

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF DETROIT, AND OTHER AGENCIES HAVING JURISDICTION.

2. UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WHETHER THEY ARE SHOWN OR NOT ON THE PLANS.

3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.

4. 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 482-7171 FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.

5. ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONSTRUCTION FENCING AS NECESSARY.

7. THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK VEHICLES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES WHOSE DRIVEWAYS ARE AFFECTED BY THEIR SCHEDULE. 24 HOURS IN ADVANCE, CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.

8. THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE PLANS OR BY THE AGENCY WITH JURISDICTION. ALL TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

9. THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.

10. GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.

11. ALL ELEVATIONS ON THESE PLANS ARE ON THE CITY OF DETROIT DATUM.

12. THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

13. ALL CONSTRUCTION SHALL HAVE INSPECTION PROVIDED BY THE CITY OF DETROIT. THE CONTRACTOR SHALL CONTACT THE CITY OF DETROIT 48 HOURS BEFORE THE START OF CONSTRUCTION.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, AND SHALL PROVIDE ALL NECESSARY MATERIAL AND EQUIPMENT TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS. DUST CONTROL SHALL BE INCIDENTAL TO THE PROJECT.

15. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCES, SIGNS, ETC., THAT MAY OR MAY NOT BE INDICATED ON THESE PLANS. THE CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, MINIMUM STANDARD REQUIREMENTS, OR AS SPECIFIED HEREIN: WHICHEVER IS MORE STRINGENT.

16. ROADWAY, DRIVEWAY, AND PARKING AREA FINAL RESTORATION SHALL BE PERFORMED WITH SURFACE AND BASE MATERIALS MATCHING EITHER THE EXISTING MATERIALS IN QUALITY AND THICKNESS, PER MINIMUM REQUIREMENTS, OR PER THE FOLLOWING, WHICHEVER IS MORE STRINGENT:

A. ASPHALT ROADWAYS - HEAVY DUTY ASPHALT - 2" MDOOT 4C OVER 6" MDOOT 2C

B. ASPHALT DRIVEWAYS - STANDARD DUTY ASPHALT - 2" MDOOT 4C OVER 2" MDOOT 2C

C. GRAVEL ROAD AND DRIVEWAYS - 8" MDOOT 21AA GRAVEL

D. CONCRETE ROADS - 8" 4000 PSI CONCRETE

E. CONCRETE DRIVEWAYS - 6" 4000 PSI CONCRETE

17. ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

18. FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

19. THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES. THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT.

20. THE MEANS AND METHODS OF CONTROLLING GROUNDWATER AND DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST ASSOCIATED WITH DEWATERING SHALL BE INCIDENTAL TO THE CONTRACT.

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THEIR OWN DISPOSAL FORD, AND WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DISPOSING OF ANY OF THE EXCESS MATERIALS. MATERIALS ACCEPTABLE TO THE ENGINEER MAY BE DISPOSED OF ON-SITE AT THE CONTRACTORS EXPENSE IN A MANNER APPROVED IN ADVANCE BY THE ENGINEER.
3. THE EDGE OF EXISTING PAVEMENT SHALL BE CLEANED OF EARTH AND OTHER FOREIGN MATERIAL BEFORE ADJACENT POURS ARE PLACED.
4. ALL BULKHEAD AND/OR SEWER PIPE REMOVAL NECESSITATED BY THE REMOVAL OF DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE STRUCTURE REMOVAL.
5. STREET SIGNS IN THE WAY OF CONSTRUCTION WILL BE REMOVED AND RESET IMMEDIATELY IN A TEMPORARY LOCATION, AS APPROVED BY ENGINEER.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SIGNS AND POSTS SCHEDULED TO REMAIN, AS DIRECTED BY THE ENGINEER.
7. ALL UNDERGROUND UTILITIES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PRIVATE PROPERTY (INCLUDING BUILDINGS AND FOUNDATIONS) THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AT ALL TIMES.
9. THE REMOVAL OF PAVEMENT, CURBS AND WALKS SHALL INCLUDE ALL REQUIRED SAWCUTTING. CURB REMOVAL IS INCIDENTAL TO PAVEMENT REMOVAL.

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - C. GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS
 - D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - E. ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
3. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.
4. THE COST OF ALL TREE, STUMP, FOUNDATION AND/OR STRUCTURE REMOVAL AND DISPOSAL NOT INCLUDED IN THE PROPOSAL SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE PRICE BID FOR WATERMAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.
5. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.
6. THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 34 INCH DIAMETER CRUSHED STONE.
7. THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.
8. ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS.
9. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE CONDITIONS AND PROVIDED CORRECTIONAL RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION.
11. THE CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
12. THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.
13. NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.
14. ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 8" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.

TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.

16. THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.

17. BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.

18. ALL PAVEMENT AREAS SHOULD BE CLEANED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.

19. THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER. A BOND COAT OF SS-1H EMULSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y.D.) BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.

20. THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS ENGINEER.

21. PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGE/BACK OF CURB.

22. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557.

23. NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL UNDER ANY ROADWAY, DRIVEWAY OR PARKING AREA.

24. PRIOR TO THE START OF ANY FILLING, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ALL OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL.

25. ALL BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.

26. ALL BARRIER FREE RAMPS TO BE A D.A. COMPLIANT.

27. GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:

A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS

B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING ($\pm 2\%$)

C. SIDEWALK CROSS SLOPE $\pm 2\%$ UNLESS OTHERWISE NOTED (EXCLUDING RAMPS)

D. PAVEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM) UNIFORMLY BETWEEN FINISH GRADE ON PLANS

E. LAWN AREAS $\pm 1\%$ MINIMUM TO 25% (BERMS) MAXIMUM

28. ALL PROPOSED GRADINGS ARE AT THE GUTTER UNLESS OTHERWISE NOTED. SEE DETAILS FOR FACE OF CURB, TOP OF CURB AND ASPHALT ADJUSTMENTS.

29. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:

A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION

B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS

C. GAS, ELECTRIC AND COMMUNICATION SERVICES AND LIGHTING DETAILS AND COORDINATION.

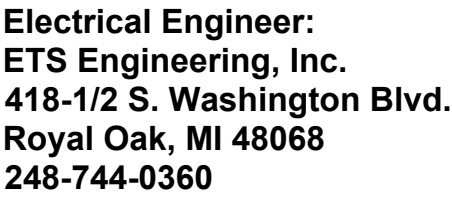
D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS

E. ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT

30. PRIOR TO THE PLACEMENT OF ANY BASE ASPHALT OR LEVELING COURSE, THE CURBS SHALL BE PARTIALLY BACKFILLED AND THE SUB-GRADE SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF THE SOILS ENGINEER.

31. ALL SIDEWALK AND PATHWAYS IN ANY PUBLIC R.O.W. SHALL BE INSPECTED BY THE AGENCY WITH JURISDICTION.

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF DETROIT.
3. ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS)
4. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
5. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR.
6. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
7. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
8. PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
9. VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
10. THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS DIRECTED BY THE ENGINEER OR INSPECTOR. STREET SCRAPING SHALL BE PERFORMED IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS.
11. THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING: INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL SOIL EROSION CONTROLS AS INDICATED BY THESE PLANS.
14. CONSTRUCTION ACTIVITIES (INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES, STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL) SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
15. PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS CONSTRUCTION ACTIVITIES ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.
16. IF FOR ANY REASON PERMANENT STABILIZATION CAN NOT BE PROVIDED WITHIN 15 DAYS OF THE COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS. TEMPORARY STABILIZATION SHALL FURTHERMORE BE PROVIDED DURING THE NON-GROWING SEASON (OCTOBER 1 THROUGH APRIL 20) FOR ALL AREAS TO BE SEEDDED.
17. TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRASS STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE, OR MULCH BLANKETS, WHICH SHALL BE ANCHORED IN PLACE TO PREVENT DISPLACEMENT FROM WIND AND RAIN. TEMPORARY STABILIZATION SHALL BE REPAIRED AS OFTEN AS NECESSARY, AS DETERMINED BY THE AGENCY WITH JURISDICTION.
18. ALL DOWNSPOILING SHALL BE ACCOMPLISHED IN A MANNER THAT WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.
19. THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED.
20. SEDIMENT CONTROL FENCING SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF THE FENCE IS SAGGING, OR SOIL HAS REACHED ONE HALF OF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC SHALL BE REMOVED AND DISPOSED OF IN A STABLE AREA OF THE SITE. IF WATER IS SEEPING UNDER THE FENCE, OR THE FABRIC IS DECOMPOSED OR OTHERWISE INEFFECTIVE, THE FABRIC SHALL BE REMOVED AND PROPERLY REINSTALLED AS INDICATED ON THESE PLANS.
21. MUD MAT ENTRANCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH STORM RAINFALL. THE SURROUNDING ROADS SHALL ALSO BE INSPECTED AT THIS TIME FOR EVIDENCE THAT MUD IS BEING TRACKED OFF OF THE SITE. MAINTENANCE SHALL INCLUDE THE INSTALLATION OF ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. ALL SEDIMENT DROPPED OR TRACKED onto PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY SWEEPING AND SCRAPING (AS MAY BE REQUIRED BY THE ENGINEER).
22. SEDIMENT INLET FILTERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. THE FILTERS SHALL BE CLEANED PERIODICALLY THROUGHOUT CONSTRUCTION TO AVOID CLOGGING. FILTERS THAT CANNOT BE MAINTAINED BY CLEANING SHALL BE COMPLETELY REPLACED.



1. INSTALL MUD MATS, SILL ASSOCIATE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS REQUIRED TO ACHIEVE ON-SITE CONTAMINANT.
2. INSTALL STORM SEWER AND ALL SILL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.
3. ROUGH GRADE THE PROJECT "WORK AREA" AS NEEDED.
4. INSTALL SANITARY SEWER AS SHOWN ON PLANS.
5. INSTALL WATER MAIN AS SHOWN ON PLANS.
6. INSTALL OTHER UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) AND/OR ALL NEEDED CONDUITS AND SLEEVES.
7. INSTALL PAVEMENT BACKFILL AND SEED & MULCH ALL DISTURBED AREAS.
8. CLEAR ALL ACCUMULATED SILL AND REMOVE ALL EROSION CONTROL DEVICES.
9. INSTALL LANDSCAPING MATERIALS AS INDICATED PER PLANS & RE-SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.

REMOVE UTILITY STRUCTURE
REMOVE UTILITY PIPE
ABANDON UTILITY PIPE
CUT AND BULKHEAD UTILITY PIPE

DRAINAGE AREA

SEDIMENT INLET FILTER

MUD MAT ENTRANCE

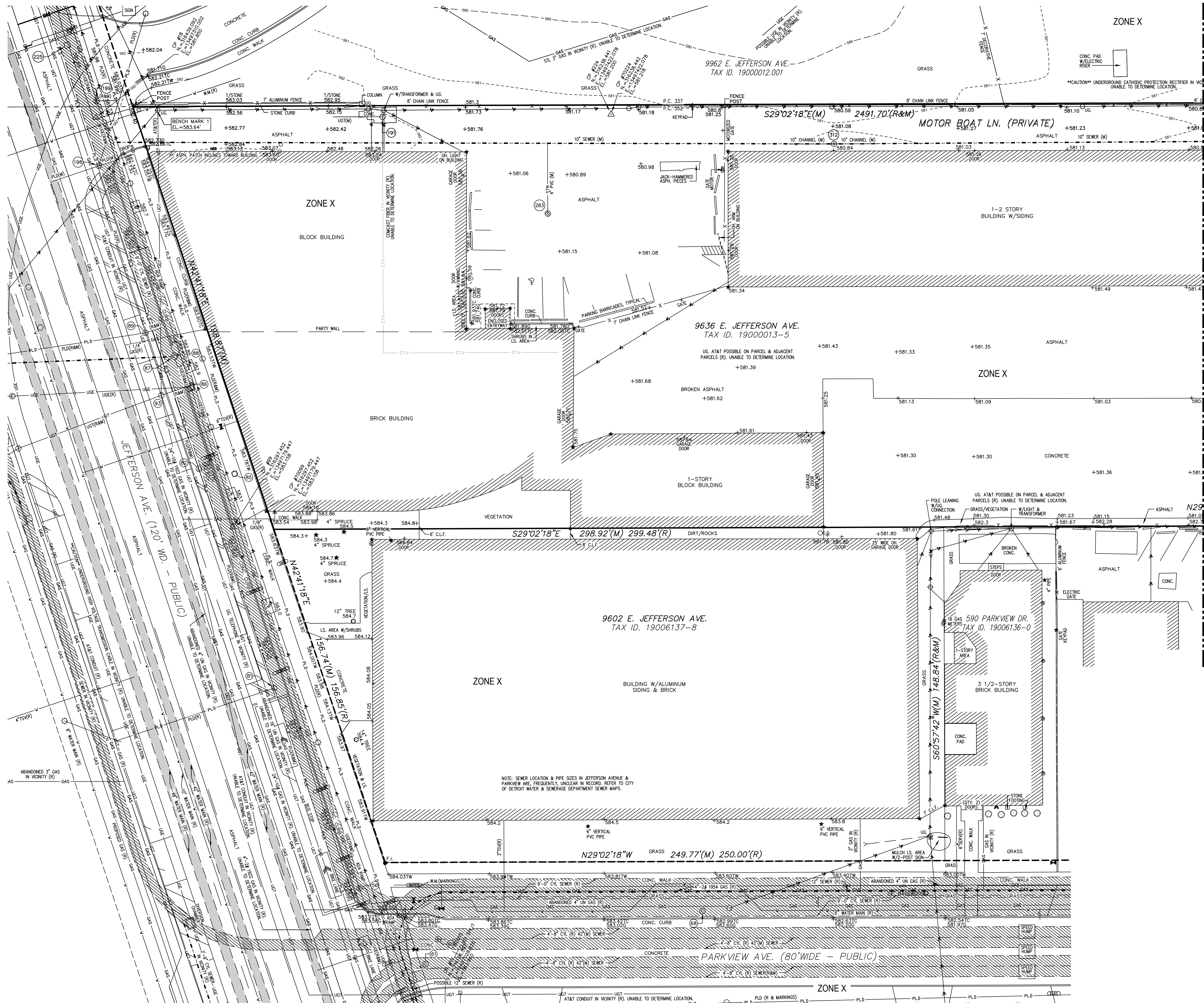
CHECK DAM

SEDIMENT CONTROL FENCE

DRAINAGE AREA LINE

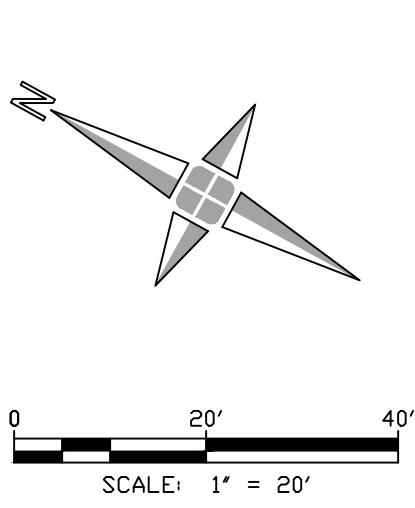
CONCRETE PAVEMENT

Scale :



SEE SHEET 202

SEE SHEET 202



Stanton Yards

Owner:
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OSD Office of Strategy + Design
917-533-5586

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734-800-2460

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48653 Van Dyke
Shelby Twp., MI 48317
586-997-0922

Electrical Engineer:
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248-744-0360

Stamps & Signatures:

NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

EXISTING
CONDITIONS

Sheet : C-201

Scale : 1" = 20'

Stanton Yards

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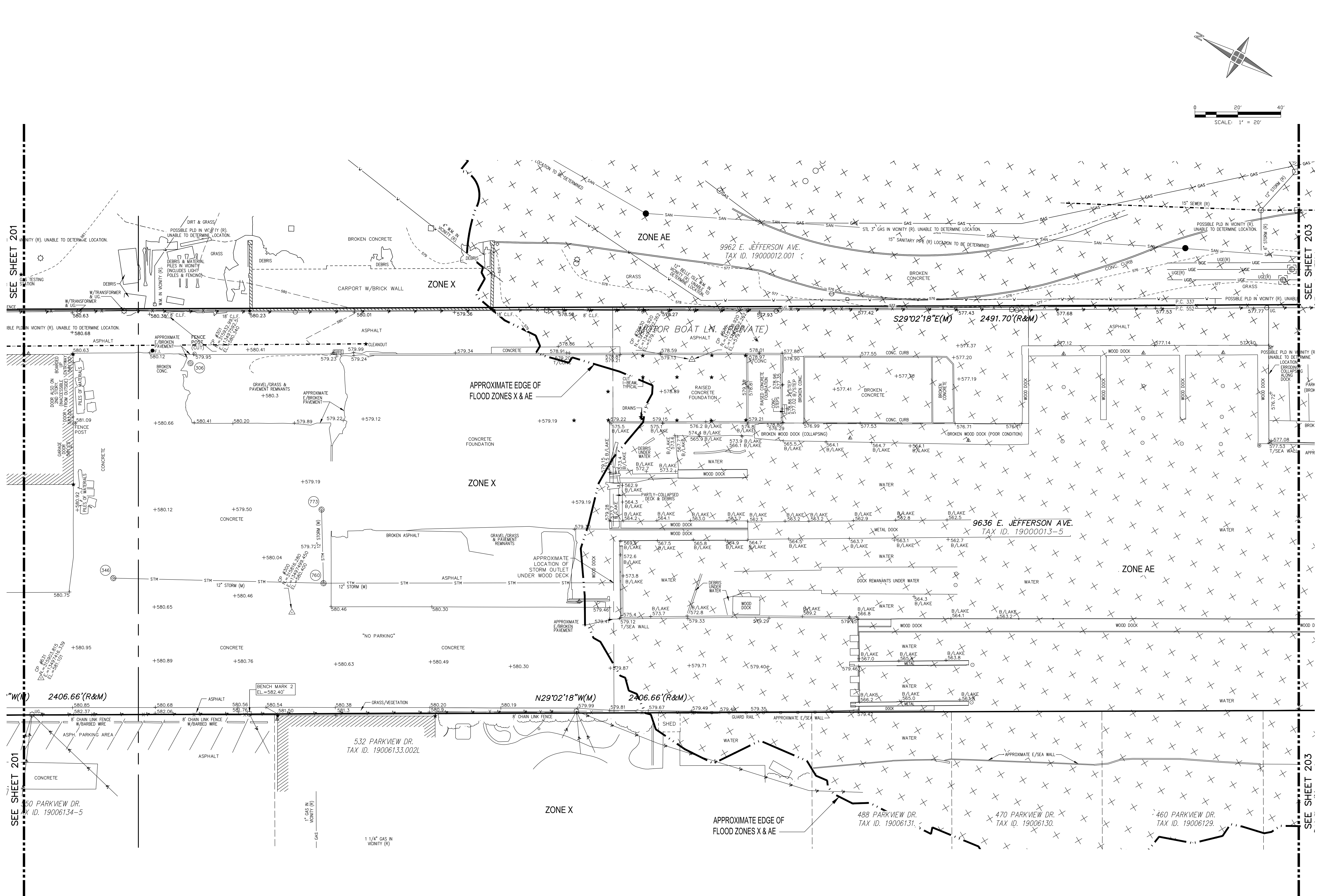
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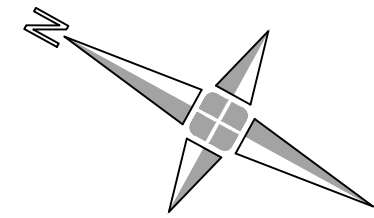
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

EXISTING
CONDITIONS

Sheet : C-202

Scale : 1" = 20'





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Landscape Architect:
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917-533-5586

Civil Engineer:
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313-962-4442

Structural Engineer:
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Ann Arbor, MI 48104
734-800-2460

Mechanical and Plumbing:
Potapa - Van Hoosear Engineering, Inc.
48653 Van Dyke
Shelby Twp., MI 48317
586-997-0922

Electrical Engineer:
ETS Engineering, Inc.
418-1/2 S. Washington Blvd.
Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

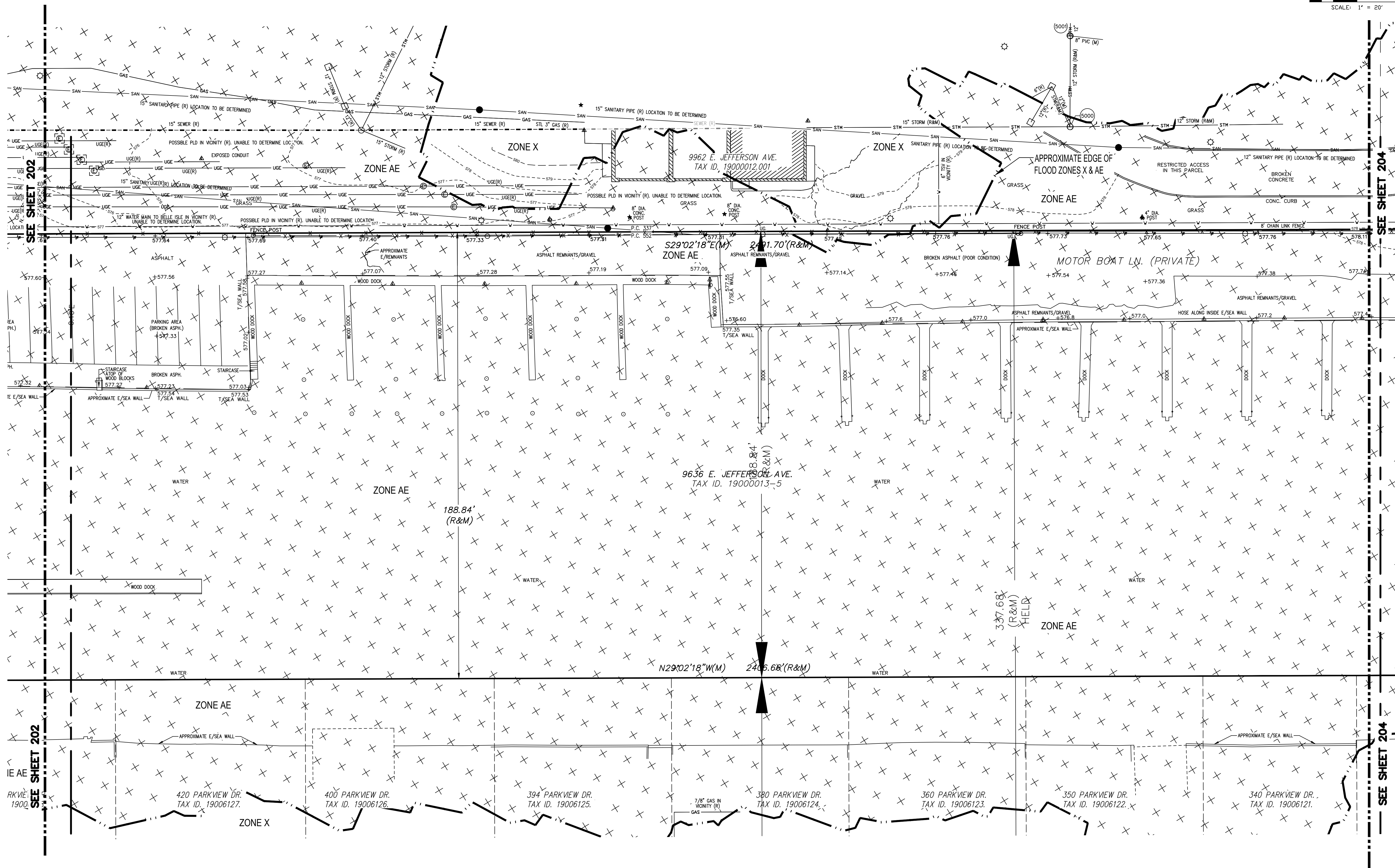
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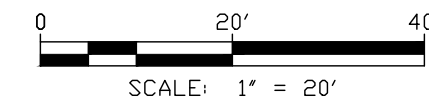
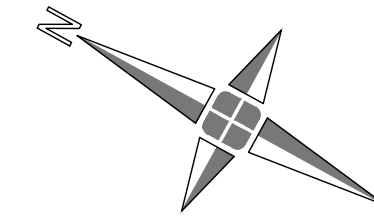
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

EXISTING
CONDITIONS

Sheet : C-203

Scale : 1" = 20'





Stanton Yards

Owner:
Anthony Curis
Library Street Collective
1274 Library Street (Alley)
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SC -IL
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248-744-0360

Stamps & Signatures:

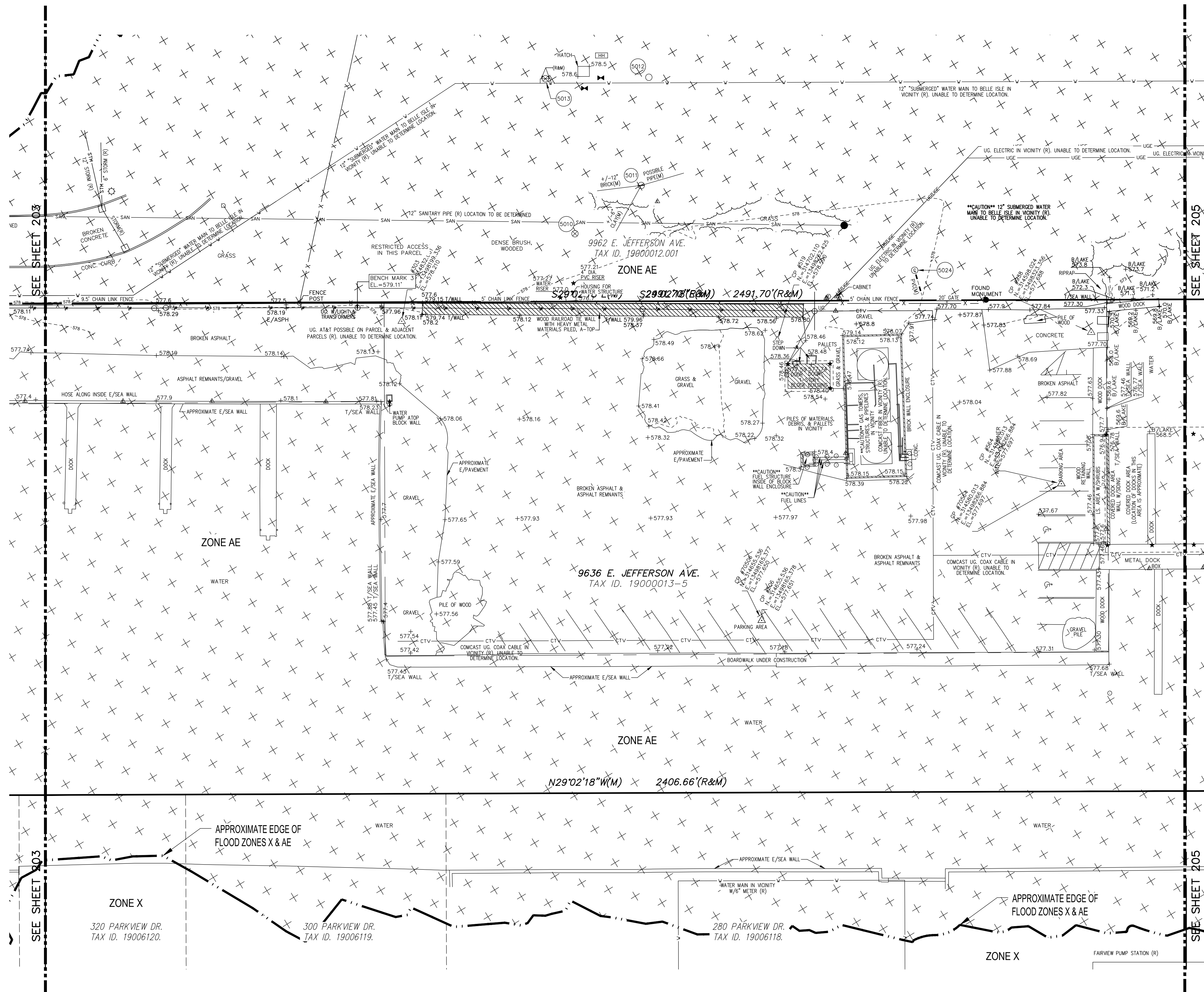
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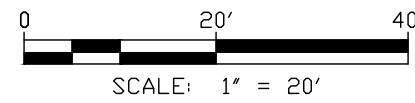
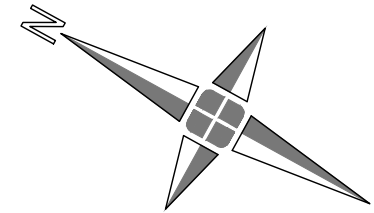
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

EXISTING
CONDITIONS

Sheet : C-204

Scale : 1" = 20'





Stanton Yards

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248-744-0360

Stamps & Signatures:

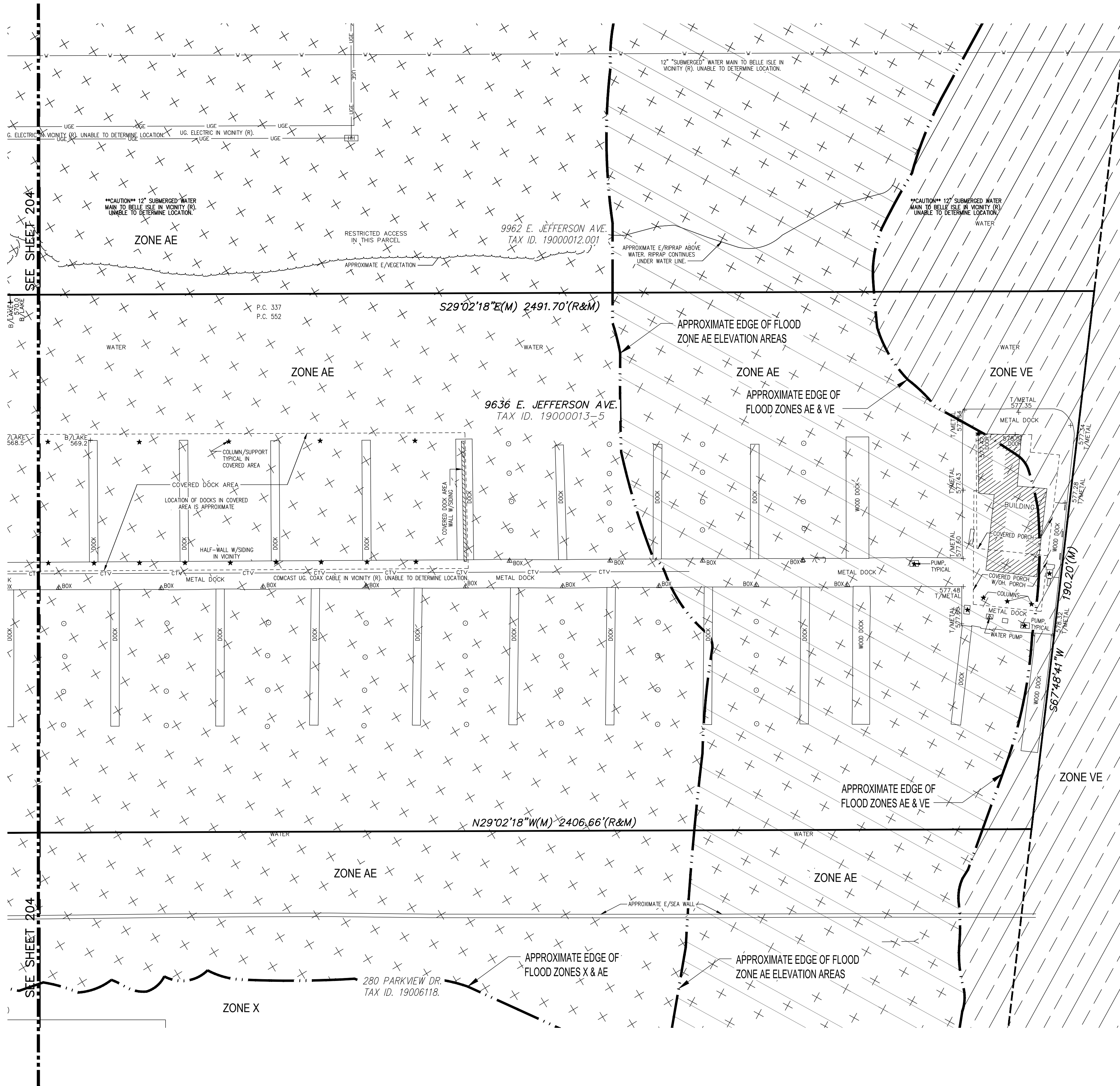
NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

EXISTING
CONDITIONS

Sheet : C-205

Scale : 1" = 20'





Stanton Yards

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Stamps & Signatures:

NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

DEMOLITION PLAN - RIGHT-OF-WAY

Sheet : C-300

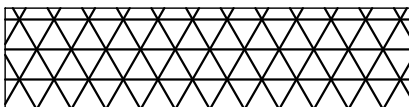
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DEMOLITION LEGEND

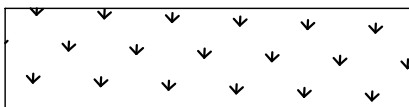
REMOVE CONCRETE SIDEWALK



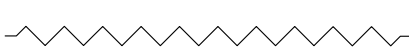
REMOVE ASPHALT PAVEMENT AND
CONCRETE BASE



REMOVE GRASS, BRUSH, GRAVEL AND/OR
DEBRIS

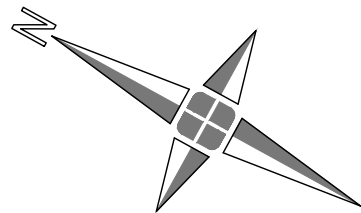


REMOVE CURB AND GUTTER

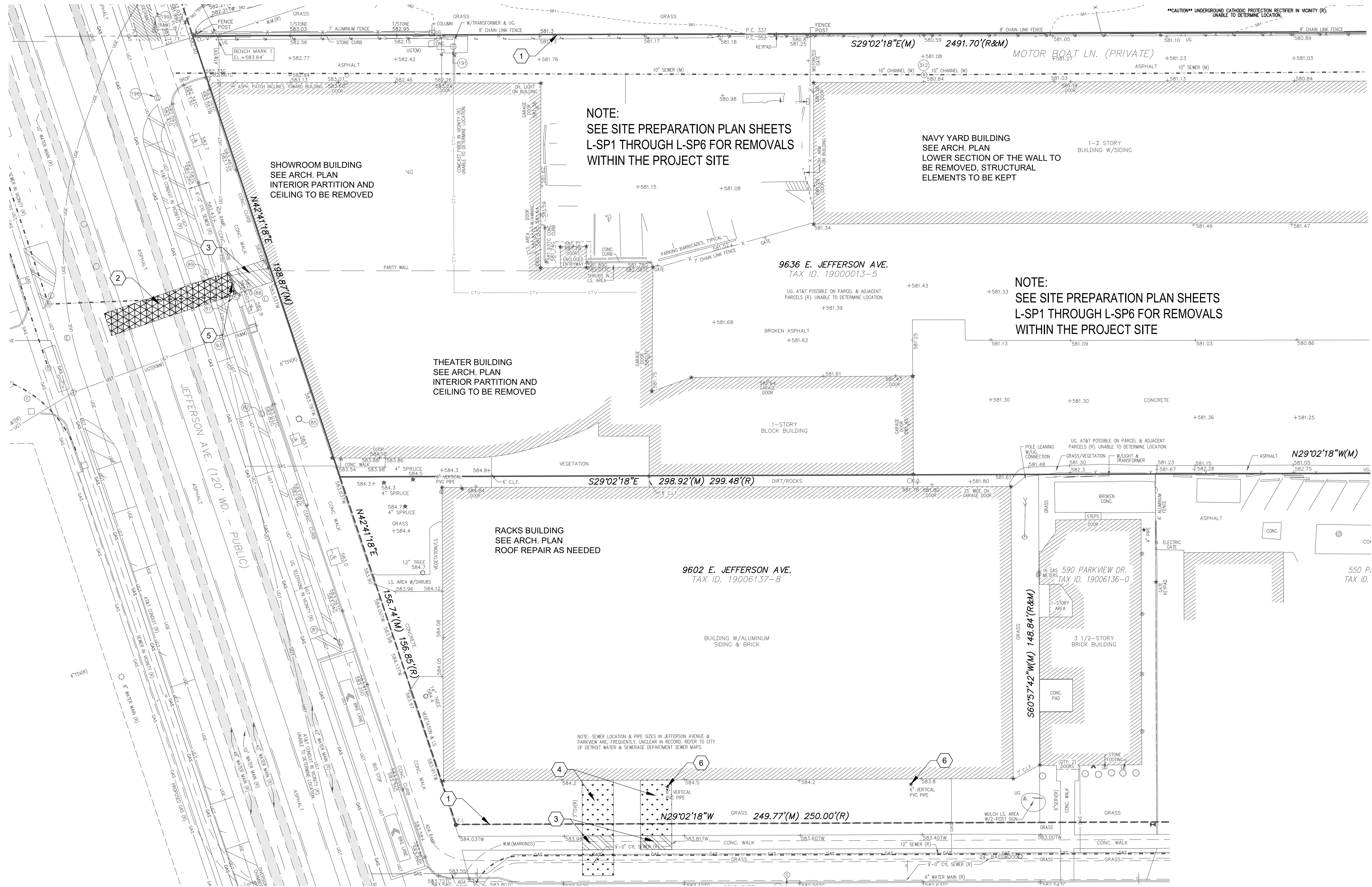


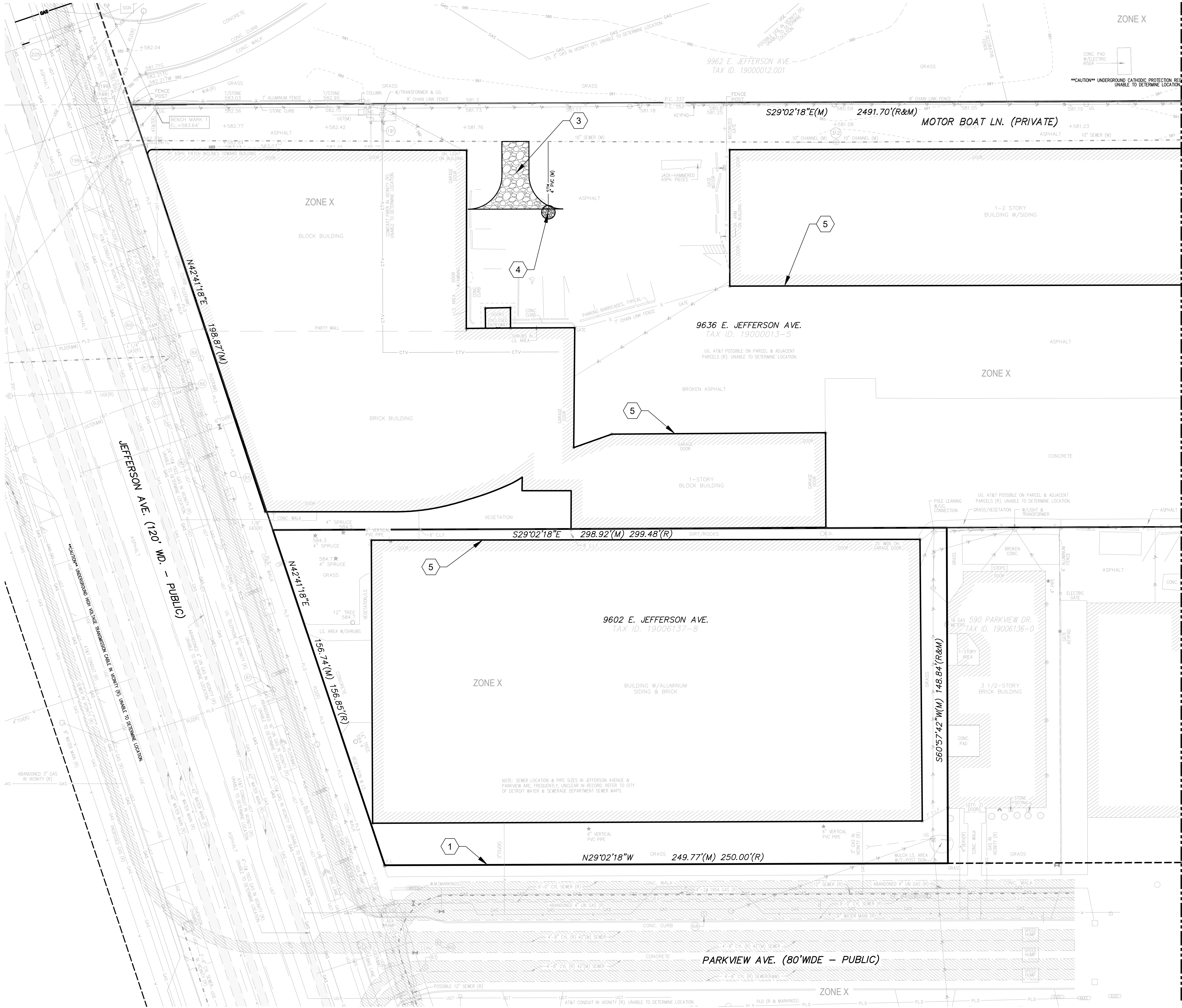
DEMOLITION PLAN - KEYNOTES

- 1 PROPERTY LINE, TYP
- 2 UTILITY TRENCH REMOVAL PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS, REPLACE JOINT TO JOINT PER CITY OF DETROIT DETROIT. SEE DETAIL ON C-602
- 3 REMOVE CONCRETE SIDEWALK
- 4 REMOVE GRASS
- 5 REMOVE CURB AND GUTTER
- 6 CUT AND CAP EXISTING CLEAN-OUT TO MATCH SURROUNDING GROUND ELEVATION.



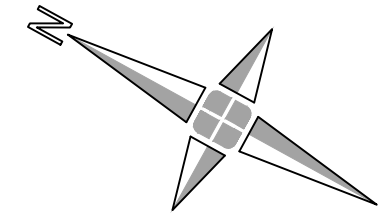
0 20' 40'
SCALE: 1" = 20'





SEE SHEET C-311

SEE SHEET C-311



0 20' 40'
SCALE: 1" = 20'

LEGEND

- DRAINAGE AREA
- SEDIMENT INLET FILTER
- MUD MAT ENTRANCE
- CHECK DAM
- SEDIMENT CONTROL FENCE

EROSION AND SEDIMENT CONTROL PLAN - KEY NOTES

- PROPERTY LINE.
- PROVIDE, INSTALL AND MAINTAIN SEDIMENT CONTROL FENCE DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- PROVIDE, INSTALL, AND MAINTAIN AGGREGATE MUD MAT. SEE DETAIL ON SHEET C-603.
- PROVIDE, INSTALL AND MAINTAIN SEDIMENT INLET FILTER DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- PROTECT EXISTING BUILDING DURING CONSTRUCTION



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Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

NOT FOR CONSTRUCTION

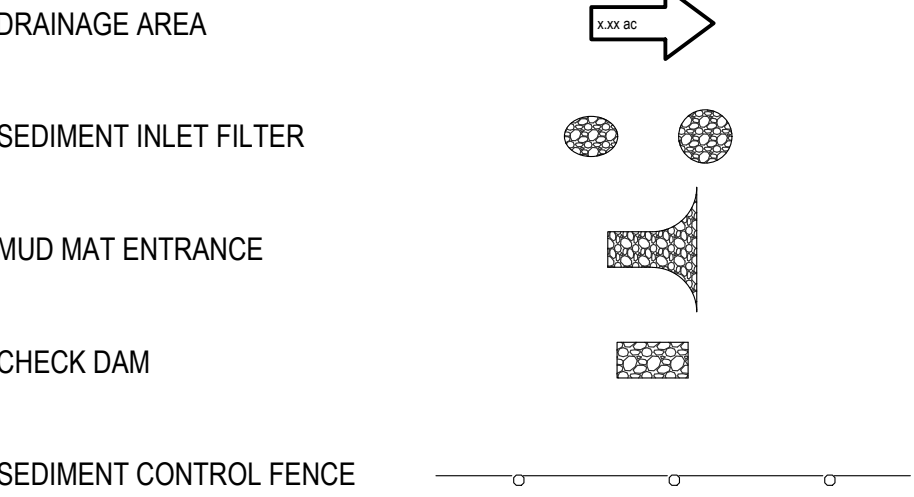
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

SOIL EROSION & SEDIMENT CONTROL PLAN

Sheet : C-310

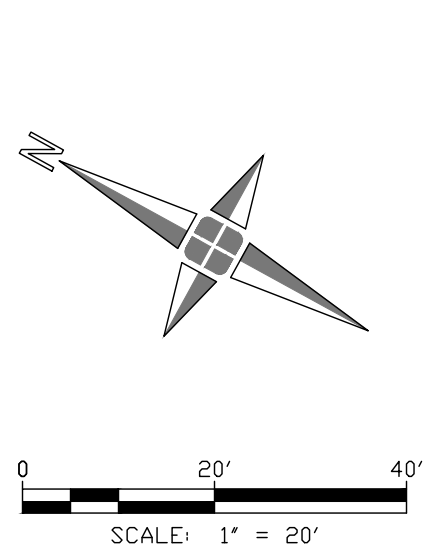
Scale : 1"=20'

LEGEND



EROSION AND SEDIMENT CONTROL
PLAN -KEY NOTES

- 1 PROPERTY LINE.
- 2 PROVIDE, INSTALL, AND MAINTAIN SEDIMENT CONTROL FENCE DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- 3 PROVIDE, INSTALL, AND MAINTAIN AGGREGATE MUD MAT. SEE DETAIL ON SHEET C-603.
- 4 PROVIDE, INSTALL, AND MAINTAIN SEDIMENT INLET FILTER DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603.
- 5 PROTECT EXISTING BUILDING DURING CONSTRUCTION



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Stamps & Signatures:

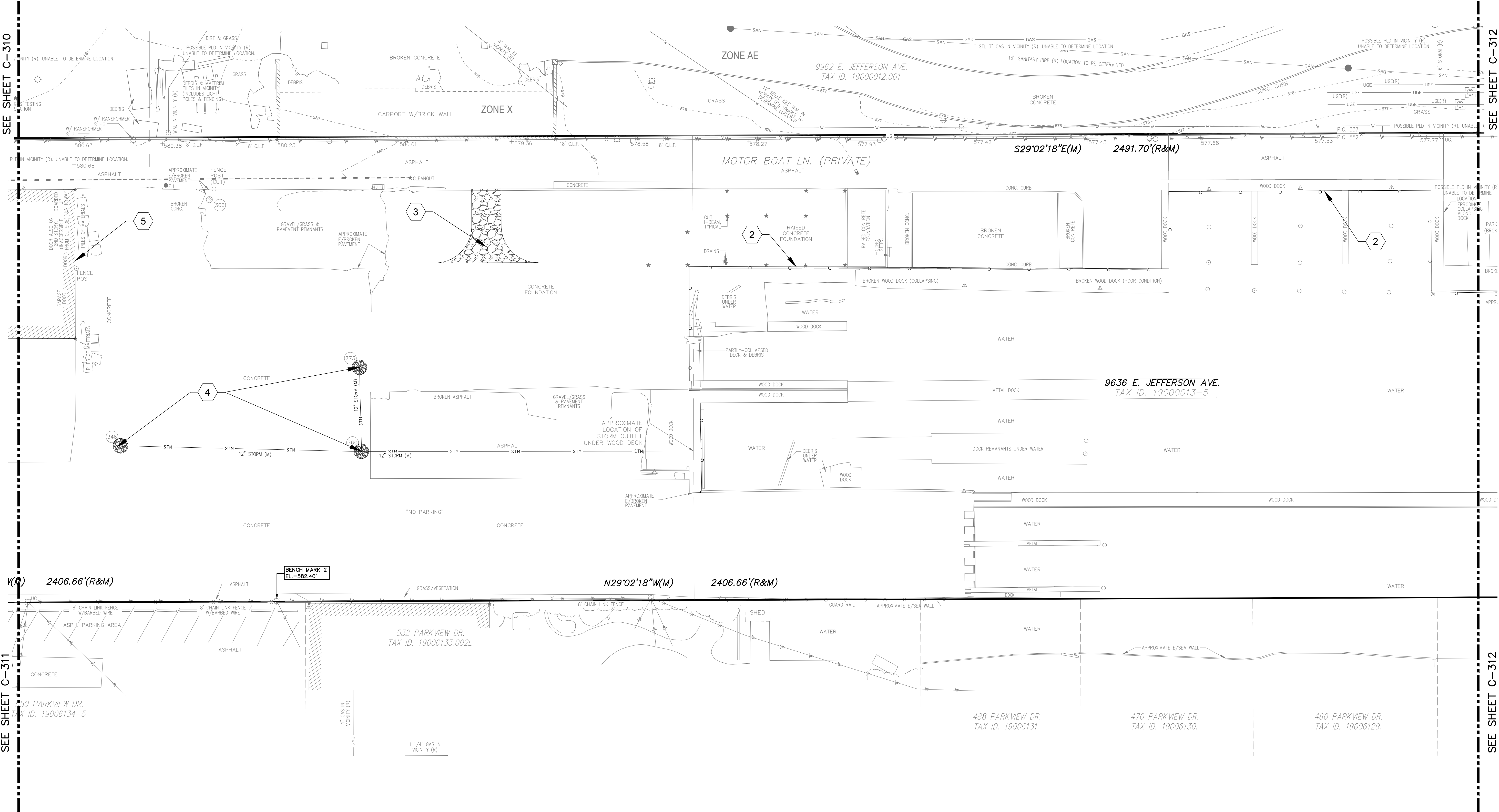
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No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

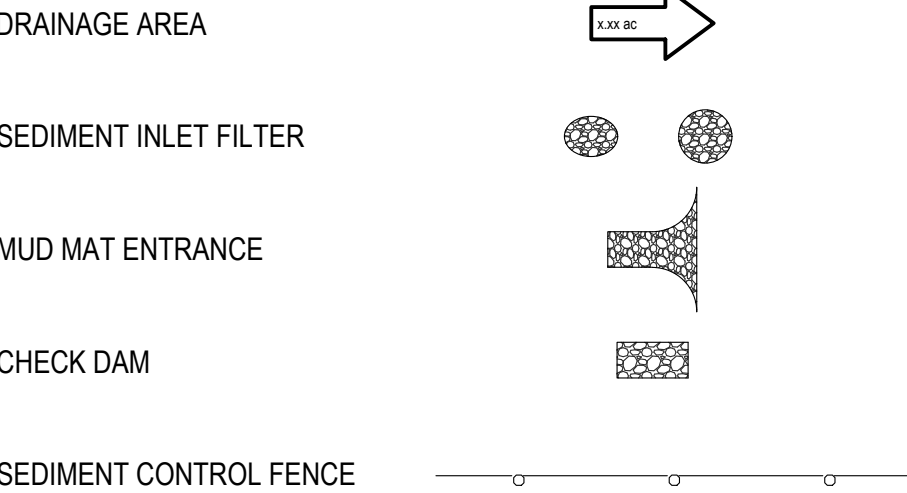
SOIL EROSION &
SEDIMENT
CONTROL PLAN

Sheet : C-311

Scale : 1" =20'

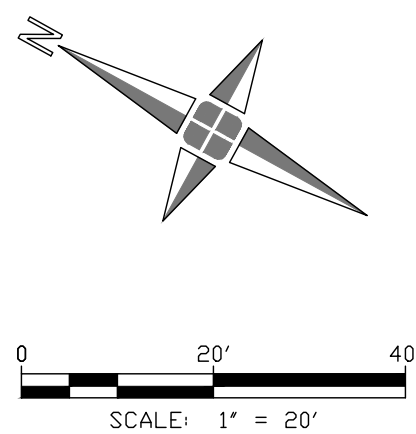


LEGEND



EROSION AND SEDIMENT CONTROL
PLAN -KEY NOTES

- 1 PROPERTY LINE.
- 2 PROVIDE, INSTALL AND MAINTAIN SEDIMENT CONTROL FENCE DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- 3 PROVIDE, INSTALL, AND MAINTAIN AGGREGATE MUD MAT. SEE DETAIL ON SHEET C-603
- 4 PROVIDE, INSTALL AND MAINTAIN SEDIMENT INLET FILTER DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- 5 PROTECT EXISTING BUILDING DURING CONSTRUCTION



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Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

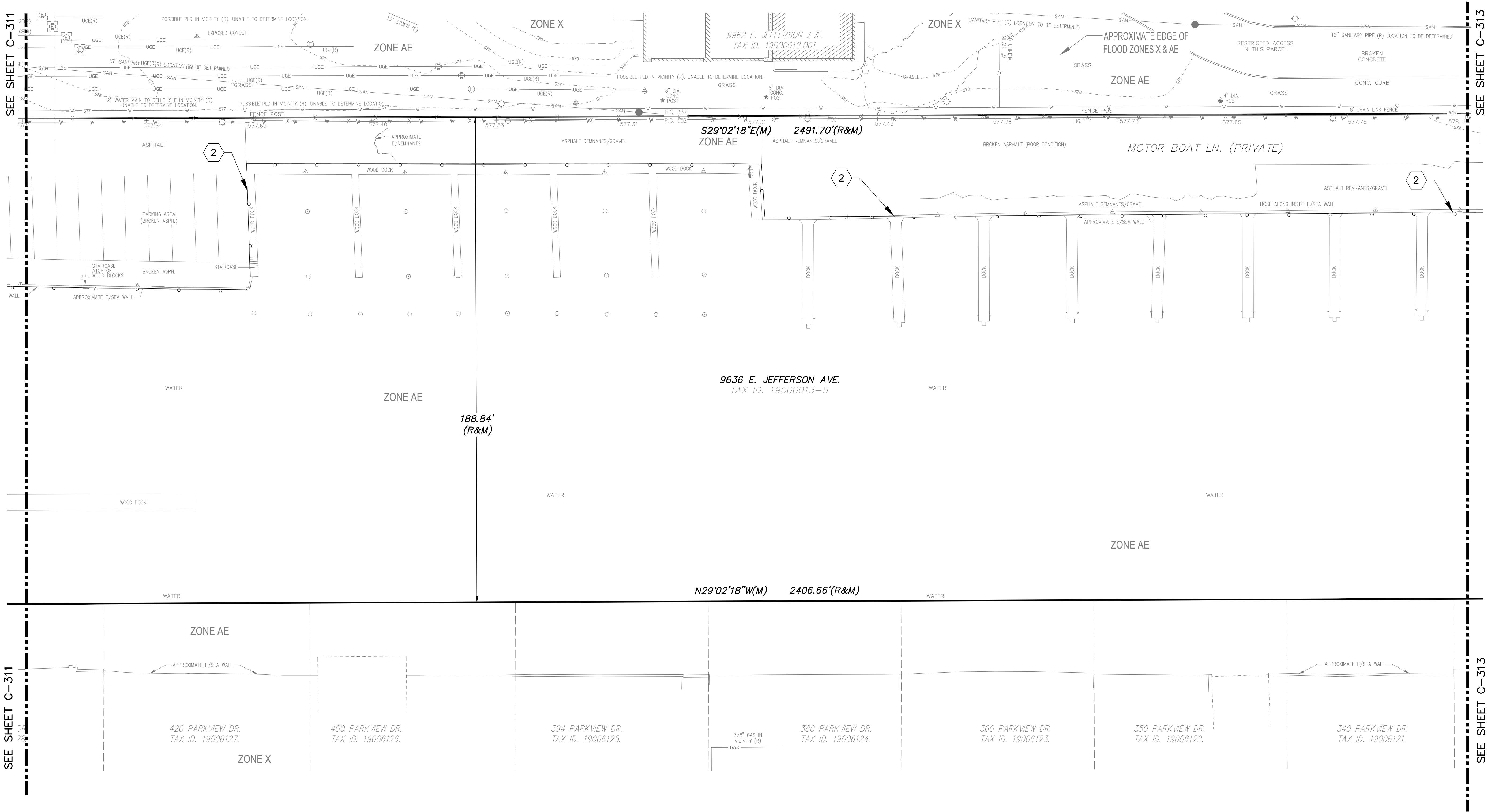
NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

SOIL EROSION &
SEDIMENT
CONTROL PLAN

Sheet : C-312

Scale : 1" = 20'



LEGEND

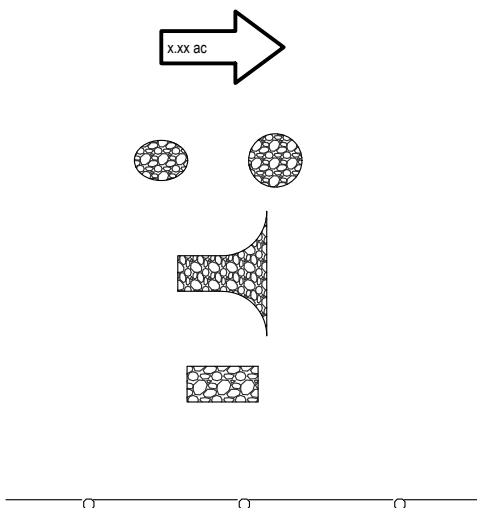
DRAINAGE AREA

SEDIMENT INLET FILTER

MUD MAT ENTRANCE

CHECK DAM

SEDIMENT CONTROL FENCE



EROSION AND SEDIMENT CONTROL
PLAN -KEY NOTES

- 1

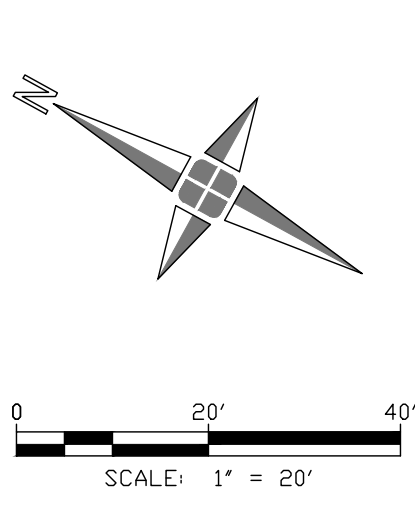
PROPERTY LINE.
- 2

PROVIDE, INSTALL AND MAINTAIN SEDIMENT CONTROL FENCE DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- 3

PROVIDE, INSTALL, AND MAINTAIN AGGREGATE MUD MAT. SEE DETAIL ON SHEET C-603.
- 4

PROVIDE, INSTALL AND MAINTAIN SEDIMENT INLET FILTER DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- 5

PROTECT EXISTING BUILDING DURING CONSTRUCTION



Stanton Yards

Owner:
Anthony Curis
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Stamps & Signatures:

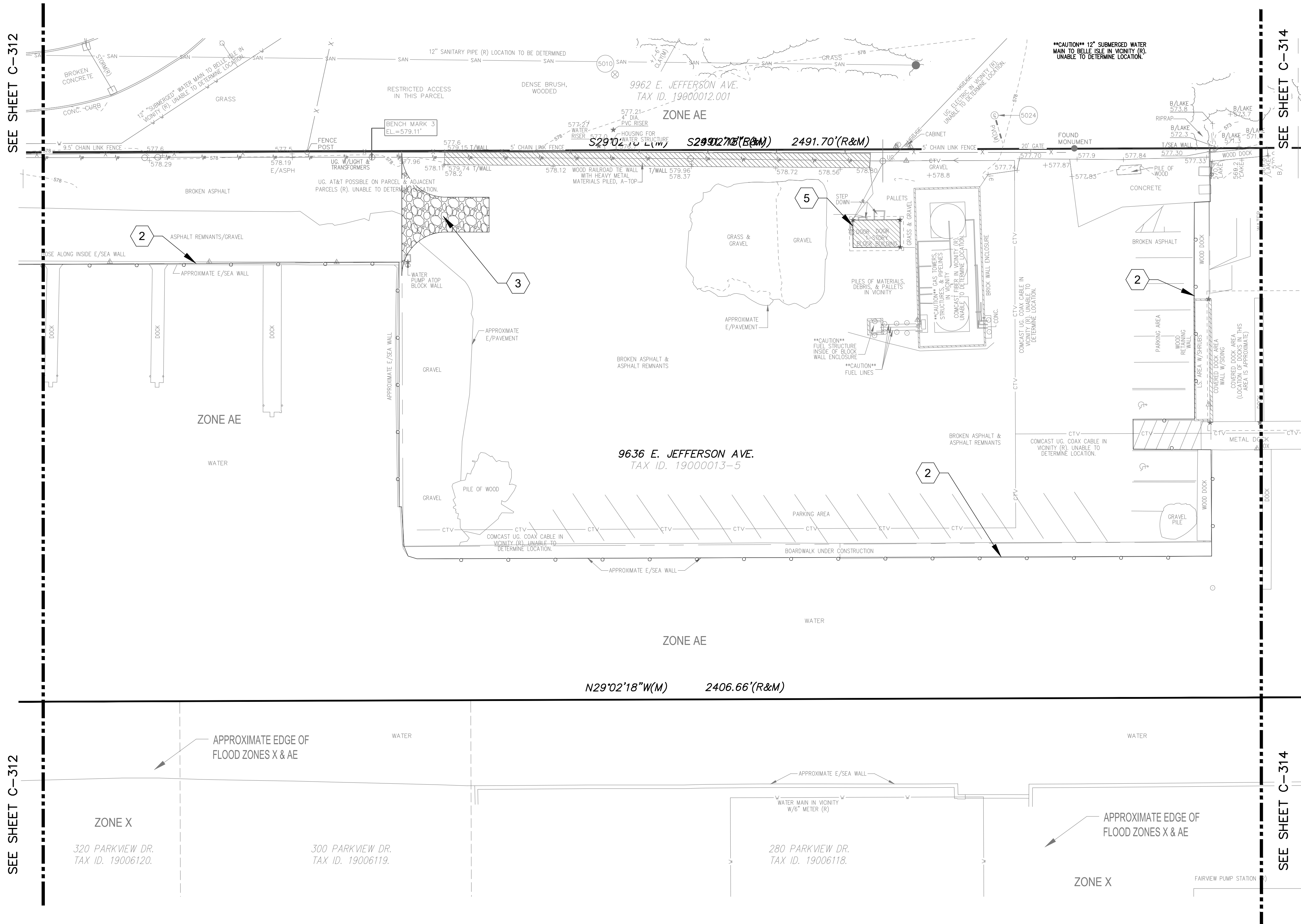
NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

SOIL EROSION &
SEDIMENT
CONTROL PLAN

Sheet : C-313

Scale : 1" =20'



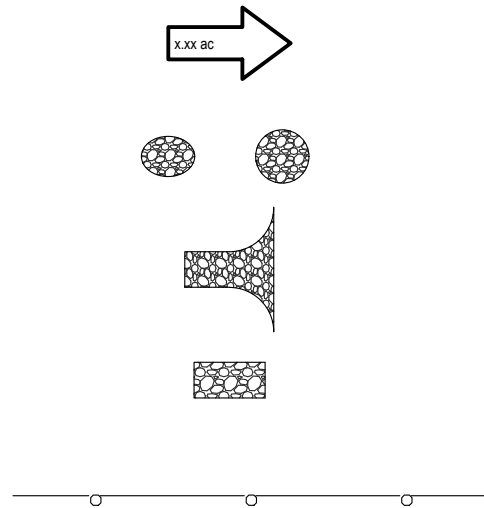
DRAINAGE AREA

SEDIMENT INLET FILTER

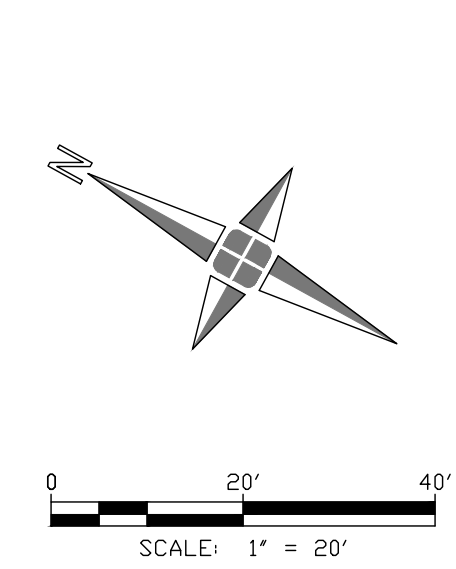
MUD MAT ENTRANCE

CHECK DAM

SEDIMENT CONTROL FENCE



- 1 PROPERTY LINE.
- 2 PROVIDE, INSTALL AND MAINTAIN SEDIMENT CONTROL FENCE DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
- 3 PROVIDE, INSTALL, AND MAINTAIN AGGREGATE MUD MAT. SEE DETAIL ON SHEET C-603
- 4 PROVIDE, INSTALL AND MAINTAIN SEDIMENT INLET FILTER DURING CONSTRUCTION. SEE DETAILS ON SHEET C-603
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Royal Oak, MI 48068
248-744-0360**

Stamps & Signatures:

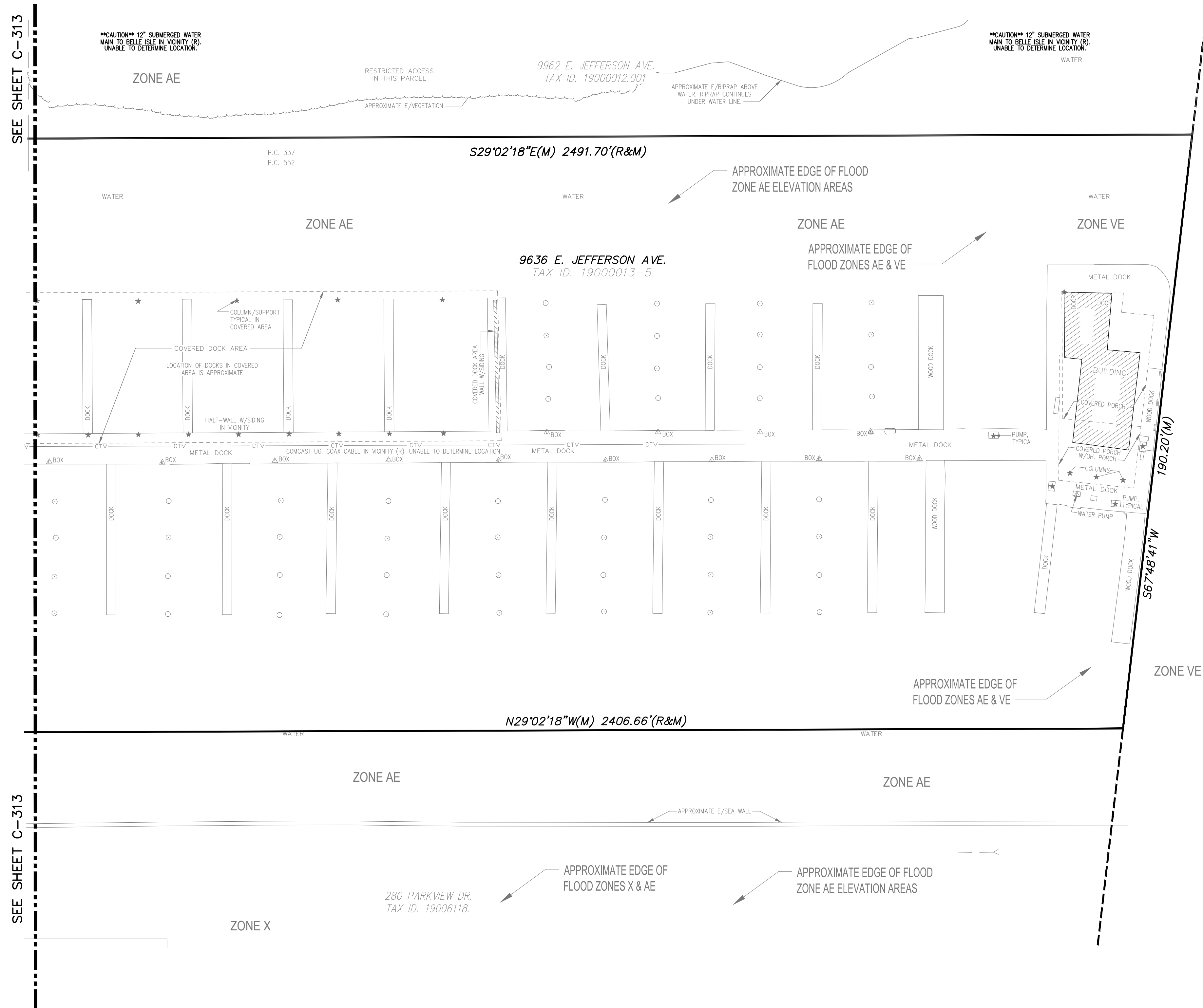
NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

SOIL EROSION & SEDIMENT CONTROL PLAN

Sheet : C-314

Scale : 1" = 20'





Design Architect:
SC –IL
320 Livingston St, 2nd Floor
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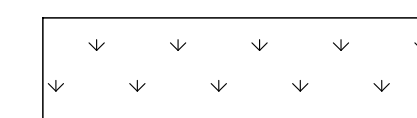
Landscape Architect:
OSD Office of Strategy + Design
917-533-5586

Structural Engineer:
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248-744-0360

PAVEMENT REPAIR PER CITY OF DETROIT
STANDARD AND SPECIFICATION

PROPOSED GRASS



PAVING PLAN - KEYNOTES

- | | |
|---|--|
| 1 | UTILITY TRENCH REMOVAL PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS, REPLACE JOINT TO JOINT PER CITY OF DETROIT DETROIT. SEE DETAIL ON C-602 |
| 2 | NEW 4" CONCRETE SIDEWALK PAVEMENT, TYP. SEE DETAILS ON SHEET C-602 |
| 3 | NEW INTEGRAL CURB AND GUTTER. SEE DETAIL ON SHEET C-602 |

Stamps & Signatures:

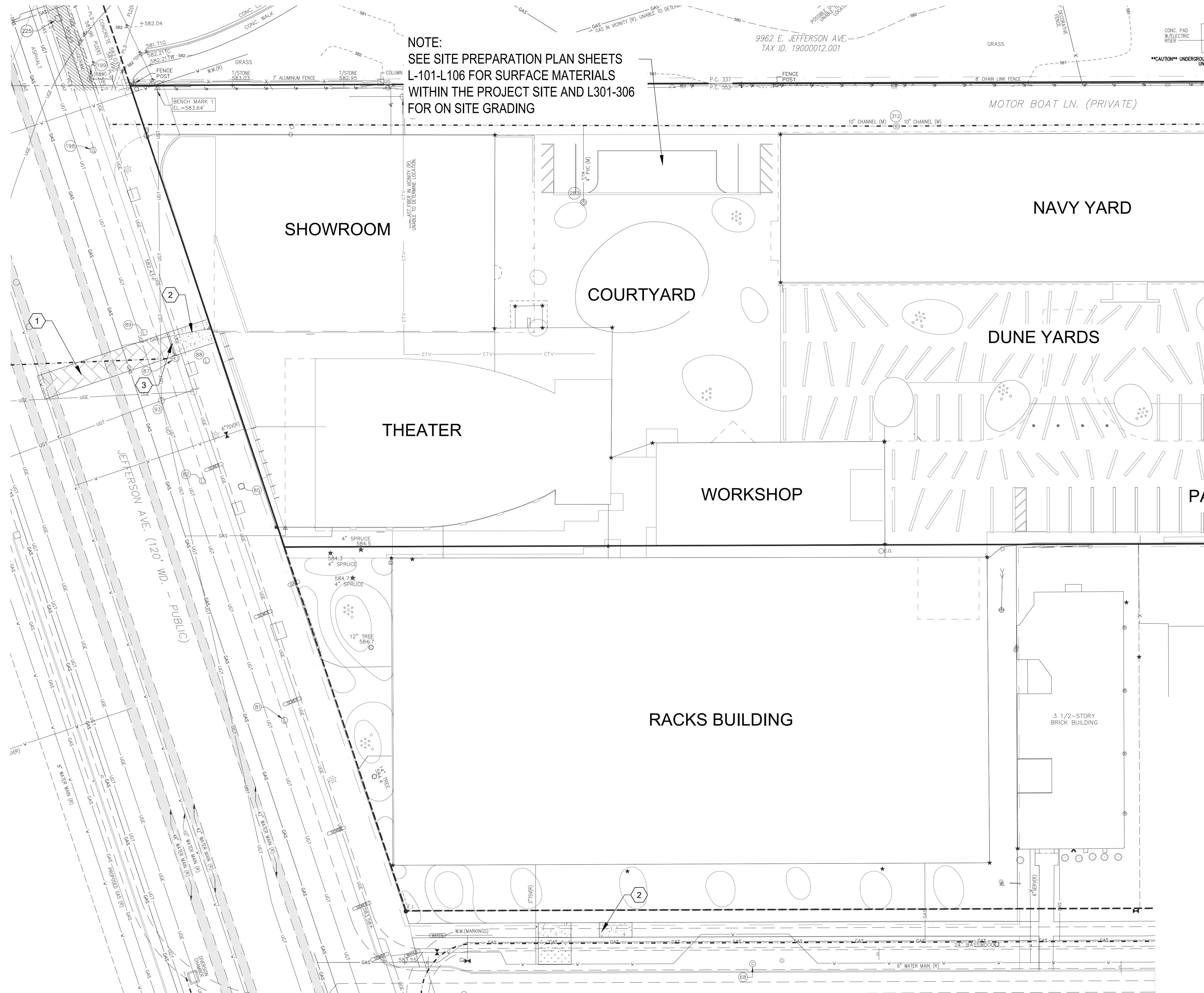
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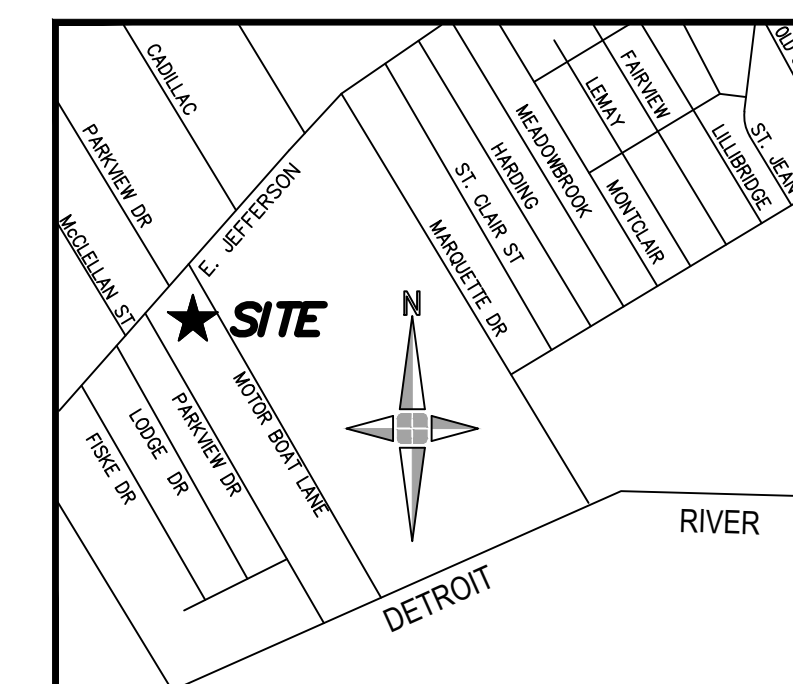
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

PROPOSED PLAN

Sheet : C-400

Scale : 1" = 20'





Owner:
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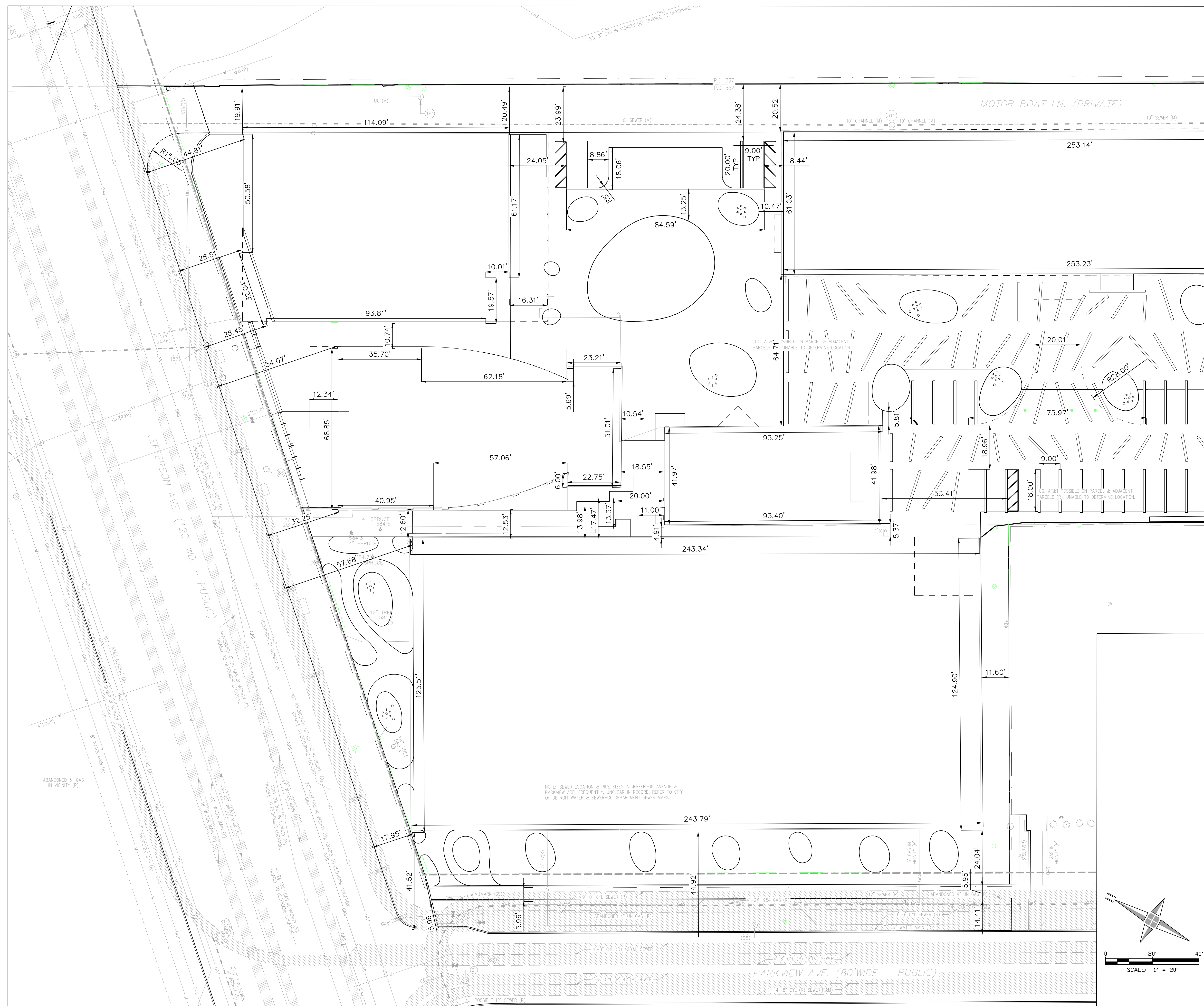
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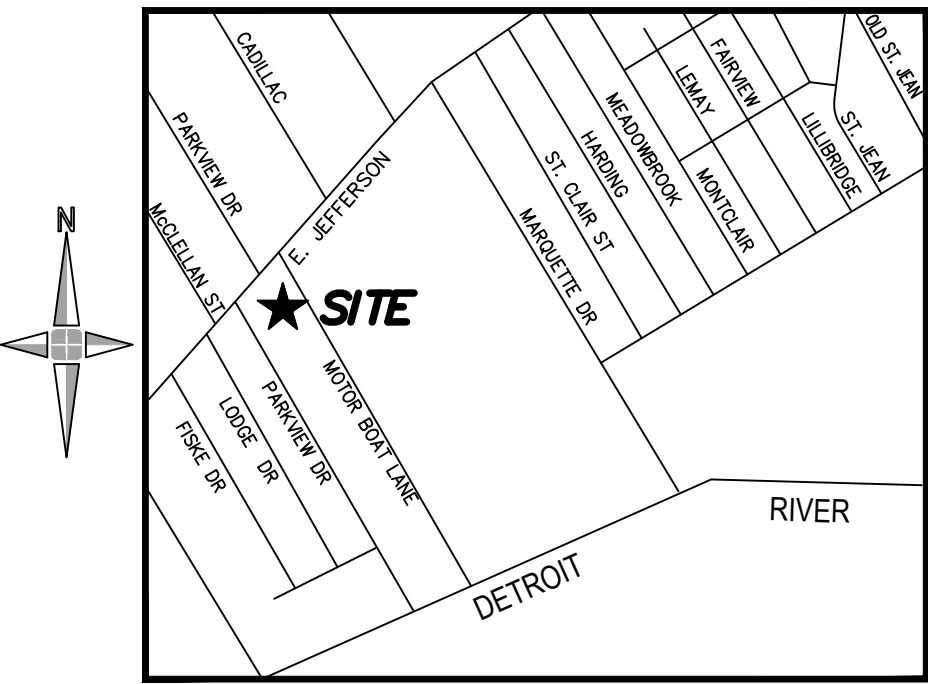
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

DIMENSIONS

Sheet : C-410

Scale : 1" = 20'





LOCATION MAP
(NOT TO SCALE)



Stanton Yards

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Stamps & Signatures:

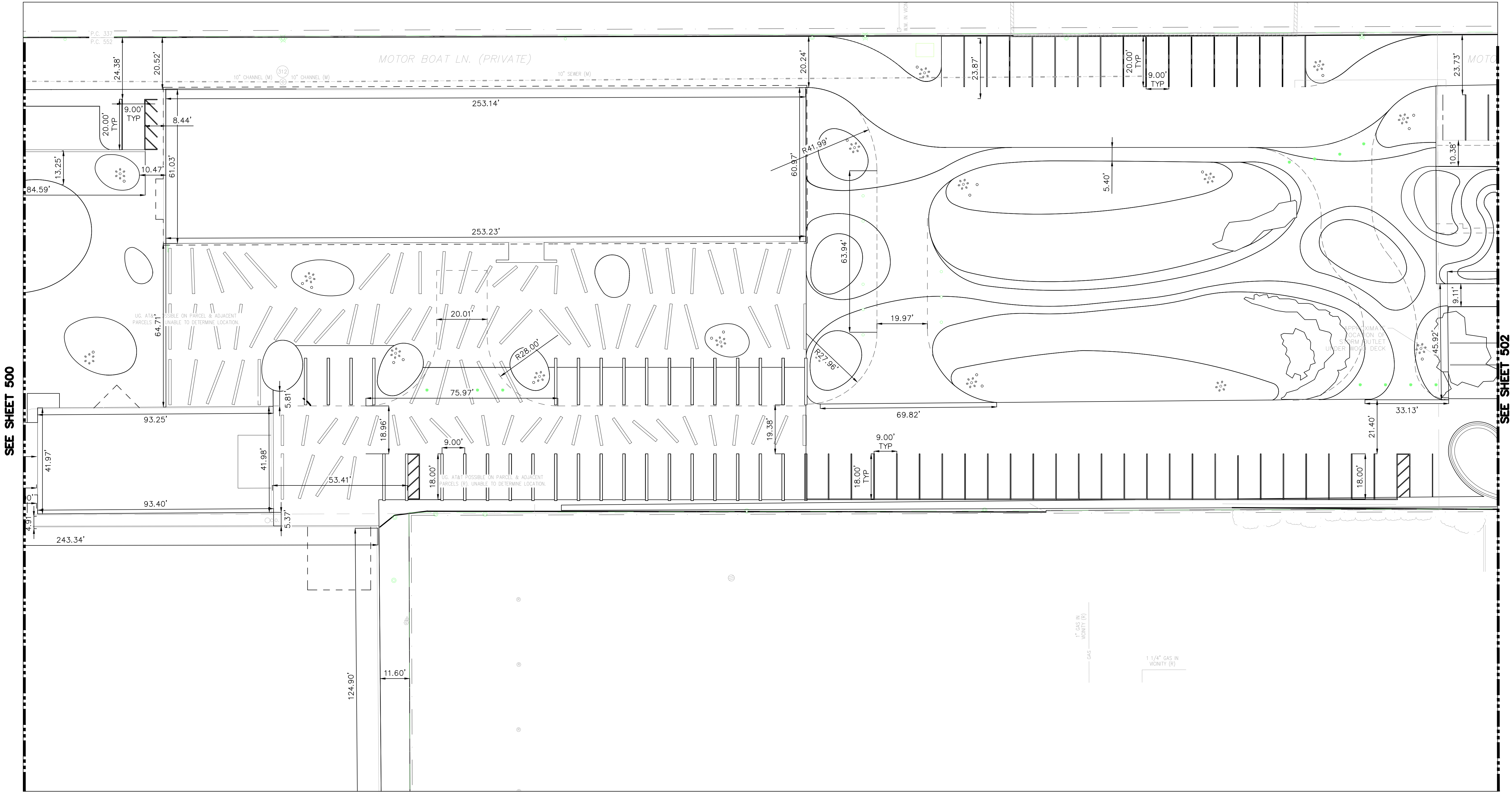
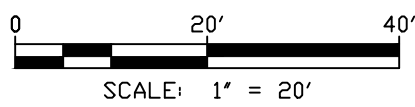
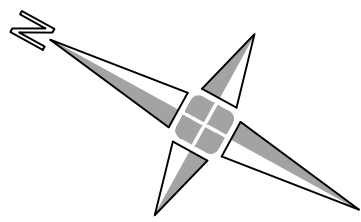
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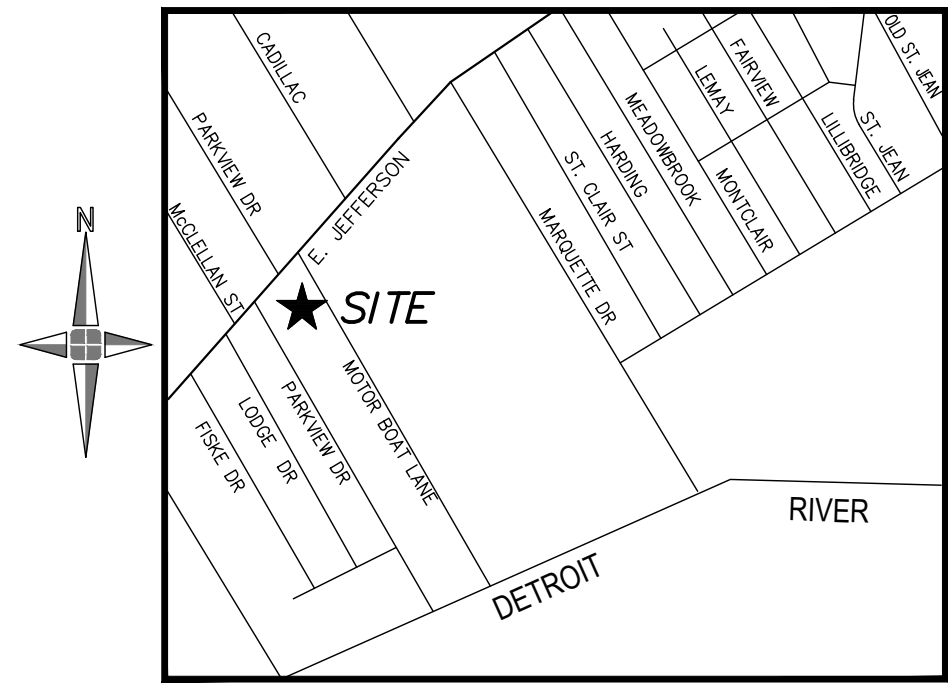
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

DIMENSIONS

Sheet : C-411

Scale : 1" = 20'





LOCATION MAP
(NOT TO SCALE)



Stanton Yards

Owner:
Anthony Curis
Library Street Collective
1274 Library Street (Alley)
Detroit, MI 48226

Design Architect:
SC - IL
320 Livingston St, 2nd Floor
Brooklyn, NY 11217
718-624-6666

Architect of Record:
MBJ Architects
30150 Telegraph Road, Suite 150
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Civil Engineer:
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Structural Engineer:
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Mechanical and Plumbing:
Potapa - Van Hoosear Engineering, Inc.
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586-997-0922

Electrical Engineer:
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418-1/2 S. Washington Blvd.
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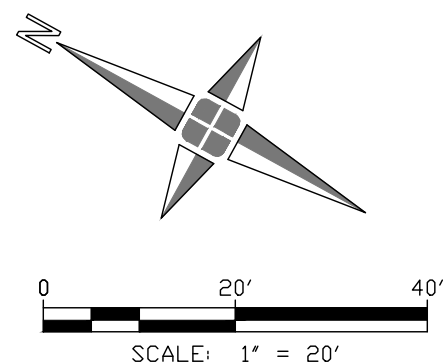
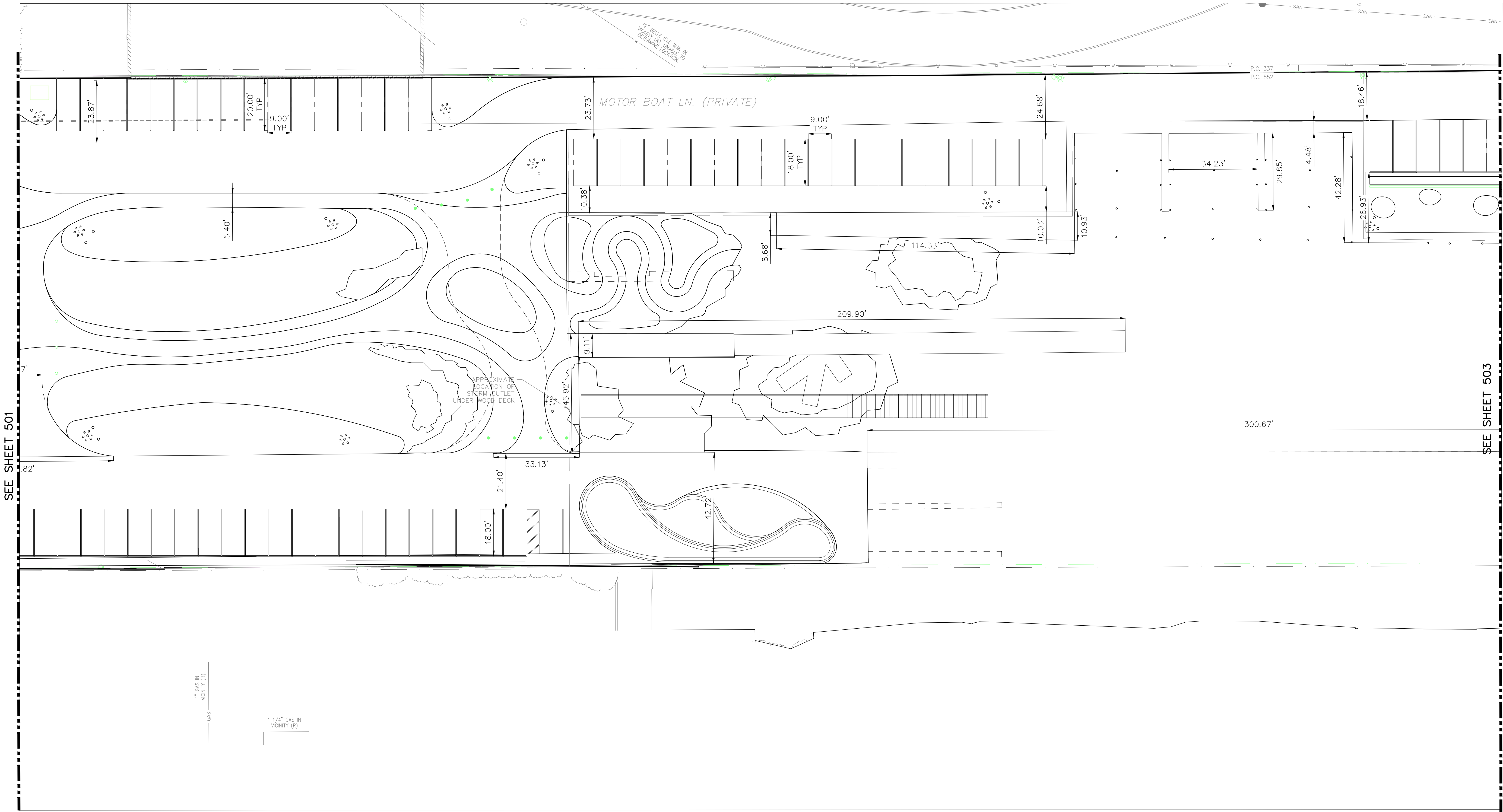
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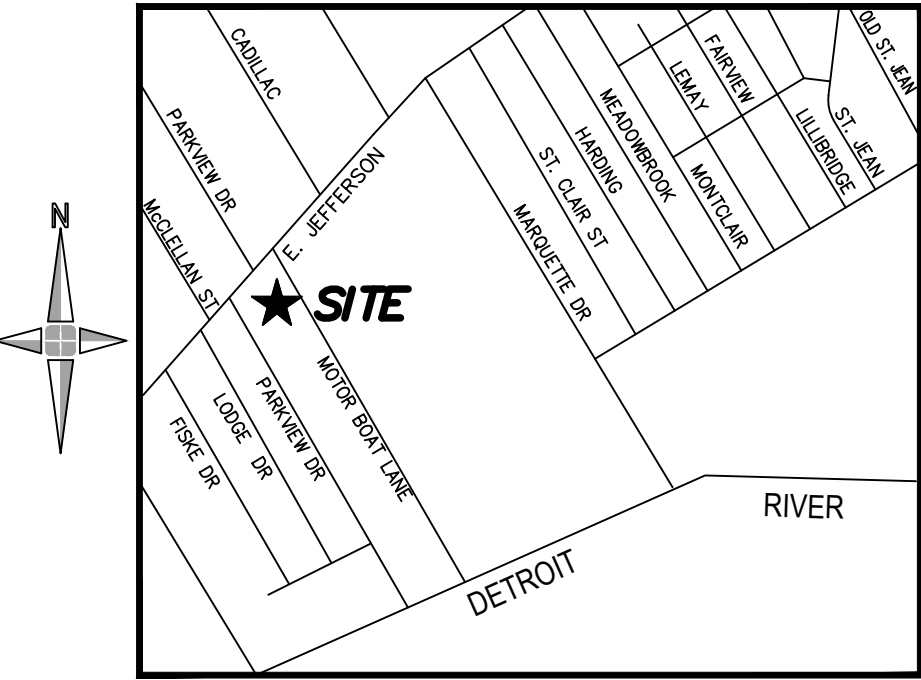
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DIMENSIONS

Sheet : C-412

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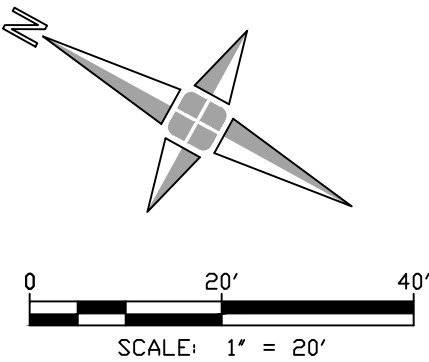
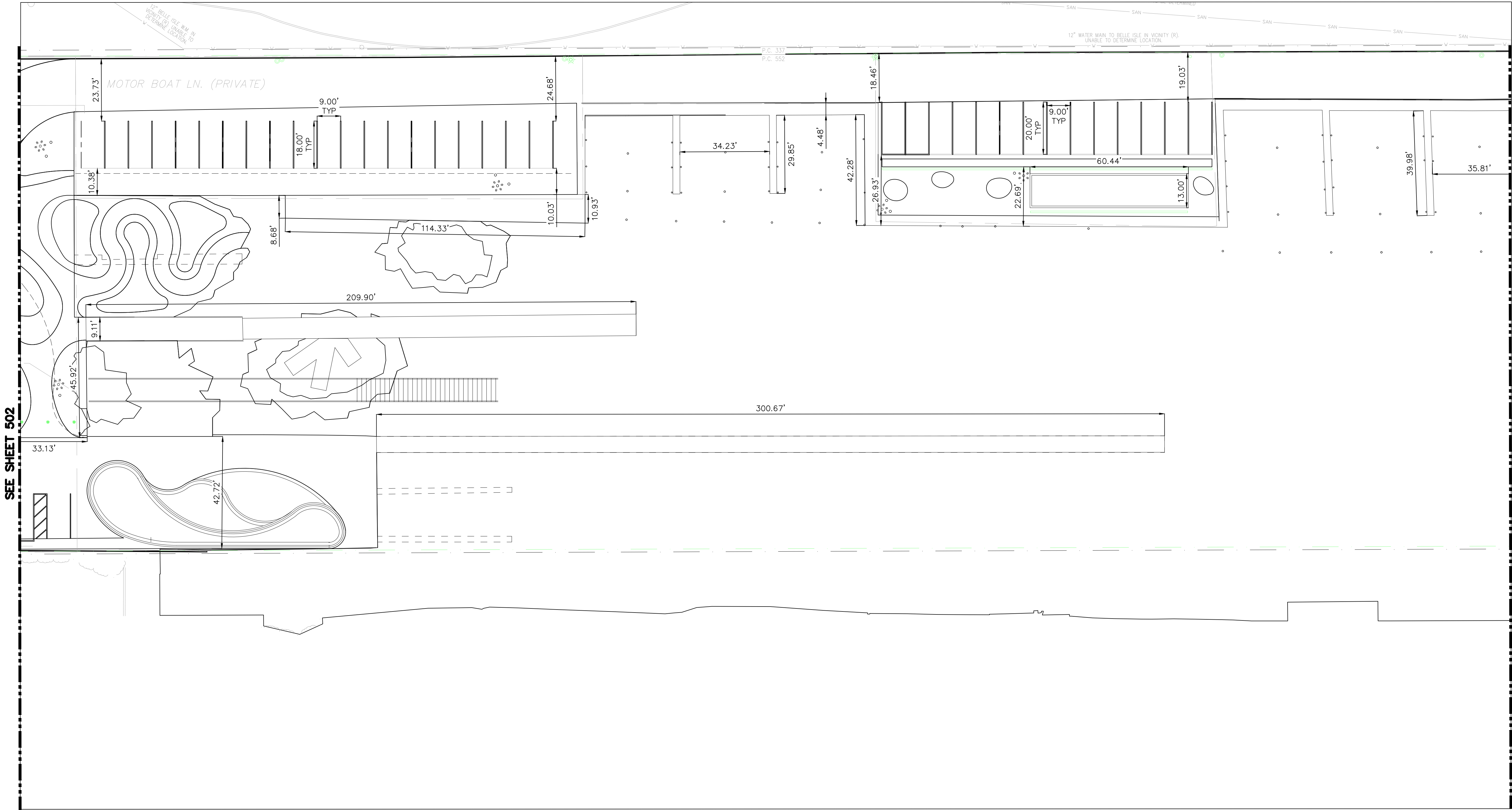
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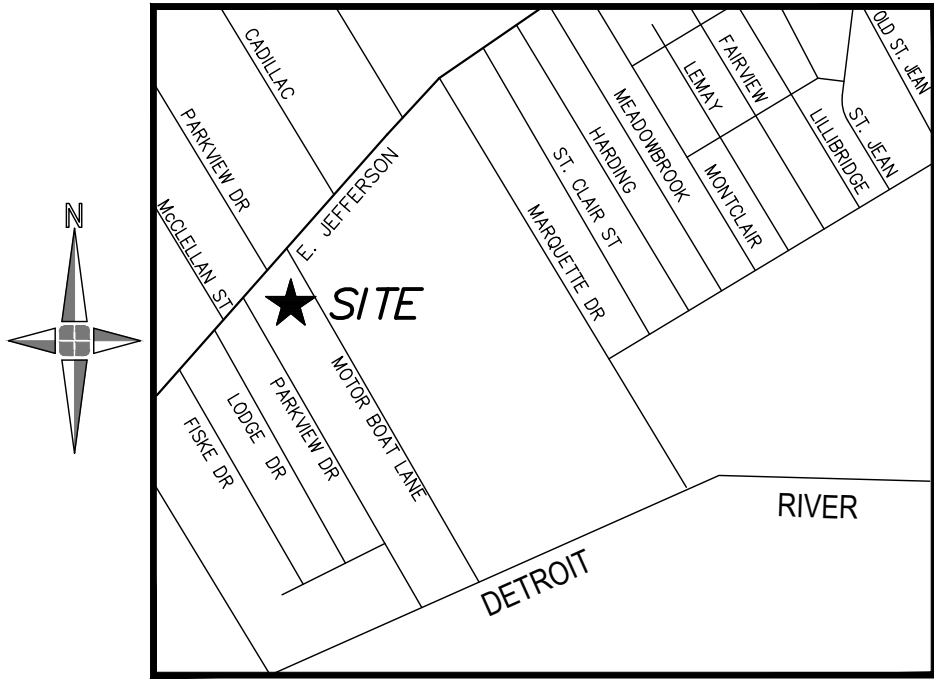
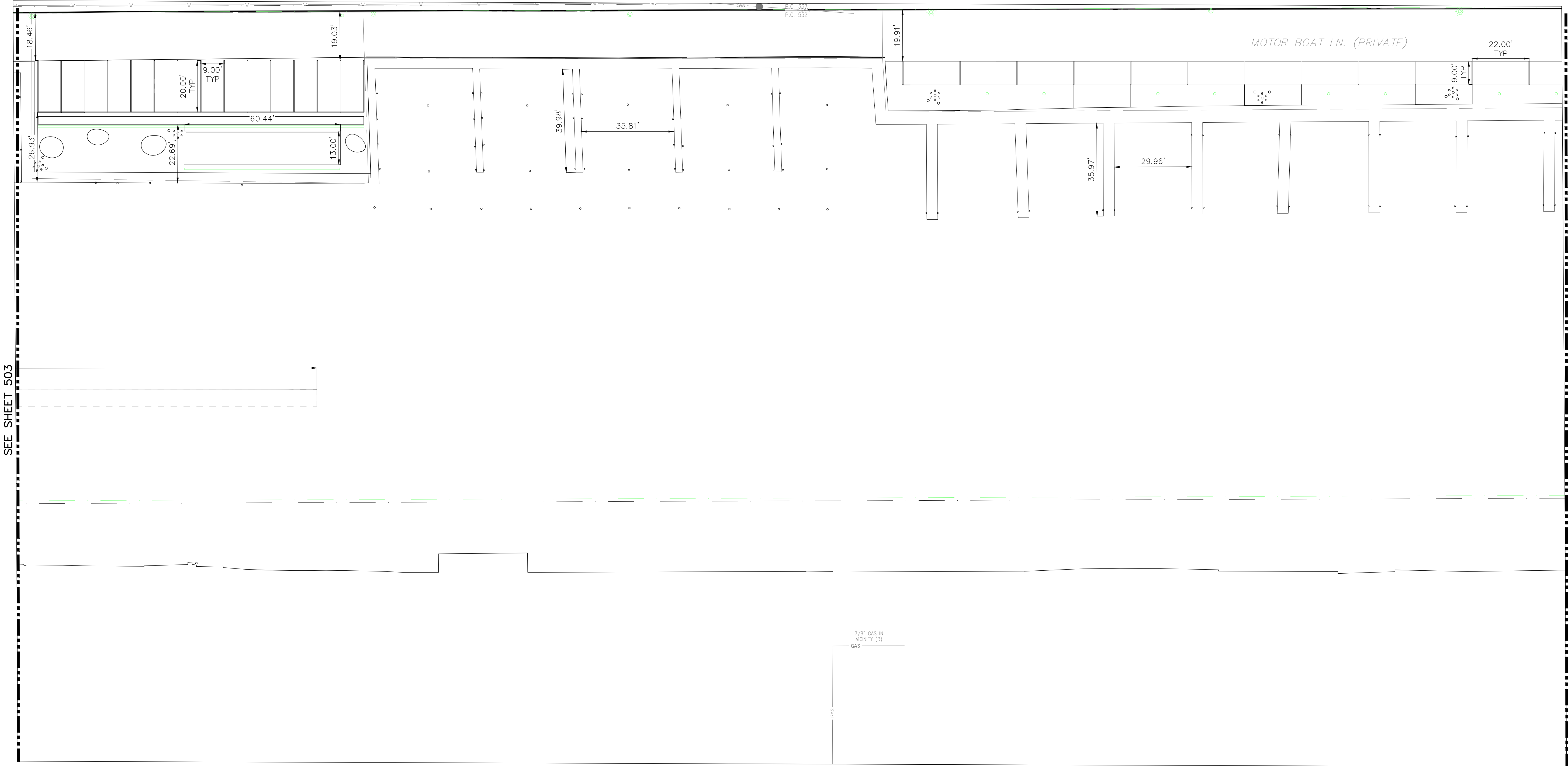
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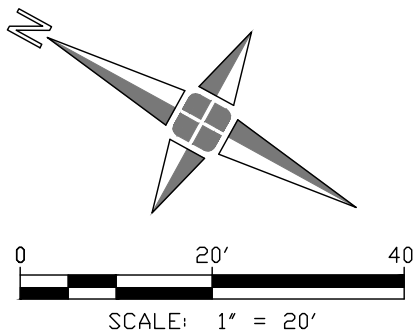
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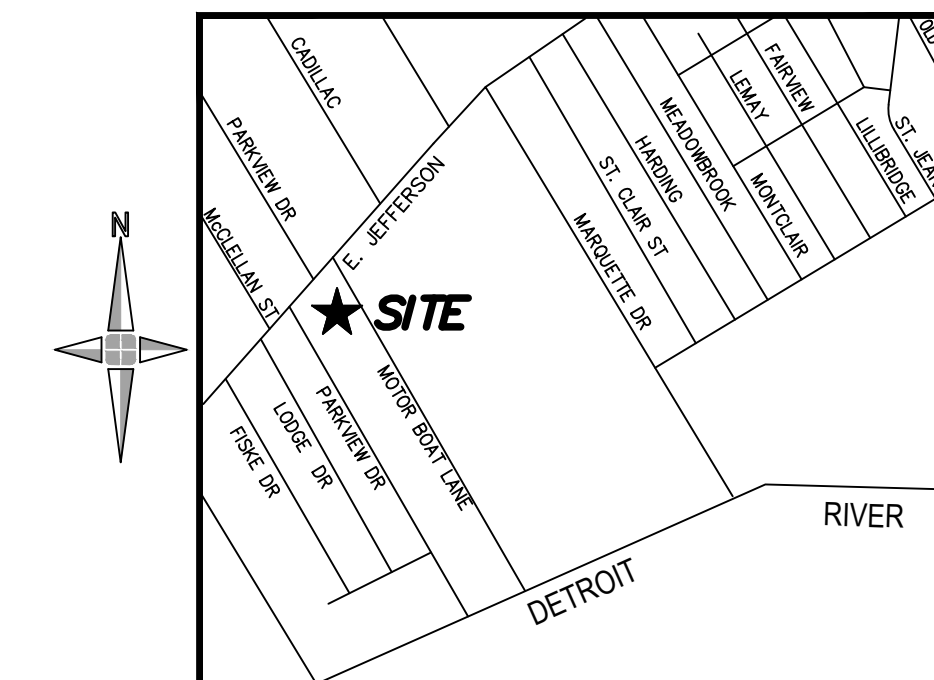
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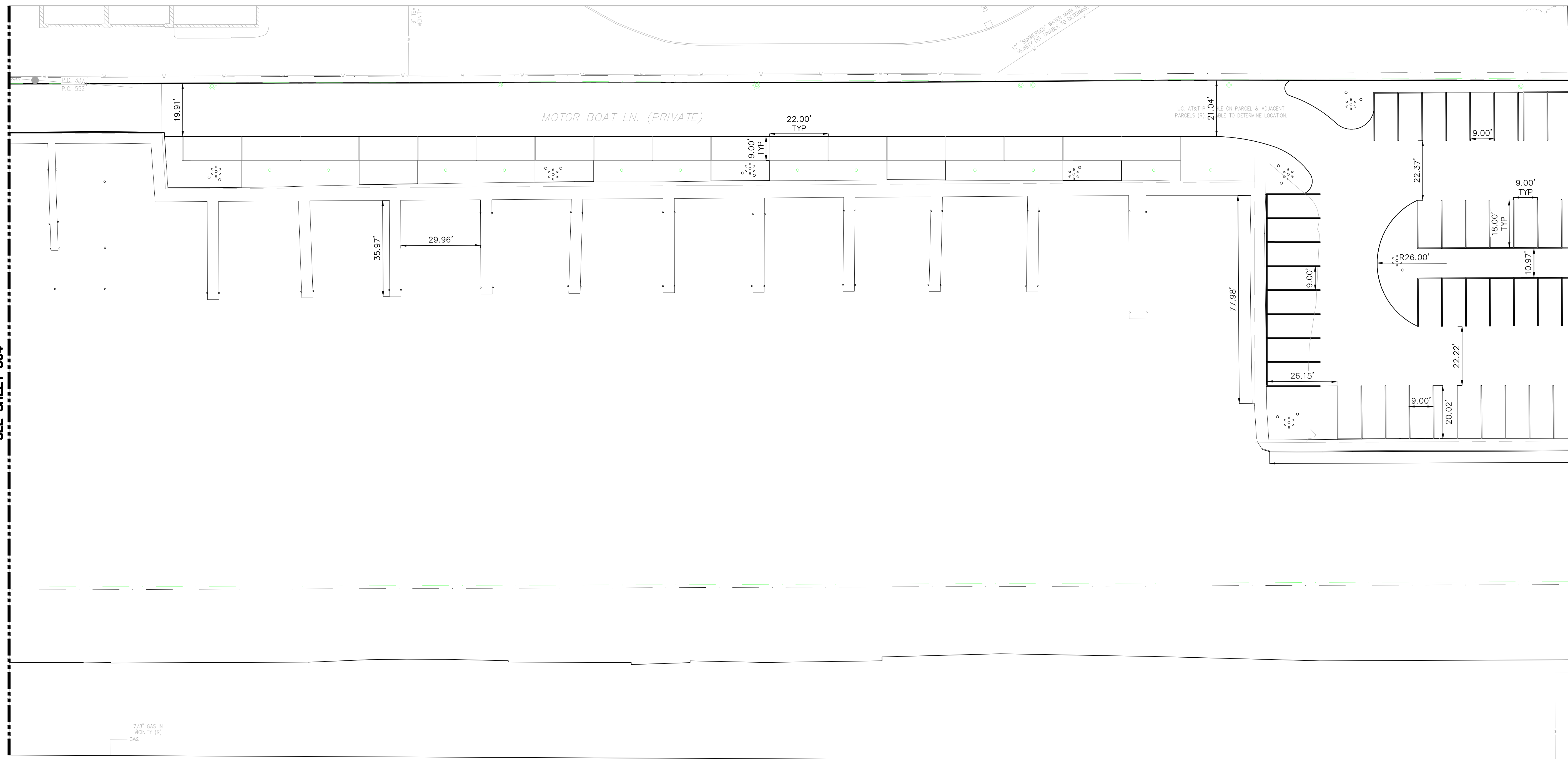
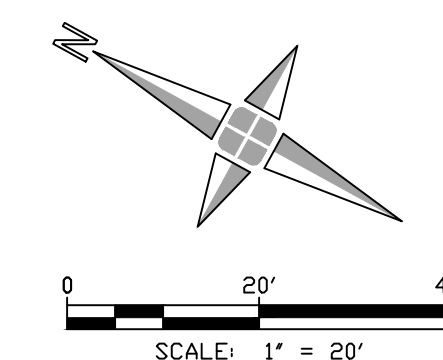
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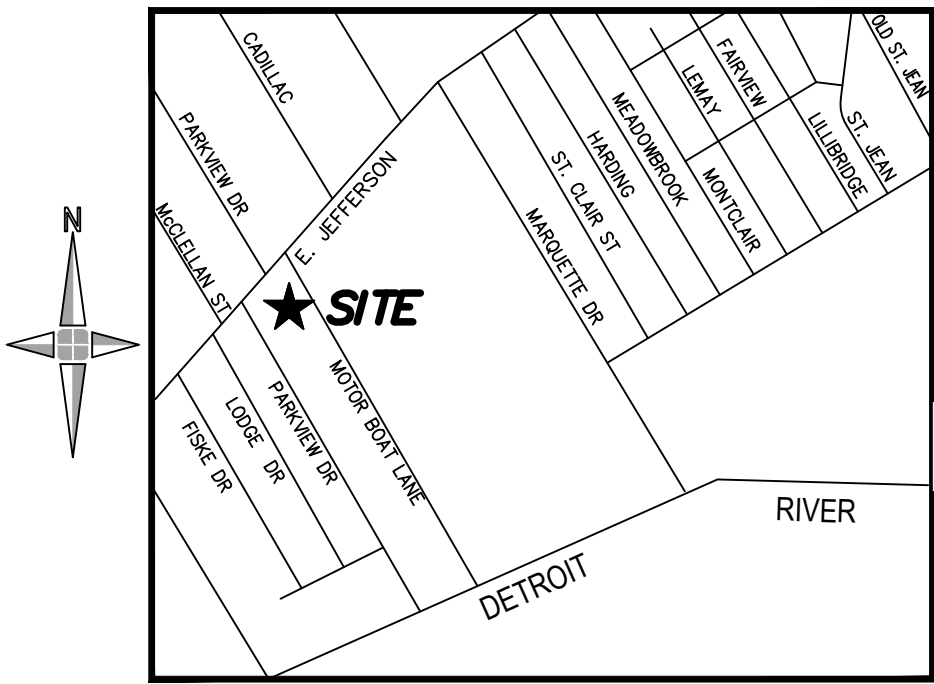
No.	Description	Date
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DIMENSIONS

Sheet : C-415

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LOCATION MAP
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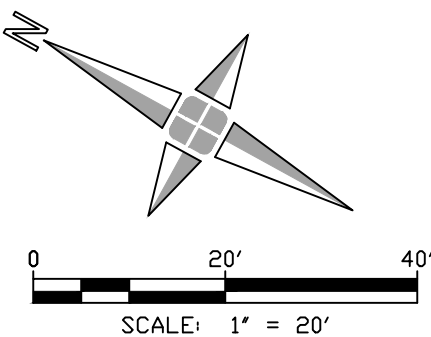
Electrical Engineer:
ETS Engineering, Inc.
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Royal Oak, MI 48068
248-744-0360

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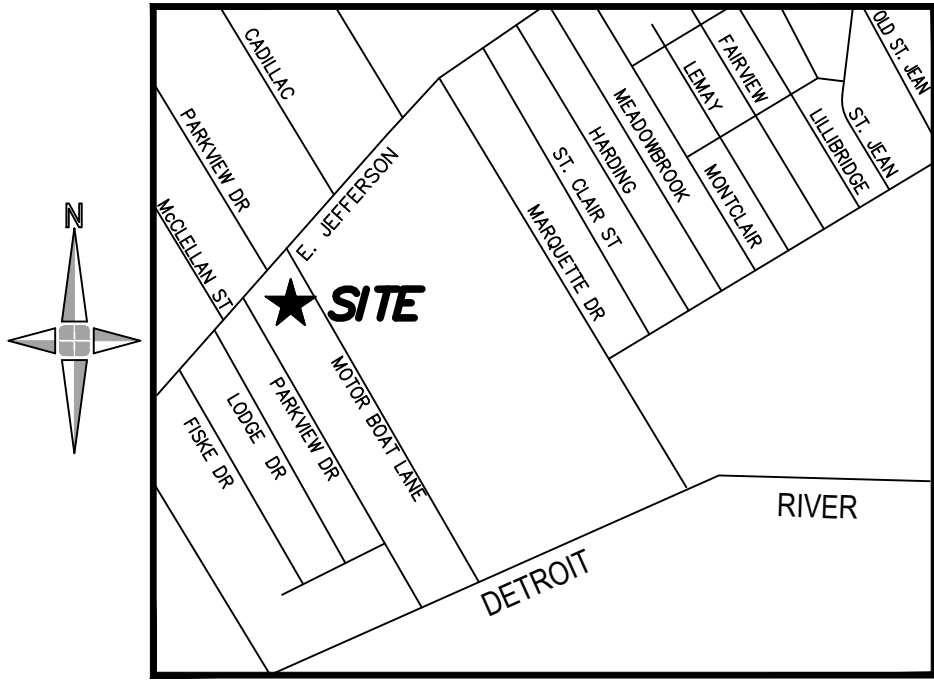


Sheet : C-416

Scale : 1" = 20'

SEE SHEET 505

SEE SHEET 507



Stanton Yards

Owner:
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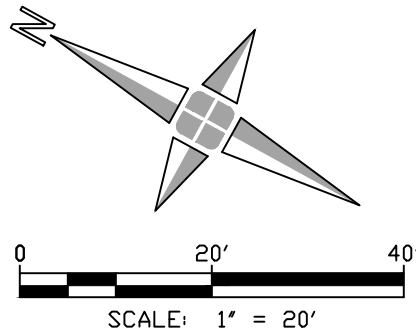
Electrical Engineer:
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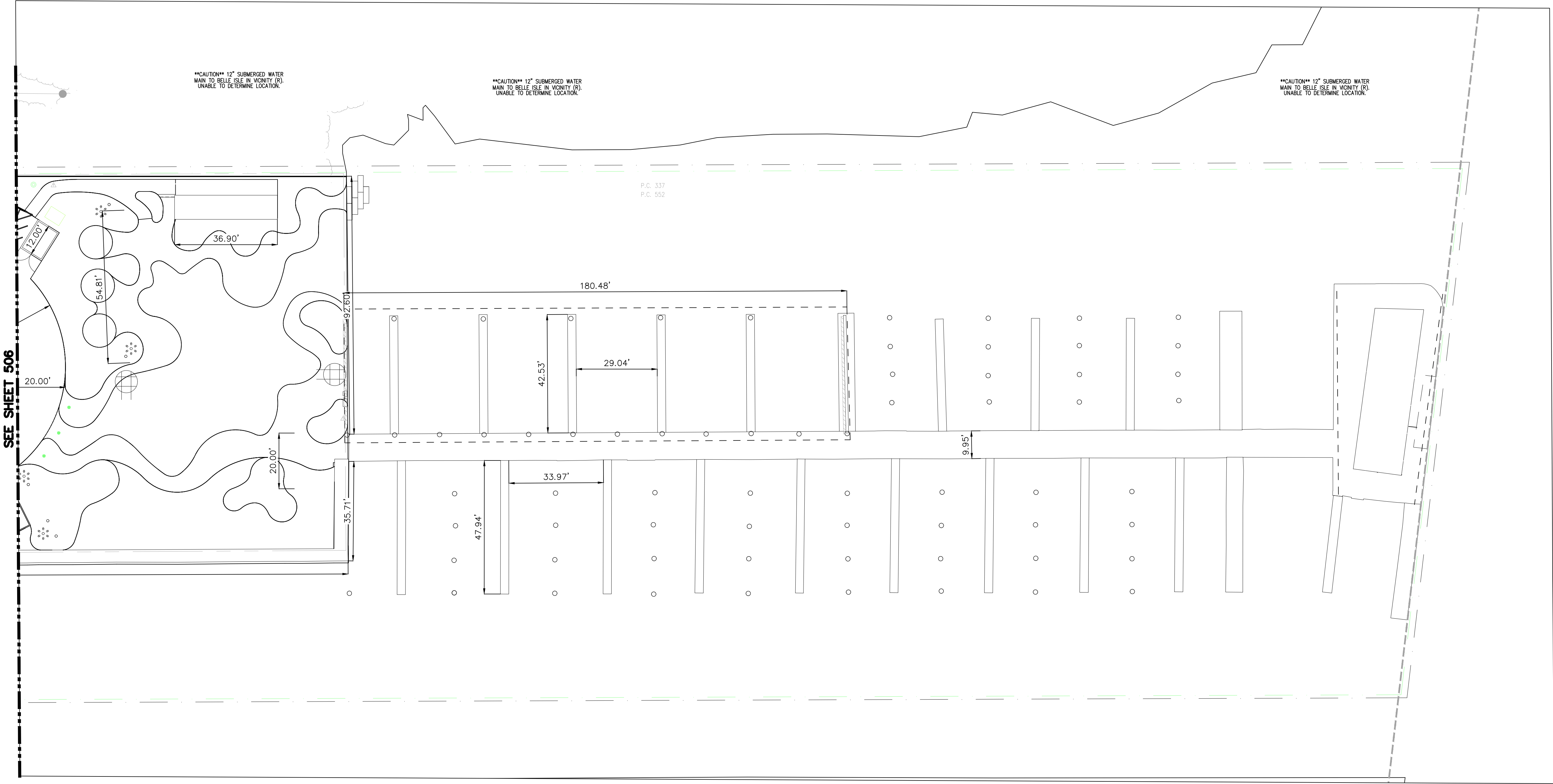


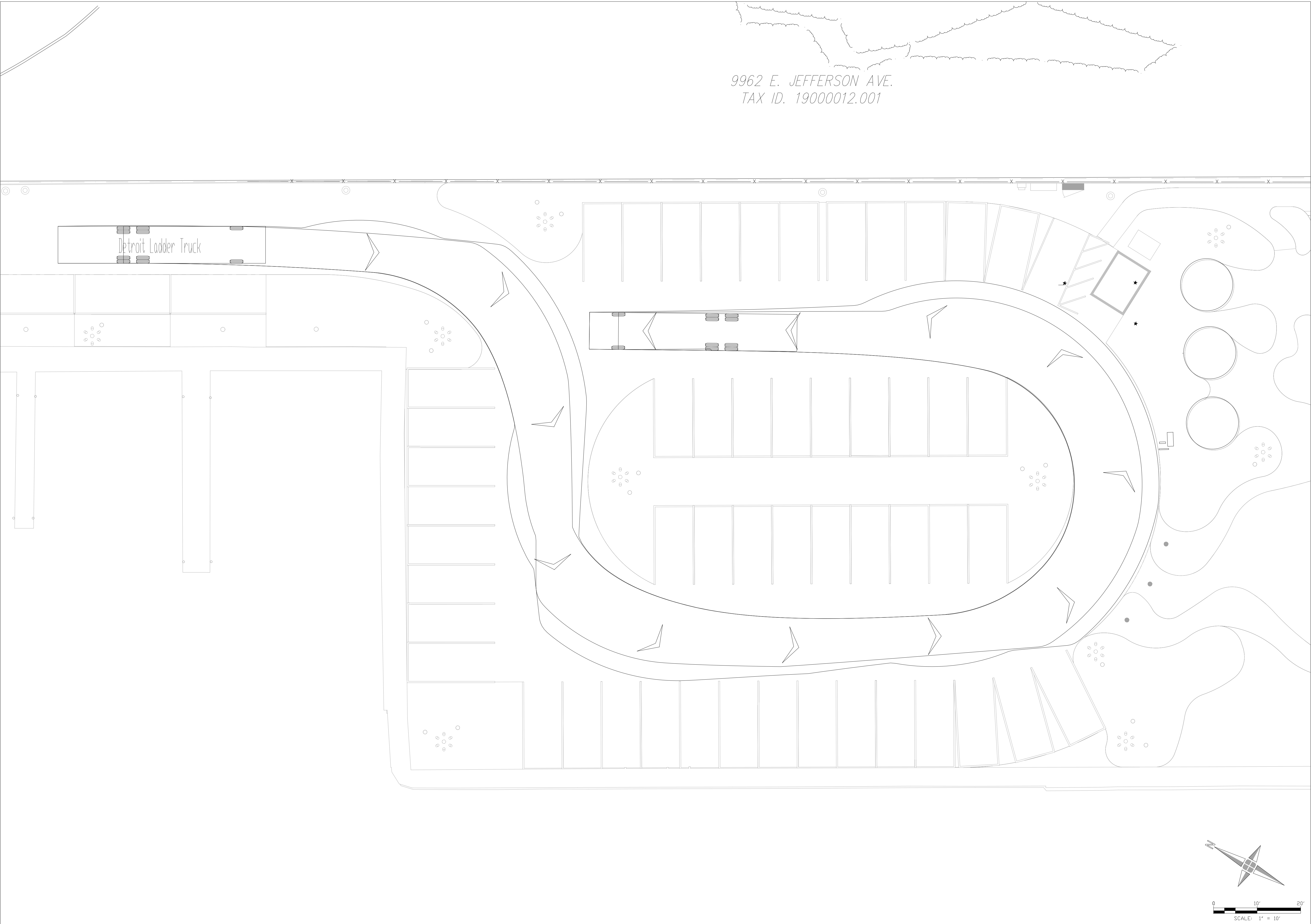
Sheet :

C-417

Scale :

1" = 20'





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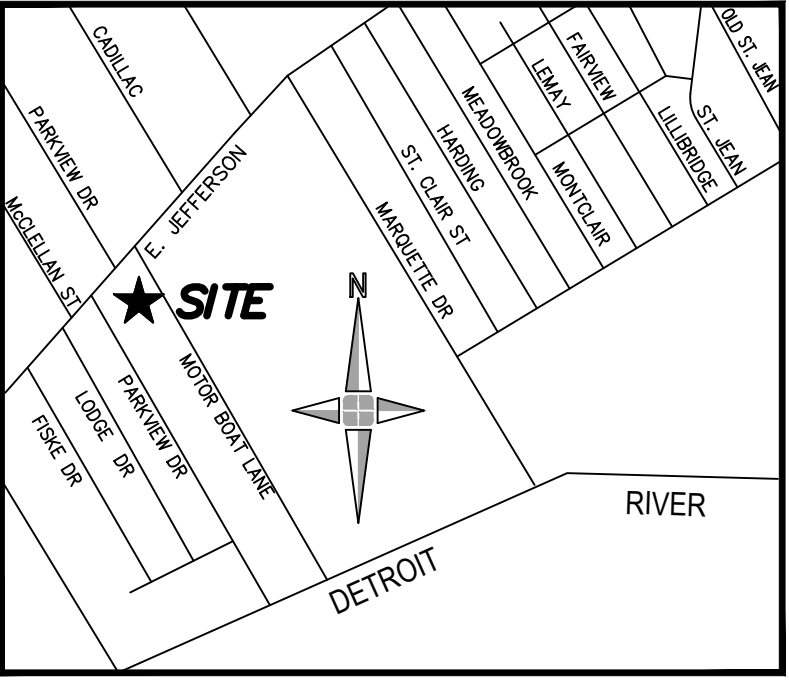
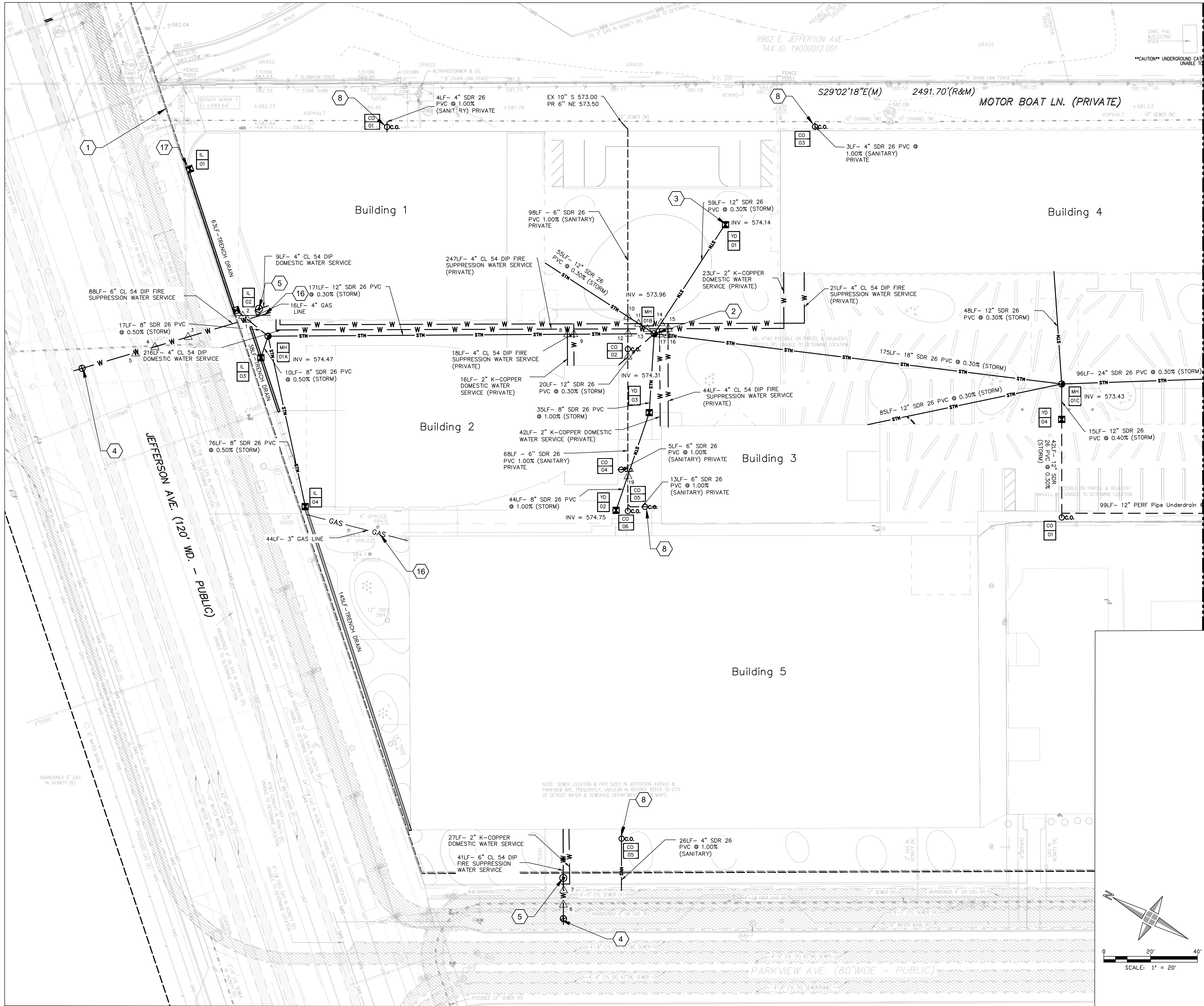
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No.	Description	Date
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FIRE TRUCK TURN
ANALYSIS

Sheet : C-450

Scale : 1" = 10'



LOCATION MAP
(NOT TO SCALE)

- LEGEND**
- STORM SEWER
 - SANITARY SEWER
 - PERFORATED DRAIN
 - WATER SERVICE
 - UNDERGROUND DETENTION TANK
 - UNDERGROUND ELECTRIC
 - GAS SERVICE
 - COMMUNICATIONS
 - FIRE HYDRANT
 - STOP BOX AND VALVE
 - FIRE DEPARTMENT CONNECTION
 - CATCH BASIN
 - SANITARY SEWER DRAIN
 - STORM CLEANOUT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - STORM SEWER CLEANOUT
 - PEDESTRIAN CROSSING SIGNAL
 - WATER METER

UTILITY PLAN - KEY NOTES

- PROPERTY LINE, TYP.
- PROPOSED STORM MANHOLE
- PROPOSED STORM YARD DRAIN
- CONNECT TO EXISTING WATER MAIN WITH CUT IN TEE AND VALVE PER DWSD STANDARDS AND SPECIFICATIONS
- NEW STOP-BOX AND CONCRETE VALVE BOX COLLAR PER DWSD STANDARDS AND SPECIFICATIONS.
- PROPOSED PRE-TREATMENT
- OUTLET INTO DETROIT RIVER
- PROPOSED SANITARY CLEANOUTS
- RELOCATE EXISTING WATER METER INSIDE THE PRIVATE PROPERTY AND CONNECT IT TO THE EXISTING PIPES
- PROPOSED WATER SERVICE PIPE, LOCATION IS TO BE DETERMINED
- EXISTING WATER SERVICE PIPE, CONNECT THE PROPOSED PIPES TO THE EXISTING. LOCATION IS TO BE DETERMINED.
- EXISTING SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
- PROPOSED SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
- PROPOSED SANITARY SERVICE PIPE, LOCATION IS TO BE DETERMINED
- VERIFY AND CLEAN EXISTING SANITARY OUTLET, LOCATION IS TO BE DETERMINED.
- PROPOSED GAS SERVICE PIPE.
- PROPOSED IN LINE DRAIN

Stanton Yards

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UTILITY PLAN

Sheet : C-500

Scale : 1" = 20'

	STORM SEWER
	SANITARY SEWER
	PERFORATED DRAIN
	WATER SERVICE
	UNDERGROUND DETENTION TANK
	UNDERGROUND ELECTRIC
	GAS SERVICE
	COMMUNICATIONS
	FIRE HYDRANT
	STOP BOX AND VALVE
	FIRE DEPARTMENT CONNECTION
	CATCH BASIN
	SANITARY SEWER DRAIN
	STORM CLEANOUT
	SANITARY MANHOLE
	STORM MANHOLE
	STORM SEWER CLEANOUT
	PEDESTRIAN CROSSING SIGNAL
	WATER METER

- 1 PROPERTY LINE, TYP.
- 2 PROPOSED STORM MANHOLE
- 3 PROPOSED STORM YARD DRAIN
- 4 CONNECT TO EXISTING WATER MAIN WITH CUT IN TEE AND VALVE PER DWSO STANDARDS AND SPECIFICATIONS
- 5 NEW STOP-BOX AND CONCRETE VALVE BOX COLLAR PER DWSO STANDARDS AND SPECIFICATIONS.
- 6 PROPOSED PRE-TREATMENT
- 7 OUTLET INTO DETROIT RIVER
- 8 PROPOSED SANITARY CLEANOUTS

9. RELOCATE EXISTING WATER METER INSIDE THE PRIVATE PROPERTY AND CONNECT IT TO THE EXISTING PIPES
10. PROPOSED WATER SERVICE PIPE, LOCATION IS TO BE DETERMINED
11. EXISTING WATER SERVICE PIPE, CONNECT THE PROPOSED PIPES TO THE EXISTING. LOCATION IS TO BE DETERMINED.
12. EXISTING SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
13. PROPOSED SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
14. PROPOSED SANITARY SERVICE PIPE, LOCATION IS TO BE DETERMINED
15. VERIFY AND CLEAN EXISTING SANITARY OUTLET, LOCATION IS TO BE DETERMINED.
16. PROPOSED GAS SERVICE PIPE.
17. PROPOSED IN LINE DRAIN

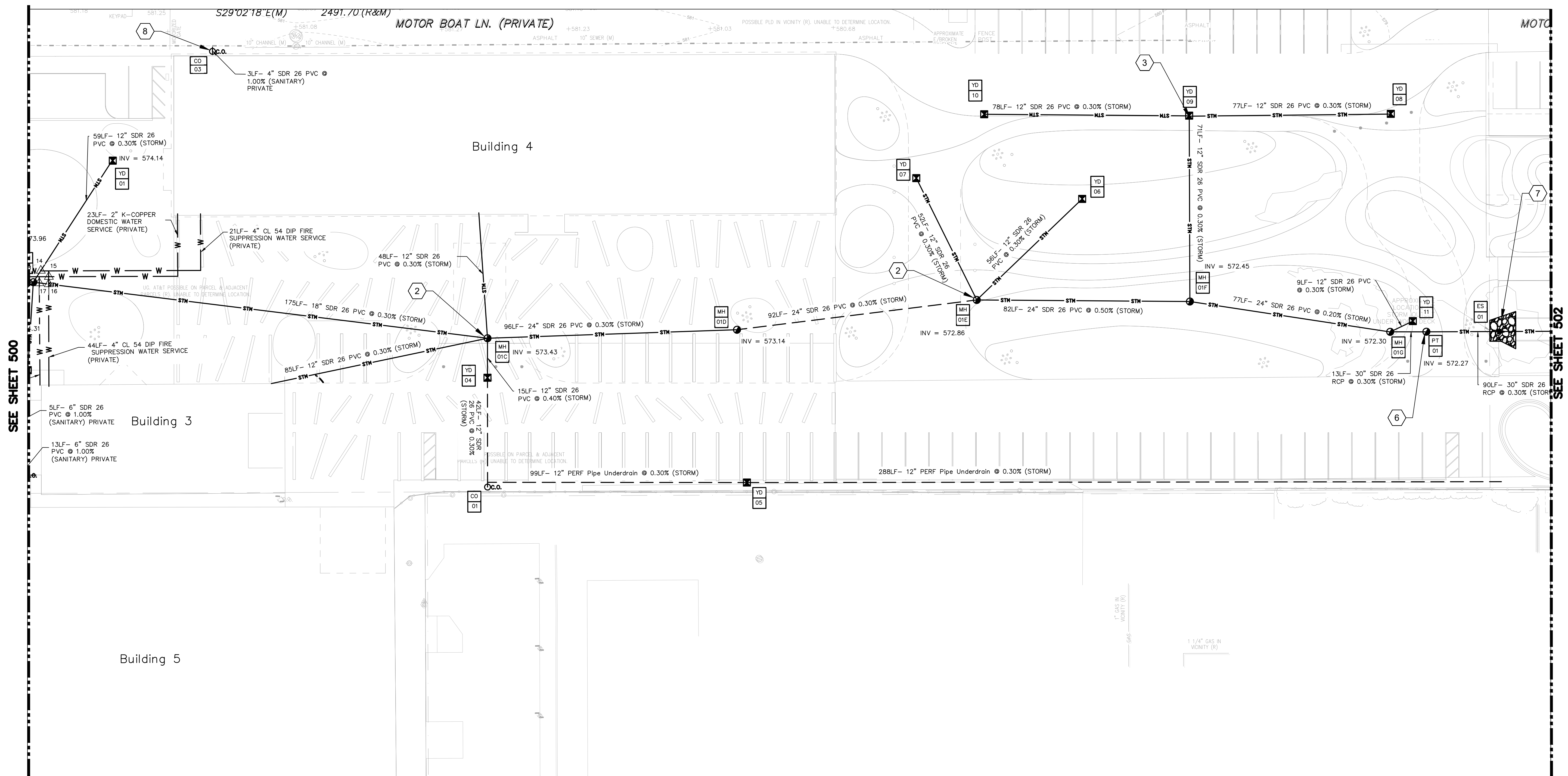
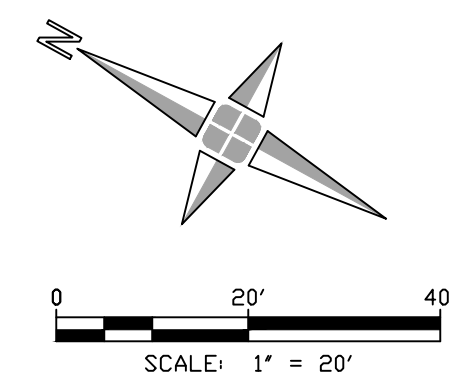


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LEGEND

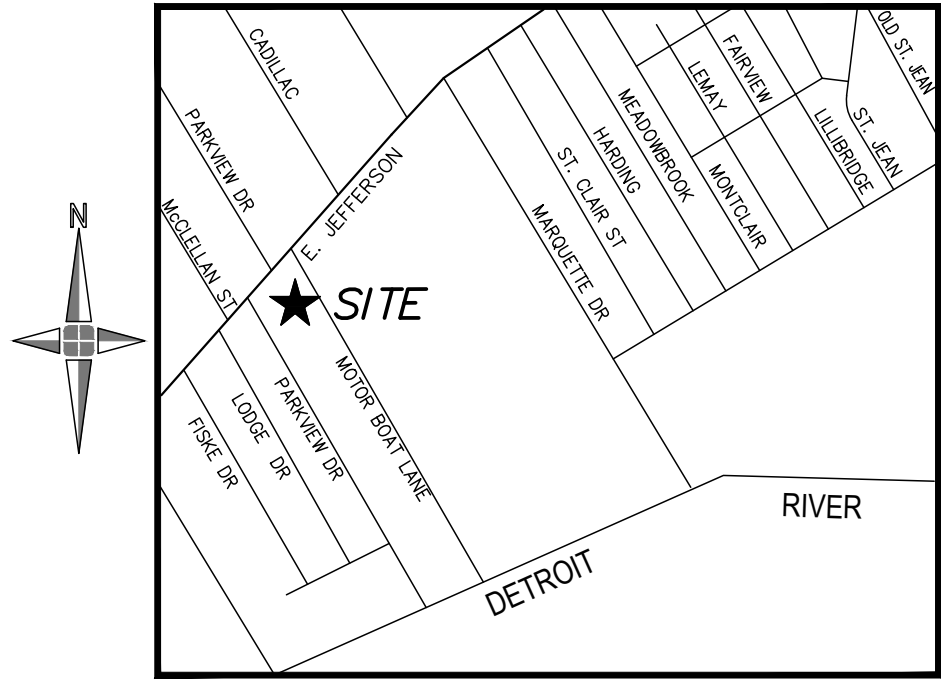
- STORM SEWER
- SANITARY SEWER
- PERFORATED DRAIN
- WATER SERVICE
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- UNDERGROUND ELECTRIC
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- COMMUNICATIONS
- FIRE HYDRANT
- STOP BOX AND VALVE
- FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- SANITARY SEWER DRAIN
- STORM CLEANOUT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM SEWER CLEANOUT
- PEDESTRIAN CROSSING SIGNAL
- WATER METER

UTILITY PLAN - KEY NOTES

- 1 PROPERTY LINE, TYP.
- 2 PROPOSED STORM MANHOLE
- 3 PROPOSED STORM YARD DRAIN
- 4 CONNECT TO EXISTING WATER MAIN WITH CUT IN TEE AND VALVE PER DWSD STANDARDS AND SPECIFICATIONS
- 5 NEW STOP-BOX AND CONCRETE VALVE BOX COLLAR PER DWSD STANDARDS AND SPECIFICATIONS.
- 6 PROPOSED PRE-TREATMENT
- 7 OUTLET INTO DETROIT RIVER
- 8 PROPOSED SANITARY CLEANOUTS

UTILITY PLAN - KEY NOTES

- 9 RELOCATE EXISTING WATER METER INSIDE THE PRIVATE PROPERTY AND CONNECT IT TO THE EXISTING PIPES
- 10 PROPOSED WATER SERVICE PIPE, LOCATION IS TO BE DETERMINED
- 11 EXISTING WATER SERVICE PIPE, CONNECT THE PROPOSED PIPES TO THE EXISTING. LOCATION IS TO BE DETERMINED.
- 12 EXISTING SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
- 13 PROPOSED SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
- 14 PROPOSED SANITARY SERVICE PIPE, LOCATION IS TO BE DETERMINED
- 15 VERIFY AND CLEAN EXISTING SANITARY OUTLET, LOCATION IS TO BE DETERMINED.
- 16 PROPOSED GAS SERVICE PIPE.
- 17 PROPOSED IN LINE DRAIN



LOCATION MAP
(NOT TO SCALE)



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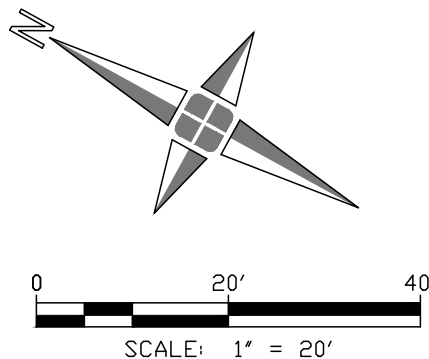
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No.	Description	Date
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UTILITY PLAN

Sheet : C-502

Scale : 1" = 20'



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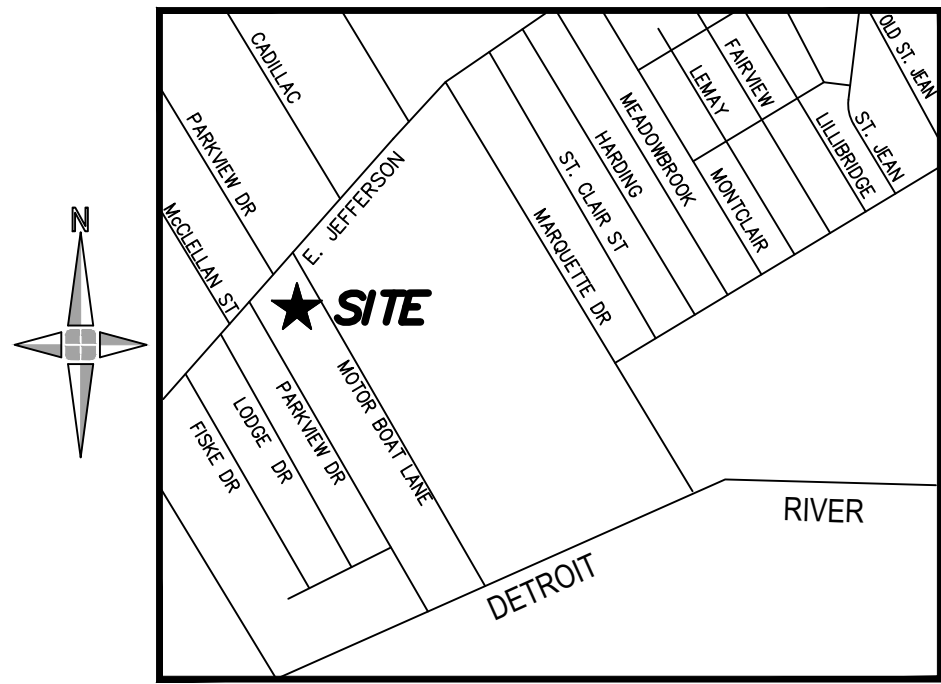
- STORM SEWER
- SANITARY SEWER
- PERFORATED DRAIN
- WATER SERVICE
- UNDERGROUND DETENTION TANK
- UNDERGROUND ELECTRIC
- GAS SERVICE
- COMMUNICATIONS
- FIRE HYDRANT
- STOP BOX AND VALVE
- FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- SANITARY SEWER DRAIN
- STORM CLEANOUT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM SEWER CLEANOUT
- PEDESTRIAN CROSSING SIGNAL
- WATER METER

UTILITY PLAN - KEY NOTES

- 1 PROPERTY LINE, TYP.
- 2 PROPOSED STORM MANHOLE
- 3 PROPOSED STORM YARD DRAIN
- 4 CONNECT TO EXISTING WATER MAIN WITH CUT IN TEE AND VALVE PER DWSD STANDARDS AND SPECIFICATIONS
- 5 NEW STOP-BOX AND CONCRETE VALVE BOX COLLAR PER DWSD STANDARDS AND SPECIFICATIONS.
- 6 PROPOSED PRE-TREATMENT
- 7 OUTLET INTO DETROIT RIVER
- 8 PROPOSED SANITARY CLEANOUTS

UTILITY PLAN - KEY NOTES

- 9 RELOCATE EXISTING WATER METER INSIDE THE PRIVATE PROPERTY AND CONNECT IT TO THE EXISTING PIPES
- 10 PROPOSED WATER SERVICE PIPE, LOCATION IS TO BE DETERMINED
- 11 EXISTING WATER SERVICE PIPE, CONNECT THE PROPOSED PIPES TO THE EXISTING. LOCATION IS TO BE DETERMINED.
- 12 EXISTING SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
- 13 PROPOSED SANITARY MANHOLE, LOCATION IS TO BE DETERMINED
- 14 PROPOSED SANITARY SERVICE PIPE, LOCATION IS TO BE DETERMINED
- 15 VERIFY AND CLEAN EXISTING SANITARY OUTLET, LOCATION IS TO BE DETERMINED.
- 16 PROPOSED GAS SERVICE PIPE.
- 17 PROPOSED IN LINE DRAIN



LOCATION MAP
(NOT TO SCALE)



Stanton Yards

Owner:
Anthony Curis
Library Street Collective
1274 Library Street (Alley)
Detroit, MI 48226

Design Architect:
SC - IL
320 Livingston St, 2nd Floor
Brooklyn, NY 11217
718-624-6666

Architect of Record:
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30150 Telegraph Road, Suite 150
Bingham Farms, MI 48025
248-331-7315

Landscape Architect:
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313-962-4442

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Mechanical and Plumbing:
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586-997-0922

Electrical Engineer:
ETS Engineering, Inc.
418-1/2 S. Washington Blvd.
Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

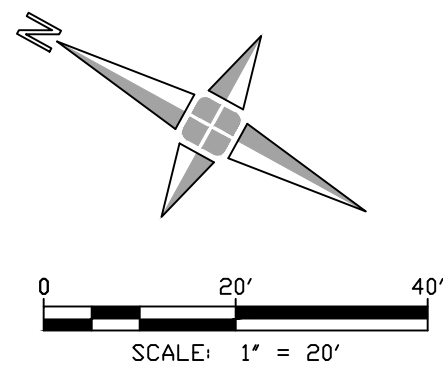
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No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

UTILITY PLAN

Sheet :

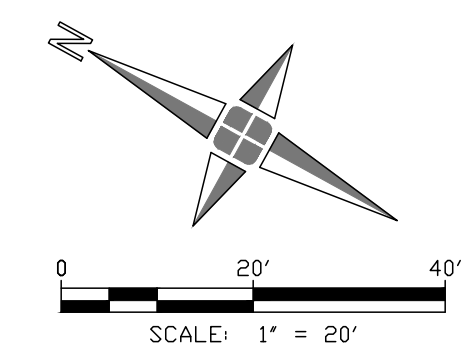
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	STORM SEWER
	SANITARY SEWER
	PERFORATED DRAIN
	WATER SERVICE
	UNDERGROUND DETENTION TANK
	UNDERGROUND ELECTRIC
	GAS SERVICE
	COMMUNICATIONS
	FIRE HYDRANT
	STOP BOX AND VALVE
	FIRE DEPARTMENT CONNECTION
	CATCH BASIN
	SANITARY SEWER DRAIN
	STORM CLEANOUT
	SANITARY MANHOLE
	STORM MANHOLE
	SEWER SEWER CLEANOUT
	PEDESTRIAN CROSSING SIGNAL
	WATER METER

- 1 PROPERTY LINE, TYP.
- 2 PROPOSED STORM MANHOLE
- 3 PROPOSED STORM YARD DRAIN
- 4 CONNECT TO EXISTING WATER MAIN WITH CUT IN TEE AND VALVE PER DWSO STANDARDS AND SPECIFICATIONS
- 5 NEW STOP-BOX AND CONCRETE VALVE BOX COLLAR PER DWSO STANDARDS AND SPECIFICATIONS.
- 6 PROPOSED PRE-TREATMENT
- 7 OUTLET INTO DETROIT RIVER
- 8 PROPOSED SANITARY CLEANOUTS

9. RELOCATE EXISTING WATER METER INSIDE THE PRIVATE PROPERTY AND CONNECT IT TO THE EXISTING PIPES
10. PROPOSED WATER SERVICE PIPE, LOCATION IS TO BE DETERMINED
11. EXISTING WATER SERVICE PIPE, CONNECT THE PROPOSED PIPES TO THE EXISTING. LOCATION IS TO BE DETERMINED.
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15. VERIFY AND CLEAN EXISTING SANITARY OUTLET, LOCATION IS TO BE DETERMINED.
16. PROPOSED GAS SERVICE PIPE.
17. PROPOSED IN LINE DRAIN



LEGEND

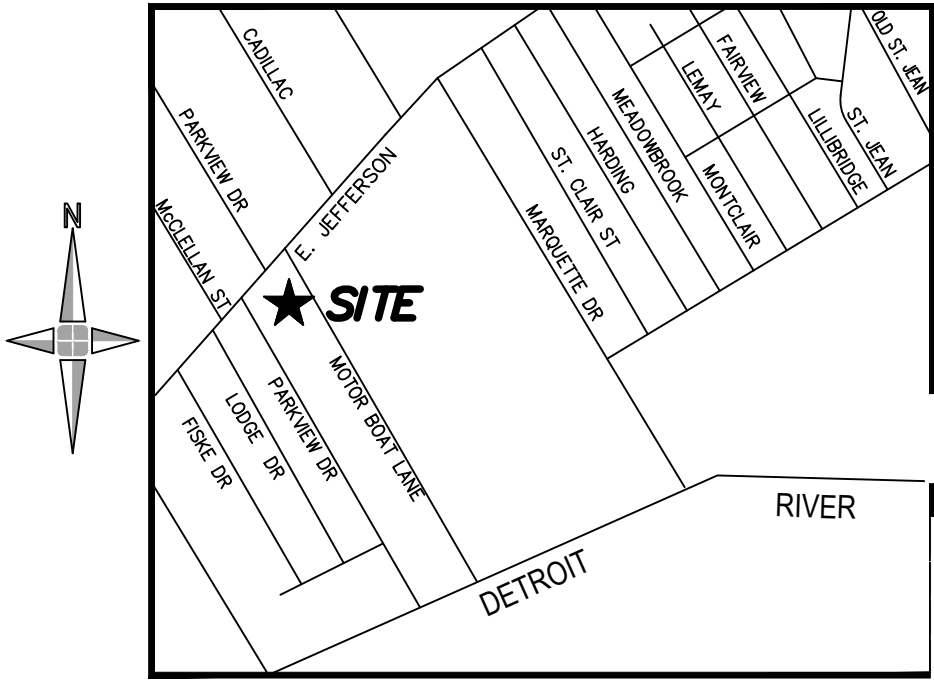
- STORM SEWER
- SAN --- SANITARY SEWER
- PERFORATED DRAIN
- V --- WATER SERVICE
- UDC --- UNDERGROUND DETENTION TANK
- UEC --- UNDERGROUND ELECTRIC
- GAS --- GAS SERVICE
- CTV --- COMMUNICATIONS
- FIRE HYDRANT
- STOP BOX AND VALVE
- FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- SANITARY SEWER DRAIN
- STORM CLEANOUT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM SEWER CLEANOUT
- PEDESTRIAN CROSSING SIGNAL
- WATER METER

UTILITY PLAN - KEY NOTES

- 1 PROPERTY LINE, TYP.
- 2 PROPOSED STORM MANHOLE
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LOCATION MAP
(NOT TO SCALE)



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Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

NOT FOR CONSTRUCTION

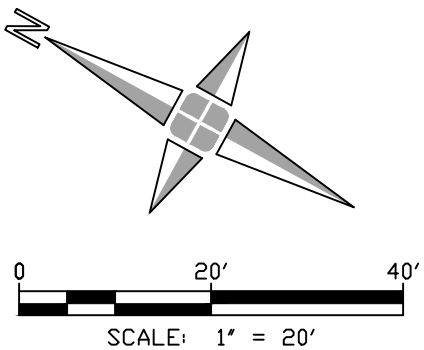
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

UTILITY PLAN

Sheet : C-505

Scale :

1" = 20'

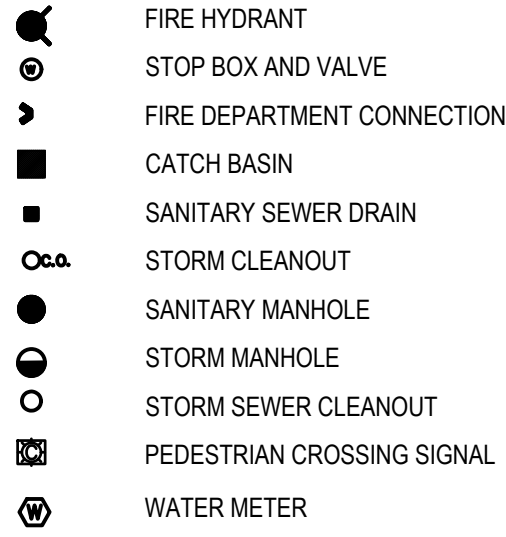


SEE SHEET 504

SEE SHEET 506

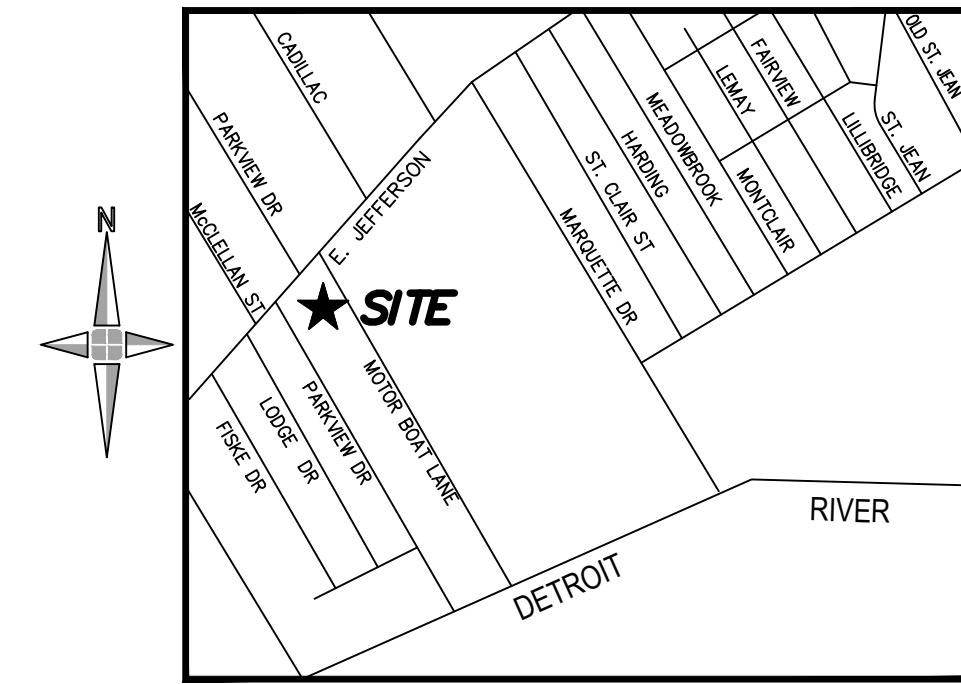
Diagram illustrating the cross-section of the ground showing various underground utilities:

- STORM SEWER
- SANITARY SEWER (labeled SAN)
- PERFORATED DRAIN
- WATER SERVICE (labeled V)
- UNDERGROUND DETENTION TANK
- UNDERGROUND ELECTRIC (labeled UE)
- GAS SERVICE (labeled GAS)
- COMMUNICATIONS (labeled CTV)



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STANTON
YARDS

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Stamps & Signatures:

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No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

Sheet : C-506

Scale : 1" = 20'

SEE SHEET 505

LEGEND

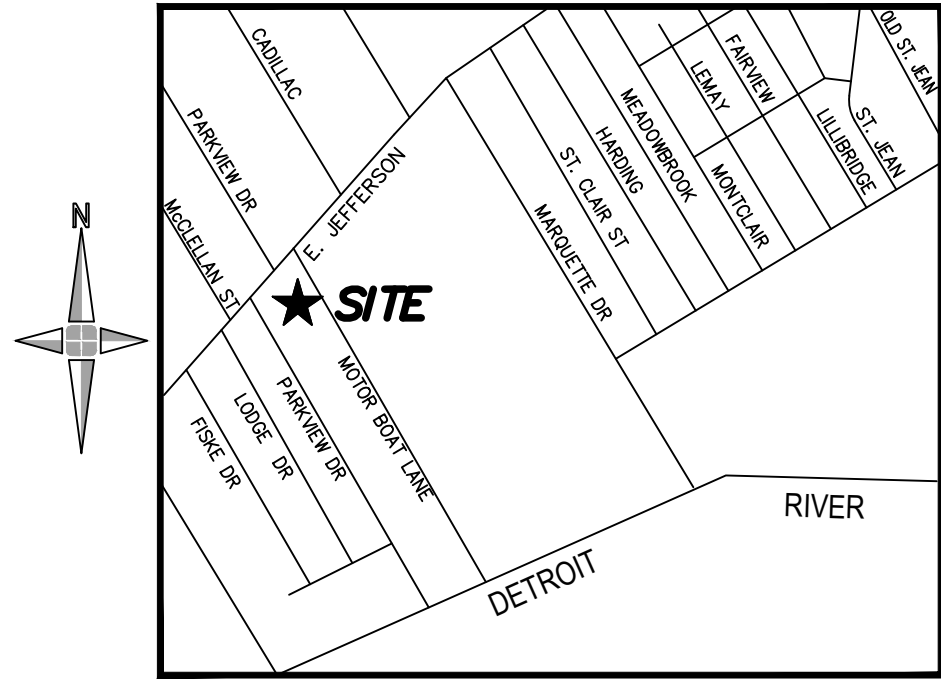
- STORM SEWER
- SANITARY SEWER
- PERFORATED DRAIN
- WATER SERVICE
- UNDERGROUND DETENTION TANK
- UNDERGROUND ELECTRIC
- GAS SERVICE
- COMMUNICATIONS
- FIRE HYDRANT
- STOP BOX AND VALVE
- FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- SANITARY SEWER DRAIN
- STORM CLEANOUT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM SEWER CLEANOUT
- PEDESTRIAN CROSSING SIGNAL
- WATER METER

UTILITY PLAN - KEY NOTES

- 1 PROPERTY LINE, TYP.
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LOCATION MAP
(NOT TO SCALE)



Stanton Yards

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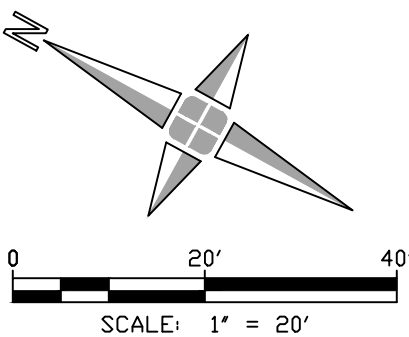
Electrical Engineer:
ETS Engineering, Inc.
418-1/2 S. Washington Blvd.
Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

NOT FOR CONSTRUCTION

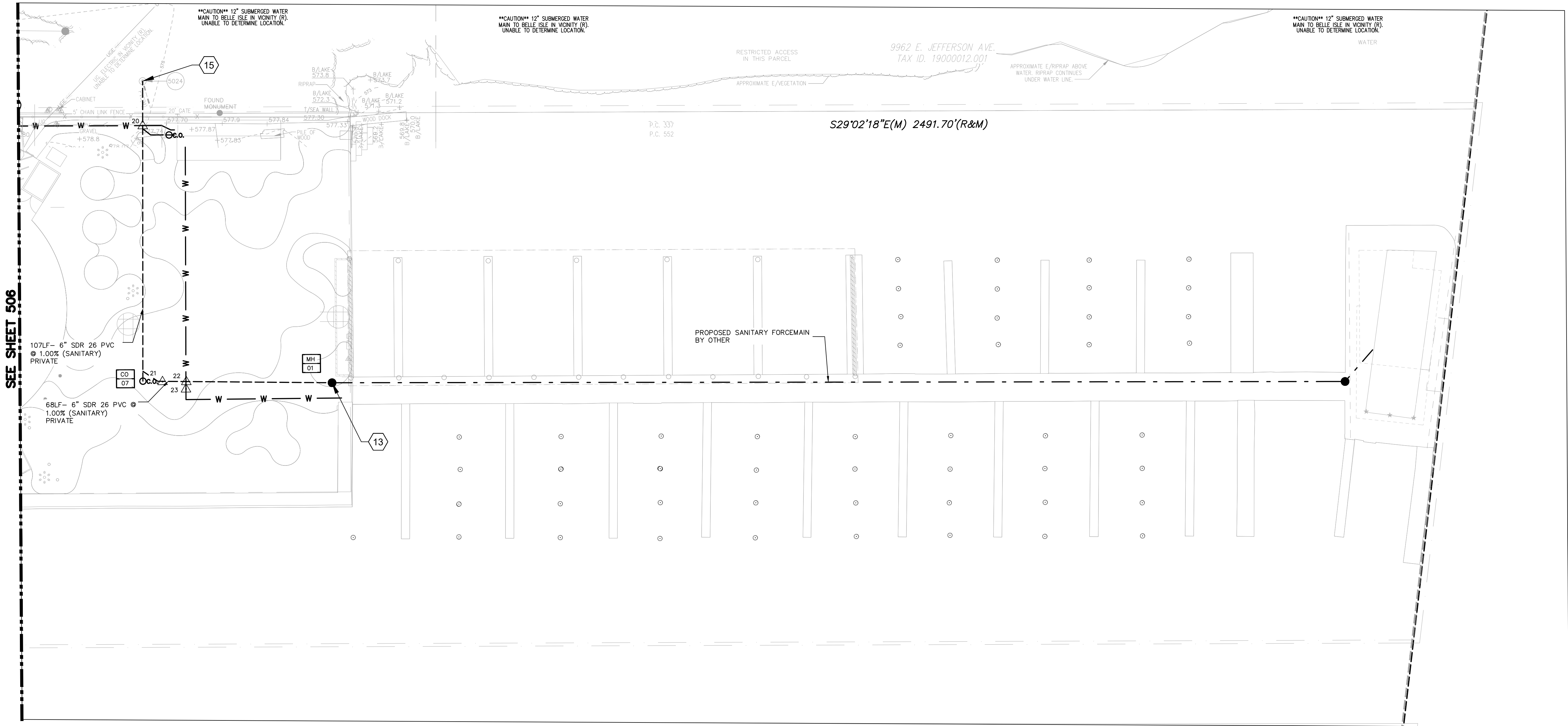
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

UTILITY PLAN



Sheet : C-507

Scale : 1" = 20'



SEE SHEET 506



Stanton Yards

Owner:
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586-997-0922

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418-1/2 S. Washington Blvd.
Royal Oak, MI 48068
248-744-0360

Stamps & Signatures:

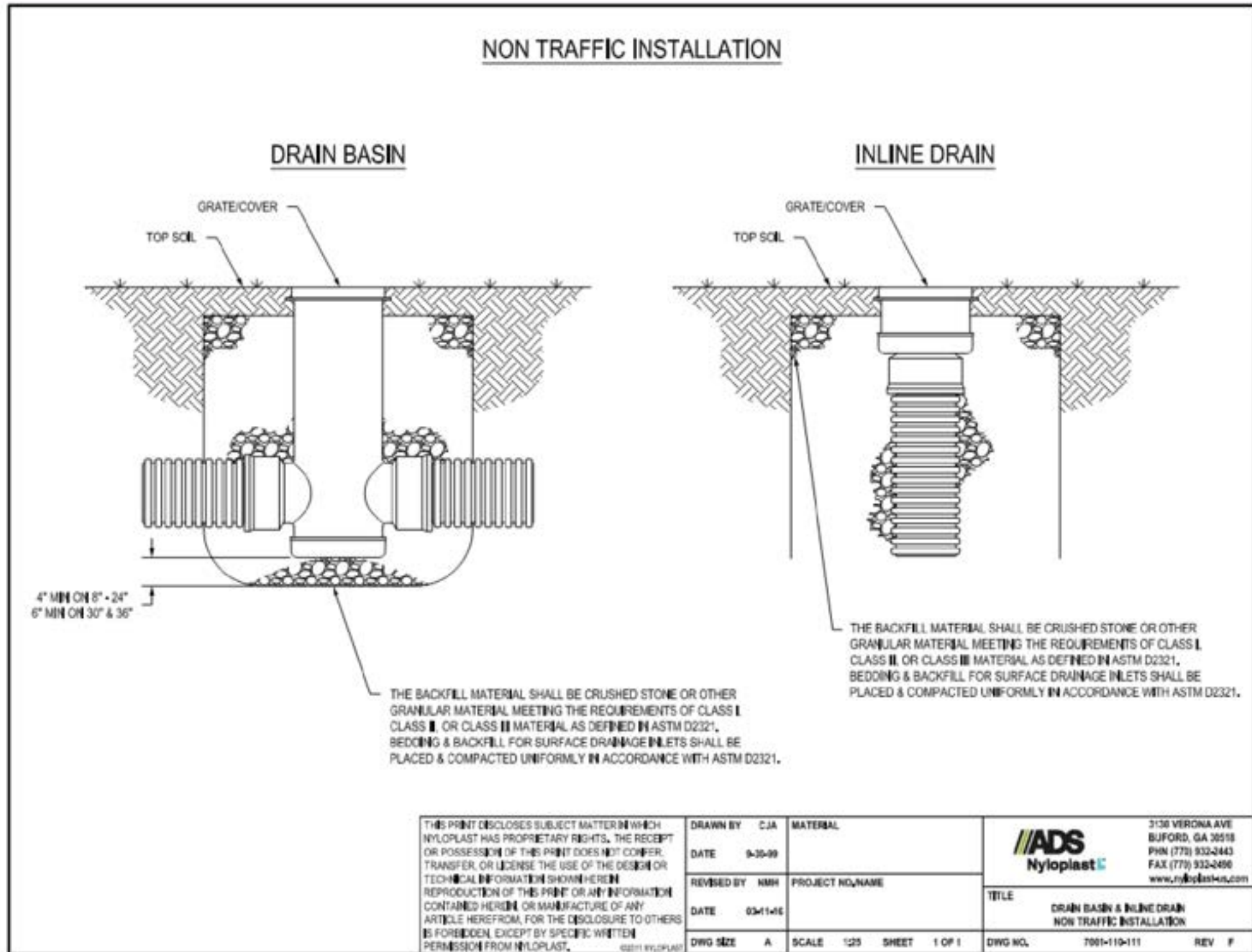
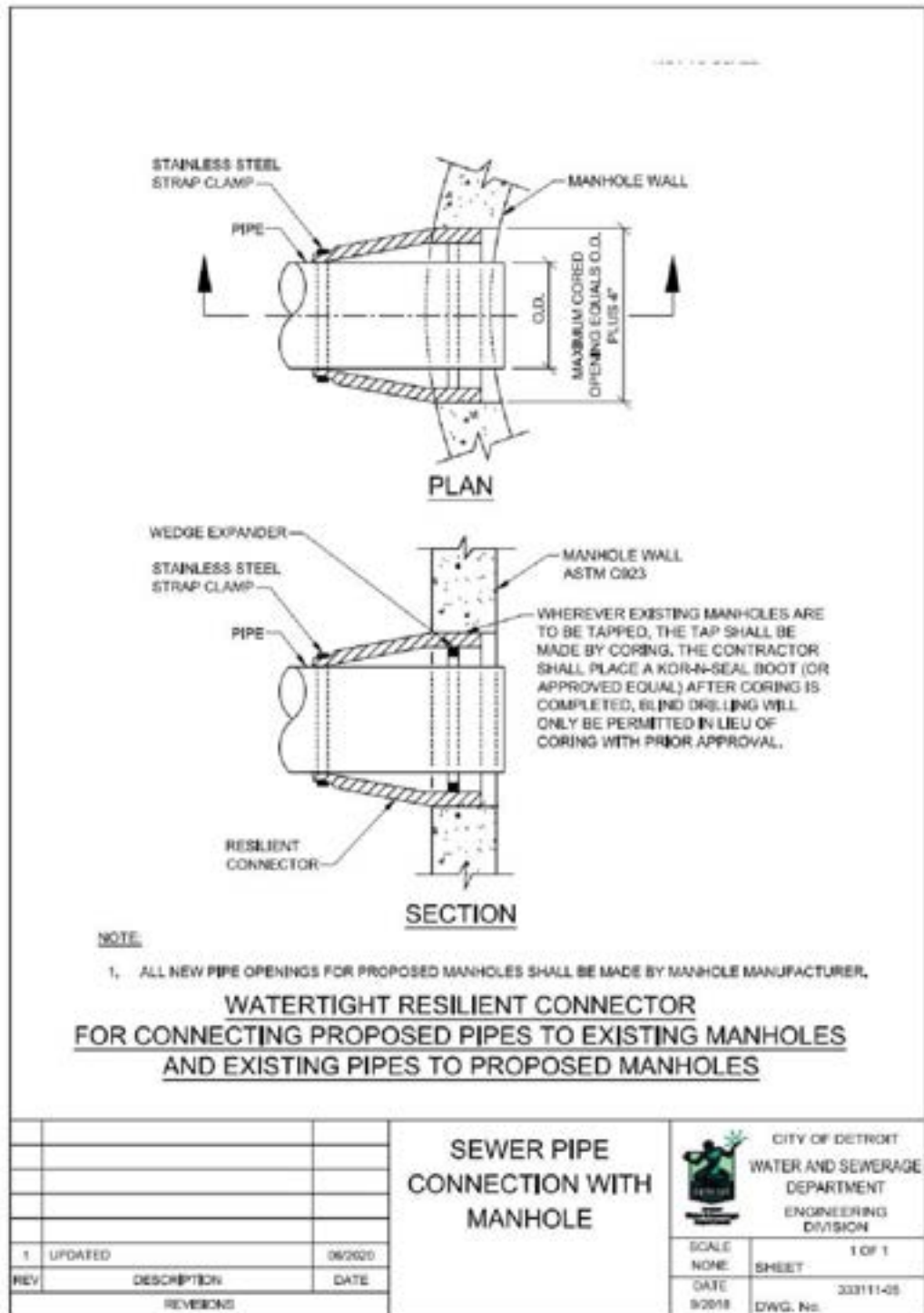
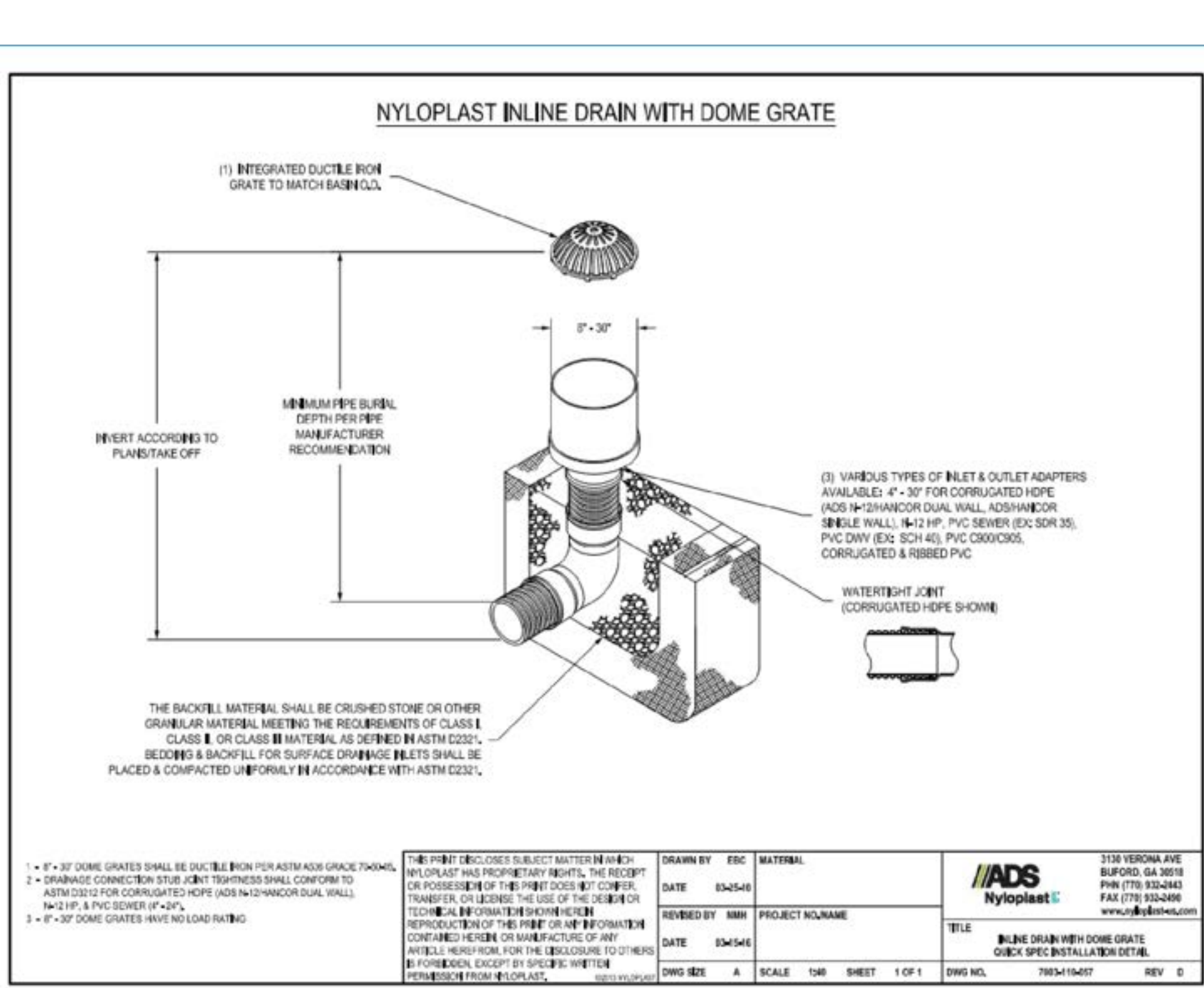
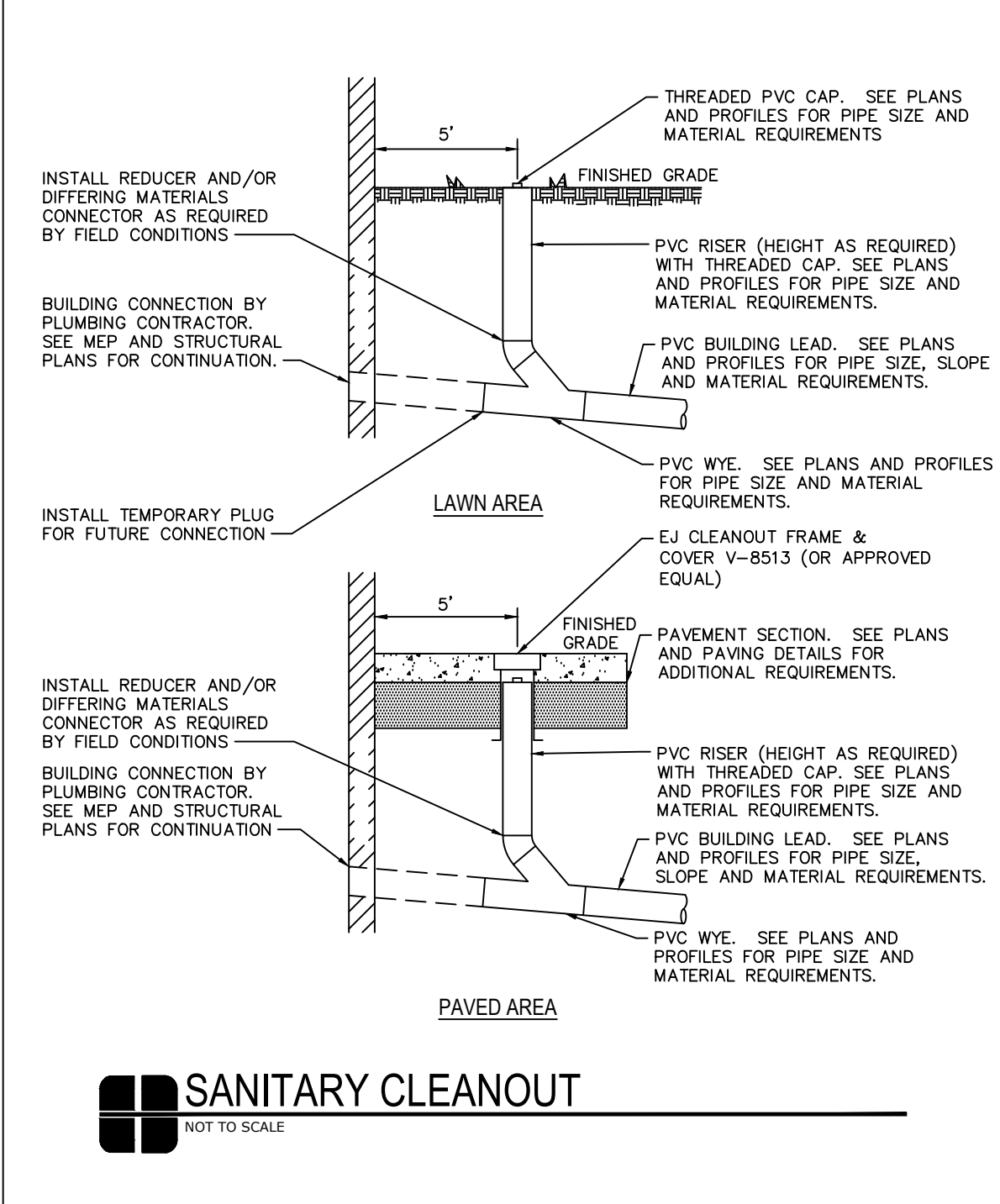
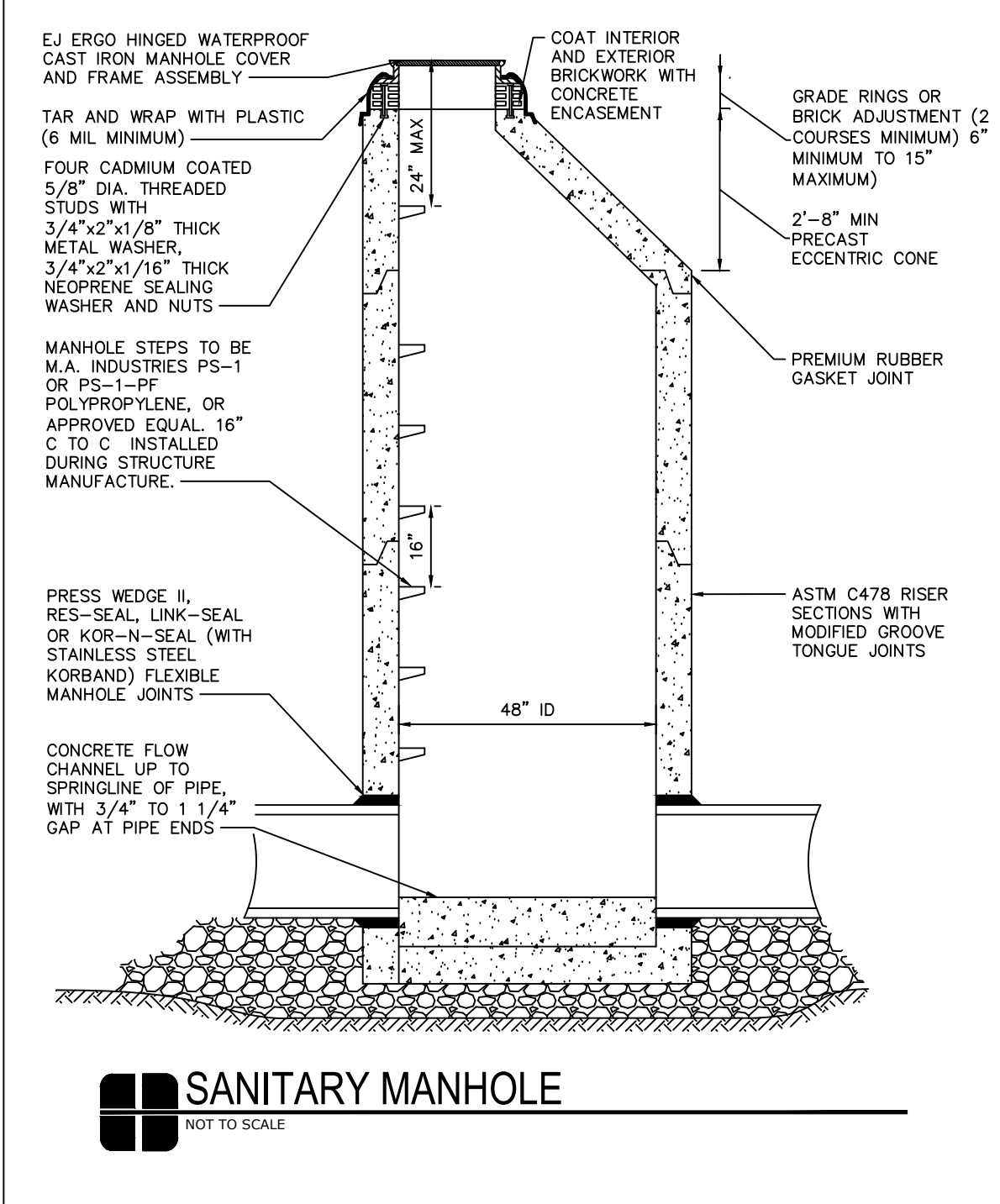
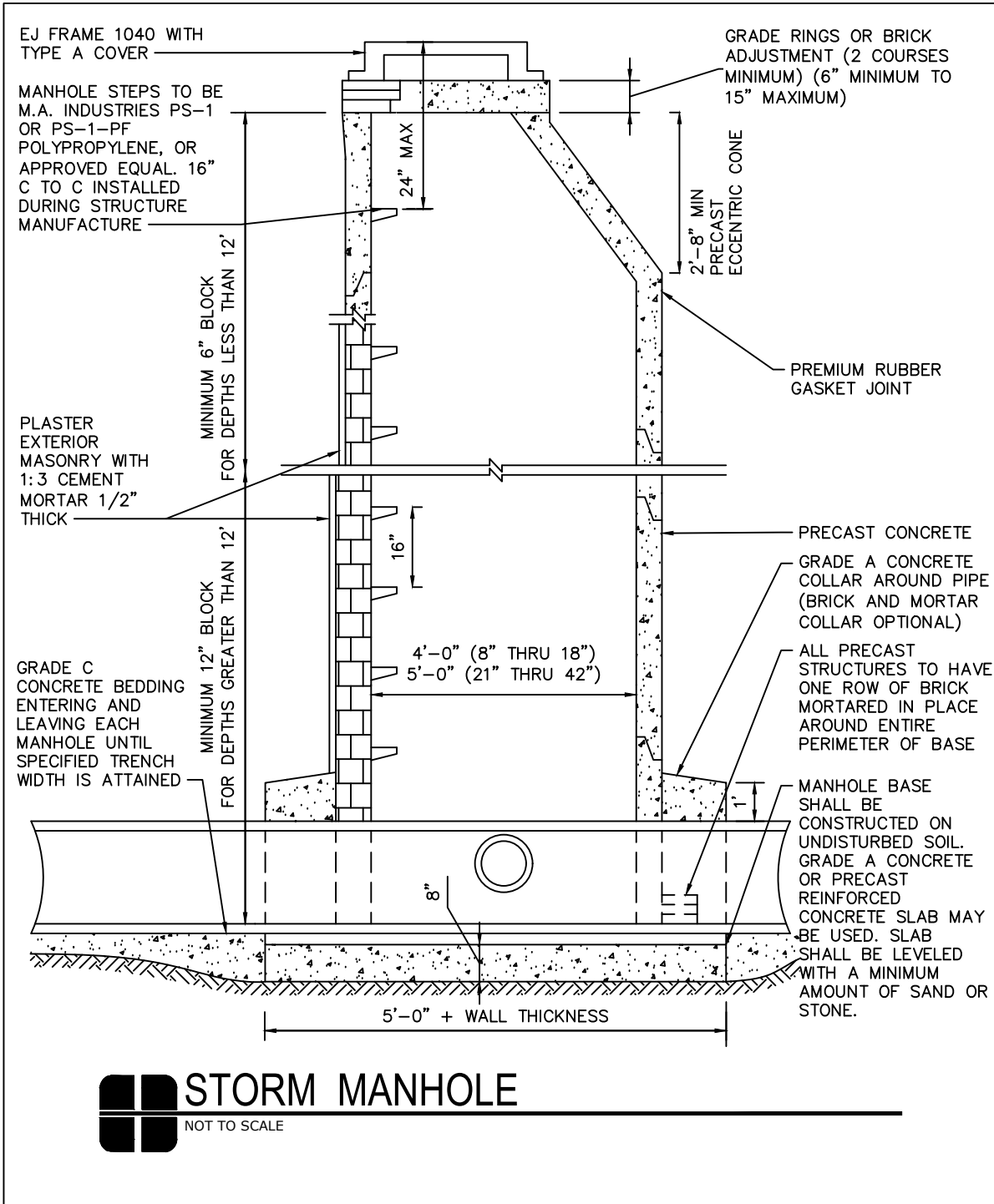
NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

UTILITY CALCULATIONS

Sheet : C-508

Scale : NONE



Stanton Yards

Owner:
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Stamps & Signatures:

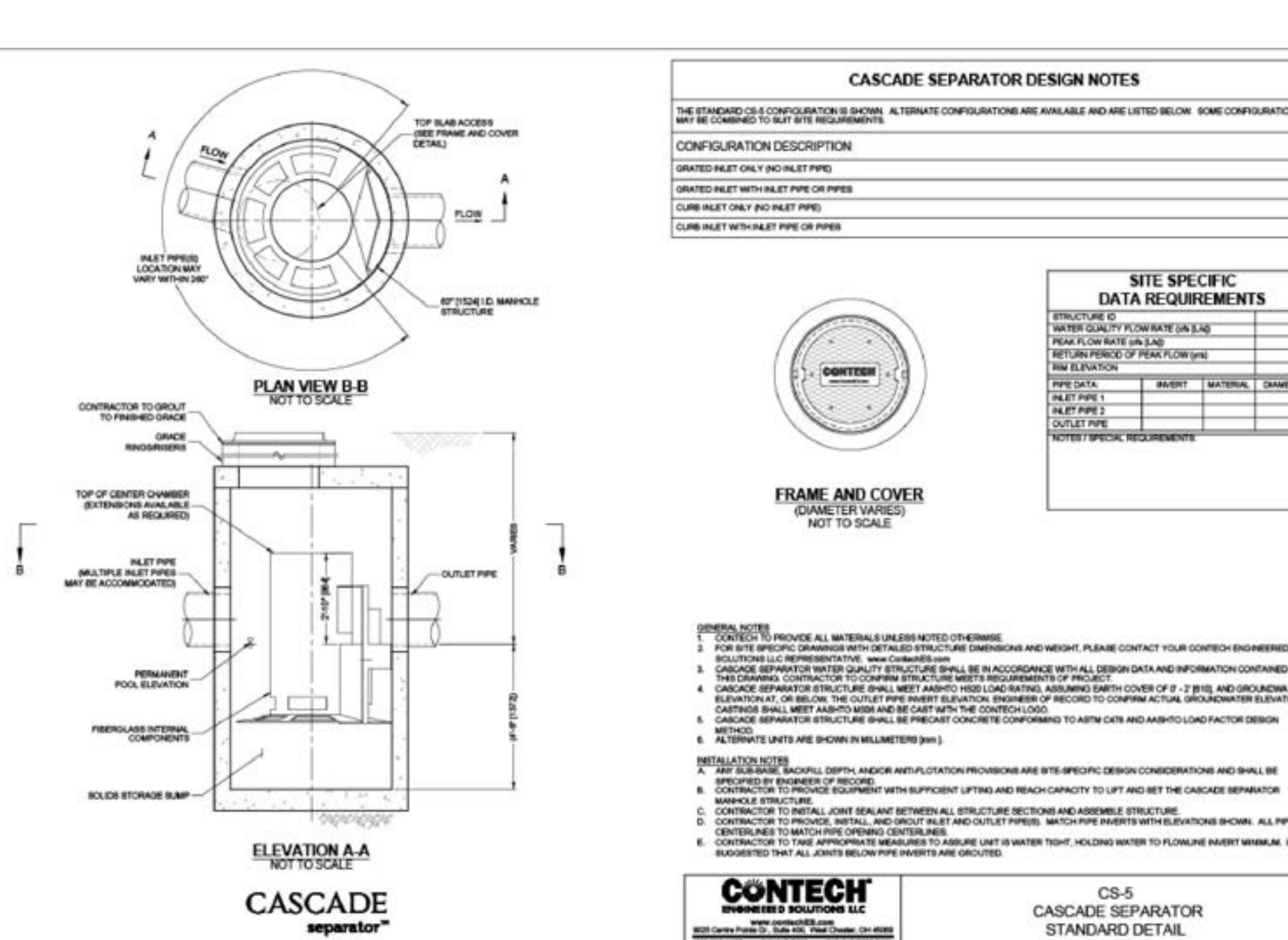
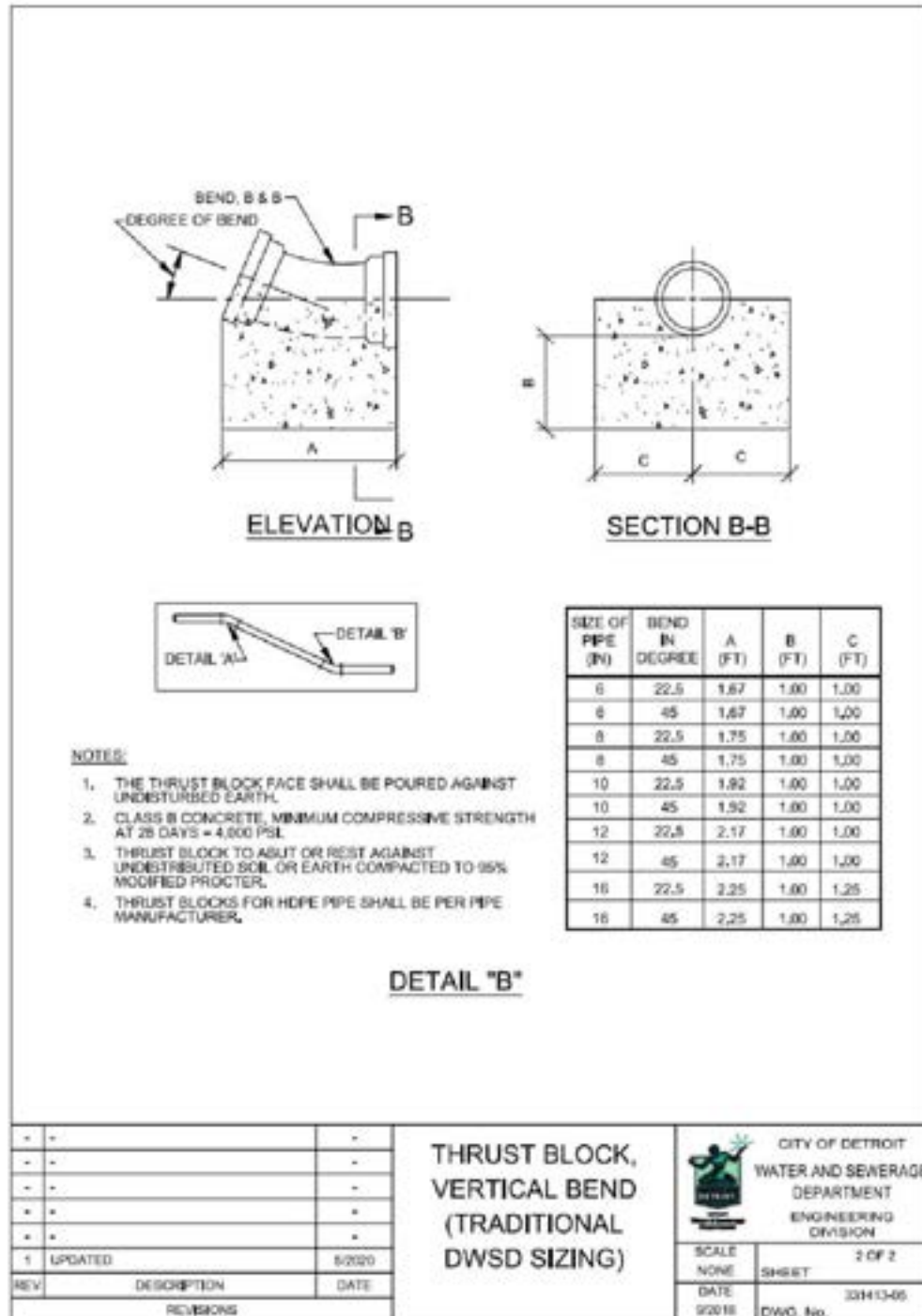
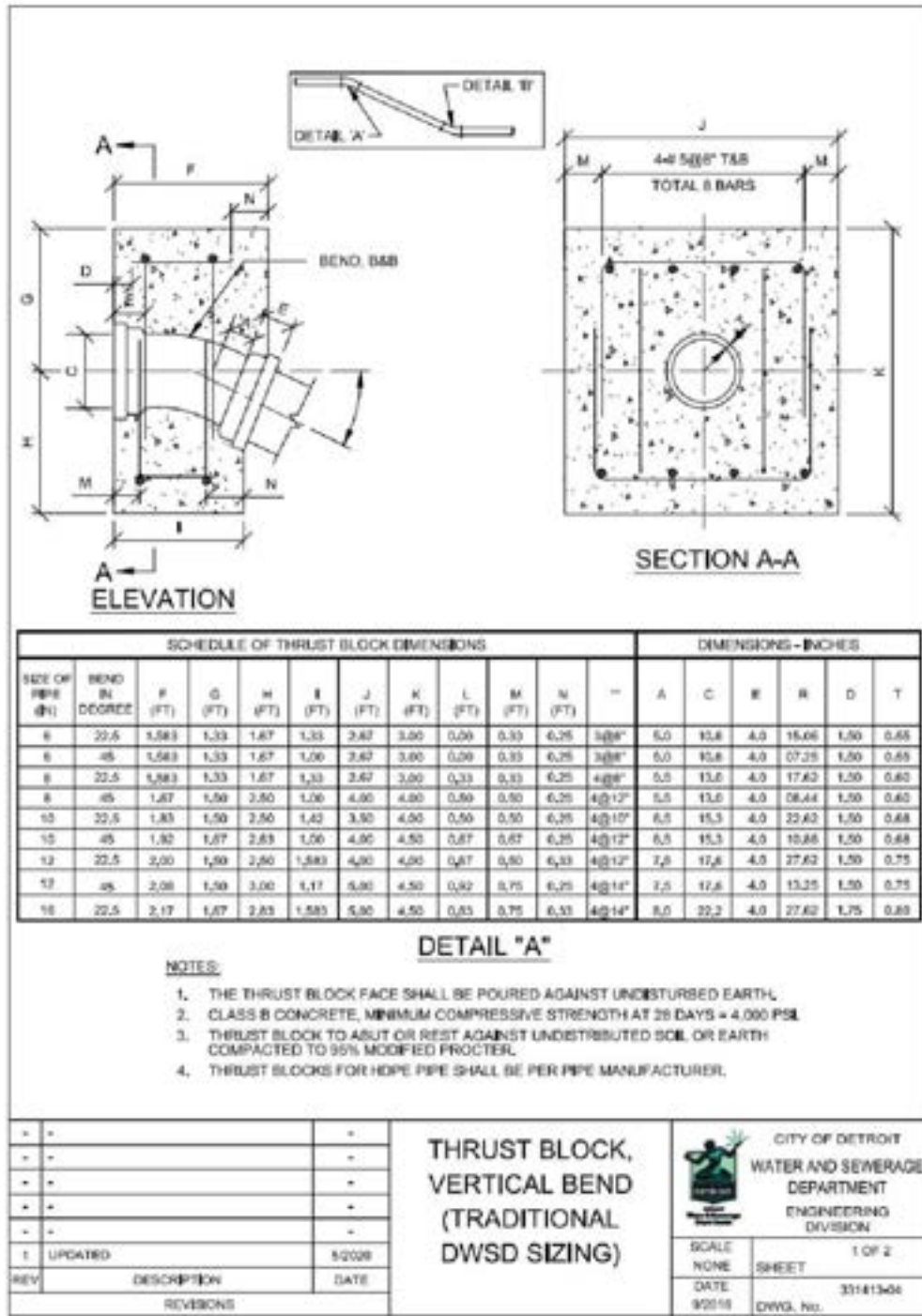
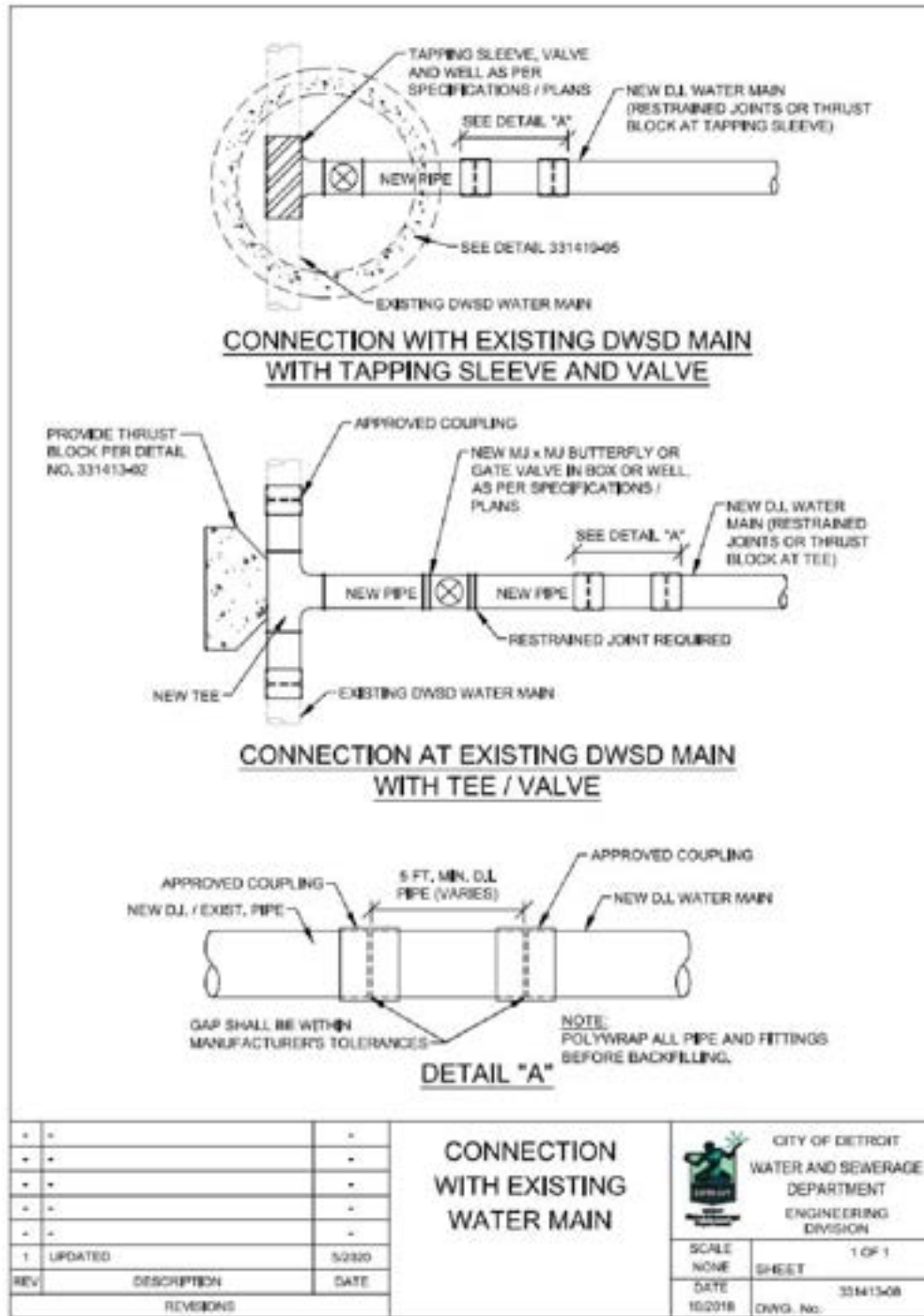
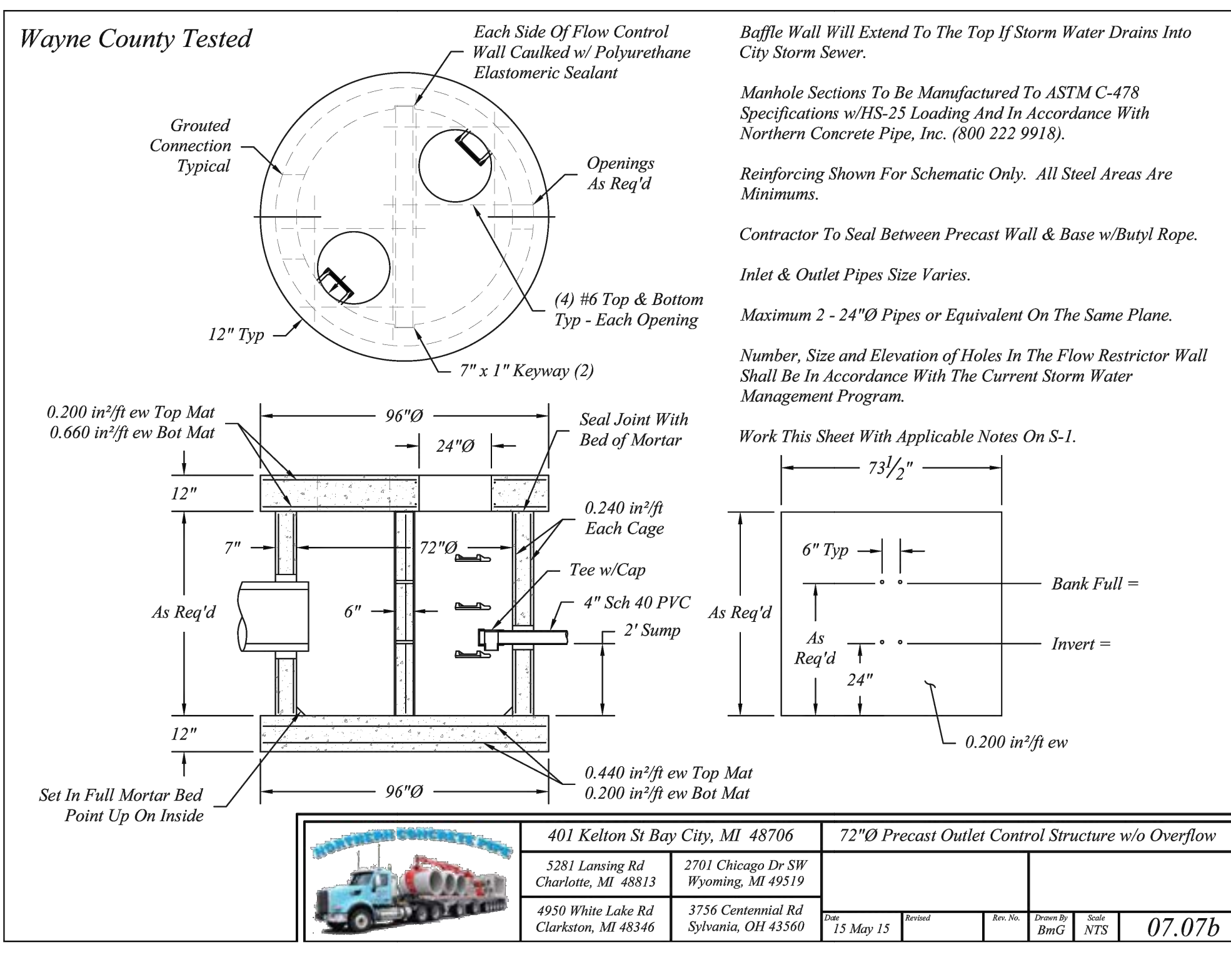
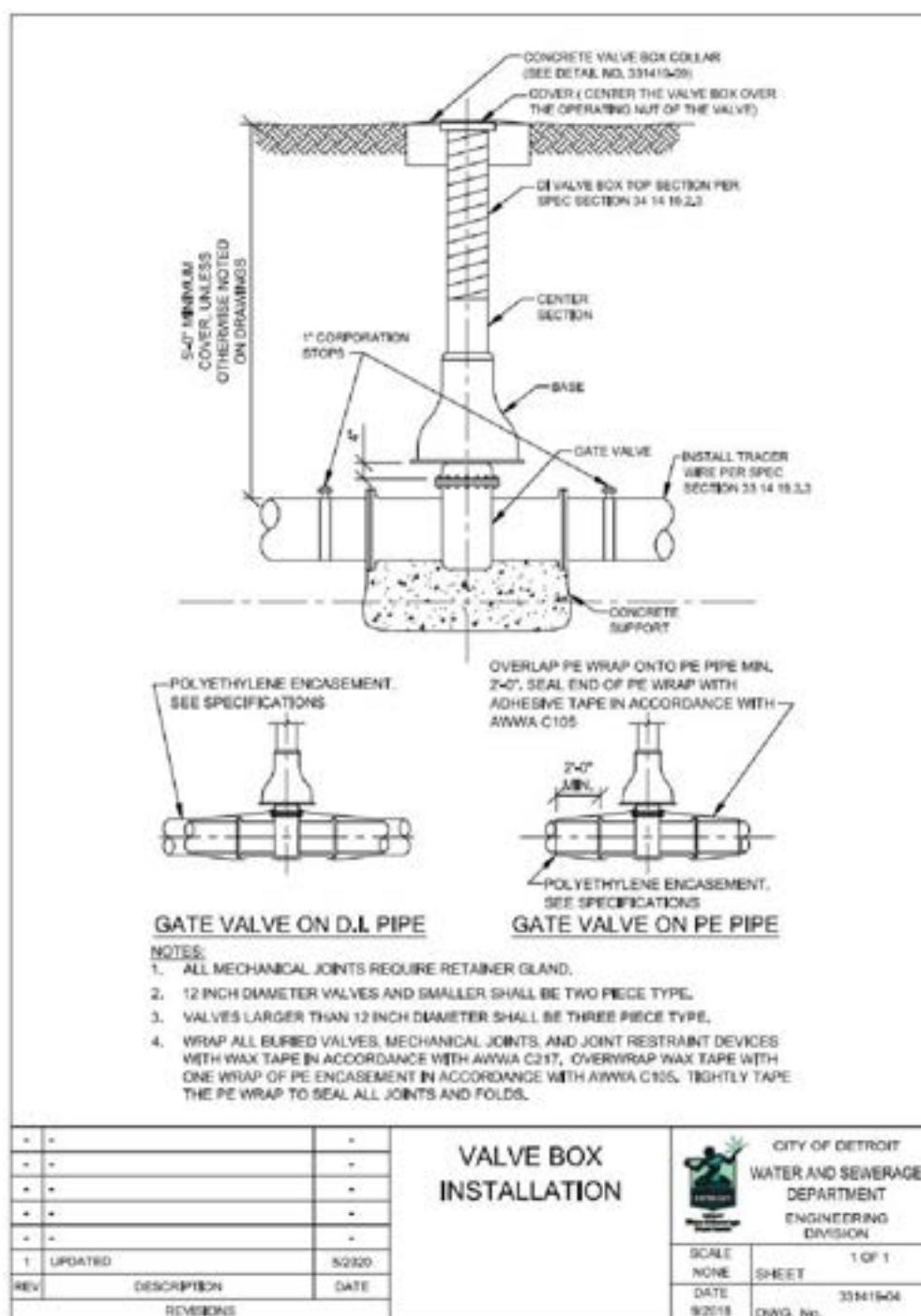
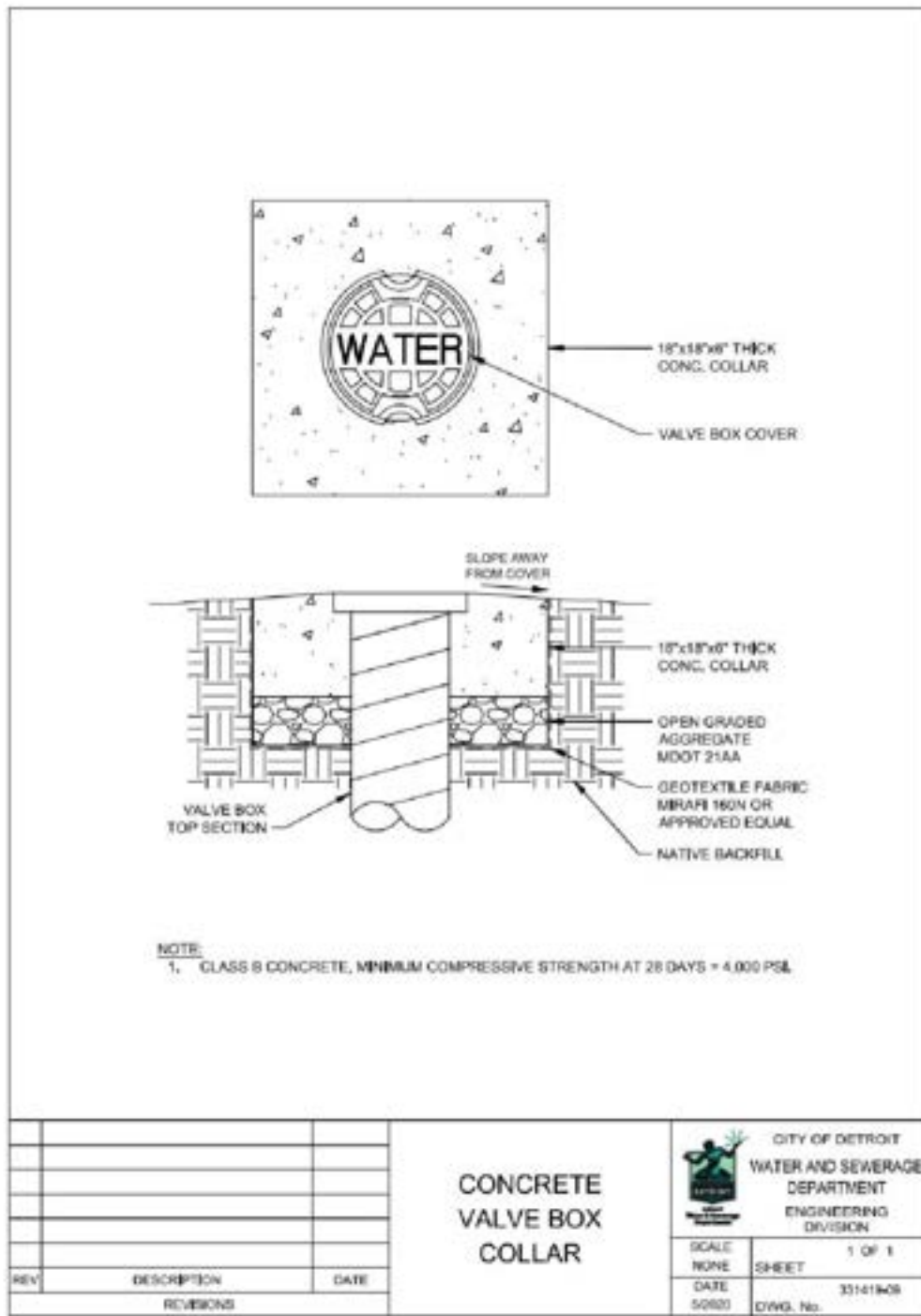
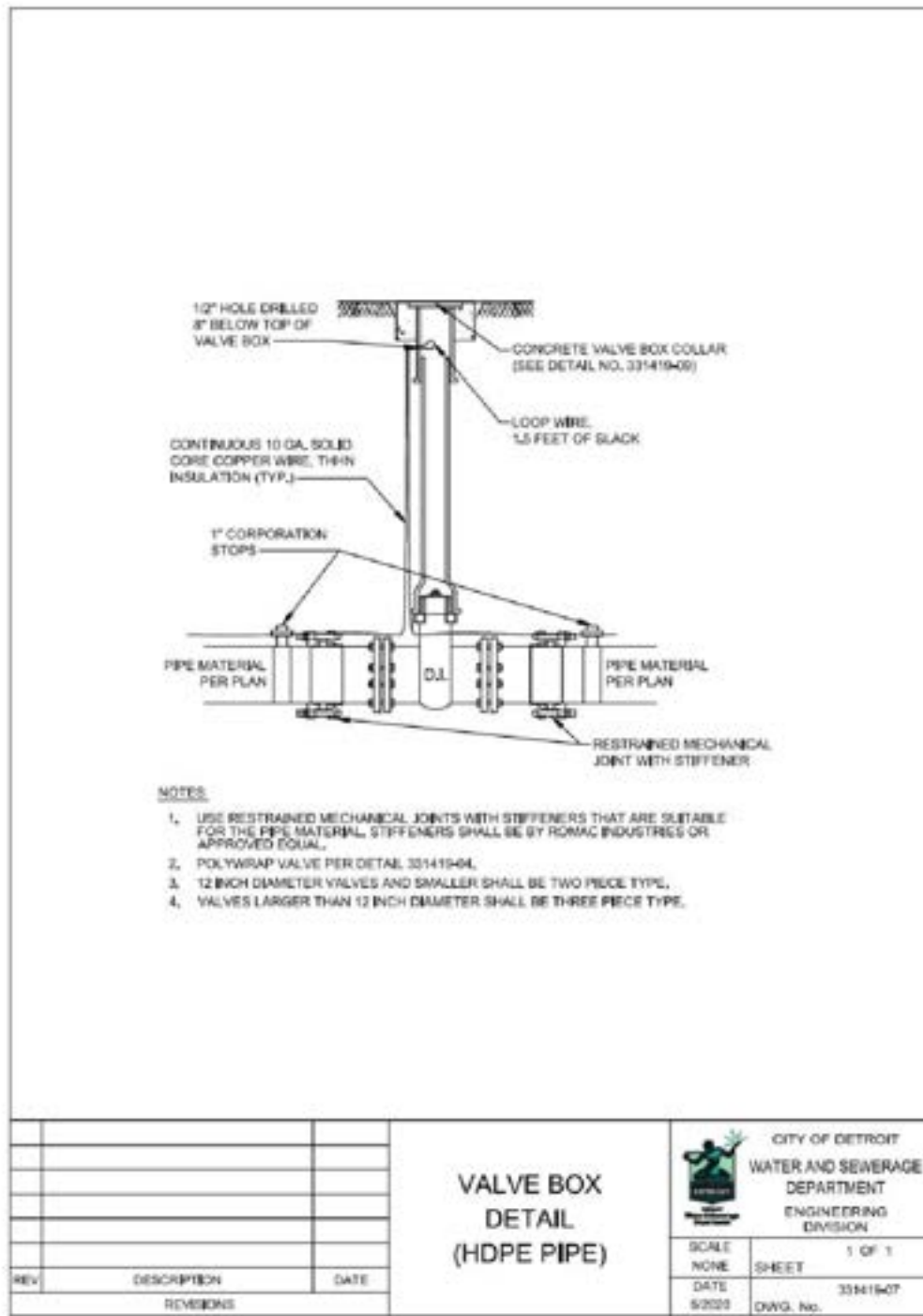
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No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

DETAILS - UTILITIES

Sheet : C-600

Scale : NONE



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248-744-0360

Stamps & Signatures:

NOT FOR CONSTRUCTION

No. Description Date
1 FOR SITE PLAN 10/31/2025
APPROVAL ONLY

DETAILS - WATER

Sheet : C-601

Scale : NONE



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Stamps & Signatures:

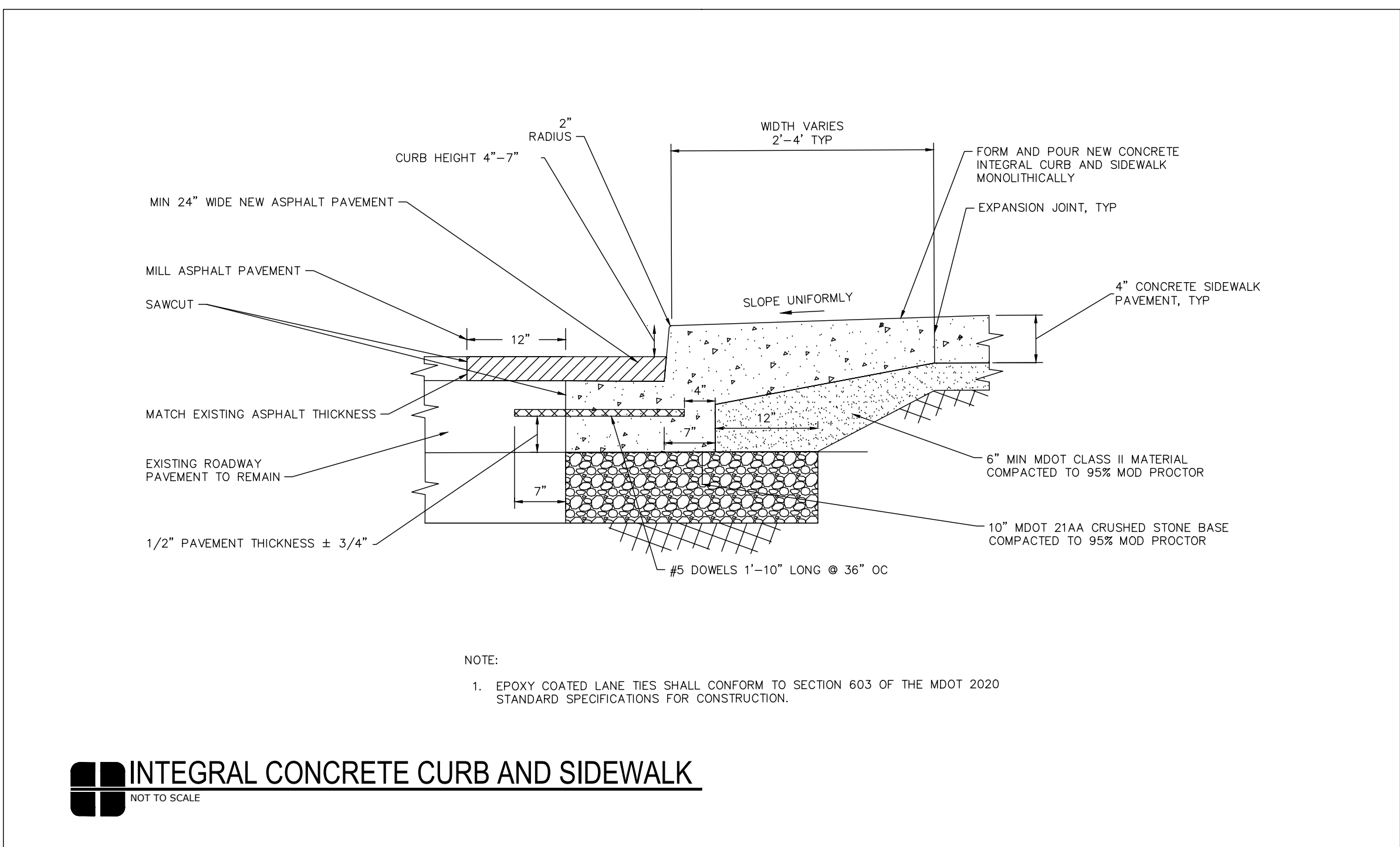
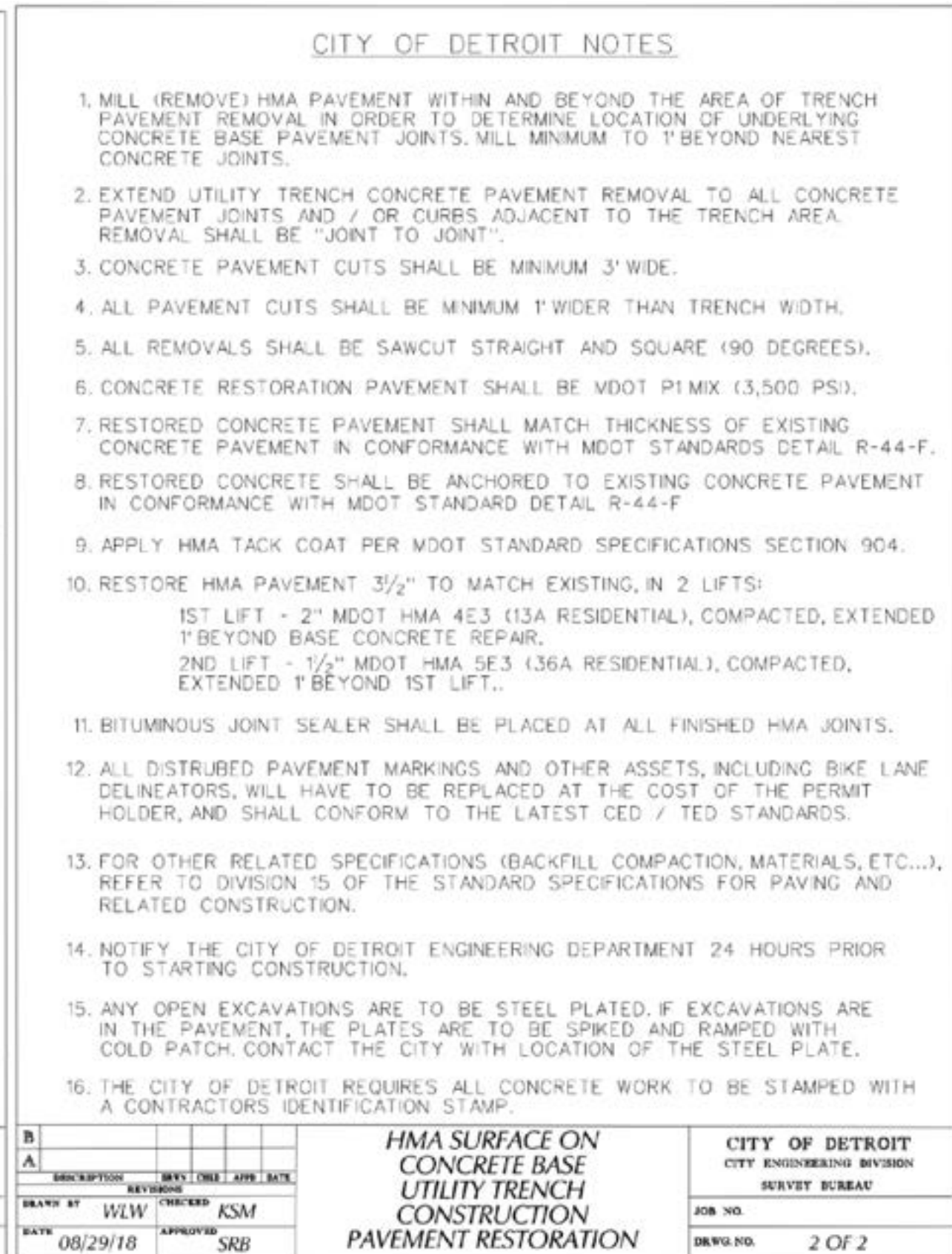
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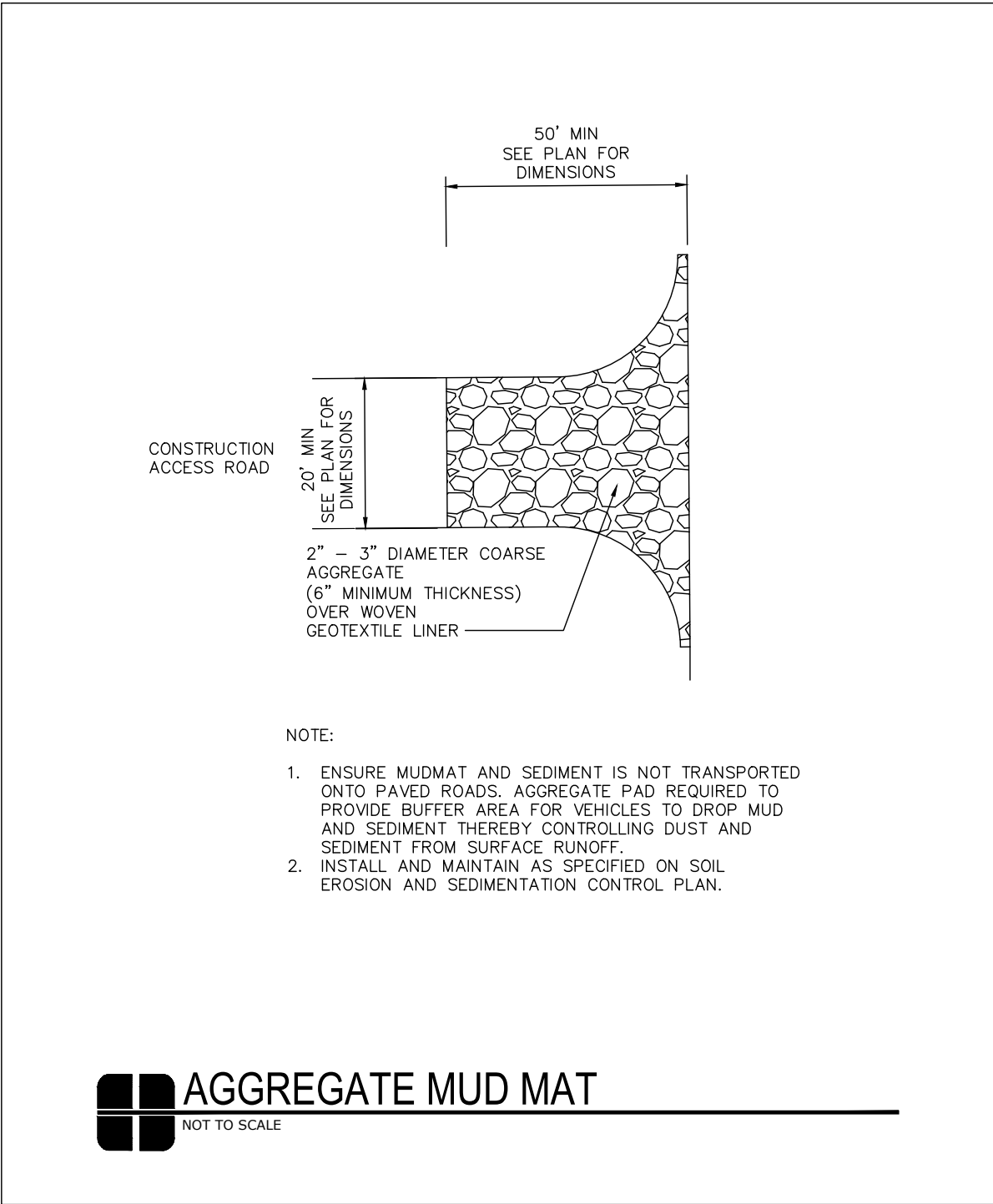
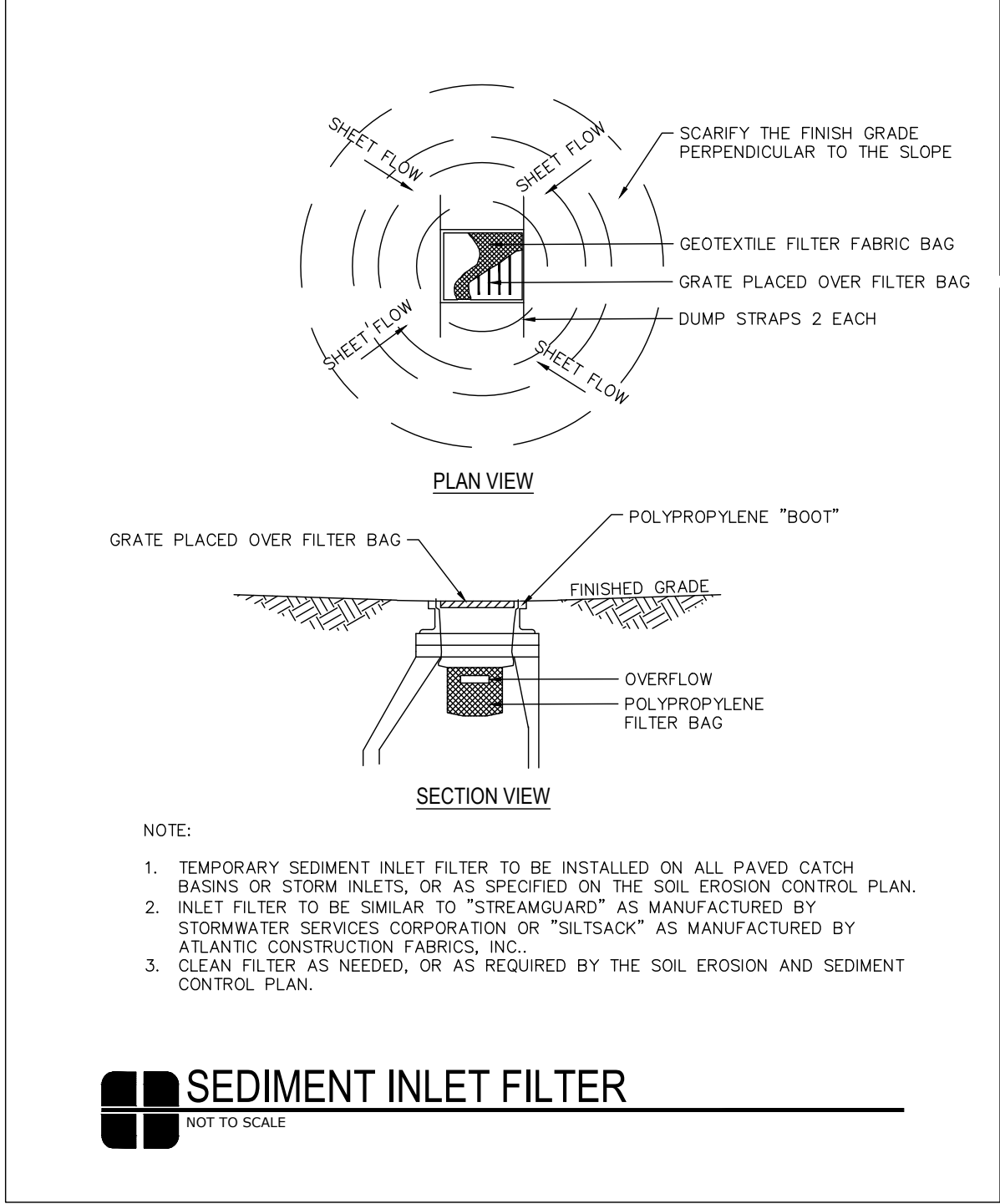
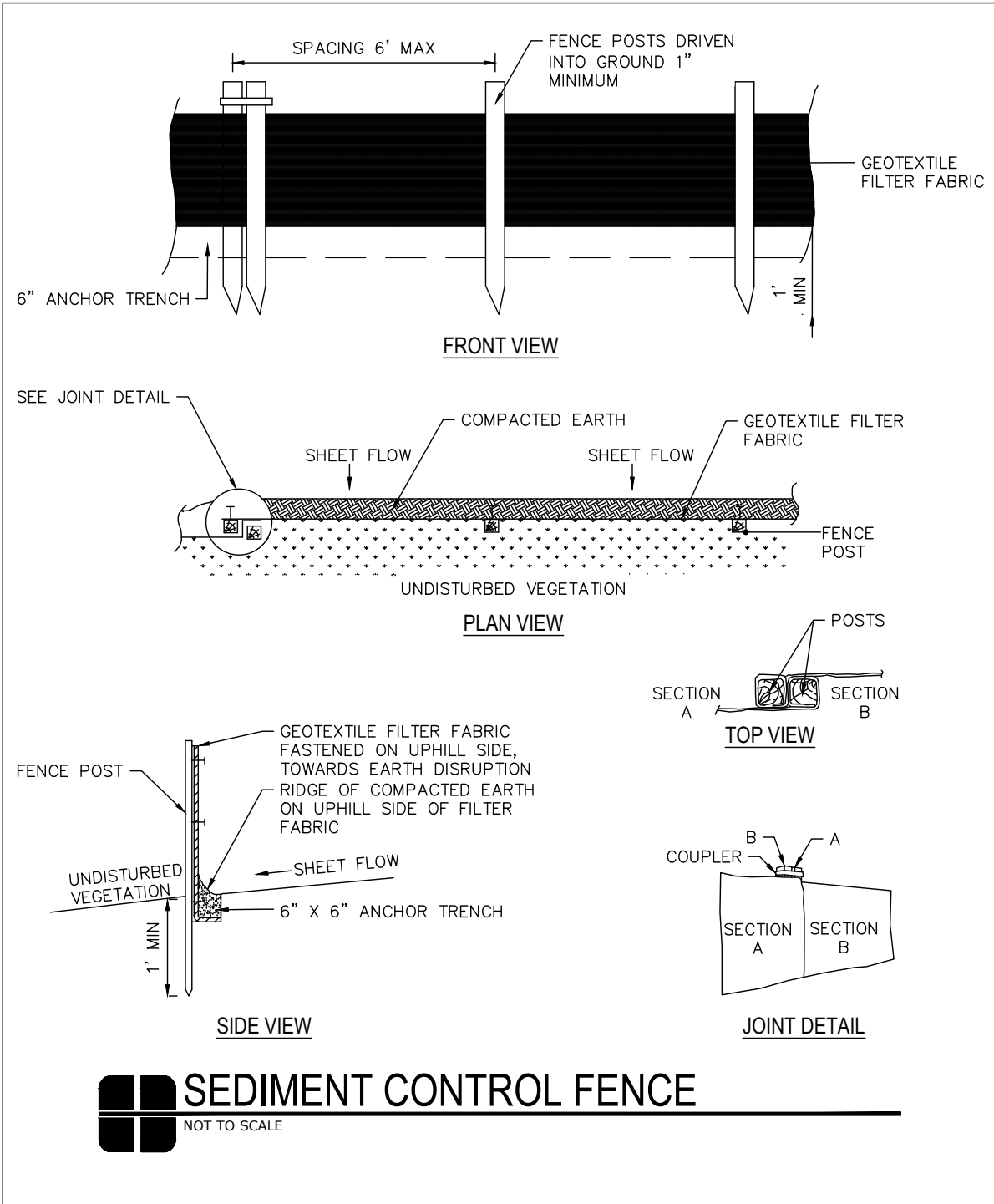
No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

DETAILS - PAVEMENT

Sheet : C-602

Scale : NONE





Stanton Yards

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248-744-0360

Stamps & Signatures:

NOT FOR CONSTRUCTION

No.	Description	Date
1	FOR SITE PLAN APPROVAL ONLY	10/31/2025

DETAILS - SESC

Sheet : C-603

Scale : NONE