



City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

Date: 10/15/25

Application Number: HDC2025-00639

APPLICANT & PROPERTY INFORMATION

NAME: Andre Williams		COMPANY NAME: N/A	
ADDRESS: 949 Chicago Blvd	CITY: Detroit	STATE: MI	ZIP: 48202
PROJECT ADDRESS: 949 Chicago Blvd			
HISTORIC DISTRICT: Boston-Edison			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Additional exterior photos are needed (full wall views), of each side of the house and rear extension to understand the architectural styling of the structure and how the rear extension is placed/attached to the house and its current design/condition. Interior photos of the areas proposed for demolition are needed to further illustrate existing conditions. A structural assessment from a licensed engineer is suggested.

Dimensioned site plan (can be hand drawn or use an aerial image from Google maps/Google earth) – confirming footprint of house, foot print of proposed rear extension and garage/out buildings.

Dimensioned drawings that confirm wall construction/roof (flat roof? Shed roof? Overhanging eaves?) as well as exterior elevation drawings that confirm how this rebuilt structure will look upon completion. Must show all wall trim/mullions/window casings, window operations (as well as glass division: simulated divided lights? Between-the-glass grilles?), etc.

Please note: it is not likely the Commission will approve the installation of cementitious siding/stucco on a rebuilt portion of the historic house. Very likely wood clapboard siding and stucco will be required for cladding materials.



PSR: Audra

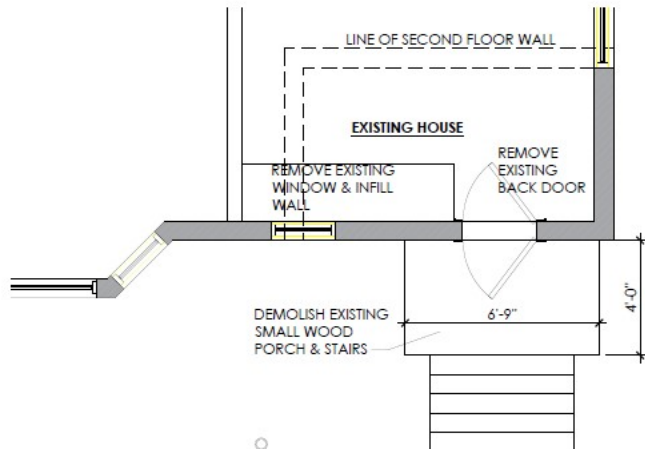
251015AD

APPLICANT RESPONSE

Response Date: 10/18/2025



See attached file for Response to Additional Info Requested.



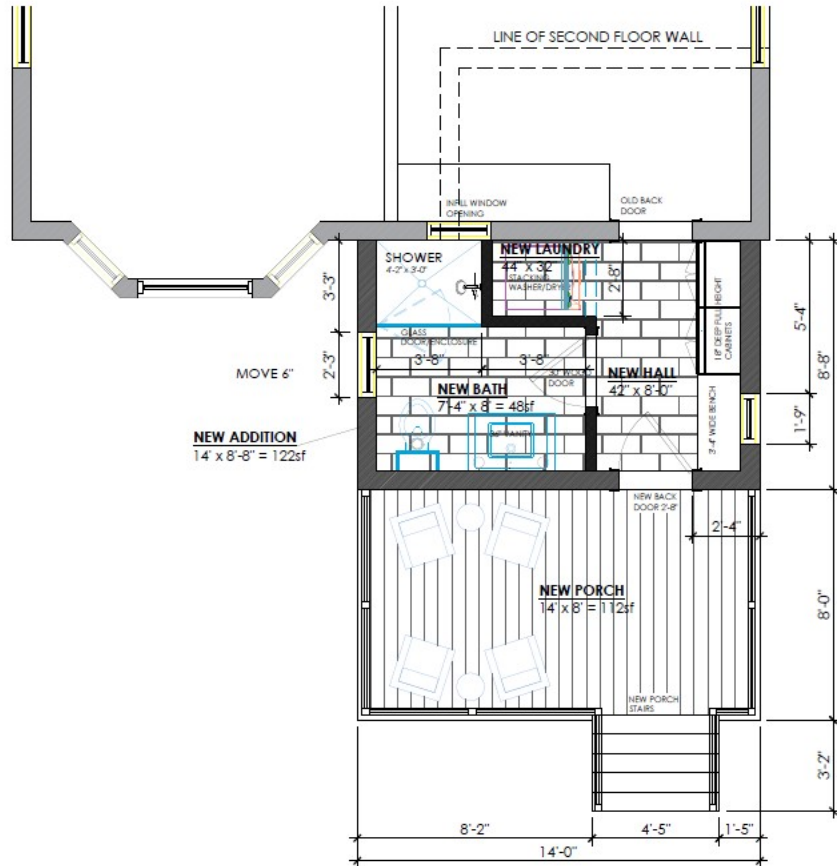
EXISTING FLOOR PLAN

scale: 1/4" = 1'-0"



NO WORK TO FRONT
OF HOUSE - ONLY
REMOVAL OF REAR WOODEN
PORCH/STAIRS + 122sf REAR
ADDITION AND REPLACEMENT
REAR PORCH

EXISTING PHOTO FRONT OF HOUSE



PROPOSED FLOOR PLAN

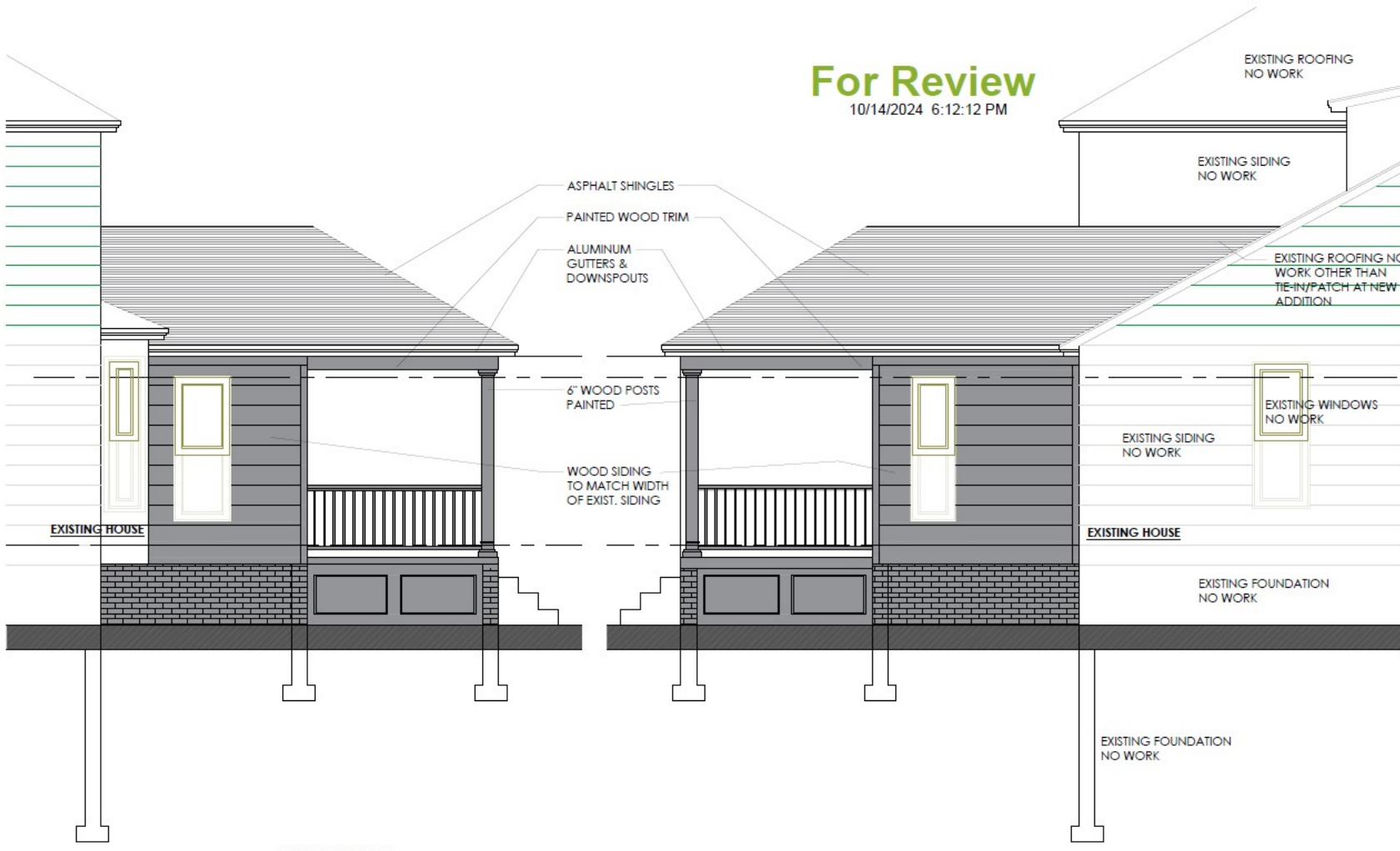
scale: 1/4" = 1'-0"

For Review

10/14/2024 6:12:36 PM

For Review

10/14/2024 6:12:12 PM



PROPOSED FLOOR PLAN

scale: 1/4" = 1'-0"



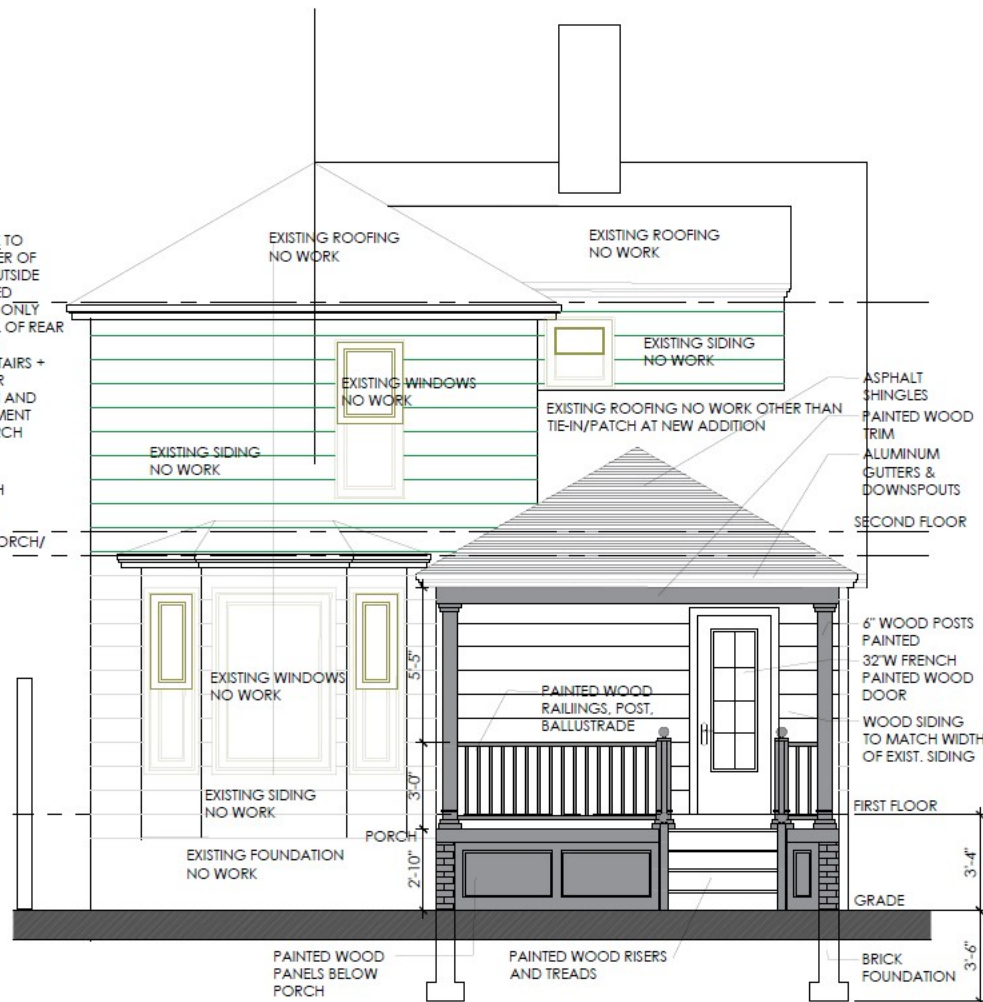
EXISTING PHOTO REAR OF HOUSE

For Review

10/14/2024 6:12:46 PM

NO WORK TO
REMAINDER OF
HOUSE OUTSIDE
OF DASHED
OUTLINE - ONLY
REMOVAL OF REAR
WOODEN
PORCH/STAIRS +
122sf REAR
ADDITION AND
REPLACEMENT
REAR PORCH

DEMOLISH
EXISTING
SMALL
WOOD PORCH/
STAIRS



PROPOSED REAR ELEVATION

scale: 1/4" = 1'-0"



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251015AD

Response to HDC Additional Information Request

Property Address: 949 Chicago Boulevard

Owner: Andre Williams

HDC Application Number: **HDC2025-00639**

Exterior Documentation & Existing Conditions

- Additional exterior photographs showing full wall elevations of each façade (front, sides, and rear) are included for review.
- The rear extension, that was original to the house, has been fully demolished due to unsafe and hazardous structural conditions.
- The original brick and cement pier footings had begun to fail from prolonged water exposure and freeze-thaw cycling.
- The primary source of deterioration was chronic water intrusion from the semi-flat roof and inadequate drainage design.
- The previous roof condition—nominally a shed roof but nearly flat—was especially vulnerable to snow accumulation and ice damming, leading to progressive structural damage.
- Please refer to the photographs included in the original submission, which clearly document the unsafe and deteriorated condition of the original footings and flooring that contributed to the structural failure.
- The rear extension is an original component of the home's historic construction, not a later addition, as shown on historic photos of the home.
- The intent is to reconstruct the original footprint and architectural proportions, ensuring the rebuilt structure remains consistent with the historic massing and rhythm of the main house.

Proposed Structural and Architectural Design

Foundation:

- New reinforced concrete pier footings (8" diameter) extending 42 inches below grade to meet frost-depth requirements.
- Pressure-treated wood posts and sill plates to support a standard wood subfloor system.

Roof Design:

- Proposed Reverse Gable roof, pitched at 9/12, replacing the prior near-flat configuration.
- The new roof design aligns more harmoniously with the existing main house rooflines and gables, reduces long-term maintenance, and improves snow and water shedding performance.
- The reverse gable orientation also visually and structurally complements the HDC-approved garage dormers, creating architectural continuity between the structures.

Wall Construction & Cladding:

- First-floor cladding: Hardie Lap Plank Siding with 6" reveal, providing dimensional depth and continuity with the garage finish while maintaining horizontal rhythm.
- Second-floor cladding: Stucco finish consistent with the main house's historic upper wall treatment.
- All exterior trim, window casings, and cornice profiles will replicate the existing historic detailing.
- The **original cornice components** have been **carefully removed, cataloged, and stored** for reinstallation following completion of exterior wall and roof work. Photo attached.

Windows & Doors:

- Proposed windows to be Lincoln aluminum-clad wood units, identical to those previously approved under HDC COA #DHDC 23-8476 (garage rebuild).
- Simulated divided-light grids will match the original muntin pattern of the home's historic windows.
- Exterior door will be aluminum-clad wood, consistent with the approved materials and the home's architectural vocabulary.
- **New Lincoln aluminum-clad wood windows**, previously approved by the HDC, will be installed throughout the residence to maintain consistency in material, detailing, and visual character across all elevations.

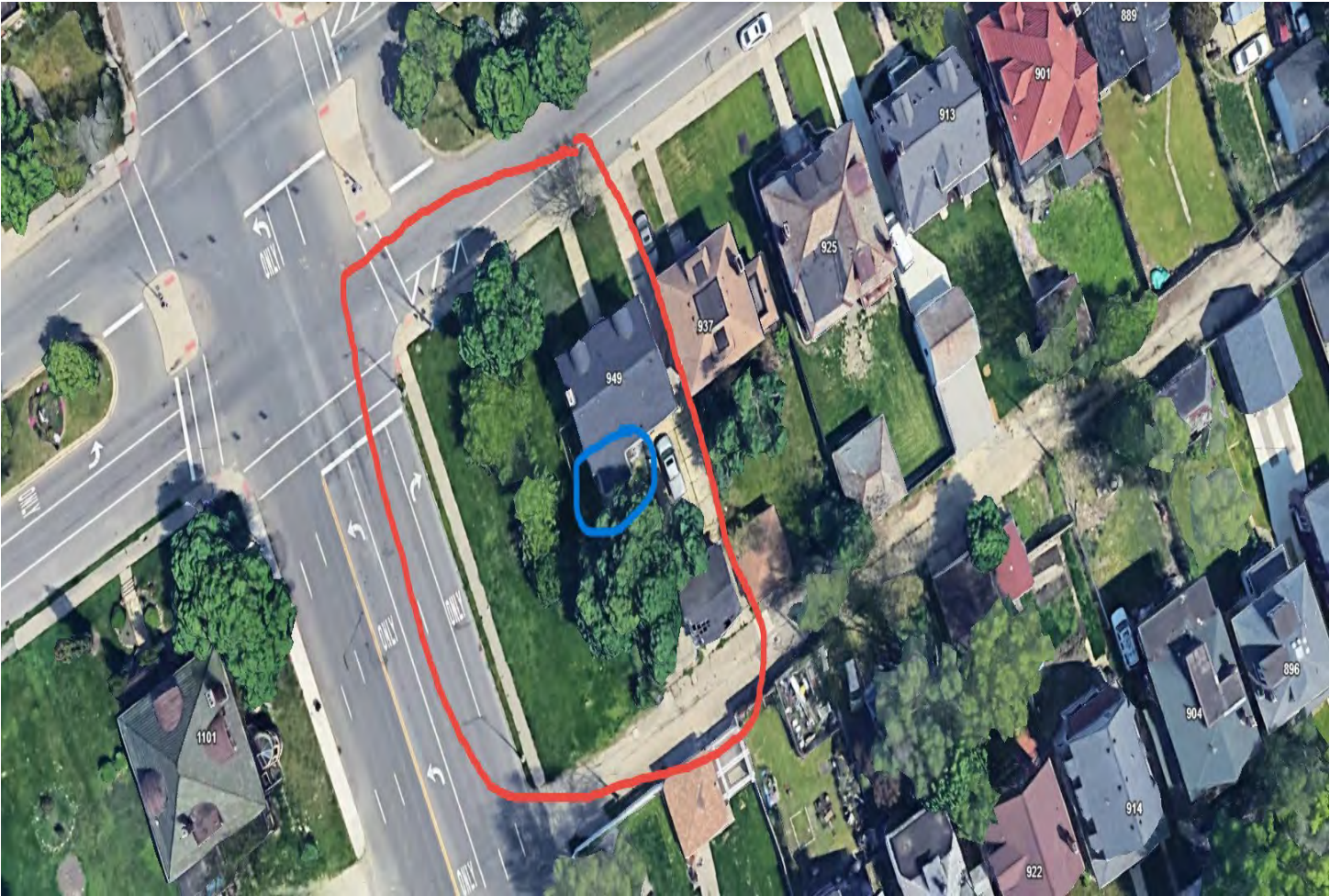
Supplemental Plans and Drawings

- A dimensioned site plan (based on aerial imagery) confirming the existing house footprint, the rear extension footprint, and the approved garage/outbuilding is included.
- Elevation drawings and sectional diagrams provided to show wall construction, roof geometry (reverse gable, 9/12 pitch, eave overhangs).
- Exterior trim, window and door placement, and finish materials will be clearly shown to illustrate how the rebuilt structure maintains the historic façade alignment and proportion of the original home.

Recommendations and Compliance Notes

- Cladding materials have been selected to respect historic character while ensuring long-term durability and compatibility with existing structures.
- The overall intent is to preserve the architectural integrity of the home and ensure that all new work is visually subordinate and historically consistent.

Aerial



Footing decay



Sample of cornice removed to be re-installed



North



EastWall



West Wall

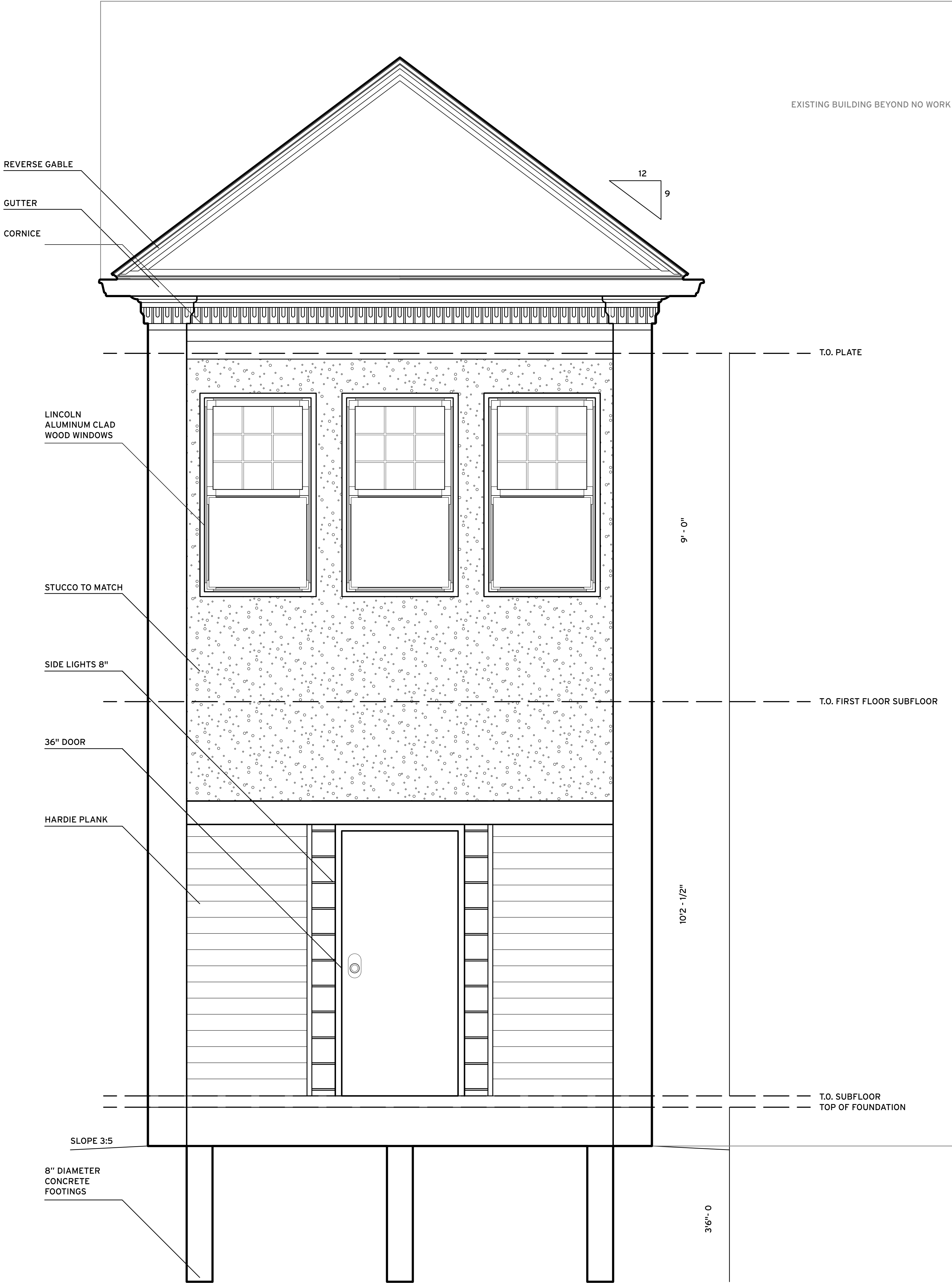


South

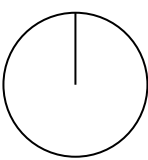




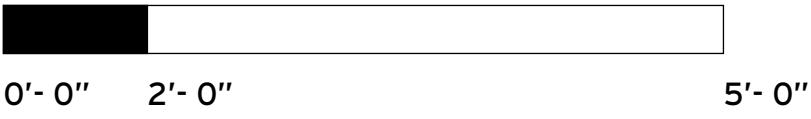


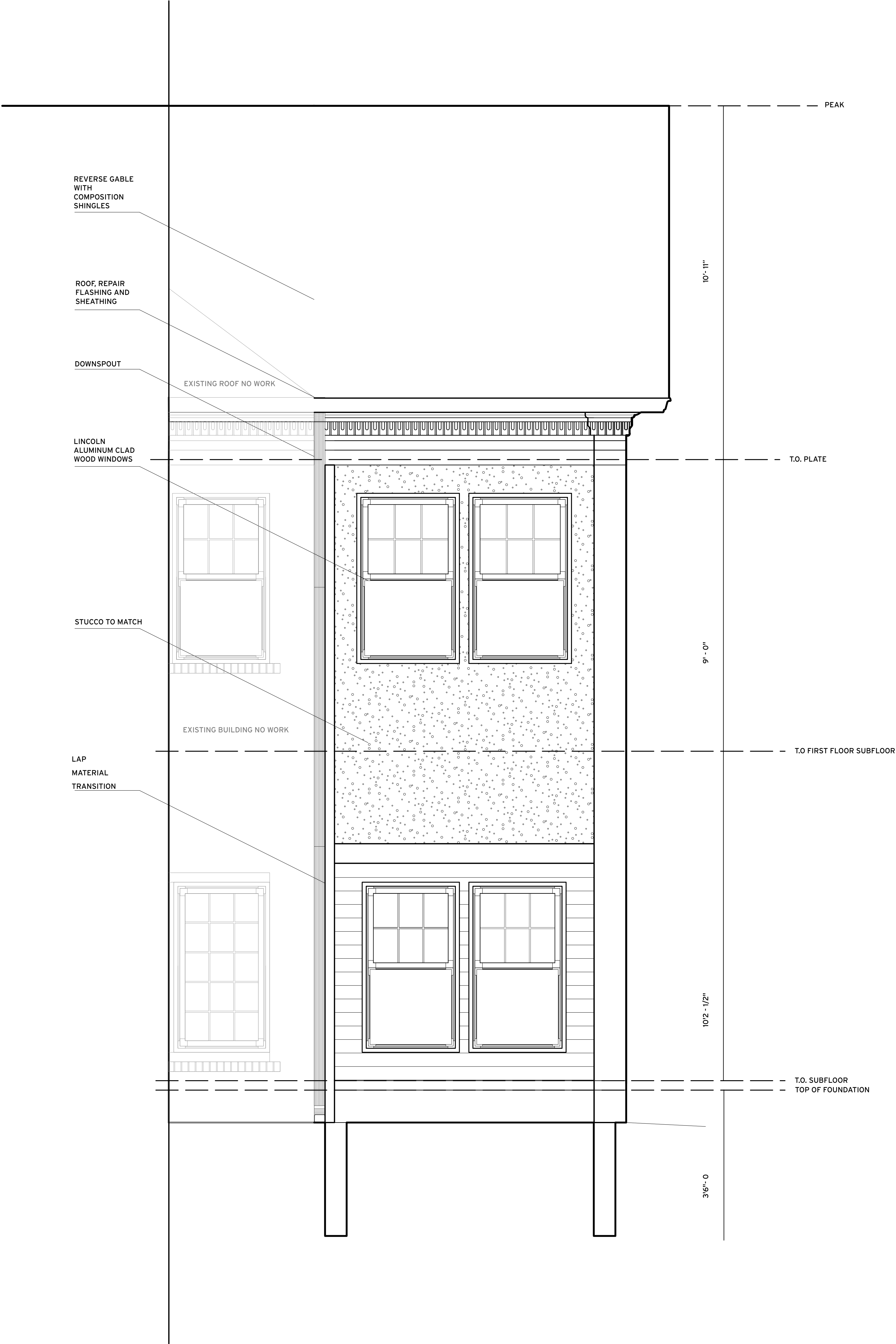


SOUTH ELEVATION

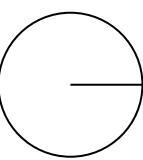


SCALE 1/16" = 1'-0"

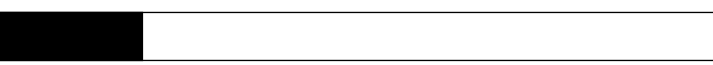




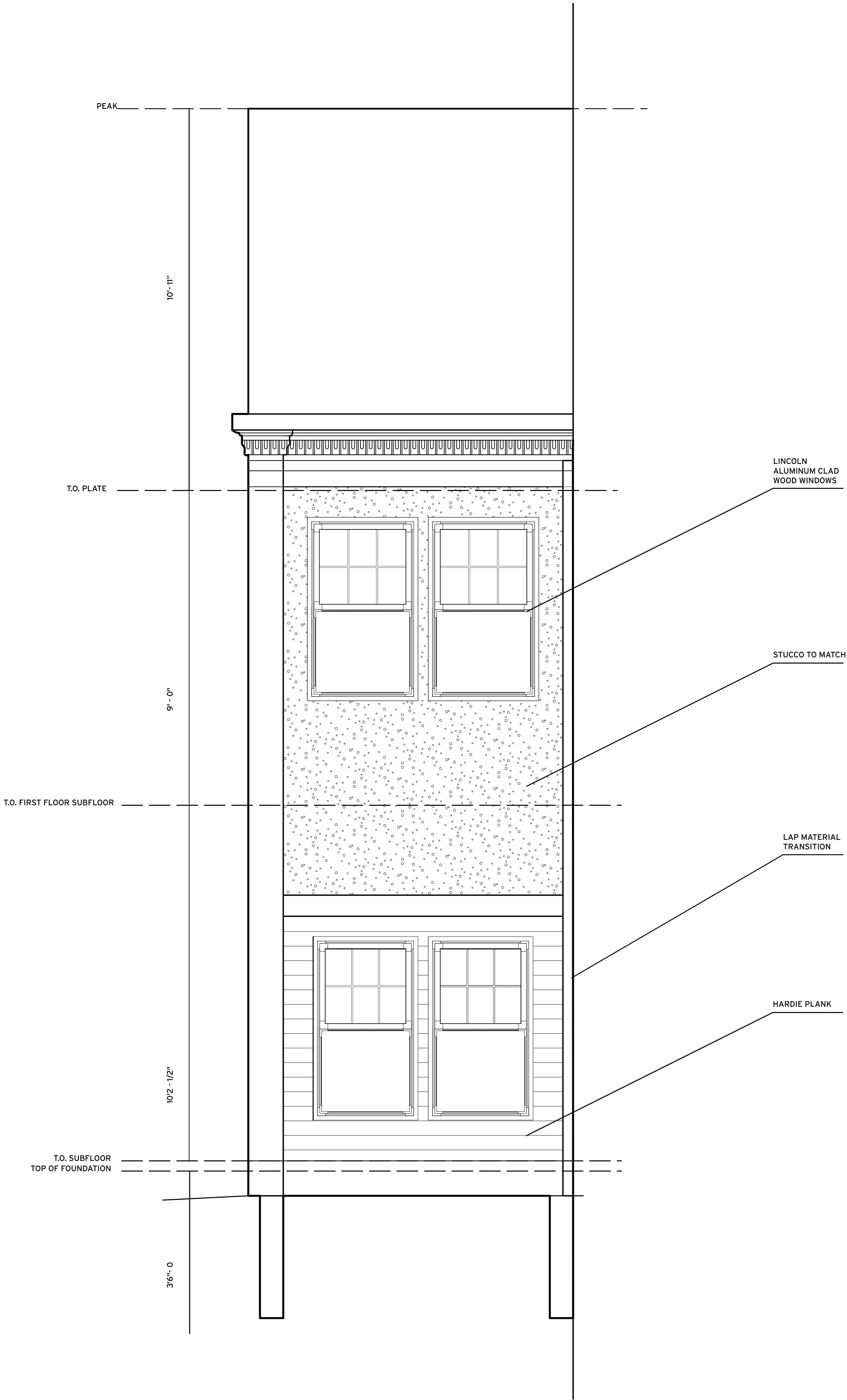
EAST ELEVATION



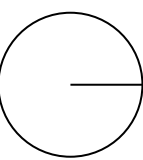
SCALE 1/16" = 1'-0"



0'-0" 2'-0" 5'-0"



WEST ELEVATION



SCALE 1/16" = 1'-0"

