



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**APPLICATION ID**

HDC2025-00592

**PROPERTY INFORMATION****ADDRESS(ES):** 264 Watson**HISTORIC DISTRICT:** Brush Park**SCOPE OF WORK: (Check ALL that apply)**

- |  |   |  |   |   |                                |
|--|---|--|---|---|--------------------------------|
| <input type="checkbox"/> Windows/<br>Doors | <input type="checkbox"/> Walls/<br>Siding | <input type="checkbox"/> Painting        | <input type="checkbox"/> Roof/Gutters/<br>Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony                                    | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition        | <input type="checkbox"/> Signage          | <input type="checkbox"/> New<br>Building | <input type="checkbox"/> Addition                 | <input type="checkbox"/> Site Improvements<br>(landscape, trees, fences,<br>patios, etc.) |                                |

**BRIEF PROJECT DESCRIPTION:**

Open air porch connector between existing side porch and new front porch

**APPLICANT IDENTIFICATION****TYPE OF APPLICANT:** Architect/Engineer/Consultant**NAME:** John P. Biggar**COMPANY NAME:** studiozONE, llc**ADDRESS:** 350 Madison, 4th Floor**CITY:** Detroit**STATE:** MI**ZIP:** 48124**PHONE:** +1 (313) 549-2790**EMAIL:** jpb@ware-house.com**I AGREE TO AND AFFIRM THE FOLLOWING:**

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

DocuSigned by:

John P. Biggar

studiozONE, llc

09/12/2025

SIGNATURE

DATE

350 Madison, 4th Floor

Detroit

MI

48124

+1 (313) 549-2790

jpb@ware-house.com

Questions? Contact us at [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov) or (313)224-1762




**NOTE:** Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**

**Instructions:** Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

<b>ePLANS PERMIT NUMBER:</b> (only applicable if you've already applied for permits through ePLANS)	BLD2025-01627
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**GENERAL**

<p><b>1. DESCRIPTION OF EXISTING CONDITION</b> <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>Currently there is an existing side porch (historic) and a front porch (non-historic)</p>	
<p><b>2. PHOTOGRAPHS</b> <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p><b>3. DESCRIPTION OF PROJECT</b> <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>This is a proposed open air connecting walkway between the existing, historic side porch and the new front porch</p>	
<p><b>4. DETAILED SCOPE OF WORK</b> <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>New connector wood porch, without a roof, using the same porch rail, decking and structural supports as the new front porch.</p>	
<p><b>5. BROCHURES/CUT SHEETS</b> <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

**ADDITIONAL DETAILS**












KEYED NOTES:

- 1 EXISTING EVERGREEN TREES ALONG EDGE OF PROPERTY LINE TO REMAIN
- 2 EXISTING DECORATIVE WROUGHT IRON METAL FENCE TO REMAIN
- 3 NEW CONCRETE PAD AT STAIRS FROM MAIN FLOOR AND BASEMENT
- 4 NEW ARBOR VITAE ALONG EAST PROPERTY LINE / CITY PARK
- 5 NEW HANDRAILS/GUARDS AND NEW STEPS AT EXISTING REAR LANDING
- 6 EXISTING STEPS TO BASEMENT ENTRANCE, REPAIR AS REQUIRED
- 7 NEW DORMER AT EXISTING ROOF, SEE FLOOR PLANS FOR FURTHER INFORMATION
- 8 NEW ROOF OVER ROOF DECK, SEE FLOOR PLANS FOR FURTHER INFORMATION
- 9 NEW FLAT METAL ROOF OVER EXISTING HISTORIC PORCH
- 10 NEW FLAT METAL ROOF OVER NEW PORCH
- 11 EXISTING SIDEWALK TO REMAIN

PROPERTY DESCRIPTION:

LEGAL DESCRIPTION:  
S WATSON 19BLK 7 BRUSH SUB L2 P25 PLATS,  
WCR 1/43 50 X 150

PRPOERTY ID: 01000741

SITE AREA:  
50' WIDE X 150' DEEP = 7,500 SF TOTAL LOT AREA

SITE COVERAGE:  
MAIN HOUSE (EXISTING) = 943 SF  
% COVERAGE (EXISTING) = 8.0%



09/12/25	Historic Commission
07/08/25	Permits
07/01/25	Owner/Designers Review
05/13/25	Owner/Designers Review
04/07/25	Preliminary Pricing
11/20/24	Historic Commission
11/15/24	Historic Commission

Date: Issued For:

**Watson Residence**  
**Historic Home**  
264 E Watson  
Detroit, Michigan 48201

**studiozONE : DETROIT**

architectural  
urban  
interior

DESIGN

350 Madison Avenue  
4th floor  
Detroit, Michigan 48226

studiozonedetroit.com  
313.549.2790 (p)  
john@studioz-one.com

Project Number: 2024

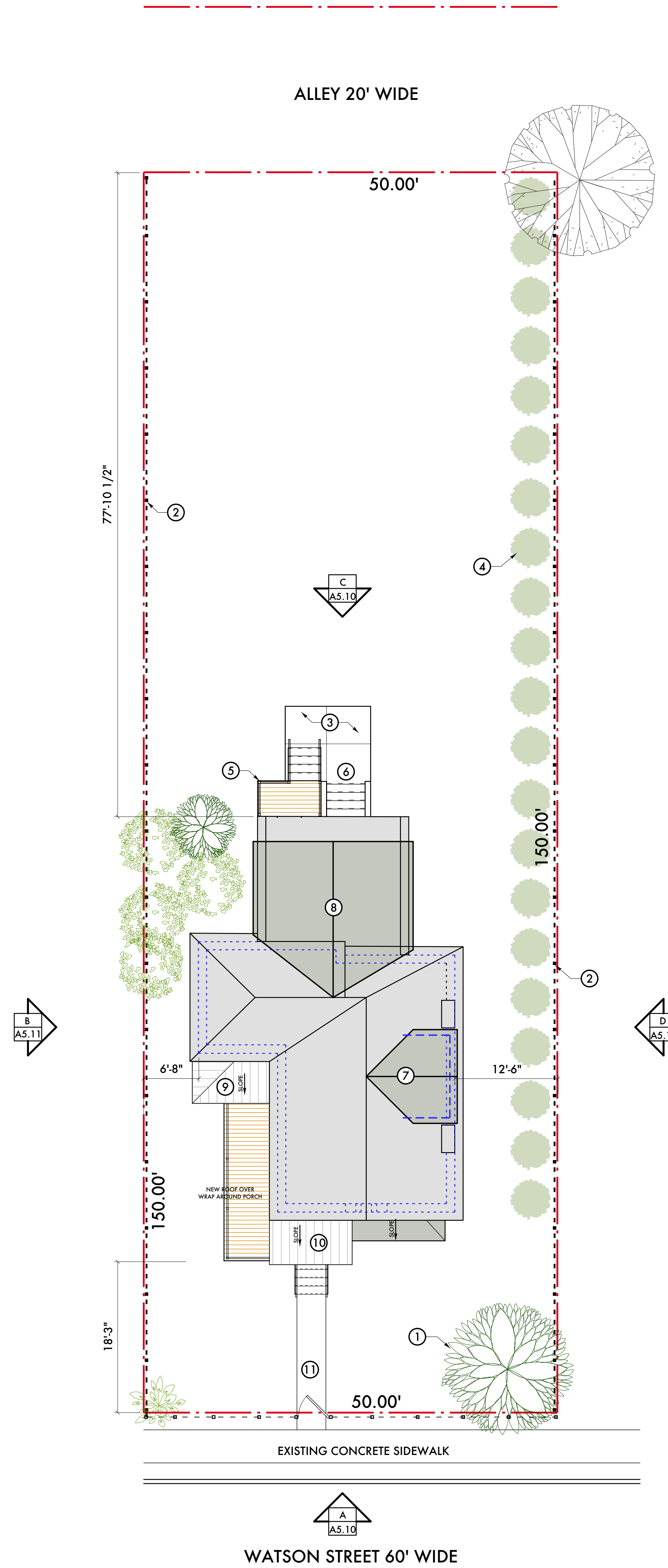
Sheet Title:

**SITE PLAN**

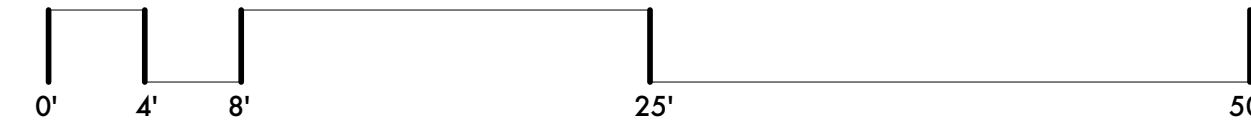
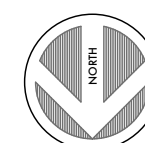
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**A2.10**

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1 SITE PLAN  
1/8" = 1'-0"





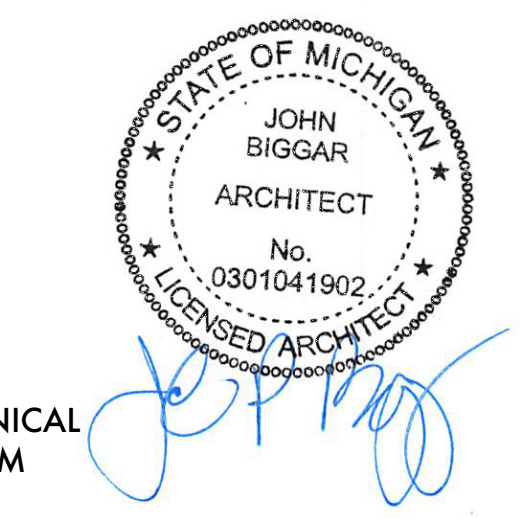
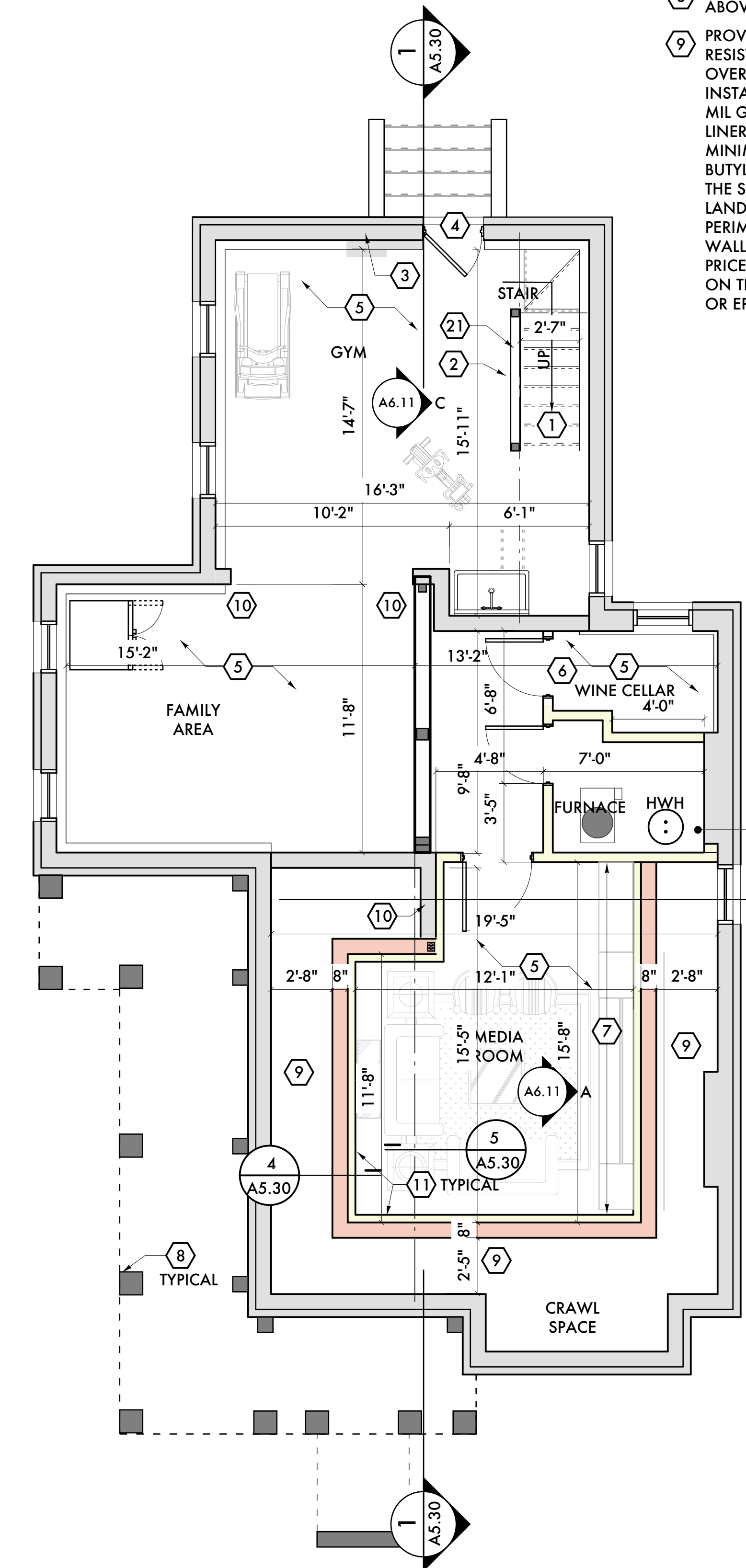
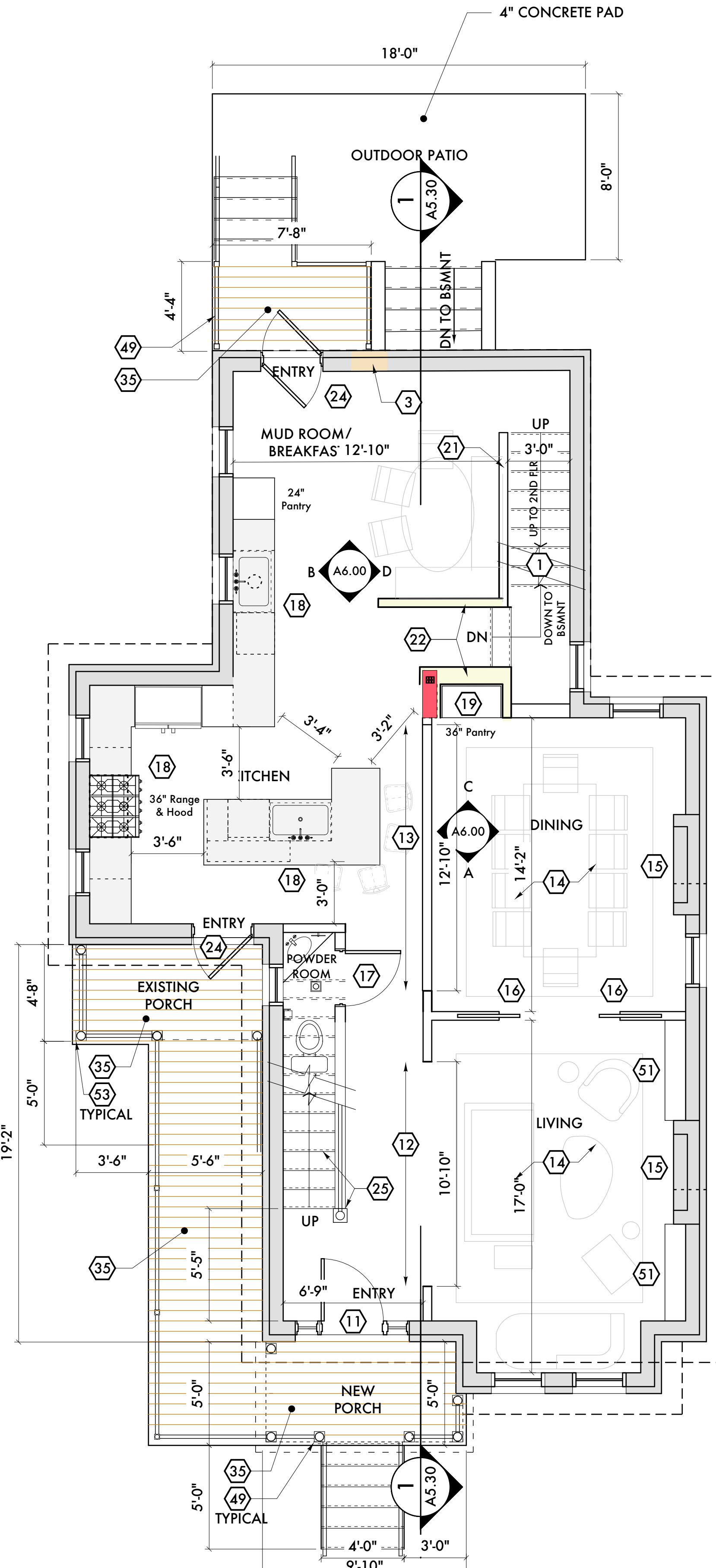
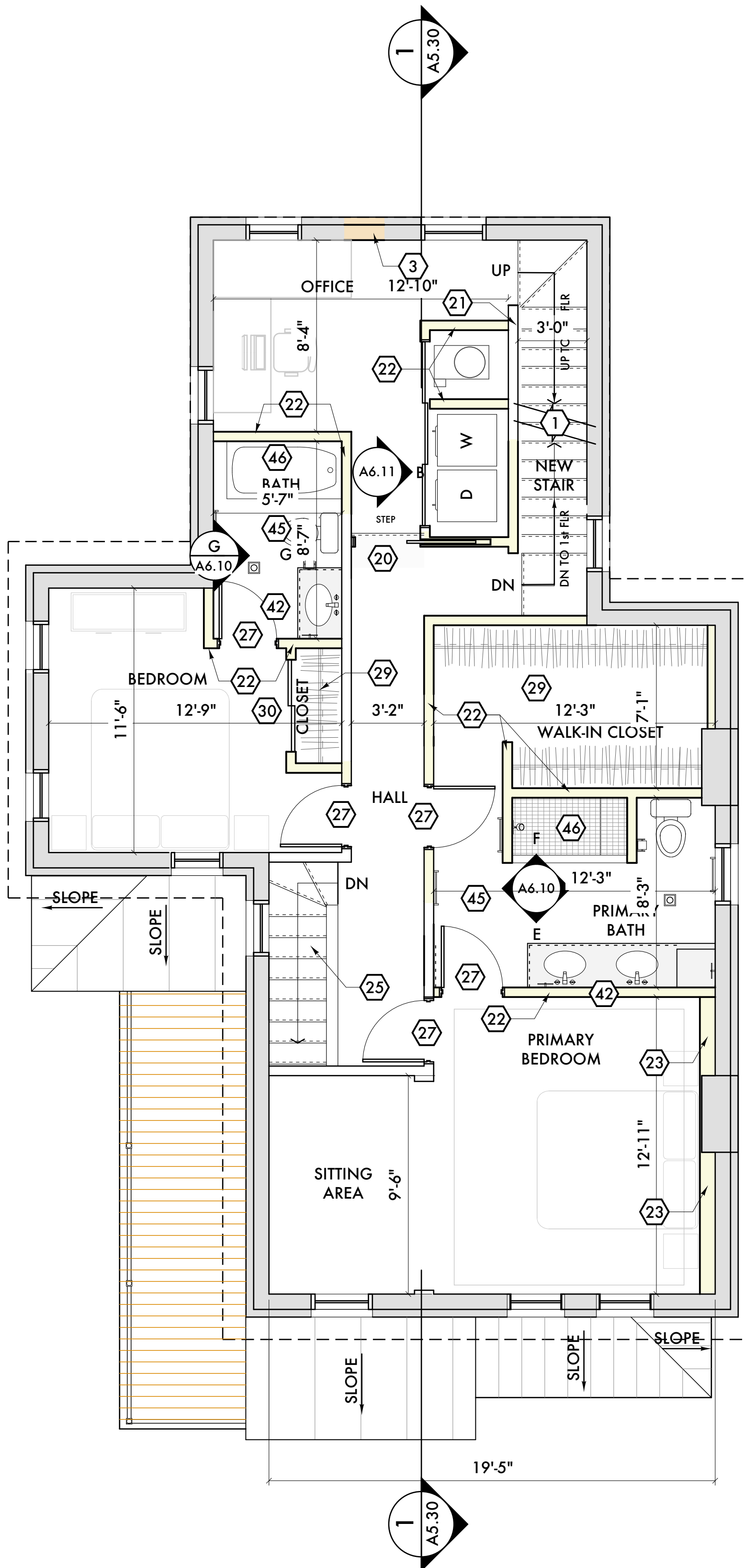
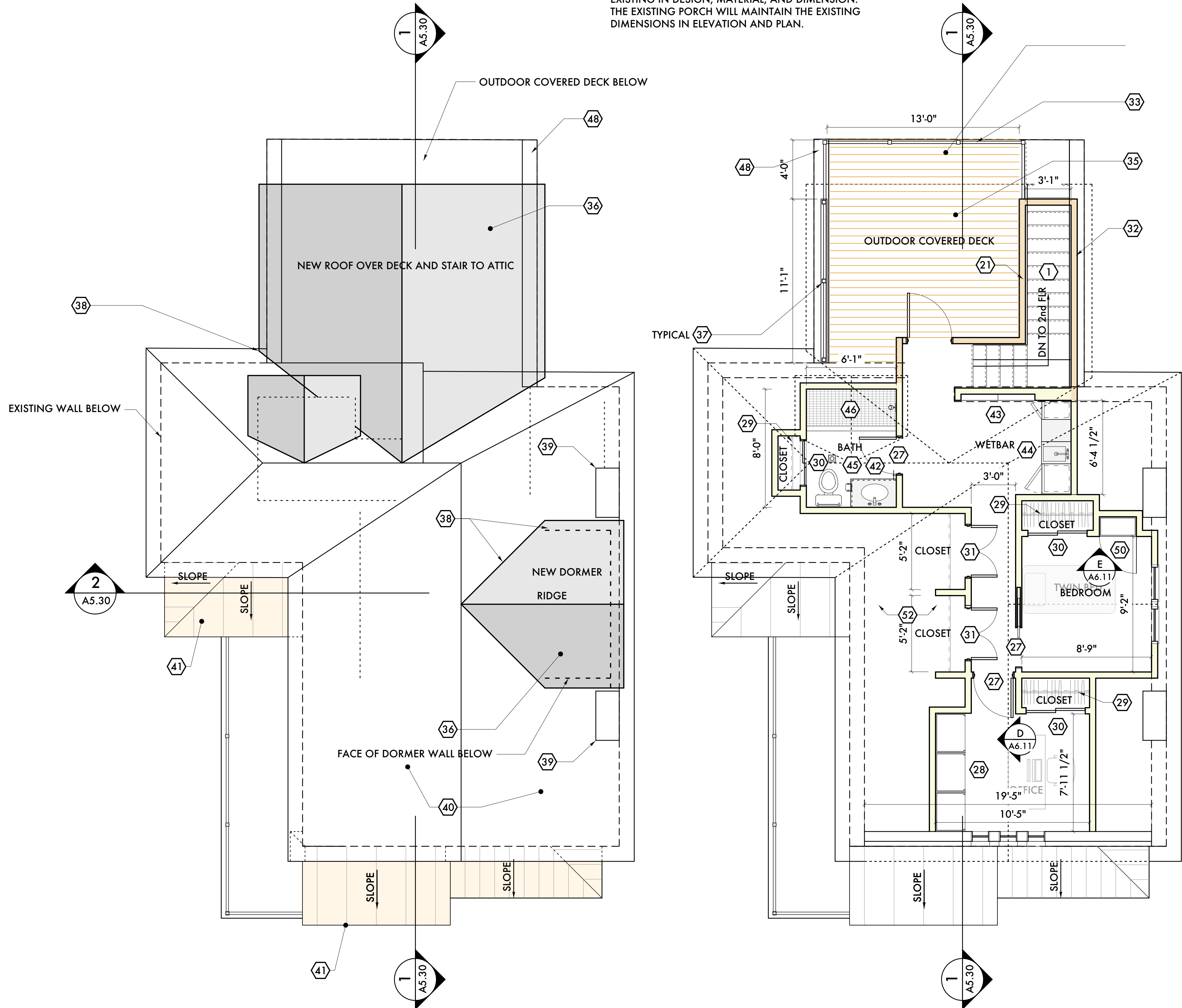
KEYED NOTES:

- 2-PIECE METAL COPING/WALL CAP, DARK BRONZE FINISHED, ON 2X NAILER OVER TOP OF EXISTING MASONRY WALL, WRAP NEW ROOF MEMBRANE OVER TOP OF NAILER
- WOOD POSTS SUPPORTS, BRACKETS AND HANDRAILS AT NEW PORCH - SEE ELEVATIONS FOR TYPICAL PROFILE AND SHAPE OF ALL PORCH ELEMENTS. PROVIDE DRAWING OR SAMPLE OF ALL PORCH ELEMENTS TO THE OWNER FOR APPROVAL BEFORE FABRICATING. CONSULT W/ DESIGNERS FOR FINAL COLOR AND FINISH.
- BUILT-IN MILLWORK CABINET W/ SWINGING DOOR BELOW SLOPED ROOF LINE, SEE DESIGNER INFORMATION FOR DIMENSIONS AND FINISHES. COORDINATE OPENING SIZE W/ NEW MILLWORK
- LIVING ROOM BUILT-IN CABINETS (LOW) W/ FLOATING SHELVING ABOVE, EACH SIDE OF LIVING ROOM FIREPLACE. SEE DESIGNER DRAWINGS FOR FINAL SIZE AND STYLE OF MILLWORK. COORDINATE AND PROVIDE BLOCKING IN WALL AS REQUIRED FOR MILLWORK.
- GYPSUM BOARD CEILING OF CLOSET IN THIS AREA. REVIEW W/ OWNER FULL EXTENT OF CEILING FINISH AREA. PROVIDE "WING WALLS" AS SHOWN TO INSTALL CLOSET RODS. THE INTENT IS TO CREATE A CLOSET W/O A BACKWALL AND PROVIDE THE MAXIMUM FINISH STORAGE VOLUME POSSIBLE
- EXISTING PORCH IS STRUCTURALLY UNSOUND AND USES NON-HISTORIC PIECES FOR PORTIONS OF ITS CONSTRUCTION. REMOVE EXISTING FOOTINGS, STAIRS, WOOD STRUCTURE, WOOD FLOORING AND STEPS. INSTALL NEW FOOTINGS AND WOOD STRUCTURE SUPPORTING FLOOR DECK BOARDS. PROVIDE DECK PLATICE SKIRT BELOW PORCH FLOOR. SUBMIT HANDRAIL AND GUARD SPINDLES FOR APPROVAL. THE EXISTING PILASTERS AND ALL EXISTING HISTORIC ELEMENTS OF THE ROOF WILL REMAIN/BE RETAINED. ALL OTHER DETERIORATED ELEMENTS WHICH MUST BE REPLACED (TO INCLUDE THE HANDRAILS AND GUARDRAILS, PORCH DECKING, STEPS, THE CORNER COLUMN, AND THE BRICK PIER) MUST BE REPLACED IN KIND/TO MATCH EXISTING IN DESIGN, MATERIAL, AND DIMENSION. THE EXISTING PORCH WILL MAINTAIN THE EXISTING DIMENSIONS IN ELEVATION AND PLAN.
- BUILT-IN SHELVING / MILLWORK - SEE DESIGNER DRAWINGS FOR FINAL SIZE AND STYLE OF CABINETS/MILLWORK. COORDINATE AND PROVIDE BLOCKING IN WALL AS REQUIRED FOR MILLWORK AND TOILET ACCESSORIES IN THE BATHROOM.
- WET BAR - SEE DESIGNER DRAWINGS FOR MILLWORK, TILE/STONE WORK AND OTHER COMPONENTS FOR THE DESIGN. PROVIDE BLOCKING AS REQUIRED FOR SHELVING AND CABINETS, COORDINATE W/ PLUMBER FOR WATER/SANITARY TO THE WET BAR.
- TILE WORK AT BATHROOMS - PROVIDE 1/2" CEMENT BOARD AND WATERPROOF MEMBRANE THROUGHOUT ALL AREAS FLOOR AREAS TO RECEIVE CERAMIC TILE. ENSURE SUBFLOOR IS SOUND, REPAIR ANY DAMAGED AREAS. INSTALL A CEMENT BOARD, HARDIE BACK OR DUROCK IN A THIN-SET MORTAR BED, SCREW DOWN PER MANUFACTURER'S INSTRUCTIONS, MINIMUM 8" O.C. LEAVE 1/8" GAPS BETWEEN BOARDS, TAPE AND THIN-SET SEAMS W/ ALKALI-RESISTANT MESH TAPE. INSTALL WATERPROOF MEMBRANE, SCHLUTER KERDI OR DITRA, ADHERE THE MEMBRANE W/ THINSET TO THE CEMENT BOARD, OVERLAP ALL SEAMS AND SEAL W/ APPROVED BANDING. TURN MEMBRAN UP WALL MINIMUM OF 6". IF OWNER APPROVES, A LIQUID MEMBRANE MAY BE USED, REDGARD OR HYDROBAN. ROLL/TROWEL (2) COATS OVER CEMENT BOARD SURFACE, ROLL UP WALL MINIMUM 6", LET STAND MINIMUM (24) HOURS BEFORE INSTALLING TILE. TAKE CARE TO WATER TO FLASH WATERPROOF MEMBRANE APPROPRIATELY AROUND ALL FLOOR PENETRATIONS.
- TILE WALL SURFACES - INSTALL A CEMENT BOARD, HARDIE BACK OR DUROCK, ON ALL AREAS TO RECEIVE CERAMIC WALL TILE. TAPE AND THIN-SET SEAMS W/ ALKALI-RESISTANT MESH TAPE
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- COMPOSITE SHINGLES ON 20# SYNTHETIC OR ASPHALT PAPER ON MINIMUM 1/2" OSB SUBSTRATE. USE ICE AND WATER SHIELD FOR THE BOTTOM 3' OF THE ROOF AT THE EDGE OF THE ROOF. DAVINCI COMPOSITE SLATE SHINGLES, FINAL SHINGLE SERIES, SPACING, EXPOSURE AND COLOR TO BE SELECTED BY THE OWNER
- WOOD POSTS SUPPORTING WOOD BEAM AT EDGE OF NEW ROOF, ANCHOR POSTS TO MASONRY WALL BELOW, SEE STRUCTURAL DRAWINGS. PROVIDE HANDRAIL BETWEEN POSTS
- INSTALL ROOF FLASHING AT VALLEY CREATED BY NEW ROOF MEETING EXISTING ROOF AND AT BOTTOM OF NEW WALL TO DORMER. VALLEY AND ROOF/WALL INTERSECTION TO BE CONSTRUCTED PER SHINGLE MANUFACTURER'S STANDARD INSTALLATION
- EXISTING CHIMNEY TO REMAIN - SEE ELEVATIONS FOR GENERAL MASONRY REPAIRS TO CHIMNEY
- REMOVE EXISTING ASPHALT SHINGLE ROOF OVER EXISTING ROOF, REPLACE W/ COMPOSITE SHINGLES ON 20# ASPHALT OR SYNTHETIC PAPER ON MINIMUM 1/2" OSB SUBSTRATE. REPAIR ANY SUB-ROOF WHICH IS DAMAGED. USE ICE AND WATER SHIELD FOR THE BOTTOM 3' OF THE ROOF AT THE EDGE OF THE ROOF
- METAL ROOF OVER NEW PORCH - 26 GAUGE FLAT METAL ROOF ON 15/32" ROOF SHEATHING SUBSTRATE (OR 7/16" OSB). USE ICE AND WATER SHIELD OVER THE ENTIRE ROOF. PROVIDE DRIP EDGES AND FLASHING WHERE NEW ROOF MEETS EXISTING WALLS PER MANUFACTURER'S REQUIREMENTS.
- BATHROOM MILLWORK/CABINET - SEE DESIGNER DRAWINGS FOR FINAL SIZE AND STYLE OF CABINETS/MILLWORK. COORDINATE AND PROVIDE BLOCKING IN WALL AS REQUIRED FOR MILLWORK AND TOILET ACCESSORIES IN THE BATHROOM.
- TYPICAL EXTERIOR WALL AT NEW STAIR ENCLOSURE - CEMENTITIOUS SIDING ON ZIP-RIT SHEATHING ON 2 X 4 WOOD STUD, FIBERGLASS INSULATION IN CAVITY, ON 5/8" GYPSUM BOARD
- WOOD HANDRAIL AT ROOF DECK, SEE DESIGNER INFORMATION FOR STYLE OF POSTS, RAILS AND SPINDLES PLUS FINISH
- EXISTING EPDM ROOF BELOW ROOF DECK. REVIEW W/ OWNER CONDITION OF EXISTING ROOF DURING DEMOLITION. IF EXISTING ROOF IS TO REMAIN, PROVIDE DRIP EDGE AND TERMINATION BAR WHERE MISSING. IF ROOF IS TO BE REPLACED, INSTALL (2) LAYERS, 1 1/2" POLY-ISO INSULATION ON VAPOR BARRIER OVER EXISTING WOOD SUB-ROOF. PROVIDE 1/2" PLYWOOD ON SIDE PARAPET WALLS ANCHORED TO EXISTING MASONRY. PROVIDE 60-MIL TPO ROOF MEMBRANE, ADHERE TO INSULATION AND PLYWOOD AT SIDES OF MASONRY PARAPET. WRAP MEMBRANE UP OVER TOP OF MASONRY PARAPET WALL AND UP SIDE OF NEW STAIR ENCLOSURE WALL MINIMUM 12". PROVIDE TERMINATION BAR ON NEW WALLS. PROVIDE A 2-PIECE COPING/WALL CAP ON NAILER ATTACHED TO MASONRY, SLOPE TOWARDS ROOF, DARK BROWN ANODIZED FINISH. NO PONDING OF WATER IS PERMITTED ON THE ROOF. PROVIDE ANY VENTING PER ROOF MANUFACTURER'S REQUIREMENTS.
- OUTDOOR DECK SURFACE - WOOD DECK OVER PRESSURE TREATED WOOD FRAMING, SEE STRUCTURAL DRAWINGS FOR FRAMING. FINAL STAIN COLOR REQUIRES OWNER APPROVAL.

- NEW DOOR AND FRAME IN EXISTING OPENING. DETERMINE FINAL DOOR SIZE AND REVIEW W/ OWNER AFTER DEMOLITION OF EXISTING CONSTRUCTION. SEE DESIGNER INFORMATION FOR DOOR STYLE AND FINISH
- EXISTING STAIR TREADS, RISERS, SPINDLES, AND NEW POST TO REMAIN. SEE DESIGNER INFORMATION FOR FINAL FINAL INFORMATION
- EXISTING STAIR TREADS, RISERS, SPINDLES, AND NEW POST TO REMAIN. SEE DESIGNER INFORMATION FOR FINAL FINAL INFORMATION
- NEW INTERIOR DOOR AND FRAME. SEE DESIGNER INFORMATION RELATED TO STYLE AND FINISH
- BUILT-IN MILLWORK BELOW SLOPED ROOF LINE, OPEN SHELVING/BOXES, SEE DESIGNER INFORMATION FOR DIMENSIONS AND FINISHES. COORDINATE OPENING SIZE W/ NEW MILLWORK. SEE ELECTRICAL DRAWINGS FOR OUTLET LOCATION
- CLOSET - SEE DESIGNER INFORMATION RELATED TO SHELVING, RODS AND ANY BUILT-INS FOR THE CLOSETS, PROVIDE BLOCKING FOR ALL
- CLOSET - SLIDING DOORS, SEE DESIGNER INFORMATION ON FINAL STYLE, SIZE AND FINISH
- CLOSET - PAIR OF SWINGING DOORS, SEE DESIGNER INFORMATION ON FINAL STYLE, SIZE AND FINISH
- KITCHEN CABINETS, SEE DESIGNER INFORMATION FOR FURTHER INFORMATION. SEE ELEVATIONS FOR BACKSPLASH AND TREATMENT OF EXISTING WINDOW OPENING CASING W/ NEW CABINETS. SEE DESIGNER INFORMATION AND MEP DRAWINGS FOR INFORMATION RELATED TO APPLIANCES AND PLUMBING FIXTURES. COORDINATE ALL BLOCKING REQUIRED FOR INSTALLATION OF CABINETS
- REPAIR PLASTER / INSTALL NEW GYPSUM BOARD WALLS THIS AREA AFTER REMOVAL OF EXISTING WALL AND ANY STRUCTURAL MODIFICATIONS REQUIRED TO SUPPORT NEW HEADER FOR OPENING. SEE DESIGNER INFORMATION FOR NEW MILLWORK AND PROVIDE FINAL OPENING DIMENSIONS TO DESIGNERS FOR MILLWORK.
- SLIDING POCKET DOOR LEADING TO OFFICE & LAUNDRY AREA. INFILL PORTION OF LOWER FLOOR THIS AREA TO EXTEND HIGHER FLOOR LEVEL THROUGH THE NEW DOOR OPENING
- NEW WOOD STUD BEARING WALL AT EDGE OF NEW STAIR OPENING. SEE STRUCTURAL DRAWINGS FOR MODIFICATIONS TO EXISTING FRAMING
- NEW INTERIOR PARTITION WALL, 2 X 4 WOOD FRAMING W/ 5/8" GYPSUM BOARD ON EACH SIDE, MATCH FINISH AND TIE INTO ANY EXISTING WALLS TO REMAIN. PROVIDE A SEAMLESS TRANSITION BETWEEN OLD AND NEW CONSTRUCTION WHERE IT OCCURS
- FRAME OUT NEW WALL SUCH THAT IT PROVIDES A CONTINUOUS, UNINTERRUPTED WALL SURFACE INCORPORATING THE EXISTING FIRE PLACE

- TOOTH IN AND REBUILD CORNERS OF MASONRY WALLS AFTER PARTIAL DEMOLITION
- NEW BASEMENT MASONRY WALL W/ FURRED GYPSUM BOARD, 5/8" MOISTURE RESISTANT PURPLE BOARD ON 2 X 4 WOOD STUD ON 8" REINFORCED CONCRETE BLOCK. USE PRESSURE TREATED SILL PLATE
- DOOR W/ TRANSOM AND SIDELITES AT FRONT ENTRANCE, SEE ELEVATIONS FOR GENERAL INTENT OF DOOR DESIGN. PROVIDE FINAL MEASUREMENTS AND PROPOSED SHOP DRAWINGS FOR REVIEW AFTER ALL EXISTING DOOR AND FRAME HAS BEEN REMOVED AND THE EXISTING OPENING FULLY OPENED.
- ENLARGED OPENING IN EXISTING STUD/PLASTER WALL. SEE STRUCTURAL DRAWINGS FOR NEW HEADER INFORMATION. REPAIR OPENING SURFACES AFTER STRUCTURAL WORK
- ENLARGED OPENING IN EXISTING STUD/PLASTER WALL. SEE STRUCTURAL DRAWINGS FOR NEW HEADER INFORMATION. SEE DESIGNER INFORMATION FOR NEW WOOD CASING ON SIDES AND TOP OF NEW OPENING
- EXISTING CEILING DECORATE PLASTER MOLDING/COVE TO REMAIN. CREATE NEW MOLD MATCHING EXISTING PROFILE TO RECREATE AREAS WHERE MISSING OR DAMAGED.
- RESTORE EXISTING FIREPLACE SURROUND, SEE DESIGNER INFORMATION FOR FILE DESIGN AND MATERIALS. SEE PLUMBING DRAWINGS FOR GAS LINE TO NEW FIRE PLACE INSERT
- EXISTING SLIDING DOORS TO REMAIN, CONFIRM/REPAIR TO WORKING ORDER, PRESERVE CASING AROUND OPENING. SEE DESIGNER INFORMATION FOR FINAL FINISH RESTORATION
- NEW LAVATORY UNDER EXISTING STAIR. REFRAME AREA FOR NEW DOOR AND REPAIR AREAS AROUND THE LAVATORY AFTER EXISTING WALLS HAVE BEEN DEMOLISHED.
- NEW WOOD STAIR IN EXISTING MODIFIED STAIR OPENING. THE DESIGN INTENT IS FOR ALL STAIRS TO ALIGN W/ THE STAIR ABOVE/BELW. MAINTAIN A MINIMUM 36" WIDE STAIR FROM THE FIRST FLOOR AND ABOVE. REVIEW W/ OWNER THE STAIR WIDTH AT THE BASEMENT AFTER THE DEMOLITION OF THE EXISTING EXTERIOR WALL SURFACE AT THE BASEMENT. FINAL ADJUSTMENTS W/ BE DECIDED IN THE FIELD BY THE OWNER AFTER THE DEMOLITION PROCESS IS COMPLETED AND THE PROPOSED NEW STAIR OPENINGS ARE MARKED AND LAID OUT. SEE DESIGNER INFORMATION FOR TREAD & RISER MATERIAL AND FINISH.
- MIRRORED WALL, SEE DESIGNER'S DRAWINGS FOR FURTHER INFORMATION
- FORMER CHIMNEY LOCATION, USE SALVAGED BRICK FROM CHIMNEY DEMOLITION AND INFILL EXTERIOR WALL TO MAINTAIN STRUCTURAL INTEGRITY OF WALL AFTER CHIMNEY REMOVAL
- EXISTING DOOR TO "CELLAR STEPS" TO BE REPLACED W/ NEW DOOR. SEE DESIGNER INFORMATION ON DOOR STYLE. REVIEW W/ OWNER THE FINAL OPENING SIZE AFTER DEMOLITION. THE INTENT IS TO HAVE A 3'-0" WIDE X 6'-8" TALL DOOR.
- INSTALL 4" NEW CONCRETE FLOOR THROUGHOUT REMOVAL OF EXISTING FLOOR MATERIALS. REVIEW FINAL FLOOR ELEVATION W/ OWNER PRIOR TO INSTALLING BASE AND POURING CONCRETE FLOOR. PROVIDE EXPANSION AND CONSTRUCTION JOINTS THROUGHOUT THE NEW POUR
- SEE DESIGNER'S DRAWINGS FOR FURTHER INFORMATION ON WINE CELLAR. NOTE: DOOR WILL HAVE TO BE CUT TO FILL SHORTER HEIGHT OPENING DUE TO STAIR OVERHEAD.
- BUILT-IN ENTERTAINMENT CENTER MILLWORK ALONG LENGTH OF WALL, SEE DESIGNER'S DRAWINGS FOR FURTHER INFORMATION.
- MASONRY PIER SUPPORTING DECK STRUCTURE ABOVE, SEE STRUCTURAL DRAWINGS
- PROVIDE AND INSTALL A 15 MIL. PUNCTURE RESISTANT POLYETHYLENE PLASTIC SHEATHING OVER ALL EXPOSED EARTH AREAS AFTER INSTALLATION OF NEW BASEMENT WALLS. USE 20 MIL GUARDIANLINER REINFORCED CRAWL SPACE LINER OR VIEPR 20-MIL VAPOR BARRIER. PROVIDE MINIMUM 6" OVERLAP AND TAPE ALL SEAMS. USE BUTYL TAPE OR VAPOR BARRIER TAPE FOR TAPING THE SEAMS AND TERMINATOR BARS OR LANDSCAPE STAKES FOR HOLDING DOWN THE PERIMETER. TURN THE PLASTIC SHEATHING UP THE WALLS A MINIMUM OF 6". PROVIDE OWNER A PRICE TO PROVIDE 2" RIGID INSULATION BOARD ON THE EXISTING, EXTERIOR MASONRY WALLS, XPS OR EPS RIGID INSULATION



09/12/25	Historic Commission
07/23/25	Owner/Designers Review
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Date: Issued For:

**Watson Residence**  
**Historic Home**

264 E Watson  
Detroit, Michigan 48201

studioONE : DETROIT

architectural  
interior  
design

350 Madison Avenue  
Detroit, Michigan 48226  
info@studioone.com  
info@watsonhouse.com

Project Number: 2024 - 07

Sheet Title:

**PROPOSED FLOOR PLANS**

Sheet Number:

**A3.11**

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**GENERAL NOTES:**

9. MASONRY REPAIR - THOROUGHLY INSPECT THE MASONRY SURFACE PRIOR TO PROVIDING A PRICE DETAILING THE AMOUNT OF JOINTS TO BE TUCKED AND POINTED. REMOVE ANY LOOSE MORTAR OR DAMAGED MORTAR. REPLACE ANY CRACKED OR DAMAGED BRICKS W/ BRICKS SALVAGED FROM OTHER LOCATIONS. TUCKPOINT THE EXISTING BRICK WHERE REQUIRED. MATCH THE EXISTING MORTAR COLOR AND TEXTURE W/ THE NEW MORTAR MIX. USE A "TRADITIONAL" MORTAR MIX OF SAND AND LIME PUTTY OR HYDRATED LIME. ALTERNATIVELY A MIX OF PORTLAND CEMENT, HYDRATED LIME AND SAND CAN BE USED. ANY "BAG" MIXES OF HIGH-STRENGTH PORTLAND CEMENT IS NOT TO BE USED AS IT IS TOO HARD AND BRITTLE FOR THE EXISTING MASONRY.

7. THE FINAL COLOR SCHEME IS TO BE PROVIDED BY THE OWNER/DESIGN TEAM. ALL COLORS SELECTED ARE TO COLOR MATCH THE DETROIT HISTORIC COMMISSION COLOR INDEX SYSTEM. ONLY APPROVED HISTORIC COLORS ARE PERMITTED.

8. ALL VINYL AND ALUMINUM WINDOWS ARE TO BE REPLACED W/ NEW WOOD WINDOWS, ANDERSEN A SERIES, ANDERSEN E SERIES OR MARVIN ULTIMATE WINDOWS OR APPROVED EQUAL. COLOR OF SASH AND FRAME TO BE SELECTED BY OWNER. SEE DRAWING A.900 FOR WINDOW SCHEDULE

6. MAIN ROOF UPGRADE OPTION - IN LIEU OF ADDING TO AND PATCHING EXISTING ASPHALT SHINGLE ROOF, PROVIDE THE OWNER AN UPGRADE OPTION OF A DAVINCI COMPOSITE SHINGLE ROOF, "EUROPEAN CROWN", 12" SINGLE WIDTH W/ 8" EXPOSURE, RUNNING BOND PATTERN. WORK IS TO INCLUDE: REMOVE EXISTING SHINGLES DOWN TO DECK. RE-NAIL ANY LOOSE WOOD. IF BAD OR ROTTEN WOOD IS DISCOVERED, REPLACE WITH LIKE THICKNESS/ TYPE, PROVIDE UNIT COSTS FOR SUB-ROOF REPAIRS. INSTALL 1 1/2" WIDE FACED DRIP EDGE TO ALL EAVE AND RAKE EDGES. INSTALL 6' OF ICE & WATER SHIELD AT ALL EAVES, RAKE EDGES, AND VALLEYS. INSTALL SYNTHETIC UNDERLAYMENT TO REMAINDER OF EXPOSED ROOF DECK. INSTALL TILES W/ 1.75" HOT DIPPED ROOFING NAILS. INSTALL ALL HIP AND RIDGE SHINGLES WHERE APPLICABLE. INSTALL RIDGE VENT. INSTALL NEW PREFINISHED ALUMINUM PIPE AND CHIMNEY FLASHINGS. INSTALL NEW PREFINISHED ALUMINUM STEP AND COUNTER FLASHINGS

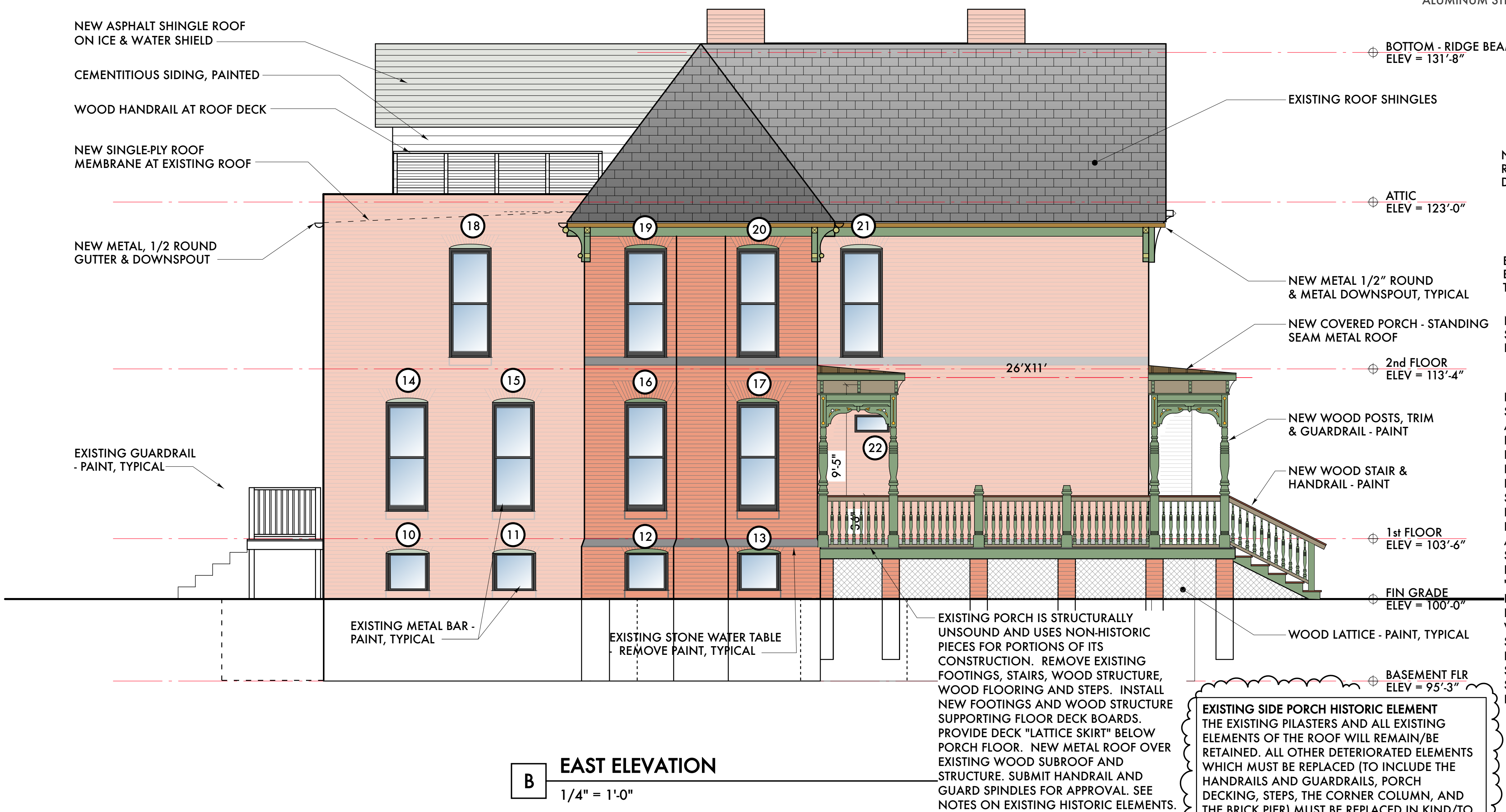
4. PORCH ROOF - STANDING SEAM METAL ROOF, MINIMUM 26 GAUGE METAL. SUBMIT INFORMATION ON MANUFACTURER SELECTED FOR REVIEW AND APPROVAL. COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOR. INCLUDE DETAILS FROM MANUFACTURER FOR ROOF EDGE/GUTTER TRANSITION AND TRANSITION WHERE ROOF MEETS BRICK MASONRY.

5. MAIN ROOF BASE PRICE - INCLUDE IN THE BASE PRICE NEW SHINGLES TO MATCH EXISTING SHINGLE COLOR AND STYLE AT THE NEW ROOF AREAS. PROVIDE ICE AND WATER SHIELD AT THE 6' AT THE ROOF EDGE, 20# ASPHALT PAPER OR OTHER APPROVED UNDERLAYMENT FOR THE BALANCE OF THE ROOF AREAS. PROVIDE HALF-ROUND, PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS FOR THE ENTIRE ROOF. ROOF UPGRADE:

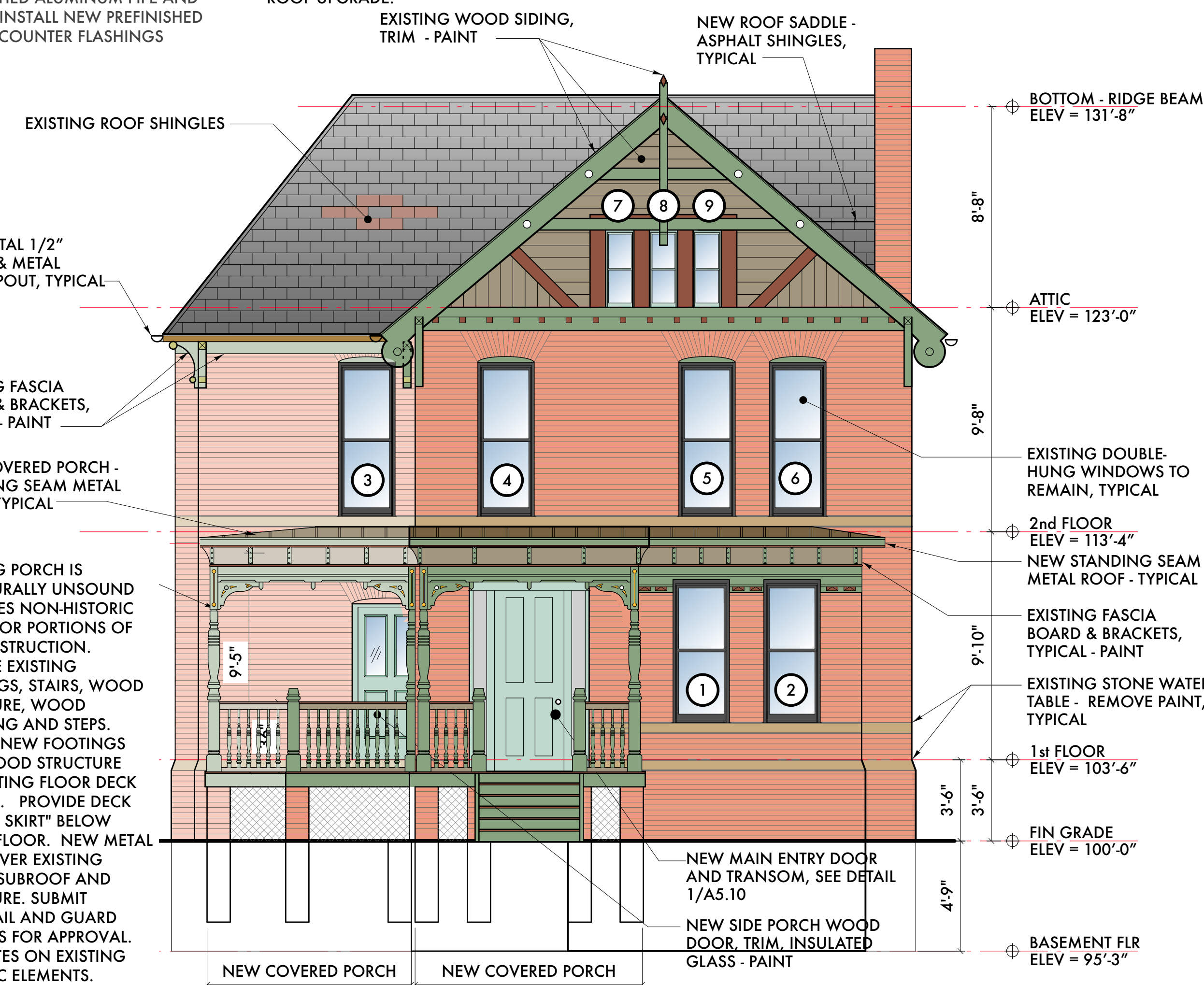
2. ALL WOOD WINDOWS ARE TO REMAIN. REPAIR ANY DAMAGED SASHES. REMOVE AND INSTALL NEW 1/2" INSULATED GLASS AS PART OF THE REPAIR. REMOVE EXISTING PAINT DOWN TO BARE WOOD. RECONDITION WOOD W/ CONSOLIDATE AND EPOXY TO PROVIDE "NEW" SURFACE PRIOR TO REPAINTING.

3. ALL NEW WOOD PORCH ELEMENTS ARE TO BE BASED ON THE EXISTING SIDE PORCH PIECES WHERE REMAINING, E.G. PORCH POSTS/COLUMNS, THE DECORATIVE "FRIEZE BEAMS" BETWEEN THE COLUMNS SUPPORTING THE ROOF EDGE. PROVIDE EXAMPLES OF THE PORCH HANDRAIL AND SPINDLES TO OWNER W/ A PROFILE APPROPRIATE TO THE "QUEEN ANNE" STYLE OF ARCHITECTURE FOR SELECTION.

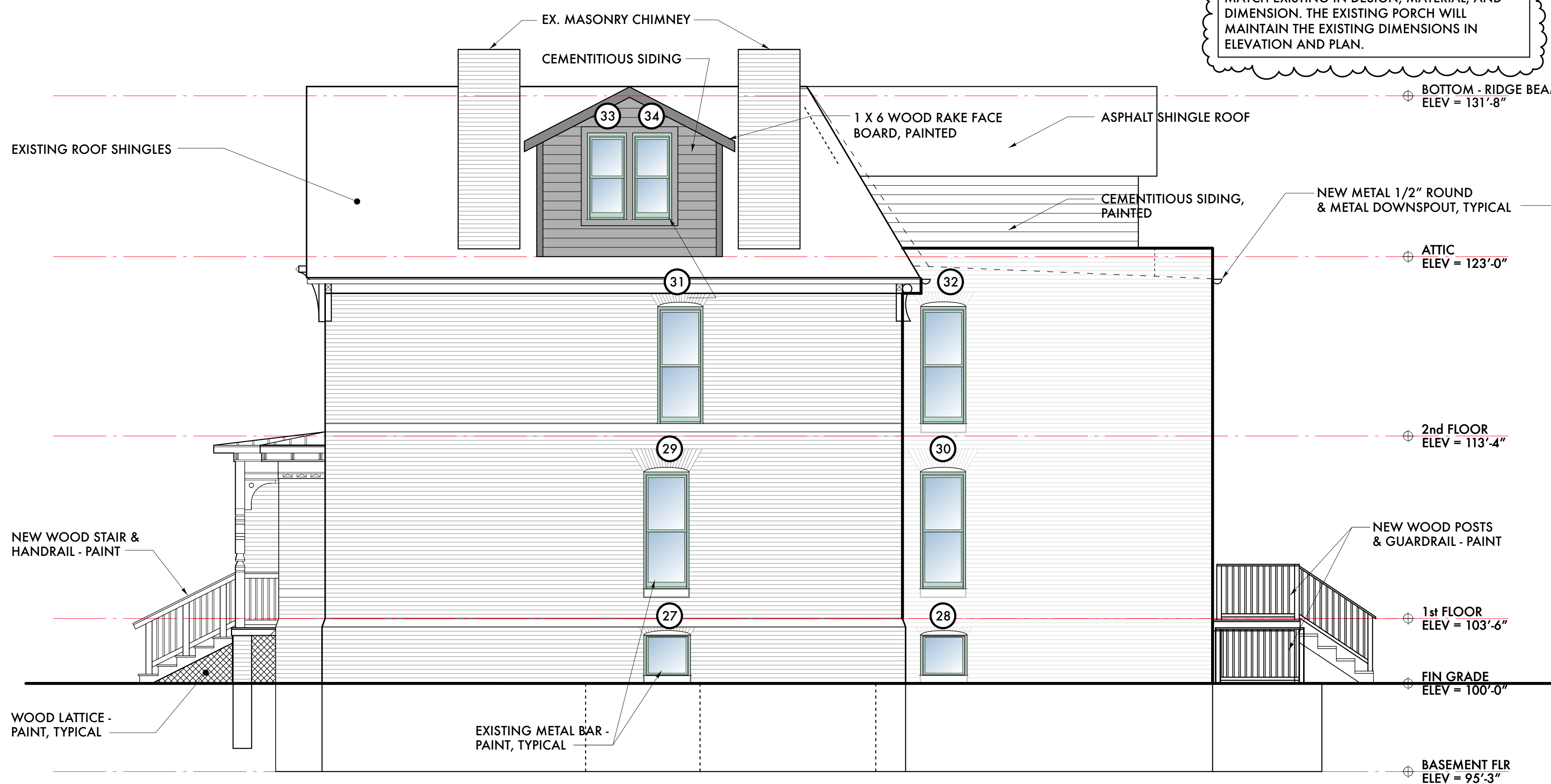
1. INSPECT ALL WOOD SURFACE ON EXISTING HOUSE FOR DAMAGE. REMOVE ANY DAMAGED OR ROTTEN AREAS AND REPLACE W/ SAME. FOR AREAS W/ WEATHER DAMAGE, FILL W/ CONSOLIDATE AND/OR EPOXY FILLER TO CREATE A NEW WEATHER SURFACE/FINISH FOR THE WOOD. ALL WOOD SURFACES, NEW AND EXISTING REPAIRED, ARE TO BE PAINTED. ANY EXISTING WOOD TO REMAIN IS TO HAVE THE LOOSE PAINT REMOVED. ALL WOOD IS TO BE PRIMED AND PAINTED W/ (2) COATS OF THE FINAL COLOR. USE SHERWIN WILLIAMS EXTERIOR OR MULTI-PURPOSE PRIMER FOR THE PRIME COAT, USE SHERWIN WILLIAMS DURATION OR EMERALD FOR THE EXTERIOR COATS.



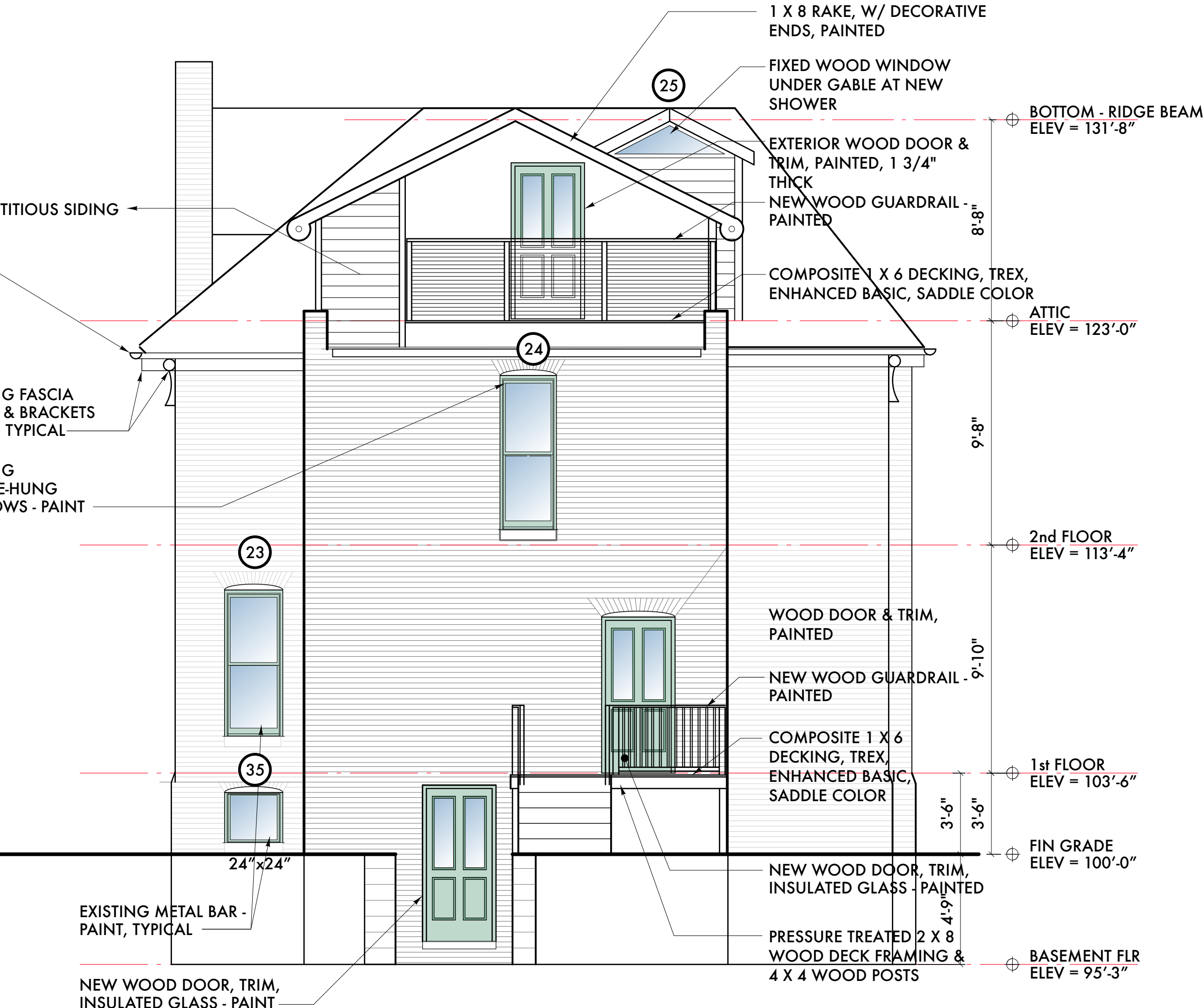
**B EAST ELEVATION**  
1/4" = 1'-0"



**A NORTH (WATSON STREET) ELEVATION**  
SCALE: 1/4" = 1'-0"



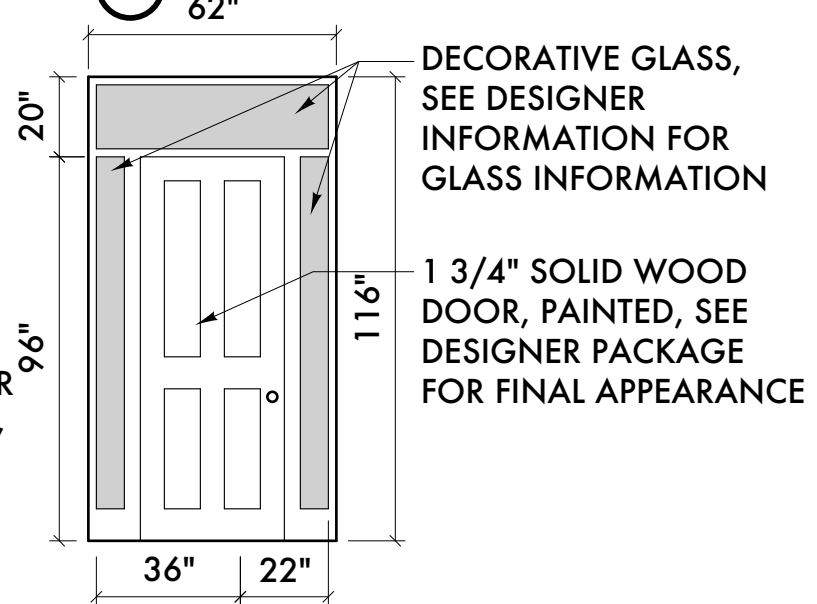
**D WEST ELEVATION**  
1/4" = 1'-0"



**C SOUTH (ALLEY) ELEVATION**  
1/4" = 1'-0"

SEE DRAWING A.900 FOR WINDOW SCHEDULE INFORMATION

NOTE: DIMENSIONS SHOWN FOR DOOR OPENING ARE FOR PRICING AND ARE NOT FINAL. CONTRACTOR TO COMPLETE DEMOLITION AND SUBMIT FINAL DIMENSIONS TO DESIGN TEAM FOR FINAL ADJUSTMENTS TO THE DOOR ASSEMBLY.



**FRONT DOOR DETAIL**  
SCALE: 1/4" = 1'-0"



09/12/25	Historic Commission
08/14/25	Owner Review
07/31/25	Permit Revisions
07/23/25	Owner/Designers Review
07/08/25	Owner/Designers Review
07/08/25	Permits
07/01/25	Window Updates
05/29/25	Window Updates
05/13/25	Owner/Designers Review
04/07/25	Preliminary Pricing
11/20/24	Historic Commission
11/16/24	Historic Commission
11/08/24	Owner Review

Date: Issued For:

**Watson Residence**  
Historic Home  
264 East Watson  
Detroit, Michigan 48201

**studiozONE : DETROIT**

architectural  
urban  
interior  
DESIGN

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Project Number: 2024 - 07

Sheet Title:

**PROPOSED  
EXTERIOR  
BUILDING  
ELEVATIONS**

Sheet Number:

**A5.10**

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