



City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

Date: 09/12/2025

Application Number: HDC2025-00498

APPLICANT & PROPERTY INFORMATION

NAME: Stephen Washington		COMPANY NAME: Grandiose Real Estate Solutions LLC	
ADDRESS: 374 Keelson	CITY: Detroit	STATE: MI	ZIP: 48215
PROJECT ADDRESS: 3768 Tyler			
HISTORIC DISTRICT: Russell Woods-Sullivan			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not yet complete. Please provide the following information:

1. Confirm whether all wood components will be retained or repaired. (Please note for window repair to please use glazing instead of caulk.)
2. Include a site plan with dimensions and details of the garage.
3. Include better photo documentation of the existing garage (show all sides and area that work will be done)

We recommend you contact us to schedule a site visit so that staff may understand the full scope of rehabilitation.

APPLICANT RESPONSE

Response Date: 10/16/2025



All wood components will be repaired and glazed will be used/ I also added the railing spec sheet and examples for review as was told to me by the staff.

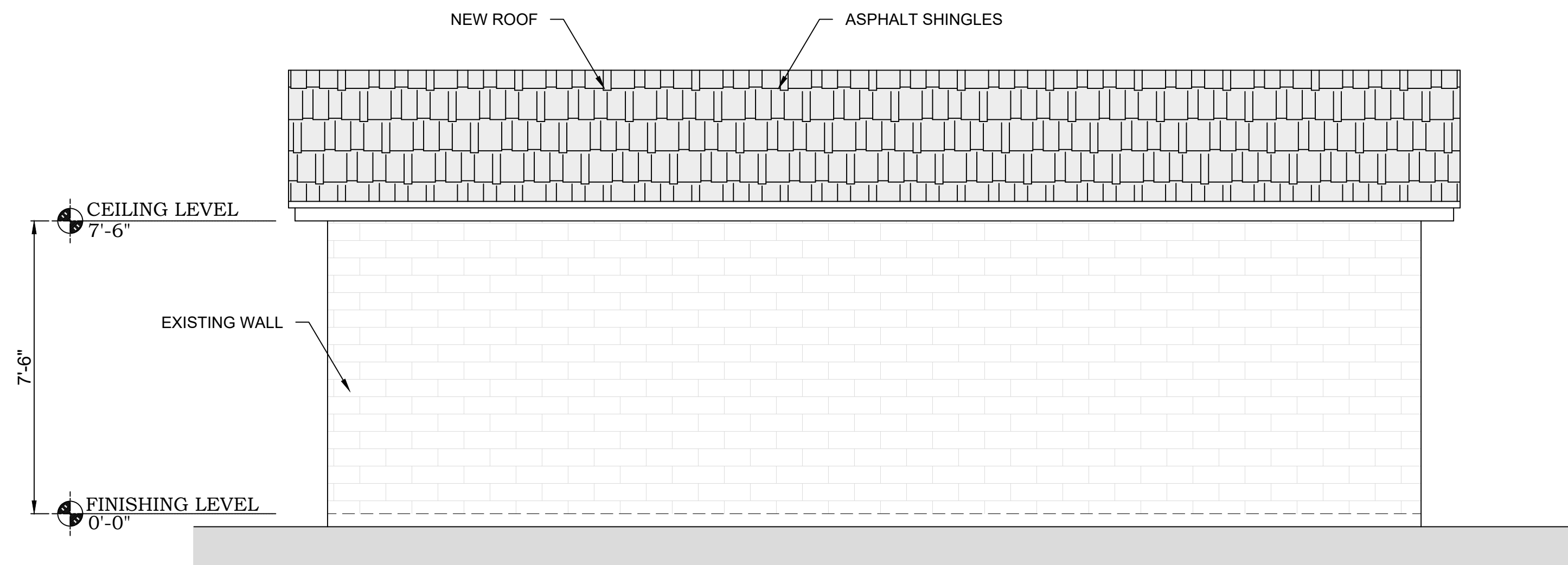
Existing Garage Photos



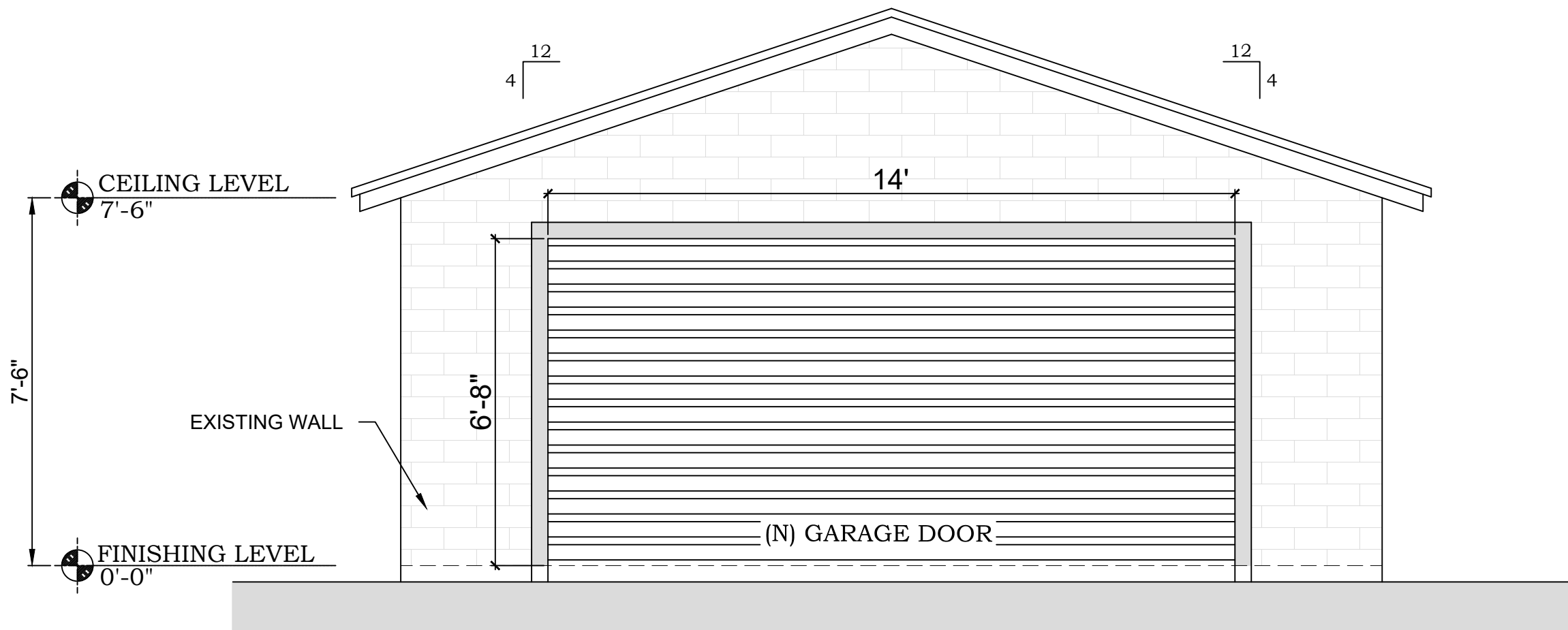




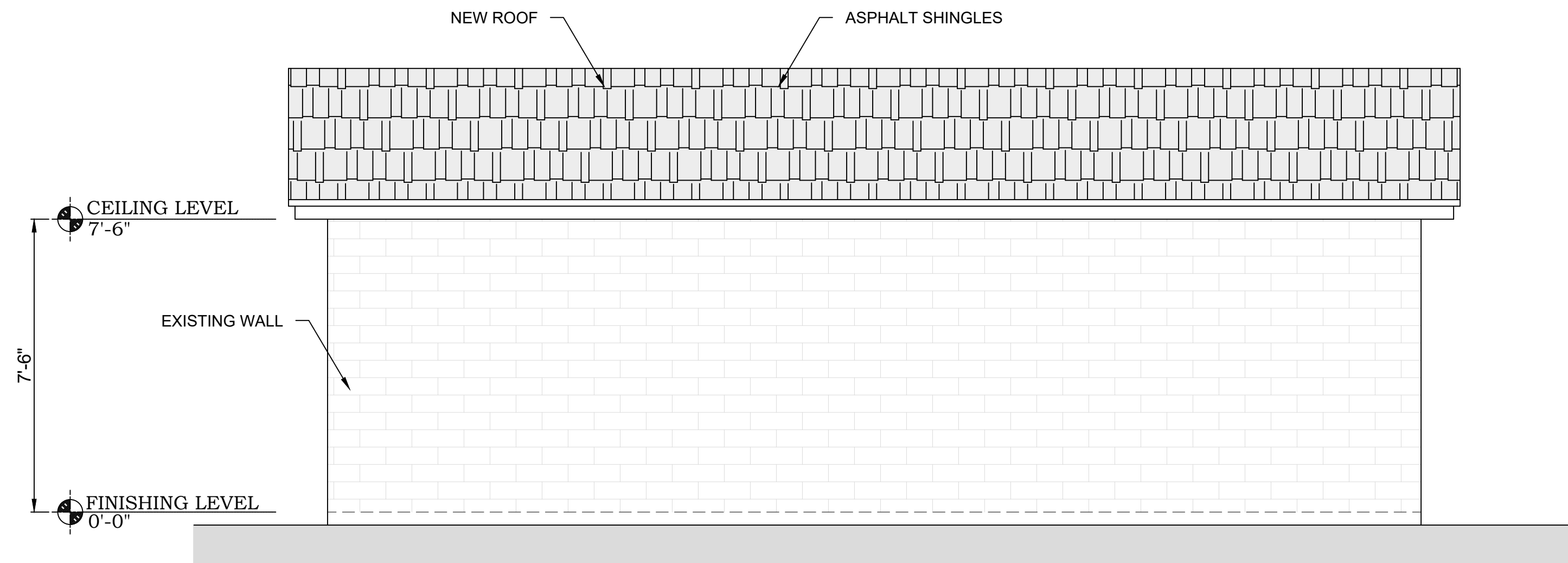




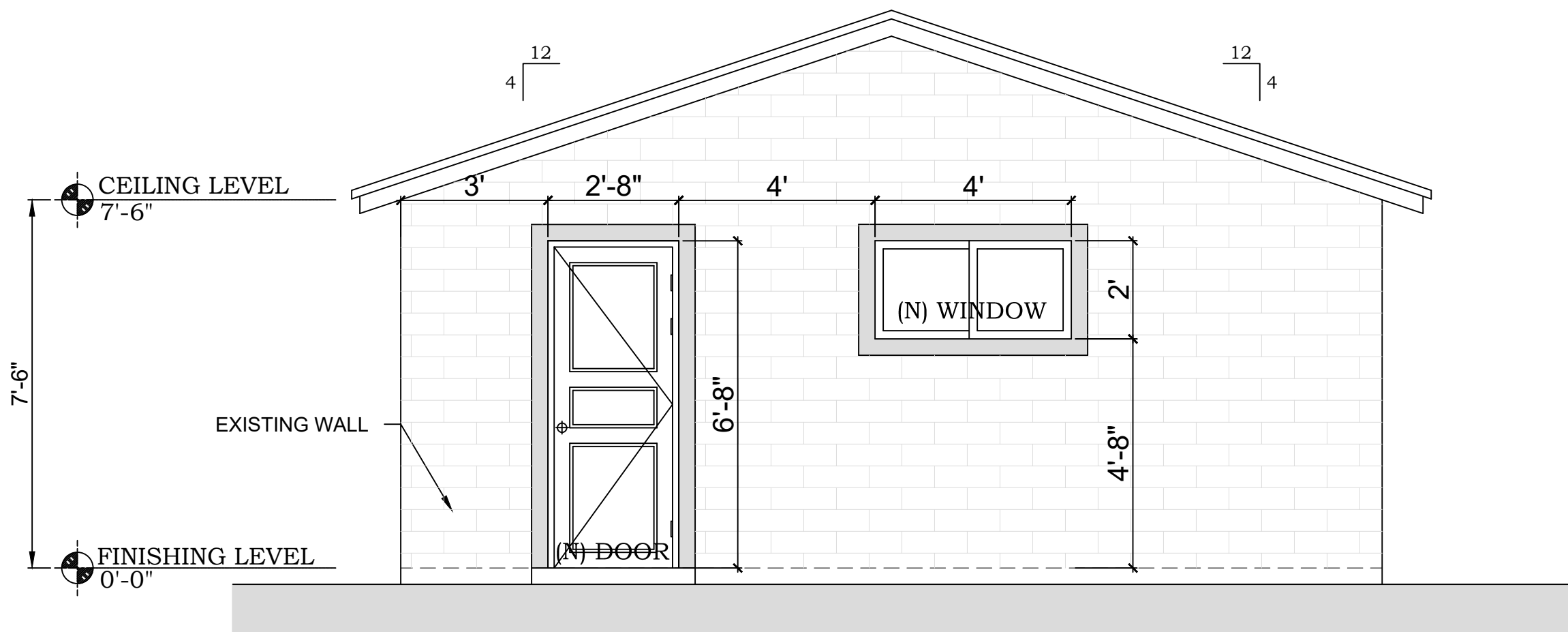
PROPOSED GARAGE
1/NORTH ELEVATION
SCALE :3/8" = 1'-0"



PROPOSED GARAGE
2/WEST ELEVATION
SCALE :3/8" = 1'-0"



PROPOSED GARAGE
3/SOUTH ELEVATION
SCALE :3/8" = 1'-0"



PROPOSED GARAGE
4/EAST ELEVATION
SCALE :3/8" = 1'-0"

DESIGNER

STAMP

PROJECT FOR
3768 TYLER ST, DETROIT, MI
48238, USA

NO.	REVISION

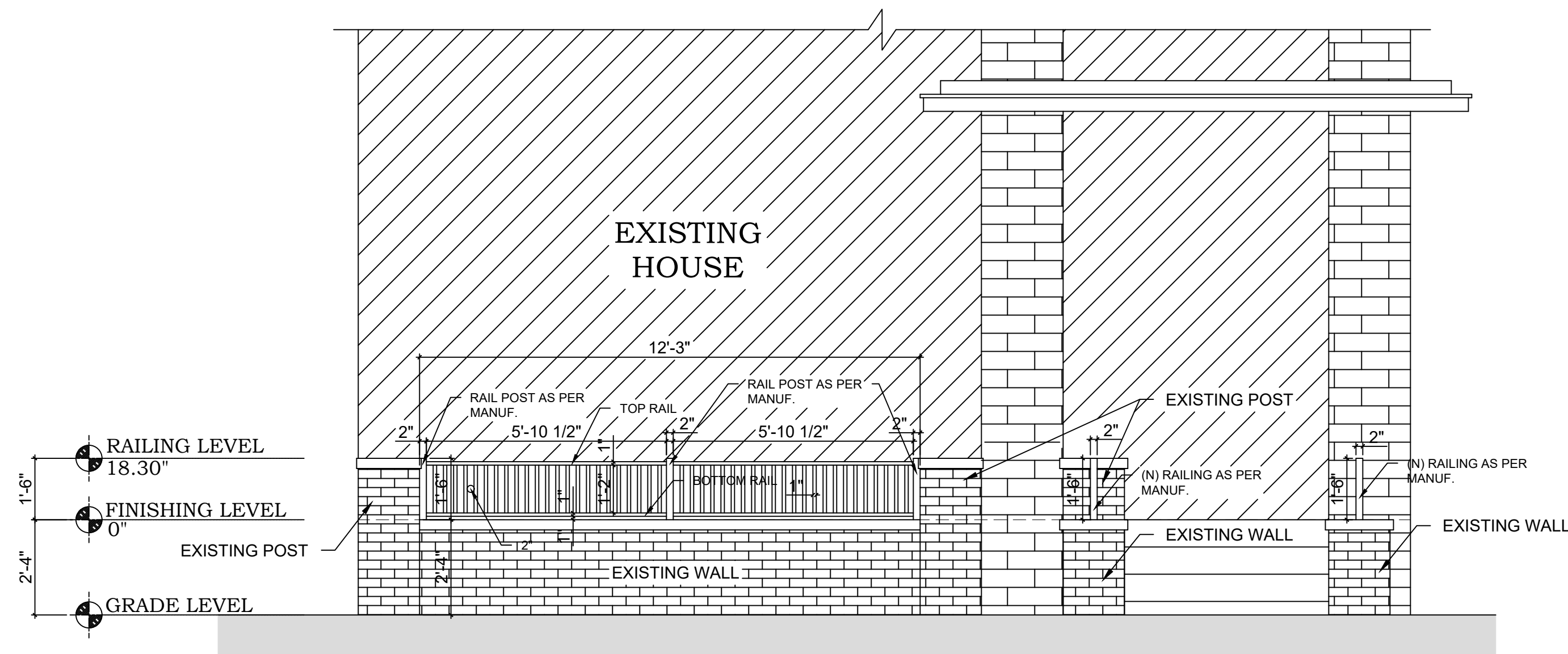
DRAWING NO.:

DATE:
09-03-2025

DRAWN BY:

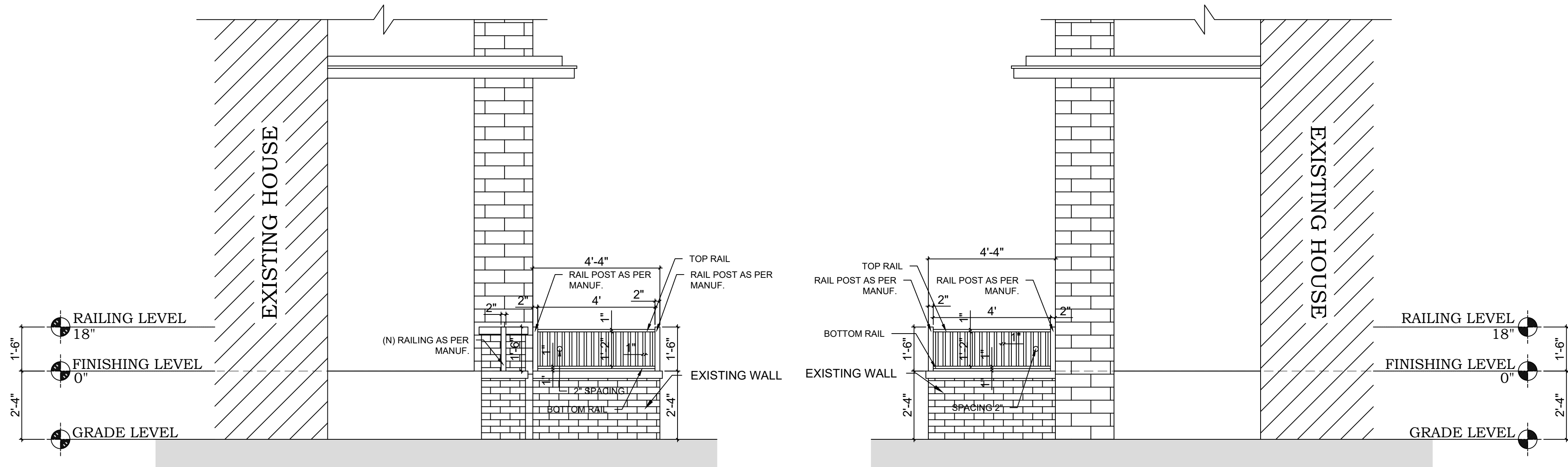
SHEET:

A01



NOTE:
1. 1/2 INCH THICK ALUMINUM WELDED SYSTEM TO BE USED IN RAILING.
2. NO MECHANICAL SYSTEM TO BE USED IN RAILING .

PROPOSED RAILING
1/FRONT ELEVATION
SCALE :3/8" = 1'-0"



PROPOSED RAILING
2/RIGHT SIDE ELEVATION
SCALE :3/8" = 1'-0"

PROPOSED RAILING
3/LEFT SIDE ELEVATION
SCALE :3/8" = 1'-0"

DESIGNER

STAMP

PROJECT FOR
3768 TYLER ST, DETROIT, MI
48238, USA

NO.	REVISION

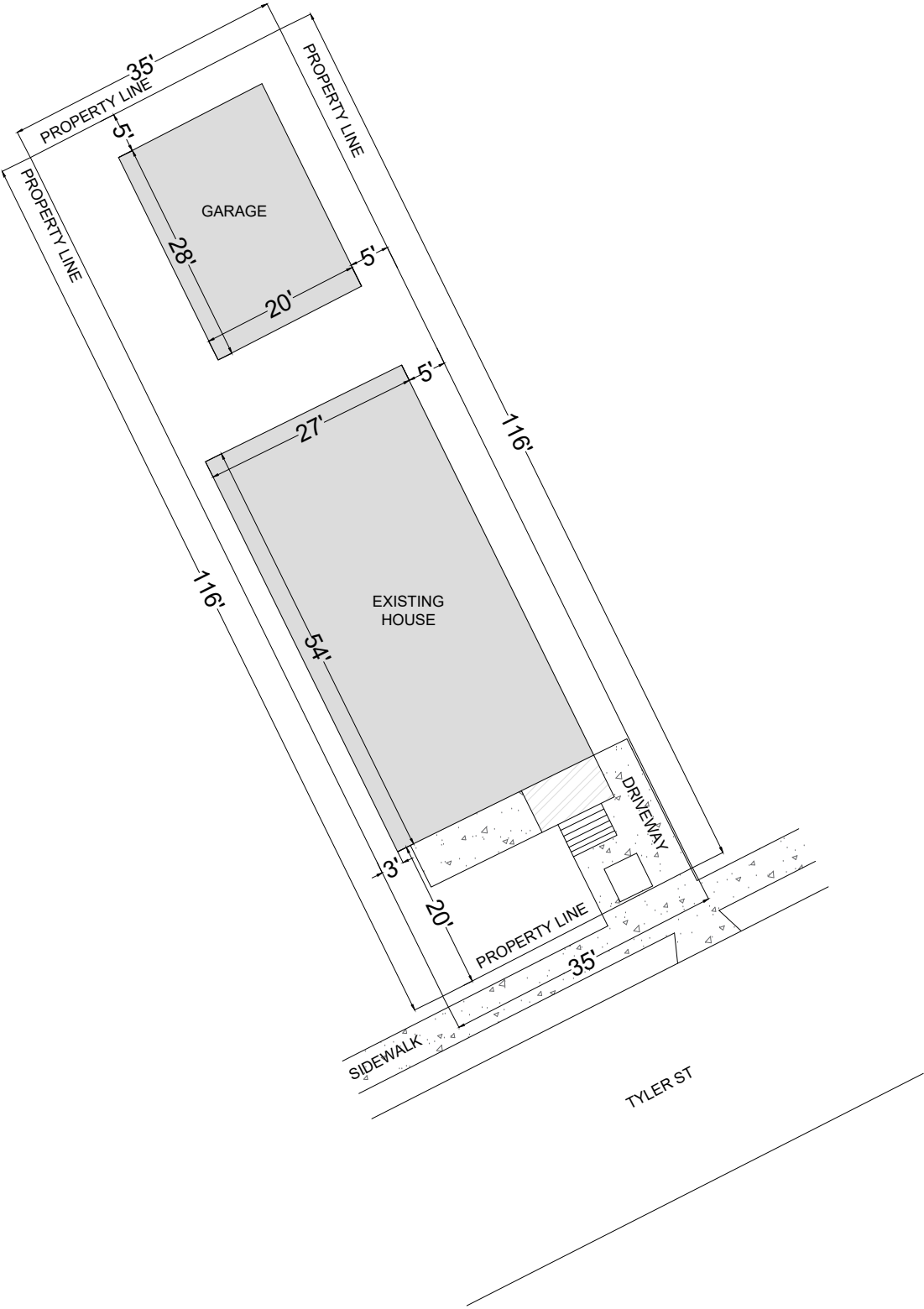
DRAWING NO.:

DATE: 09-03-2025

DRAWN BY:

SHEET:

A02



NOTE: FOR THE SCALE TO BE CORRECT SHEET MUST BE PRINTED ON 11" x 17"

NOTES:

SITE PLAN

ADDRESS:
3768 TYLER ST
DETROIT, MI 48238

PARCEL ID: 14005335

LOT AREA: 0.09 ACRES

PLOT SIZE: 11" X 17"

WEBSITE: USASITEPLANS.COM

DRAWING SCALE: 1"=20'



Custom Aluminum Railing Specification Sheet

Property Address: 3768 Tyler Street, Detroit, MI 48238

Historic District: Russell Woods

Scope of Work

Installation of a custom-fabricated, high-grade aluminum railing system designed to mimic the appearance of traditional wrought iron railings. This is not a prefabricated mechanical system from retail outlets, but a welded, heavy-duty system intended to replicate the historic look.

Product Information

Material: High-grade aluminum, custom welded

Thickness: 1/2 inch

Style: Historic wrought-iron look, traditional vertical pickets with top and bottom rails

Finish: Powder-coated matte black (non-reflective)

Compliance: Designed to meet Detroit HDC requirements by replicating historic ironwork in appearance

Specifications

- Height: 18 inches (to meet DHL code requirements)
- Material: 1/2 inch thick aluminum, welded construction
- Profile: Square pickets with traditional proportions to mimic historic wrought iron
- Finish: Matte black powder coat, durable and weather resistant
- Mounting: Surface-mounted posts anchored into porch slab or steps
- Design: Plain vertical balusters, simple traditional design consistent with early 20th-century homes

Installation Instructions

1. Measure and confirm railing placement along porch perimeter.
2. Fabricate railing panels and posts to match exact site measurements.
3. Anchor posts into concrete using corrosion-resistant fasteners.
4. Weld or secure railing panels between posts for a continuous system.
5. Apply powder-coated finish on-site touch-ups as needed.
6. Ensure railing height and spacing comply with local safety code while maintaining historic appearance.

Compliance Statement

This railing system is a custom-fabricated aluminum product designed specifically to replicate the look and feel of historic wrought iron. Although aluminum, it is heavy-duty, welded, and finished to be visually indistinguishable from traditional iron railings. The system maintains historic character while meeting modern safety code requirements, ensuring compliance with Detroit Historic District guidelines.

Aluminum Railing Example



Railing will be welded custom ½ inch thick aluminum system, rather than mechanical system. The material is very sturdy, mimicking wrought iron.

Garage Scope of Work – 3768 Tyler St., Detroit, MI 48238

Existing Condition

The detached garage is a cinder block structure with a collapsed roof and heavy vegetation overgrowth. The door is rusted and off track, the window frame is deteriorated with missing glass, and the fascia, soffits, and shingles are damaged or missing. The block walls have minor cracking and signs of water intrusion, but are structurally intact.

Scope of Work (Repair in Kind)

Work Item	Description of Work	Compliance Notes (Historic District)
Demolition & Cleanup	Remove all collapsed roof debris, damaged rafters, shingles, and vegetation. Dispose of debris per city code.	Work limited to damaged materials only; footprint and wall structure retained.
Framing & Roof Reconstruction	Rebuild roof using new 2×6 pressure-treated rafters with matching pitch and overhangs. Install ½" CDX plywood sheathing and replace any rotten wood framing.	Roof structure and pitch to match original design.
Underlayment & Shingles	Install GAF Deck-Armor synthetic underlayment, ice & water shield at eaves, and GAF Timberline HDZ architectural shingles (Charcoal) to match house.	Roof color and texture to replicate existing aesthetic.
Fascia & Soffits	Replace damaged sections with primed wood fascia (1×6) and wood soffits matching original dimensions and profiles.	No aluminum or vinyl materials permitted; repair in kind with wood.
Flashing & Drip Edge	Install new 26-gauge galvanized steel flashing and pre-finished aluminum drip edge (charcoal) at eaves and rakes.	Materials to match color and finish of existing house trim.
Gutters & Downspouts	Reinstall or replace with 5" K-style aluminum gutters and 3"×4" aluminum downspouts , maintaining same placement.	Downspouts remain in existing historic locations.

Work Item	Description of Work	Compliance Notes (Historic District)
Garage Door	Replace existing door with steel paneled door that replicates the original 4-panel design and dimensions. Color: brown or matching existing.	New door to maintain the same historic pattern and size.
Window Opening	Repair metal frame and install clear single-pane glass . If beyond repair, fill opening with matching cinder block and mortar , finished to match wall.	Retain or restore original window location; compatible materials only.
Masonry Repairs	Repoint cracked joints and repair block using matching mortar color and texture . Apply exterior sealant to prevent water intrusion.	No painting of masonry; tuckpoint to match original joint profile.
Painting & Finish	Paint all new trim, fascia, and door to match the home's Sherwin-Williams Verde Matte color scheme.	Paint colors to match existing structure and district palette.
Site Cleanup & Inspection	Remove all construction debris, clear vegetation, and perform final inspection with owner.	Property to be restored to clean, stable condition.

Total Project Notes

- All work to be performed as **“repair in kind”** to maintain historic integrity.
- **Garage footprint, wall height, and roof pitch** to remain unchanged.
- Contractor shall obtain all required **City of Detroit permits** and inspections.
- Work shall be completed in a **professional, workmanlike manner** compliant with Detroit Historic District guidelines.