



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00693

PROPERTY INFORMATION**ADDRESS(ES):** 3116 Park**HISTORIC DISTRICT:** Peterboro-Charlotte**SCOPE OF WORK: (Check ALL that apply)**

- | | | | | | |
|--|---|--|---|--|--------------------------------|
| ☐ Windows/
Doors | ☐ Walls/
Siding | ☐ Painting | ☐ Roof/Gutters/
Chimney | ☐ Porch/Deck/Balcony | ☐ Other |
| ☒ Demolition | ☐ Signage | ☐ New
Building | ☐ Addition | ☒ Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

New parking lot design to comply with code and ordinance.

APPLICANT IDENTIFICATION**TYPE OF APPLICANT:** Architect/Engineer/Consultant**NAME:** Justin**COMPANY NAME:** Fiema**ADDRESS:** 500 Griswold Suite 1700**CITY:** Detroit**STATE:** MI**ZIP:** 48226**PHONE:** +1 (313) 983-3600**EMAIL:** justin.fiema@smithgroup.com**I AGREE TO AND AFFIRM THE FOLLOWING:**

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Justin

Fiema

11/10/2025

SIGNATURE

DATE

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Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

This parcel is existing vacant land. Historic records indicate that this parcel was previously used as a parking lot - the site is now overgrown, unpaved, and functionally unusable due to surface deterioration and lack of maintenance.



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

The design proposes a compliant parking lot, abiding by ordinance-required criteria.



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

The design proposes demolition of existing material and grading to accommodate parking spaces, screening elements, stormwater management systems, and planting areas.



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

7. DEMOLITION <i>If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.</i>	
8. SITE IMPROVEMENTS <i>If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.</i>	













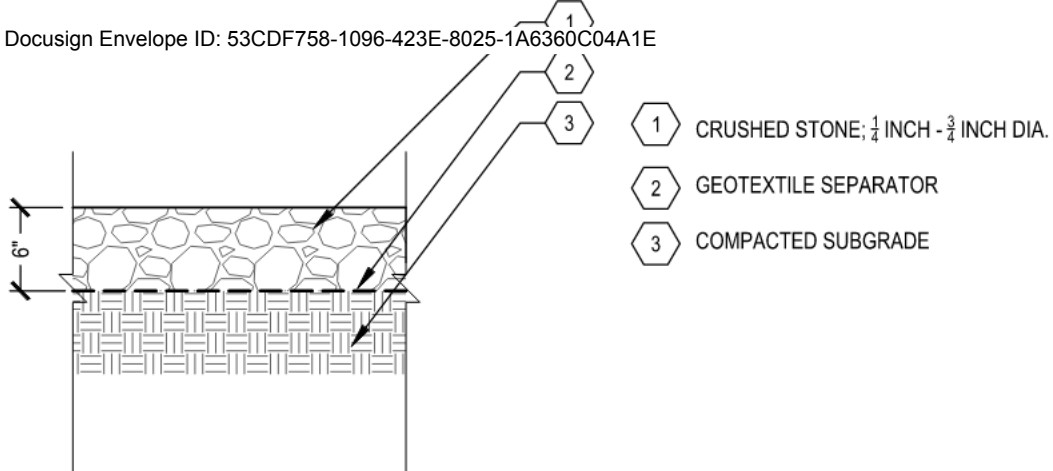












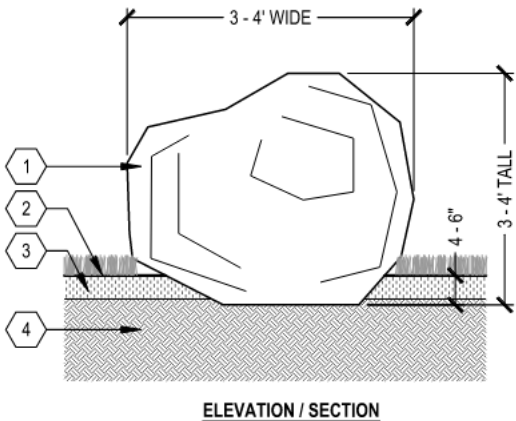
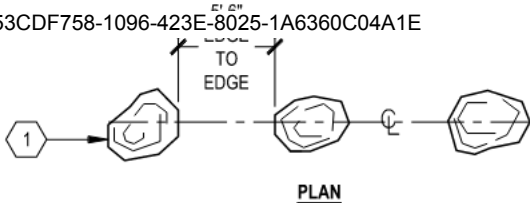


1. RETAINING WALLS AND FOOTINGS ARE DESIGNED BASED ON THE FOLLOWING

- 1.1. NET ALLOWABLE SOIL BEARING CAPACITY: 2000 PSF
- 1.2. ACTIVE EQUIVALENT FLUID PRESSURE: 100PCF
- 1.3. COEFFICIENT FOR FRICTION: 0.35
2. CONCRETE FOOTINGS SHALL BE NORMAL WEIGHT AND DEVELOP A 28-DAY COMPRESSIVE STRENGTH OF 5000 PSI
3. CONCRETE SHALL BE 6% AIR ENTRAINED AND WATER/CEMENT RATIO SHALL BE LIMITED TO A MAXIMUM OF 0.45.

1. MASONRY CONSTRUCTION SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS" FOR MASONRY STRUCTURES" ACI-530/ASCE 5 AND SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE 6
2. ALL REINFORCED CONCRETE MASONRY SHALL BE INSPECTED PER SPECIFICATIONS AND SPECIAL INSPECTIONS REQUIREMENTS IDENTIFIED ON THE DRAWINGS.
3. HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 MEDIUM WEIGHT, TYPE I, MOISTURE CONTROLLED UNITS, UNLESS OTHERWISE NOTED.
4. FOR GROUTED AND/OR REINFORCED MASONRY WALLS, USE MASONRY UNITS WITH CORES THAT ALIGN VERTICALLY TO PROVIDE CONTINUOUS UNOBSTRUCTED CELLS FOR GROUTING AND PLACING REINFORCING STEEL. DOWELS IN FOUNDATIONS SHALL BE SET TO ALIGN WITH CORES CONTAINING REINFORCING STEEL.
5. THE MINIMUM DESIGN COMPRESSIVE STRENGTH OF MASONRY (f_m) SHALL BE 2000 PSI DETERMINED FROM THE UNIT STRENGTH METHOD.
6. MORTAR SHALL BE PORTLAND CEMENT MORTAR IN ACCORDANCE WITH ASTM C270 TYPE S. MORTAR FOR ABOVE GRADE APPLICATIONS SHALL HAVE COMPRESSIVE STRENGTH AT 28-DAYS OF 1900 PSI MIN. MORTAR FOR BELOW GRADE APPLICATIONS SHALL HAVE COMPRESSIVE STRENGTH AT 28-DAYS OF 2500 PSI MIN.
7. GROUT FOR CONCRETE MASONRY SHALL BE FINE GROUT IN ACCORDANCE WITH ASTM C476. GROUT STRENGTH SHALL BE f_c=3000 PSI MIN AT 28 DAYS. GROUT SHALL BE PLACED IN 11ETS OF 4-2" OR 1 FSS. TEST GROUT COMPRESSIVE STRENGTH BY ASTM C1019.

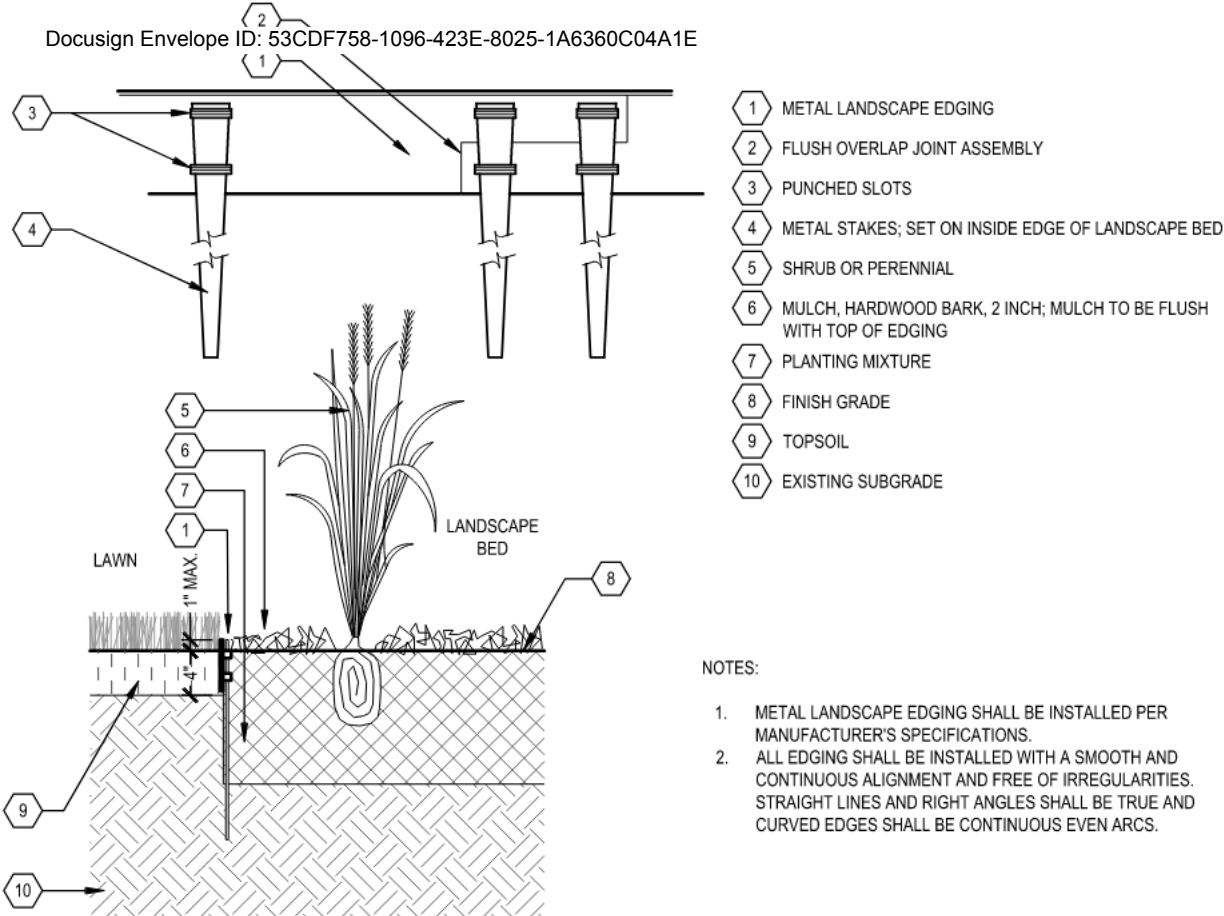
8. GROUT AND MASONRY MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY.
9. REINFORCEMENT SHALL BE ASTM A615, GRADE 60.
10. VERTICAL REINFORCING BARS SHALL BE CENTERED IN CELLS UNLESS OTHERWISE NOTED. ALL REINFORCING BARS IN MASONRY SHALL BE FULLY GROUTED FOR THEIR ENTIRE LENGTH.
11. FACE BARS SHALL BE PLACED 1" CLEAR OF FACE SHELL, WHERE (2) BARS ARE REQUIRED IN NOMINAL 8" MASONRY OR SMALLER, PLACE ONE BAR IN EACH OF TWO ADJACENT CELLS.
12. ALL REINFORCING SHALL HAVE A MINIMUM COVERAGE OF 3/4" OF GROUT.
13. CELLS CONTAINING BOLTS SHALL HAVE A MINIMUM OF 1/2" GROUT COVERAGE BETWEEN THE BOLT AND MASONRY AT BLOCK FACE.
14. LAP SPLICE LENGTH FOR REINFORCING BARS IN CONCRETE MASONRY WALLS AS INDICATED. STAGGER ALL HORIZONTAL REINFORCING BAR SPLICES.
15. ALL MASONRY BELOW GRADE SHALL BE FULLY GROUTED.
16. HORIZONTAL BOND BEAM AND VERTICAL REINFORCING SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED.
17. BOND BEAMS SHALL BE PROVIDED AT THE BOTTOM AND TOP COURSE OF MASONRY WALLS.
18. BOND BEAMS SHALL BE FULLY GROUTED.
19. ALL MASONRY SHALL HAVE 9 GAGE HORIZONTAL WIRE LADDER-TYPE REINFORCING EVERY OTHER COURSE UNLESS NOTED OTHERWISE. REINFORCING SHALL HAVE PREFABRICATED CORNERS AND PREFABRICATED TEES AT WALL INTERSECTIONS.
20. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF CONDUIT, PIPING, DUCTWORK AND OPENINGS IN MASONRY WALLS. PROVIDE ADDITIONAL REINFORCING AT OPENINGS OR SLEEVES AS INDICATED. DO NOT CUT REINFORCING.
21. NO PIPES OR DUCTS SHALL BE EMBEDDED IN MASONRY UNLESS NOTED OR DETAILED ON DRAWINGS. CORING OPENINGS IN GROUTED MASONRY IS NOT PERMITTED.
22. WHERE SLEEVES ARE REQUIRED, INSTALL SLEEVES BEFORE GROUTING. DO NOT CUT ANY REINFORCING WHICH MAY INTERFERE WITH SLEEVE PLACEMENT.
23. NOTIFY THE ENGINEER OF RECORD IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWINGS.
24. CMU BLOCK WALL TO BE CONSTRUCTED WITH A RUNNING BOND PATTERN.
25. CMU BLOCK TO BE DOUBLE SIDED SPLIT FACE UNITS. COLOR AND FINISH TO BE SELECTED BY OWNER.



- 1 STONE BOULDER
- 2 FINISH GRADE
- 3 TOPSOIL
- 4 EXISTING SUBGRADE; COMPACT TO 85-95% PROCTOR BELOW STONE BOULDER

NOTES:

1. STONE BOULDER SHALL BE A NATURAL QUARRIED STONE, HIGHLY RESISTANT TO WEATHERING AND DISINTEGRATION UNDER FREEZING AND THAWING, AS WELL AS WET AND DRY CONDITIONS. THE STONE SHALL BE DURABLE, SOUND, FREE FROM DETRIMENTAL CRACKS, SEAMS AND OTHER DEFECTS WHICH TEND TO INCREASE DETERIORATION FROM NATURAL CAUSES OR CAUSE BREAKAGE IN HANDLING AND/OR PLACING.
2. CONFIRM DESIRED COLOR(S) AND TYPE OF STONE WITH OWNER PRIOR TO IDENTIFYING SUPPLIER AND PROVIDING REQUIRED MATERIAL SUBMITTALS.
3. SUBMIT REPRESENTATIVE DIGITAL PHOTOS OF THE STONE FOR REVIEW AND APPROVAL. PHOTOS MUST DEPICT THE FULL RANGE OF COLORS, SIZES, TEXTURES, SHAPES, QUALITY AND OVERALL APPEARANCE. INCLUDE A SCALE ROD OR OTHER MEASURING DEVICES PLACED ON OR NEXT TO THE STONE TO SHOW SCALE. PROVIDE REQUIRED NUMBER OF PHOTOS TO FULLY REFLECT THE ENTIRE RANGE OF CONDITIONS
4. FLAT SURFACE SIDE OF STONE BOULDER TO BE PLACED ON THE GROUND; SET BOTTOM OF BOULDER 4 - 6" BELOW FINISH GRADE AS SHOWN.
5. STONE BOULDER TO BE 3 - 4' TALL AND WIDE.
6. SEE CONSTRUCTION PLANS FOR STONE BOULDER LOCATIONS. CONFIRM LOCATIONS, SPACING, AND ORIENTATION ON-SITE WITH ENGINEER PRIOR TO INSTALLATION. MINOR ADJUSTMENTS TO LOCATION SHALL BE COMPLETED AT NO ADDITIONAL COST.























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LIGHT POLE SCHEDULE

Design Envelope ID: 33CDF738-1090-423E-8023-1A0300C04A1E				
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
L1	D-SERIES, P1 LED OPTIC, TYPE 4 MEDIUM DISTRIBUTION, HOUSESIDE SHIELD, BLACK FINISH.	LITHONIA LIGHTING OR PRE-APPROVED EQUAL	DSXO LED; 30K CCT; 80 CRI; OR PRE-APPROVED EQUAL	REFER TO LIGHT POLE DETAIL FOR ADDITIONAL REQUIREMENTS
	LITHONIA "SSS" 20' TALL, 11 GAUGE, 5" SQUARE STRAIGHT STEEL POLE. BLACK POWDERCOAT FINISH.			

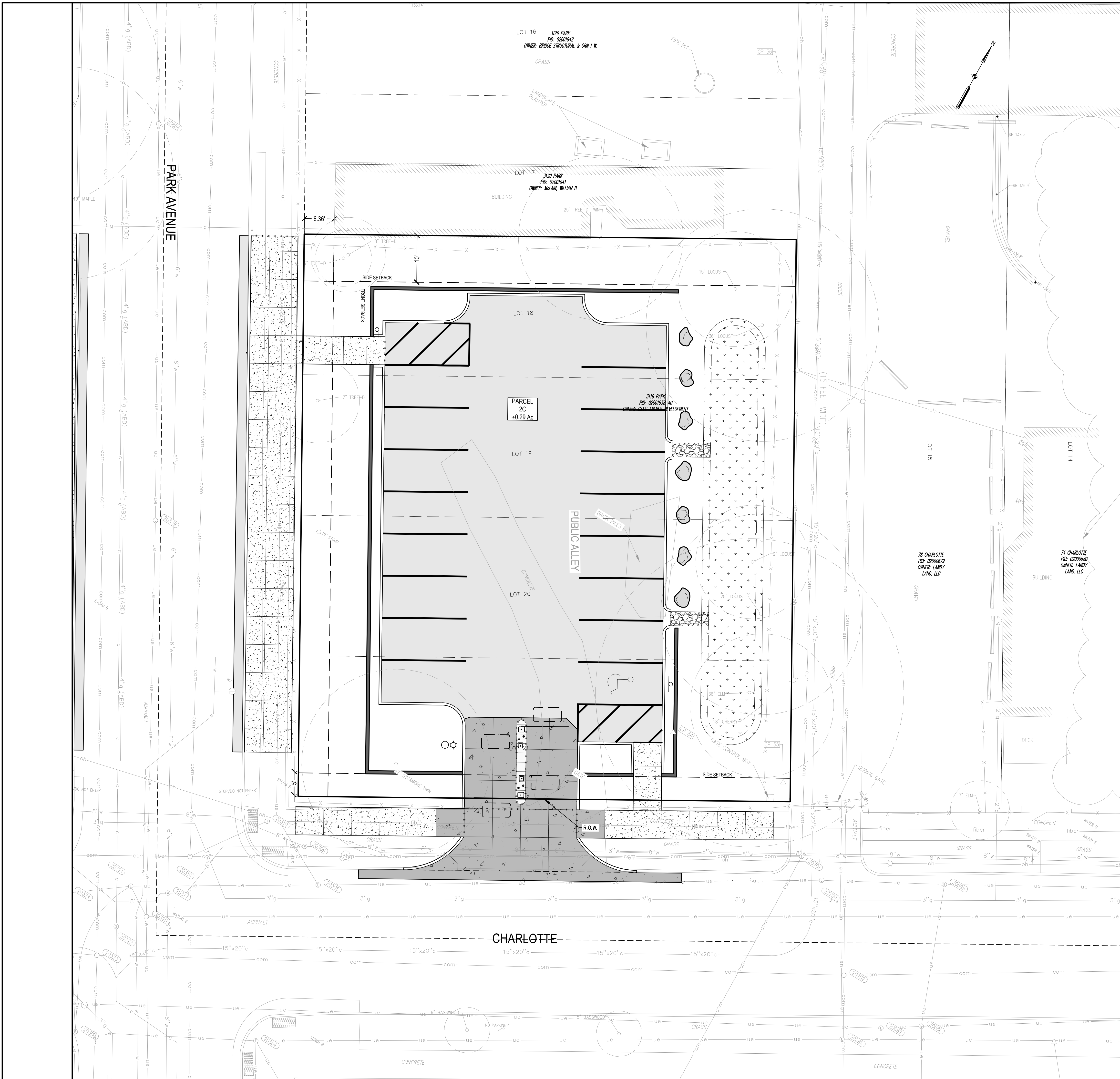
Docusign Envelope ID: 53CDF758-1096-423E-8025-1A6360C04A1E				Type	Size	Spacing	Notes
TREES							
	LT	Liriodendron tulipifera	Tulip tree	B&B	2" cal.	As shown	Clear stem of min. 5-feet
	UA	Ulmus americana 'Princeton'	Princeton American Elm	B&B	2" cal.	As shown	Clear stem of min. 5-feet
SHRUBS							
	HYP	Hydrangea paniculata 'Bobo'	Bobo Panicle Hydrangea	Containter	No. 3	36" o.c.	
PERENNIALS							
	PAVS	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	Container	1 gallon	24" o.c.	
	PEAL	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	Container	Quart	15" o.c.	

1. **DocuSign Envelope ID: 53CDF758-1096-423E-8025-1A6360C04A1E**
2. PROVIDE, MAINTAIN AND REPAIR ALL SESC BEST MANAGEMENT PRACTICES (BMPs) DURING CONSTRUCTION UNTIL ALL PERMANENT IMPROVEMENTS ARE COMPLETED AND VEGETATION AREAS ARE ESTABLISHED.
3. INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWN-GRADIENT STORM WATER INLETS, CATCH BASINS AND MANHOLES THAT MAY BE IMPACTED BY SITE PREPARATION AND DEMOLITION ACTIVITIES. INLET PROTECTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF INLET PROTECTION GEOTEXTILE HAS HOLES OR IS INUNDATED WITH SEDIMENT, REPLACE THE INLET PROTECTION.
4. REVIEW THE CONSTRUCTION PROJECT LIMITS SHOWN ON THE PLANS AND FIELD-STAKE THE LIMITS PRIOR TO START OF CONSTRUCTION.
5. INSTALL SILT FENCE AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF REPAIR OR REPLACEMENT IS NECESSARY, REPLACE SILT FENCING ACCORDING TO CITY OF DETROIT AND MDOT STANDARDS. MAINTENANCE INCLUDES REMOVING BUILT-UP SEDIMENT THAT ACCUMULATES TO 1/2 THE HEIGHT OF THE FENCE. REMOVE, REPLACE, RETRENCH, AND/OR RE-BACKFILL THE FENCE AS NECESSARY AND AS DIRECTED BY THE ENGINEER. REINSTALL ANY PORTION OF THE FENCING DAMAGED BY CONSTRUCTION MACHINERY.
6. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO START OF ANY LAND CLEARING OR GRADING ACTIVITIES.
7. ENSURE THAT ANY SEDIMENTATION RESULTING FROM WORK ON THE CONSTRUCTION SITE IS CONTAINED WITHIN THE CONSTRUCTION LIMITS AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
8. CONDUCT ALL EXCAVATION, EMBANKMENT, GRADING AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SOIL MATERIALS AND WATERBORNE OBJECTS ARE NOT DISCHARGED INTO ANY STORM SEWER DRAINAGE PIPE, OR UNDERGROUND UTILITY SYSTEM.
9. THROUGHOUT THE CONSTRUCTION PERIOD, SOIL, MUD AND SILT TRACKED ONTO EXISTING ROADS FROM THE SITE DUE TO CONSTRUCTION ACTIVITIES SHALL BE IMMEDIATELY REMOVED.
10. MAINTAIN DUST CONTROL ON THE SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION PROCESS.
11. WHERE FEASIBLE, MAINTAIN EXISTING GRASS AND HERBACEOUS VEGETATION TO MINIMIZE EROSION AND TO REDUCE GENERATION OF DUST/AIRBORNE MATERIALS.
12. SEEDING OR OTHER STABILIZATION TO BE PROVIDED TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
13. WATER FROM TRENCHES AND OTHER EXCAVATIONS SHALL NOT BE PUMPED DIRECTLY INTO CATCH BASINS OR MANHOLES WITHOUT BEING PROPERLY FILTERED THROUGH AN APPROVED SEDIMENT BASIN OR DEWATERING FILTER BAG.
14. PROVIDE WEEKLY INSPECTIONS BY THE CONTRACTOR'S CERTIFIED STORM WATER MANAGEMENT OPERATOR AS WELL AS INSPECTIONS WITHIN 24 HOURS OF ANY RAIN EVENTS. PROVIDE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS ADDITIONAL CONTROLS AS DETERMINED BY THE INSPECTIONS AND AS DIRECTED BY THE ENGINEER.

SITE PREPARATION AND REMOVAL NOTES:

1. THE DIGITAL AUTOCAD (DWG FORMAT) FILES TO BE MADE AVAILABLE FOR CONSTRUCTION STAKING AND SITE LAYOUT WORK AND IMPROVEMENTS DEFINED ON THE PLANS. THE PROJECT BOUNDARIES AND PROPERTY CORNERS SHALL BE LOCATED AND STAKED ON-SITE BY THE CONTRACTOR TO ENSURE THAT SITE PREPARATION AND REMOVAL WORK DEFINED ON THE PLANS IS COMPLETED WITHIN THE PROJECT BOUNDARIES. THE CONSTRUCTION STAKING AND SITE LAYOUT IS TO BE PROVIDED BY THE CONTRACTOR AND PAID FOR AS PART OF THE PAY ITEM CONTRACTOR STAKING.
2. ALL WORK REQUIRED TO SATISFY THE REQUIREMENT OF THESE NOTES IS INCIDENTAL TO THE SITE PREPARATION / REMOVAL PAY ITEMS AND/OR INCLUDED AS PART OF THE MOBILIZATION PAY ITEM.
3. PRIOR TO SUBMISSION OF BIDS, CONTRACTOR SHALL VISIT THE PROJECT SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS AND CONFIRMING THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. AREAS WITHIN THE CONSTRUCTION PROJECT LIMITS HAVE INCLUDED VEGETATION AND DEBRIS REMOVAL BY THE OWNER. THE CURRENT SITE CONDITIONS AT THE TIME OF BIDDING IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF BIDS.
4. THE EXTENT OF DEMOLITION, SITE PREPARATION, REMOVALS, RELOCATIONS AND OTHER RELATED WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DEVIATIONS FROM THE PLANS.
5. ESTABLISH AND MAINTAIN SITE SECURITY AS REQUIRED AND PER ENGINEER'S DIRECTION.
6. COORDINATE ALL CONSTRUCTION ACTIVITIES, INCLUDING HOURS OF OPERATION, WITH THE CITY OF DETROIT.
7. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, AS AMENDED, THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS (72 HOURS), EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES INCLUDING IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
8. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.

9. ALL EXISTING SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, CAUTION SHALL BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING AROUND OR NEAR UTILITIES.
10. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF WORK, SHALL BE REMOVED AND PROPERLY CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF WORK AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
11. FIBER OPTIC, COMMUNICATION AND HIGH VOLTAGE UNDERGROUND ELECTRICAL LINES ARE LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS AND MAY HAVE VERY SHALLOW BURIAL DEPTHS. PRIOR TO PROCEEDING WITH CONSTRUCTION THE CONTRACTOR SHALL CONFIRM LOCATIONS AND DEPTHS OF THE UTILITY LINES. EXTREME CAUTION SHALL BE TAKEN WHILE CONDUCTING CONSTRUCTION ACTIVITIES AND ALL NECESSARY MEANS SHALL BE UNDERTAKEN TO PROTECT AND ENSURE THAT DAMAGE TO THE LINES DOES NOT OCCUR. CONTACT UTILITY PROVIDER(S) PRIOR TO PROCEEDING WITH WORK NEAR THE UTILITY LINES. REFER TO SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS.
12. TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC. DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS PER CITY OF DETROIT REQUIREMENTS AT NO ADDITIONAL COST.
13. SECURE NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE OR IMMEDIATELY ADJACENT TO WORK AREAS PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
14. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, AND ORDINANCES. REFER TO THE SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
15. CONSTRUCTION WORK TO BE COMPLETED PER MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND CITY OF DETROIT STANDARDS AND REQUIREMENTS. MDOT AND CITY OF DETROIT STANDARD DETAILS SHALL BE FOLLOWED AS APPLICABLE.
16. DISPOSE OF ELEMENTS DESIGNATED FOR REMOVAL OFF-SITE IN A LEGAL MANNER. PROVIDE RECEIPTS, WEIGHT TICKETS AND LETTERS DOCUMENTING DISPOSAL OF MATERIALS AT A LICENSED LANDFILL APPROPRIATE FOR THE MATERIALS BEING DISPOSED TO THE ENGINEER AND OWNER.
17. ANY MISCELLANEOUS LITTER AND DEBRIS INCLUDING SUCH ITEMS BUT NOT LIMITED TO: FOUNDATION AND ATTACHMENTS, TREE STUMPS AND ROOT STRUCTURES, PAVEMENT BASE MATERIAL, ABANDONED FENCES, ABANDONED PIPES, CONSTRUCTION DEBRIS, TRASH, ETC. IDENTIFIED ON THE PLANS AND ENCOUNTERED WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND DISPOSED OF LEGALLY OFF-SITE BY THE CONTRACTOR.
18. CONTRACTOR SHALL KEEP PROJECT CONSTRUCTION AREAS CLEAN & HAZARD FREE. REMOVE & DISPOSE OF OFF-SITE ALL SOIL, DEBRIS, RUBBISH, STUMPS, VEGETATIVE MATERIALS, WOOD CHIPS AND ROCK THAT IS NOT IDENTIFIED ON THE CONSTRUCTION PLANS TO REMAIN. LEAVE THE CONSTRUCTION AREAS IN A CLEAN CONDITION AND FREE OF HAZARDS AT THE END OF EVERY WORK DAY.
19. CONTRACTOR TO FLAG AND CONFIRM WITH ENGINEER ALL TREES EQUAL TO OR GREATER THAN 18 INCHES IN CALIPER FOR REMOVAL PRIOR TO PROCEEDING. CONTRACTOR SHALL PROVIDE PROPER TREE PROTECTION FOR ALL TREES TO REMAIN. CONTRACTOR TO PROVIDE AND MAINTAIN TREE PROTECTION AS REQUIRED AND DIRECTED BY THE ENGINEER.
20. NOTIFY THE ENGINEER FOR DIRECTION ON HOW TO PROCEED FOR ANY MATERIALS THAT ARE NOT CLEAR IF THEY SHOULD BE REMOVED, SALVAGED OR LEFT IN-PLACE.
21. MARK SAW CUT LINES FOR APPROVAL BY ENGINEER PRIOR TO PROCEEDING WITH REMOVAL ACTIVITIES. COORDINATE SAW CUT LOCATIONS WITH JOINTS IN CONCRETE SUB-BASE. IF SAW CUT IS WITHIN 3 FT. OF A JOINT EXPAND REMOVAL LIMITS AND SAW CUT TO JOINT. CLEAN CONSISTENT SAW CUTS TO BE PROVIDED AT PAVEMENT EDGES, FULL DEPTH, RAVELED, BROKEN AND IRREGULAR SAW CUT EDGE(S) SHALL BE RE-SAW CUT PRIOR TO PROCEEDING WITH INSTALLATION OF NEW PAVEMENT AT NO ADDITIONAL COST. ADDITIONAL PAVEMENT REPLACEMENT THAT IS REQUIRED AS THE RESULT OF ADDITIONAL SAW CUTS WILL BE PROVIDED AT NO ADDITIONAL COST.
22. MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. PROVIDE TEMPORARY ACCESS PATHS, FENCING, SIGNAGE AND ALL NECESSARY ITEMS TO ENSURE A SAFE AND CLEARLY DEFINED ACCESS PATH AND SHALL BE PROVIDED AS PART OF THE REMOVAL AND SITE PREPARATION PAY ITEMS.
23. ALL CONSTRUCTION STAGING, MATERIALS STORAGE, CONSTRUCTION WASHING STATIONS, PROJECT MOCK-UP AREAS AND ALL ASSOCIATED NEEDS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL LABOR, MATERIALS AND EQUIPMENT ASSOCIATED WITH THESE ITEMS SHALL BE PROVIDED AS PART OF THE REMOVAL PAY ITEMS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM ENGINEER FOR ALL CONSTRUCTION ACCESS POINTS. THE USE OF ADJACENT ROW AND/OR PRIVATE PROPERTY WILL NOT BE PERMITTED FOR MATERIAL STAGING, STOCK PILING AND CONTRACTOR PARKING WITHOUT PRIOR WRITTEN CONSENT.
24. EXISTING SURVEY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS. IN THE EVENT EXISTING MONUMENTS ARE DISTURBED DURING CONSTRUCTION, THE MONUMENTS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION AND PER CITY OF DETROIT SURVEY BUREAU REQUIREMENTS AT NO ADDITIONAL COST. NOTIFY CITY OF DETROIT SURVEY BUREAU OF ANY DISTURBED OR RESET MONUMENTS.
25. COORDINATE WORK OF SUBCONTRACTORS AND OTHER CONTRACTORS AS APPLICABLE TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF WORK.



1. CONTRACTOR SHALL CAREFULLY COORDINATE ALL SITE WORK WITH LOCAL PERMITTING AUTHORITIES, UTILITY COMPANIES AND ANY OTHER GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THE SITE.
2. CONTRACTOR IS RESPONSIBLE TO MAINTAIN A COMPLETE AND CURRENT SET OF CONSTRUCTION DRAWINGS AND SPECIAL PROVISIONS INCLUDING ALL SUBSEQUENT REVISIONS AND UPDATES AT THE PROJECT SITE AT ALL TIMES. CONTRACTOR IS RESPONSIBLE TO CONFIRM THEY ARE IN POSSESSION OF THE MOST CURRENT DRAWINGS, SPECIAL PROVISIONS AND OTHER CONTRACT DOCUMENTS. CONTRACTOR SHALL TRACK ALL FIELD CHANGES AND MAINTAIN AN UP TO DATE MARKED-UP SET OF DRAWINGS ON-SITE AT ALL TIMES. FOLLOWING COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL PROVIDE A COMPLETE COPY OF ALL FIELD CHANGES, REVISIONS AND MARKED-UP CHANGES ON ALL CONSTRUCTION DRAWINGS, SPECIAL PROVISIONS AND OTHER CONTRACT DOCUMENTS TO THE CITY OF DETROIT AND ENGINEER.
3. CONSTRUCTION AND SITE DETAILS ARE PROVIDED TO ILLUSTRATE THE INTENDED DESIGN, AESTHETIC, PERFORMANCE AND FUNCTIONAL CHARACTERISTICS OF THE SITE IMPROVEMENTS AND AMENITIES. MINOR MODIFICATIONS MAY BE REQUIRED TO ACCOMMODATE SPECIFIC PROJECT SITE CONDITIONS AND DIMENSIONS. PROVIDE MODIFICATIONS AS DIRECTED AND APPROVED BY ENGINEER AT NO ADDITIONAL COST.
4. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND SITE CONDITIONS IN ADVANCE OF CONSTRUCTION ACTIVITIES AND INSTALLATION OF SITE ELEMENTS.
5. REFER TO ELECTRICAL PLANS FOR LIGHTING AND ELECTRICAL IMPROVEMENTS.
6. ADA SIDEWALK, RAMPS TO BE 6-INCH THICK CONCRETE WITH MEDIUM BROOM FINISH.
7. CRUSHED CONCRETE WILL NOT BE ACCEPTED AND SHALL NOT BE USED FOR ANY OF THE AGGREGATE MATERIALS.
8. ONCE WORK ON THE HMA PAVEMENT FOR A ROAD SEGMENT OR PARKING LOT IS BEGUN, THE CONTRACTOR SHALL MAINTAIN A CONTINUOUS OPERATION UNTIL THE WORK IS COMPLETE. TOP COURSE HMA SHALL BE PLACED ONLY AFTER ALL BASE REPAIRS, CONCRETE CURB REMOVALS AND REPLACEMENT, STRUCTURE ADJUSTMENT AND REPAIRS ARE COMPLETED. ALL MILLED PAVEMENT SURFACES SHALL BE COMPLETELY RESURFACED WITH LEVELING AND WEARING COURSES BEFORE THE SEASONAL SHUTDOWN FOR THE WINTER.
9. ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
10. THE LOCATIONS, SPACING AND ORIENTATIONS OF ALL PROPOSED SITE IMPROVEMENTS INCLUDING SITE FURNISHINGS AND SIGNAGE LOCATIONS SHALL BE FIELD APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. LOCATION AND ORIENTATION CHANGES WILL BE PROVIDED AT NO ADDITIONAL COST.
11. PAVEMENT JOINTING INCLUDING ALL ASSOCIATED MATERIALS (SEALANT, BACKER ROD, FILLER MATERIAL, TIE BARS, ETC.) ARE INCIDENTAL TO THE PAVING AND MATERIALS PAY ITEMS.
12. PROVIDE 1" SEALED EXPANSION JOINTS AT BACK OF ALL CURBS THAT ARE ADJACENT TO PAVEMENT. PROVIDE 1/2" SEALED EXPANSION JOINTS AT ALL LOCATIONS SHOWN ON THE PLANS AND DETAILS AS WELL AS AT ALL INTERFACES BETWEEN BUILDINGS/PAVEMENT, LIGHT AND UTILITY POLE/PAVEMENT, UTILITY STRUCTURE/PAVEMENT, STRUCTURES/PAVEMENT AND ANY OTHER FIXED OBJECTS. SEALED EXPANSION JOINTS AROUND LIGHT/UTILITY POLES AND UTILITY STRUCTURES ARE NOT SHOWN ON THE PLANS AND DETAILS, BUT SHALL BE PROVIDED. PROVIDE SEALED EXPANSION JOINTS IN CURBS AT A MAXIMUM OF 120' ALIGNED WITH SEALED EXPANSION JOINTS IN ADJACENT PAVEMENT. CONSTRUCTION PLANS AND DETAILS DO NOT SHOW EVERY REQUIRED SEALED EXPANSION JOINTS.
13. THE MAXIMUM DIMENSION BETWEEN EXPANSION JOINTS IN PAVEMENT TO BE 50'-0". PROVIDE SEALED EXPANSION JOINTS IN CURBS AT A MAXIMUM OF 100' ALIGNED WITH SEALED EXPANSION JOINTS IN ADJACENT PAVEMENT. MAXIMUM DIMENSION BETWEEN CONTROL JOINTS IN PAVEMENT AND CURBS TO BE 10'-0".
14. CONTROL JOINTS AND SEALED EXPANSION JOINTS TO ALIGN WITH ADJACENT PAVEMENT, CURBS, WALLS ETC UNLESS OTHERWISE NOTED ON THE PLANS. ALIGN JOINTS PERPENDICULAR TO PAVEMENT EDGE.
15. CONTROL JOINTS AND SEALED EXPANSION JOINTS IN CURBS TO ALIGN WITH CONTROL JOINTS AND SEALED EXPANSION JOINTS IN THE ADJACENT SIDEWALK/PAVEMENT.
16. CONTROL JOINTS AND SEALED EXPANSION JOINTS AT DRIVEWAY AND ALLEY APPROACHES SHALL ALIGN WITH ADJACENT CURB RETURNS.
17. DAMAGE CAUSED TO SURROUNDING AREA PAVEMENT AND OTHER EXISTING SITE FEATURES OUTSIDE OF THE PROJECT CONSTRUCTION LIMITS SHALL BE REPLACED TO PRE-CONSTRUCTION CONDITIONS PER CITY OF DETROIT REQUIREMENTS AT NO ADDITIONAL COST.

PROPERTY BOUNDARY		
	ASPHALT PAVEMENT	
	HEAVY-DUTY CONCRETE PAVEMENT	
	CONCRETE SIDEWALK	
	RIPRAP	
	BIORETENTION AREA	
	CONCRETE CURB	
	CONCRETE SPILLWAY	
	EXPANSION JOINT	
	CONTROL JOINT	
	CMU WALL	
	STONE BOULDER	
	PARKING GATE	
	PARKING KIOSK	
	STEEL PIPE BOLLARD	
	SIGN POST	
	LIGHT POLE	
	4-INCH PAVEMENT MARKING	
	BARRIER-FREE PAVEMENT MARKING	

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