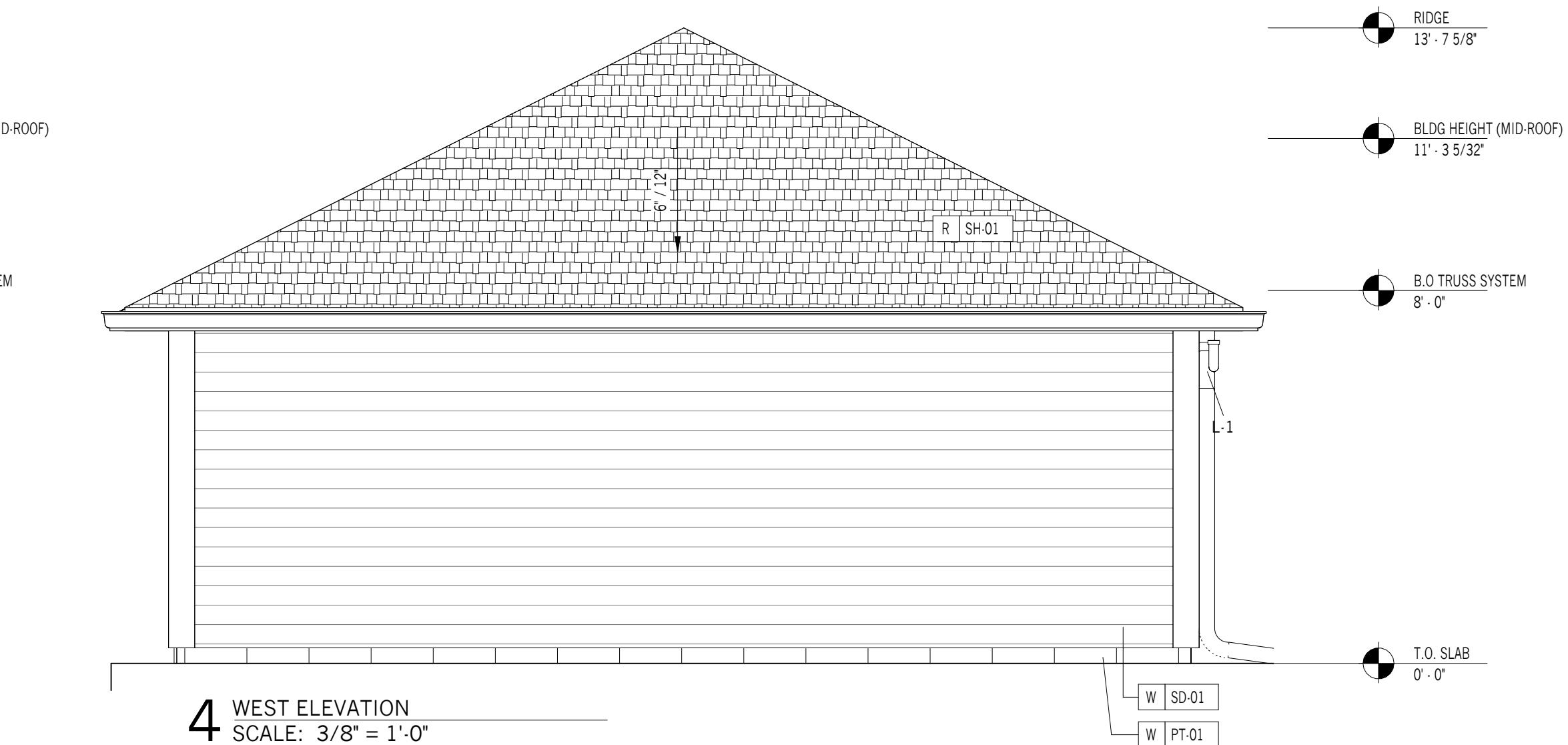
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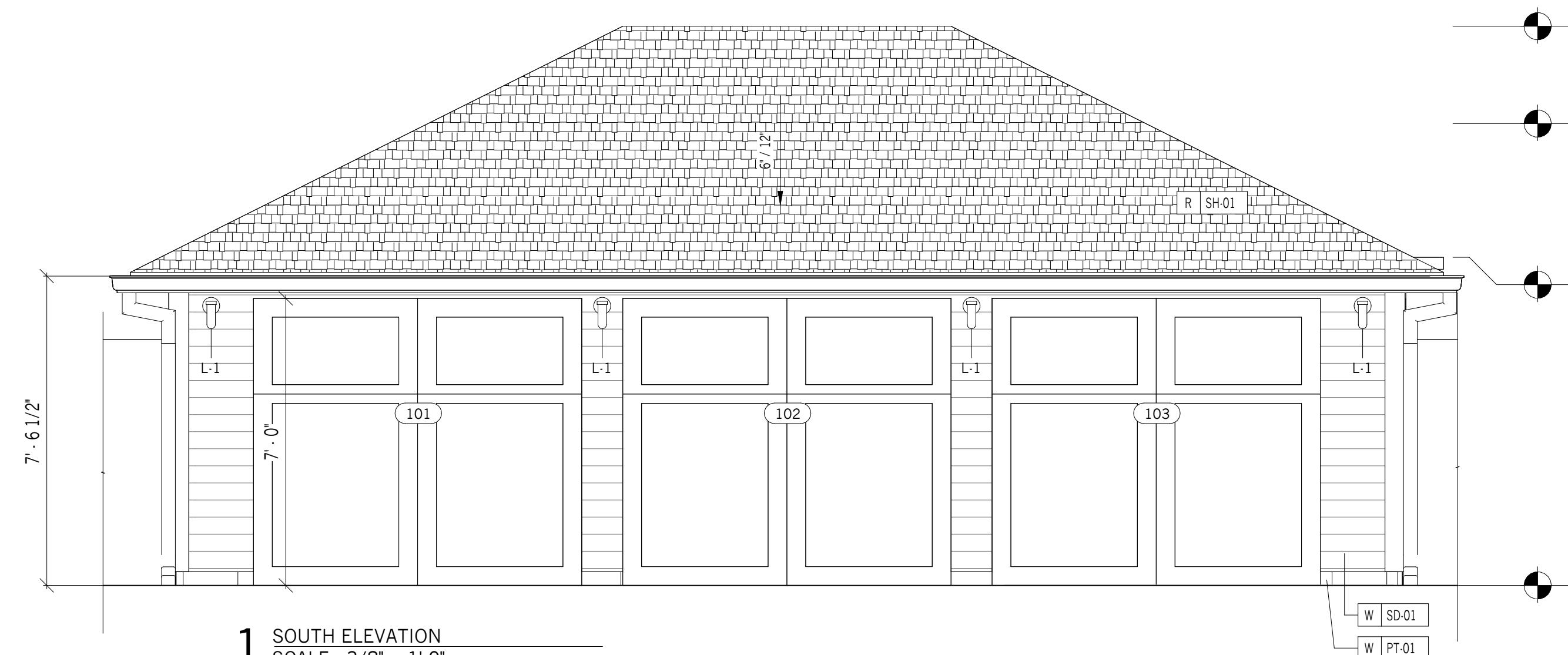
3 NORTH ELEVATION

SCALE: 3/8" = 1'-0"



4 WEST ELEVATION

SCALE: 3/8" = 1'-0"



1 SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



2 EAST ELEVATION

SCALE: 3/8" = 1'-0"

SORENSEN GARAGE

166 BOSTON BLVD

DETROIT, MI 48216

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ELEVATIONS

A-300



SORENSEN GARAGE

HISTORIC DISTRICT COMMISSION APPLICATION

VIEW ON APPROACH

02.11.2026



HARDIEBOARD - LAP SIDING - SMOOTH - ARCTIC WHITE

H Historic Color

SW 0037

Morris Room Grey

MASONRY FOUNDATION WALL & DOOR TRIM



K STYLE GUTTER - PAINTED WHITE ALUMINUM



SORENSEN GARAGE

HISTORIC DISTRICT COMMISSION APPLICATION

MATERIALS

02.11.2026

