



City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

Date: 07/25/25

Application Number: HDC2025-00495

APPLICANT & PROPERTY INFORMATION

NAME: Matthew LoRusso		COMPANY NAME: N/A	
ADDRESS: 899 Edison St	CITY: Detroit	STATE: MI	ZIP: 48202
PROJECT ADDRESS: 899 Edison St			
HISTORIC DISTRICT: Boston-Edison			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Thank you for your application; however, additional information on existing conditions/proposed demolition is needed, as well as a clear proposal on the proposed new construction.

Please submit exterior photos of each side of the house (including the front) and rear extensions. Interior/exterior photos that show the sinking and other structural issues you mention are needed.

The two-story porch with the stucco and wood windows is a distinctive character-defining feature of the house. I recommend obtaining a structural assessment from a licensed engineer, as the Commission will likely not consider this demolition if they don't have documentation that this component of the house is deteriorated beyond repair.

Regarding the existing drawings, I am confused by the small elevations at the top of A-101. Are these trying to show how the new construction will look upon completion? If so, they don't show any exterior doors, however cut sheets of a single door and a vinyl sliding door were submitted. You also mention replacing vinyl with cedar shingles; however, the small drawings specify vinyl siding. Would the stucco finish at the second floor be replicated?

The submitted drawings are not sufficient to show how this two-story extension will look upon completion. I have attached examples of detailed, dimensioned drawings - specifically a floor plan and elevations - as a guide for what is needed for the Commission's review.



PSR: Audra

250725AD

APPLICANT RESPONSE

Response Date: 08/14/2025



Hello,

Thank you for taking the time to review my submitted proposal. I have attached an updated drawing showing the work to be done from our architect and a written review of an inspection by our structural engineer. We have our second baby due in May and we need to ensure that this structural problem near the new baby room will be fixed. It has taken months searching and paying for help through the recommended websites you've sent me with brick+beam to get to this point and we have not moved in fixing a problem that gets worse every season. I hope this is all we need to move forward with our plans to ensure the house of my wife and child is a meager "structurally sound," let alone renovated.

Thanks,
Matt LoRusso

NETWORK
RLT, INC
REAL ESTATE
DESIGN

7436 OAKLAND
DETROIT, MI 48211
(586) 339-2862



Know what's below.
Call before you dig.



JOB DESCRIPTION

**REBUILD REAR
SECTION OF HOME**
899 EDISON
DETROIT, MI
48202

SHEET DESCRIPTION

**EXISTING
SITE PLAN**

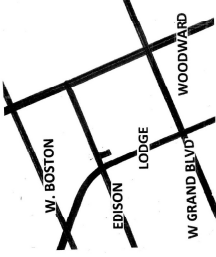
SHEET

A-000

APPLICABLE CODES

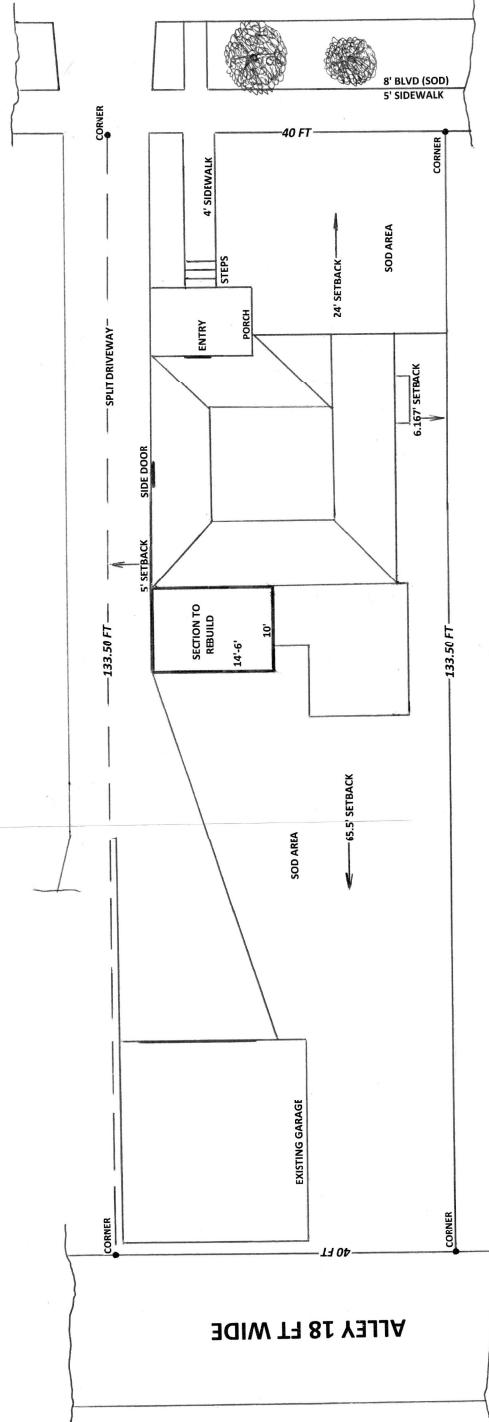
2021 PLUMBING CODE
ANSI 117.1-2009 ACCESSIBILITY
2015 MICHIGAN ENERGY CODE
ASHREA 90.1-2007
2012 INTERNATIONAL FIRE CODE
2015 MICHIGAN REHAB CODE
2021 MICHIGAN MECHANICAL CODE
2023 NATIONAL ELECTRIC CODE/2023
MICHIGAN PART 8 ELECTRICAL CODE RULES

LOCATION MAP



SITE INFORMATION
*** SITE SIZE 5,227.2 SQ FT (0.12 ACRES)
*** STRUCTURE SIZE 2,098 SQ FT
*** PARCEL ID 04002607
*** REAR SECTION REBUILD WILL NOT CHANGE THE SIZE OR FOOTPRINT OF THE STRUCTURE
*** ZONING R-1
*** OWNER MATHEW & JULIAN LORUSSO
LEGAL DESCRIPTION
S EDISON 468 VOIST PARK SUB 622
L22 P94 PLATS, W/C 4/90
40 X 133.50

EDISON



SCALE 1/8" = 1 FT

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JOB DESCRIPTION

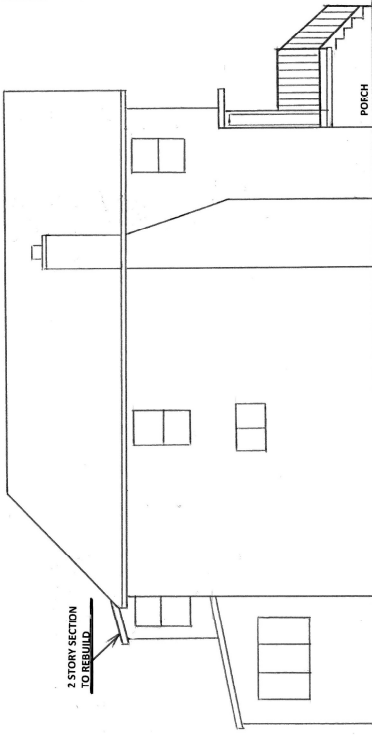
**REBUILD REAR
SECTION OF HOME
899 EDISON
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48202**

SHEET DESCRIPTION

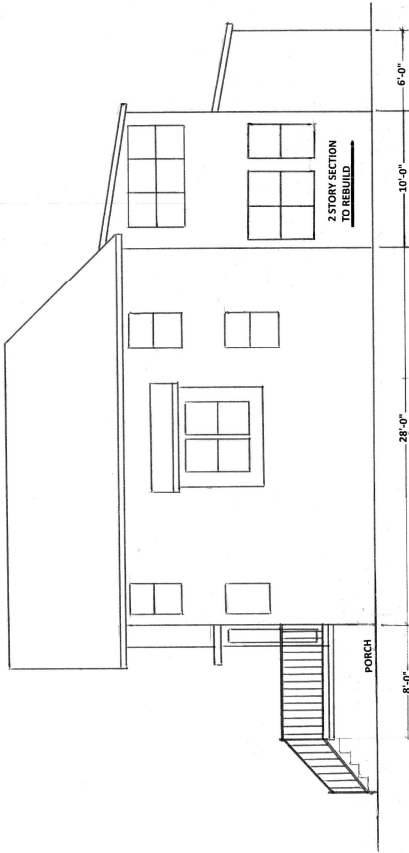
**EXISTING
ELEVATIONS**

SHEET

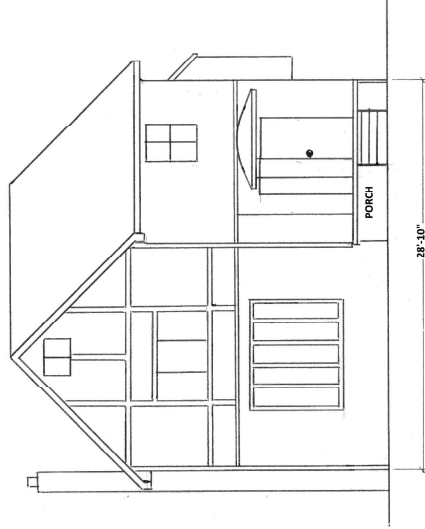
A-100



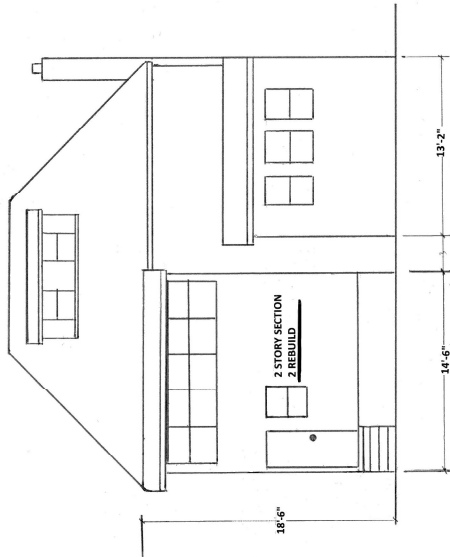
LEFT



RIGHT



FRONT



REAR

SCALE 1" = 5 FT







Mosley Services Inc.

Consulting Engineers and Architects

2985 Bavlis Drive • Ann Arbor, Michigan 48108 • (313) 964-3010

September 8, 2025

Homeowner
899 Edison Ave.
Detroit, MI

Subject: Structural inspection of two-story structure at rear of dwelling at 899 Edison Ave. in the City of Detroit, MI

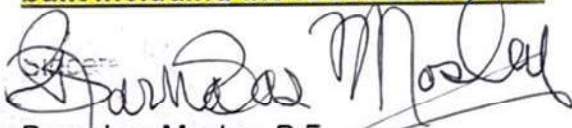
Dear Sir/Madame

At the request of your construction contractor an inspection of subject structure was undertaken on Monday 8 September 2025. The purpose of the inspection was to determine the structural soundness of the two-story structure at the rear of the dwelling which is fourteen feet wide and ten feet deep from the rear of the home.

The supporting members of the structure were found to have the following defects:

- 1) The six inch by eight-inch timbers holding the structure up on the piers (8) have seriously rotted away and are no longer affected.
- 2) Without exception, all the floor and ceiling joist have warped from front to rear.
- 3) The outer rear wall has sagged more than eight inches as indicated by the shape of the side window

Based upon our inspection, it is my professional opinion that this entire two story structure is not structurally safe and should be demolished and a new structure built including the foundation piers.


Barnabas Mosley, P.E.