



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00566

PROPERTY INFORMATION

ADDRESS(ES): 76 W Adams Ave

HISTORIC DISTRICT: Grand Circus Park

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|--|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Replace broken entry door, remove old metal cladding and install new, remove and replace tile and wall paneling

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner

NAME: The Kales Grand Circus Park LLC

COMPANY NAME: The Kales Grand Circus Park LLC

ADDRESS: 2502 Lake Lansing Rd suite C

CITY: lansong

STATE: MI

ZIP: 48912

PHONE: +1 (517) 371-5300

EMAIL: jjohnson@dtmgt.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that I am the legal owner and/or occupant of the subject property and that the information on this application is true and correct.

Signed by:

The Kales Grand Circus Park LLC

The Kales Grand Circus Park LLC

The Kales Grand Circus Park LLC

9/2/2025

SIGNATURE

2502 Lake Lansing Rd suite C

DATE

lansong

MI

48912

+1 (517) 371-5300

jjohnson@dtmgt.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:
(only applicable if you've already applied for permits through ePLANS)

☐ BLD2025-01697

GENERAL


1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

entry door is not working properly, does not close and secure the site. Existing canopy is old and needs to be recladded, structural conditon is good. Ceramic tile at entry is breaking and starting to become a trip hazzard,

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

Replace existing door with new glass work and door; replace entry tile with new tile, replace existing metal cladding on canopy, replace soffit of canopy, update lighting, add new wall panels


4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")



remove roof membrane, metal cladding, soffit, ceramic tile, metal cladding around door, glass from entry. Install new roof membrane, metal cladding, soffit, lighting, tile, wallpanels, door system

5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<div>6. WINDOWS/DOORS</div> <div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div>	
<div>7. DEMOLITION</div> <div>If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.</div>	

NEWLY **RENOVATED**
APARTMENTS!



313.879.5665

KalesBuildingDetroit.com

76 ADAMS AVENUE WEST

WELCOME TO
THE KALES BUILDING



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K A L E S

313.879.5665

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76 ADAMS AVENUE WEST

NGW
LEASING







The Kales Grand Circus Park LLC

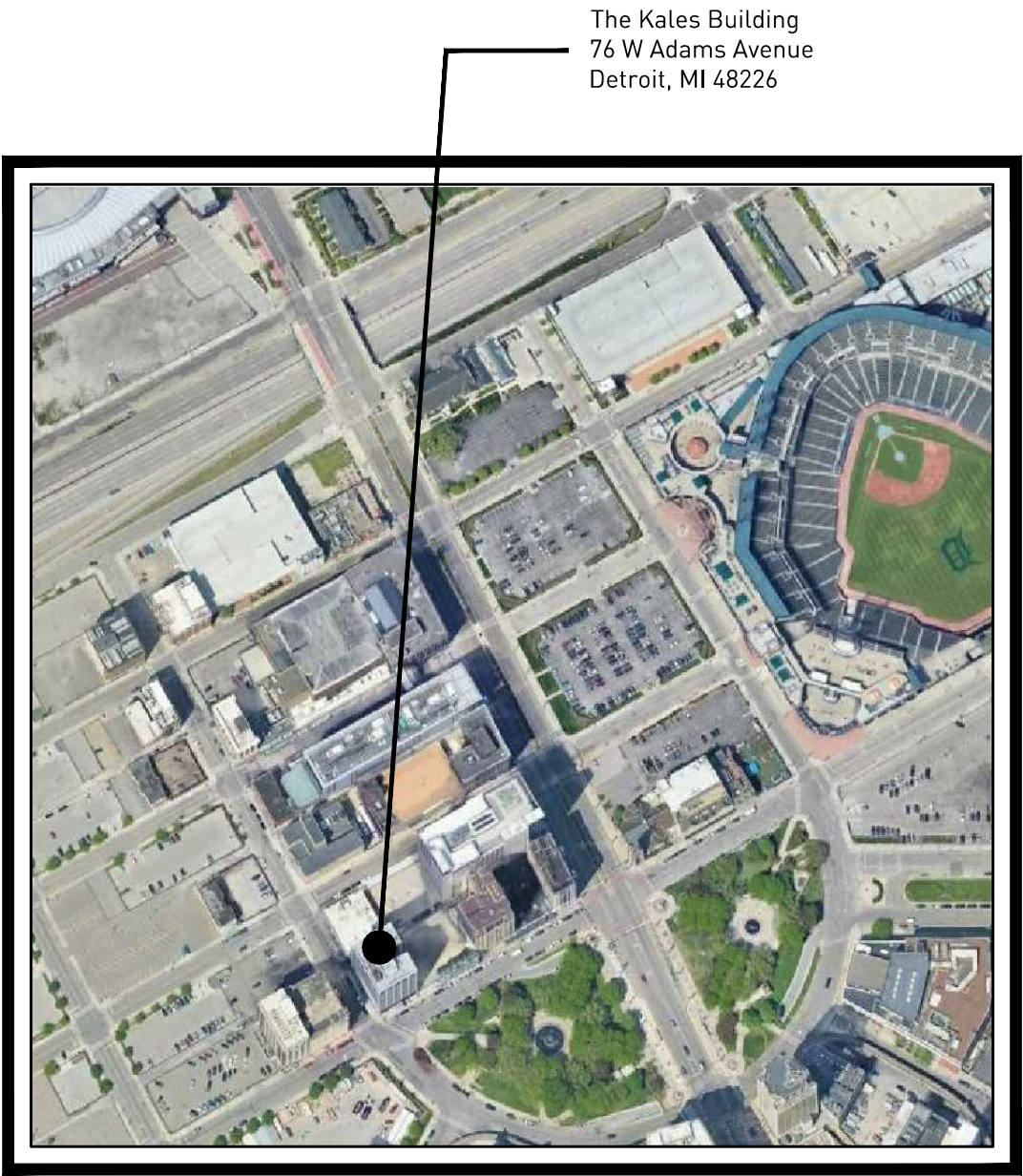
The Kales Building

76 W. Adams Avenue Detroit, MI 48226

Exterior Remodeling

DTN Management Company
2502 Lake Lansing Road
Lansing, MI 48912
Contact Name: Andrew Kraft, Director of Facilities
Contact Phone: 517.371.5300

ARCHITECT:



The Kales Building
76 W Adams Avenue
Detroit, MI 48226

LOCATION PLAN

NOT TO SCALE



APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS:	2015 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES):	2023 EDITION
ASHRAE 90.1-2013:	
LIFE SAFETY CODE 101:	2012 EDITION
FEDERAL ADA LAW:	CURRENT ED.
ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):	2017 EDITION

USE GROUP:

R-2 RESIDENTIAL

CONSTRUCTION TYPE:

TYPE IIIB (ASSUMED) , SPRINKLED

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS:

TTL	TITLE SHEET
A0.00	GENERAL INFORMATION
A1.10	REMOVALS PLANS
A2.10	FLOOR AND REFLECTED CEILING PLANS
A3.00	PARTIAL EXTERIOR ELEVATIONS
A9.10	EXTERIOR CANOPY DETAILS

DEFERRED SUBMITTALS:

PER SECTION 107.3.4.1, ANY REQUIRED SUBMITTALS WILL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ASSUMING THE DUTIES OF CONSTRUCTION SUPERVISION AT THE APPROPRIATE TIME.

DEFERRED SUBMITTALS:	
1.	FIRE SUPPRESSION SYSTEMS
2.	FIRE ALARM SYSTEMS
3.	ELECTRICAL REVISIONS (DESIGN/BUILD BY CONTRACTOR)

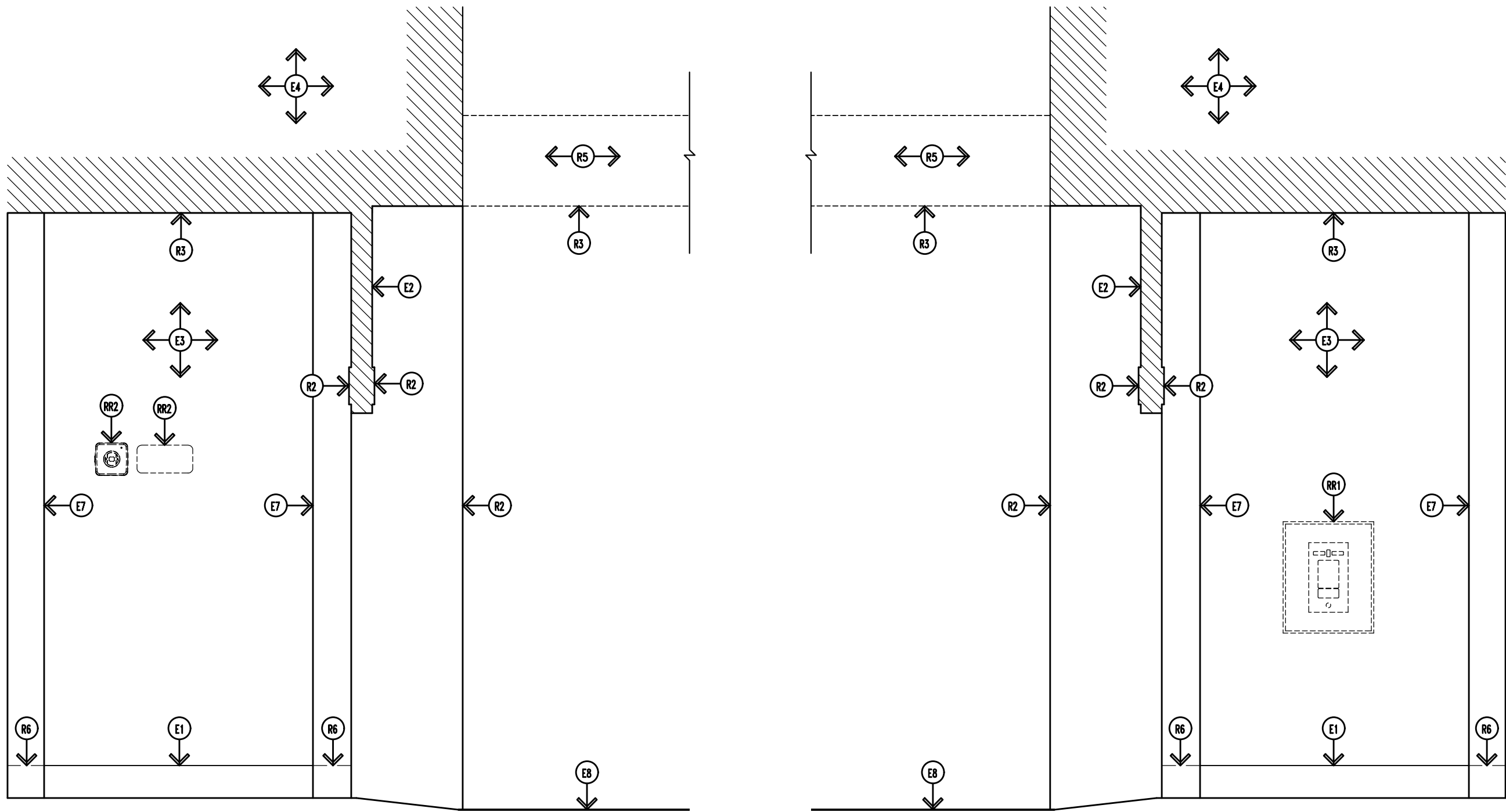
Title Sheet



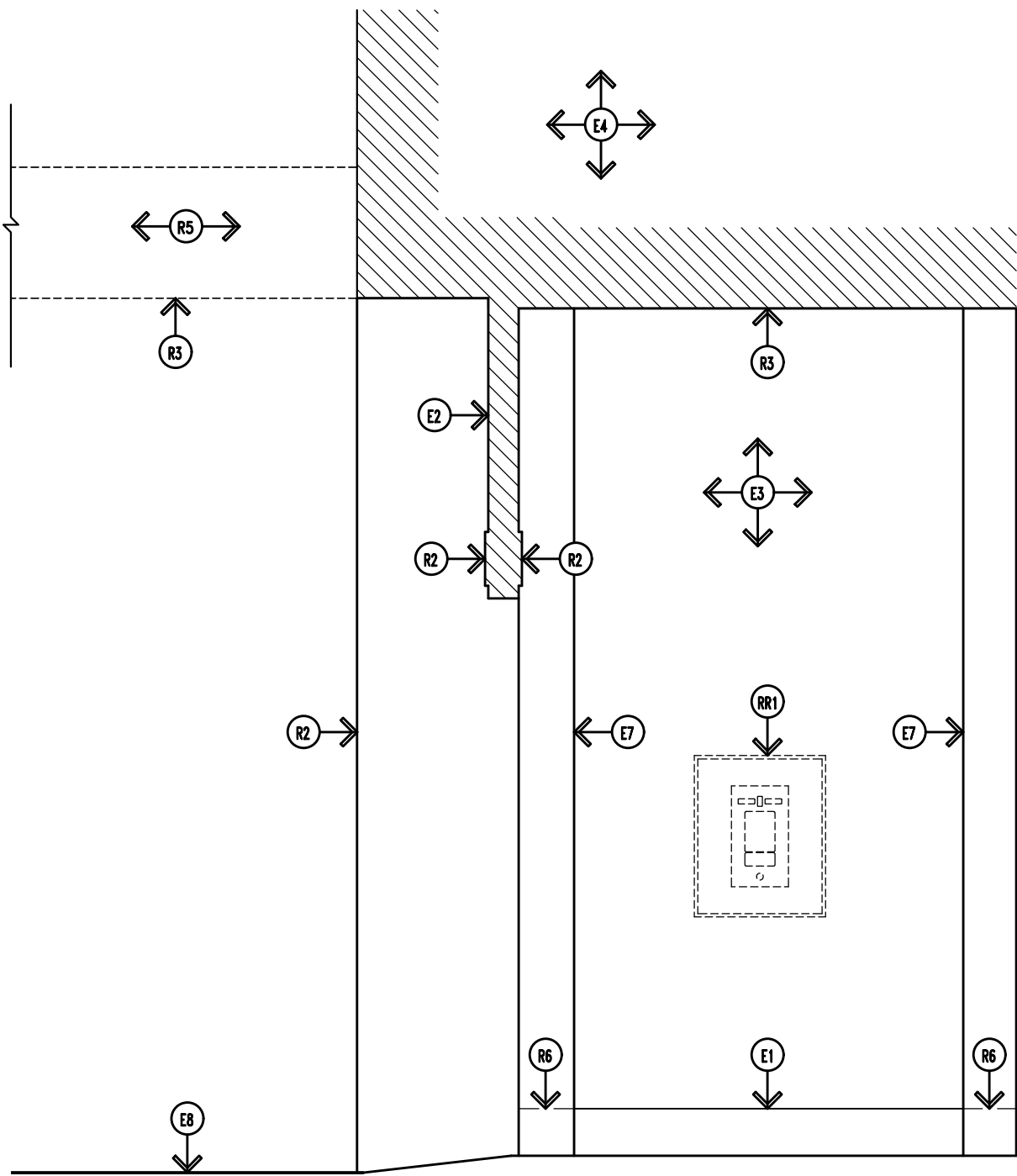
The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

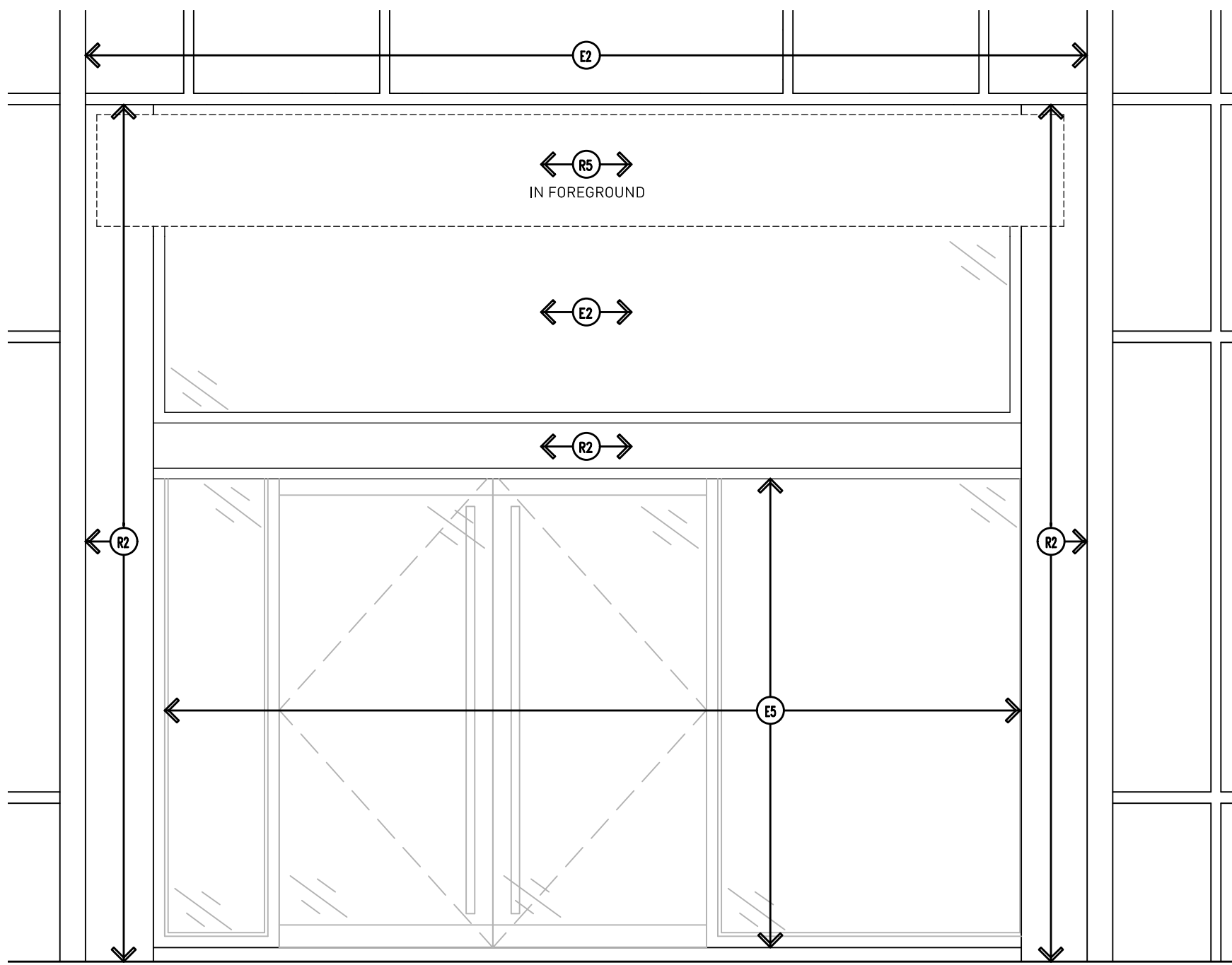
TTL



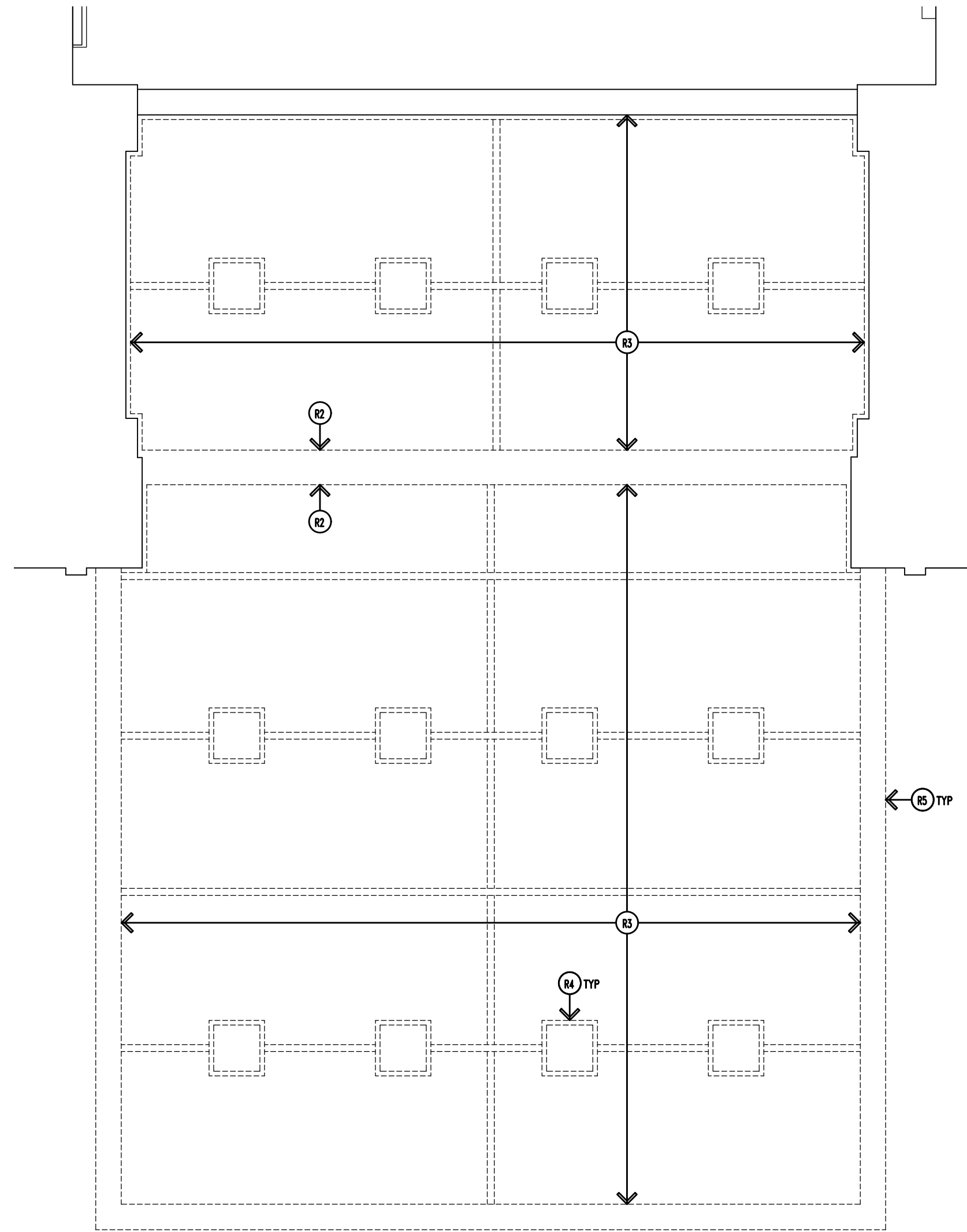
5 East Wall Removals Elevation
Scale: 1/2"=1'-0"



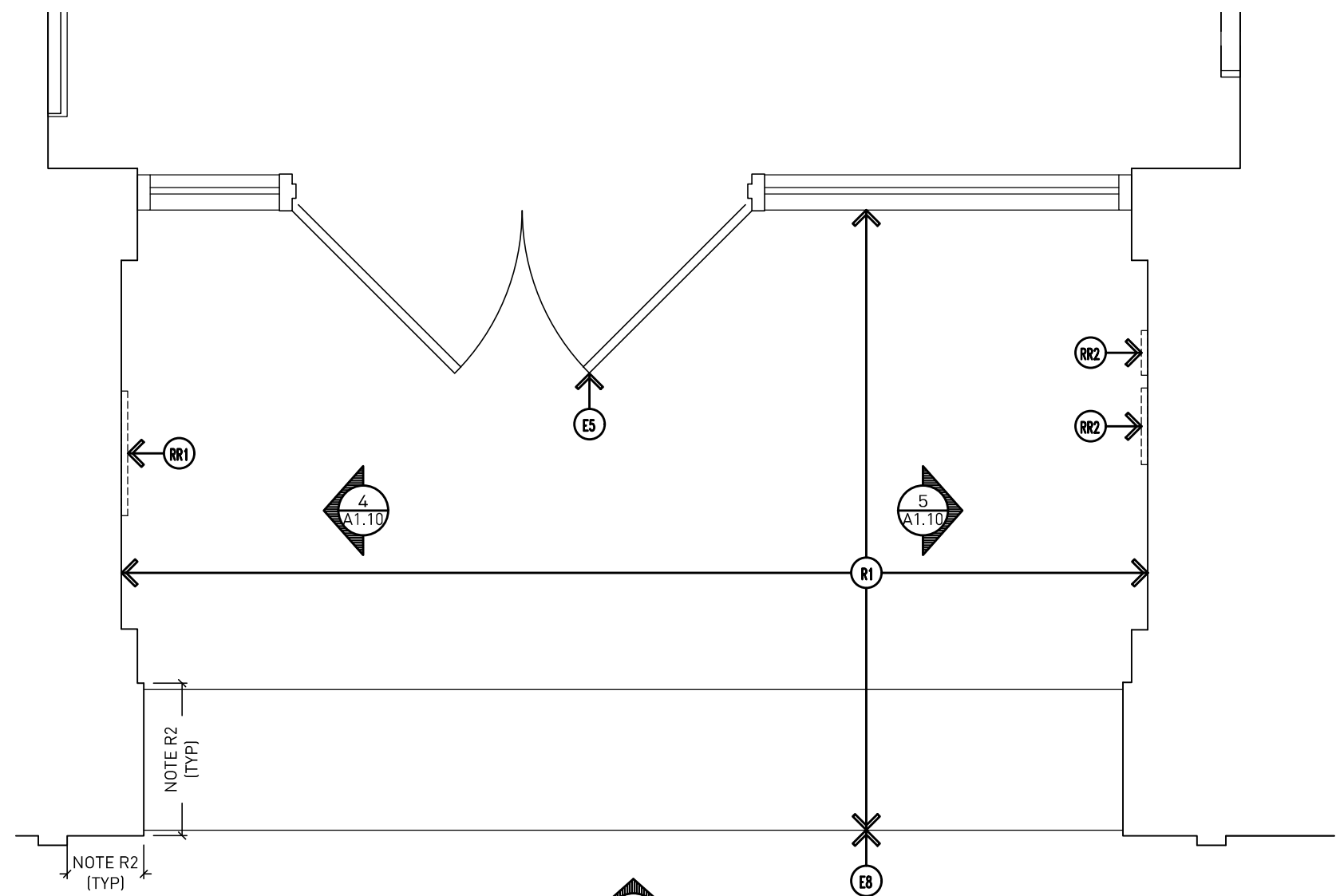
4 West Wall Removals Elevation
Scale: 1/2"=1'-0"



2 North Entrance Removals Elevation
Scale: 1/2"=1'-0"



3 Removals Reflected Ceiling Plan
Scale: 1/2"=1'-0"



1 Removals Floor Plan
Scale: 1/2"=1'-0"

GENERAL NOTES:

- DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- NOT ALL NOTES MAY APPLY TO THIS SHEET.
- THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- FINAL DUMPSTER LOCATION TO BE COORDINATED WITH OWNER REPRESENTATIVE PRIOR TO PLACING. CONTRACTOR TO PROVIDE PLYWOOD AND 2x UNDER ALL DUMPSTER WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. CONTRACTOR TO REPAIR ANY PAVING DAMAGED DUE TO CONSTRUCTION OPERATIONS.
- COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- COORDINATE TIMING OF REMOVAL WORK SO AS TO NOT CAUSE DISRUPTION TO NORMAL OPERATIONS.
- CONTRACTOR TO RE-CONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, ETC. THAT ARE CONNECTED TO FIXTURES OR DEVICES THAT ARE NOT TO BE REMOVED.
- CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH/REPAIR PRIOR TO FINISHING.
- PATCH, REPAIR AND FINISH WALL WHERE AREAS ARE DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- CONTRACTOR'S OPTION TO REUSE ANY ABANDONED CONDUIT TO THE EXTENT POSSIBLE TO RUN NEW ELECTRICAL.
- CEILING REMOVALS SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR'S MEANS AND METHODS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.)
- CONTRACTOR TO PATCH/REPAIR ALL EXISTING WALLS, INCLUDING ANY VISIBLE CRACKS, FOR A LIKE NEW APPEARANCE PRIOR TO FINISHING.
- CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC AND ALL STATE AND LOCAL ELECTRICAL CODES.
- CONTRACTOR MUST VERIFY EXISTING LOADS ON CIRCUITS AND PANELS. EXISTING ELECTRICAL PANEL(S) AND CIRCUITS ARE NOT TO BE OVERLOADED.

EXISTING TO REMAIN:

- MARBLE WALL BASE ON WALLS WITH EXISTING TILE TO REMAIN.
- STOREFRONT FRAMING AND GLAZING
- DECORATIVE WALL TILE
- BUILDING STRUCTURE - E.C.U.
- STOREFRONT ENTRY SYSTEM
- WINDOW GLAZING
- LIMESTONE WALL PILASTER
- CONCRETE SIDEWALK

REMOVE & REPLACE NOTES:

- EXISTING TENANT INTERCOM SYSTEM- ADJUST TO BE FLUSH WITH FACE OF NEW WALL PANELS.
- EXISTING KNOX BOX & SIGNAGE - ADJUST TO BE FLUSH WITH FACE OF NEW CONCRETE WALL PANELS.

REMOVALS NOTES:

- EXISTING TILE, MORTAR BED, ETC. PROPERLY PREPARE SUBSTRATE FOR NEW FINISHES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- EXISTING BREAK METAL SURROUND. PROPERLY PREPARE SUBSTRATE TO RECEIVE NEW BREAK METAL.
- EXISTING SUSPENDED PLASTIC CEILING PANELS AND ASSOCIATED SUSPENSION SYSTEM COMPLETE.
- EXISTING RECESSED LIGHT FIXTURE. REMOVE WIRING BACK TO SOURCE AND TERMINATE PER CODE REQUIREMENTS, UNLESS NEW FIXTURE IS TO BE INSTALLED IN SAME LOCATION.
- EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY - E.C.U. (C.F.V.I.) CONTRACTOR TO CONSULT ARCHITECT IF ADDITIONAL DIRECTION FOR REMOVAL IS REQUIRED. STRUCTURAL CONSULTATION MAY BE REQUIRED BEFORE PROCEEDING.
- EXISTING MARBLE WALL BASE ON LIMESTONE PILASTERS ONLY. PATCH PILASTER AS NEEDED FOR NEW ALUMINUM CLADDING.



Bidding and Permits: 12 May 2025

Removals Plans



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A1.10


GENERAL NOTES:

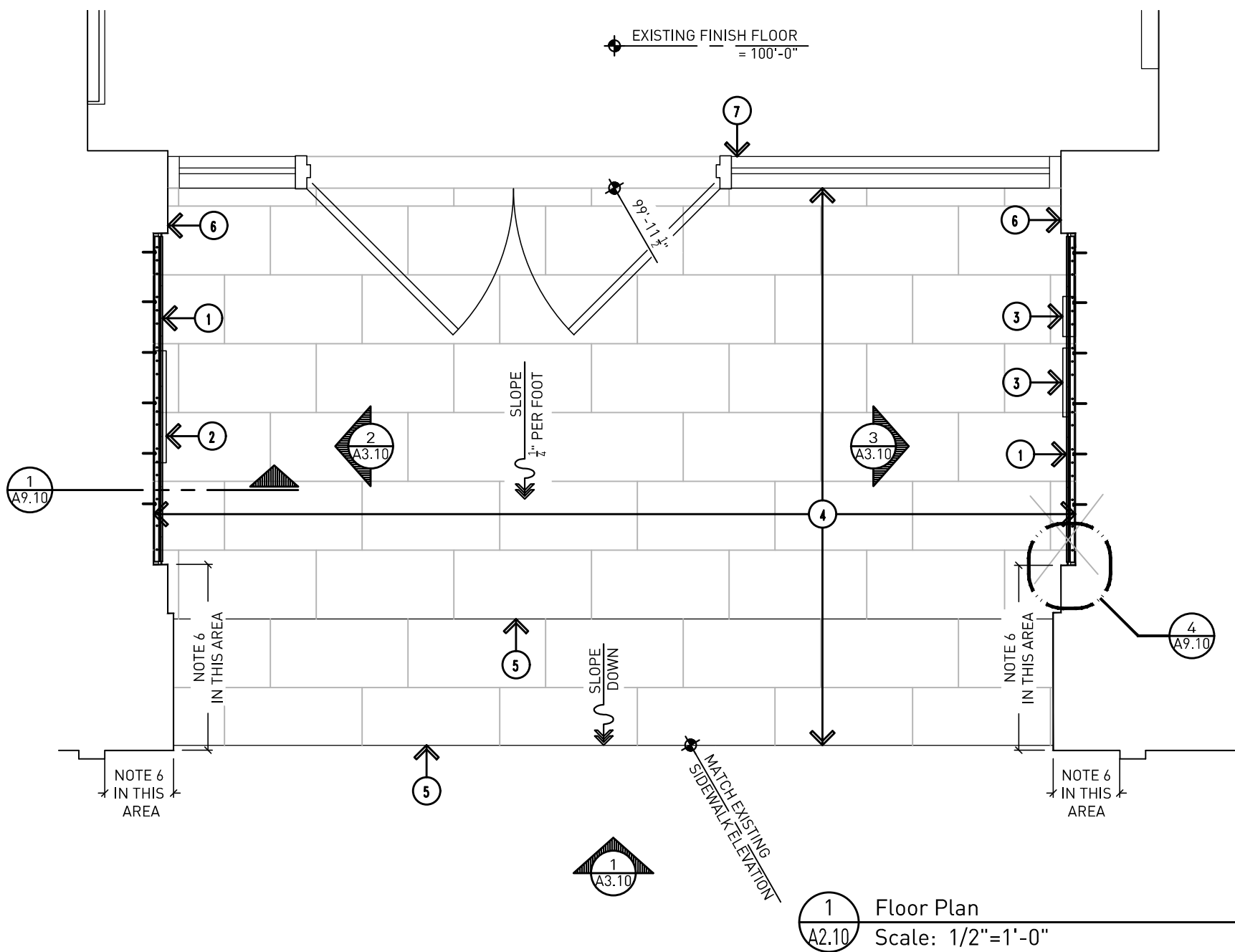
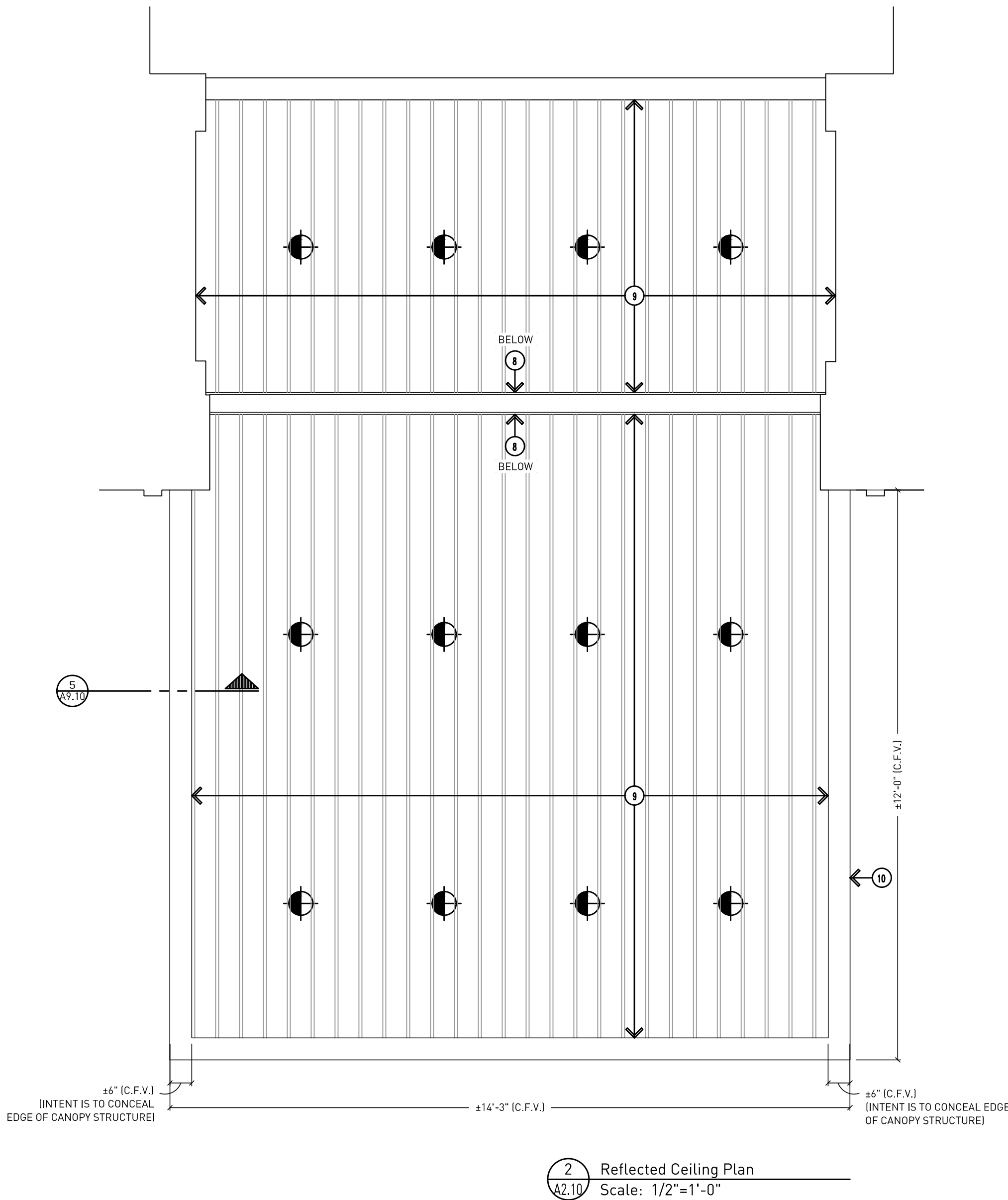
- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

DRAWING NOTES:

1. WALL MOUNTED 'NICHHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR - 'MOCHA', TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN (C.F.V.).
2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
4. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR - IVORY MATTE, INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
7. EXISTING ALUMINUM STOREFRONT SYSTEM.
8. EXISTING STRUCTURE TO BE WRAPPED WITH DARK BRONZE ALUMINUM CLADDING.
9. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL EDGE OF CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.

LEGEND:

-  EXTERIOR RATED LED RECESSED LIGHT FIXTURE INSTALLED IN SUSPENDED METAL CEILING SYSTEM.



Bidding and Permits: 12 May 2025

Floor and Reflected Ceiling Plans


The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

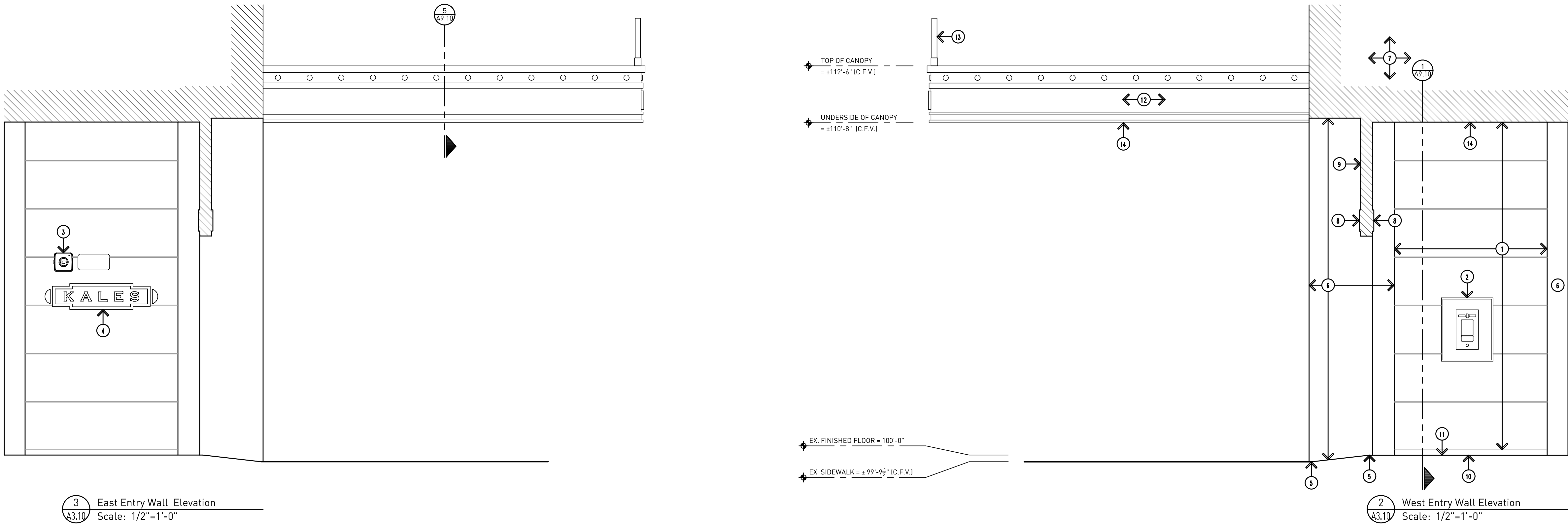
A2.10

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- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

DRAWING NOTES:

1. WALL MOUNTED 'NICHHA' PANELS TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN [C.F.V.].
2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
4. BUILDING SIGNAGE - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. EXACT SIZE AND FORMAT OF SIGNAGE T.B.D.
5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILLARS.
7. EXISTING BUILDING STRUCTURE - E.C.U.
8. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING STRUCTURE.
9. EXISTING ALUMINUM STOREFRONT SYSTEM.
10. EXISTING MARBLE WALL BASE.
11. PORCELAIN TILE FLOORING, ATLAS CONCORDE 'BOOST MK' 12" X 24" FIELD TILE. COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
12. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.
13. 15"H DARK BRONZE ALUMINUM LOGO LETTERS - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. LETTERS TO BE CHANNEL SET AND BACK LIT WITH INTEGRATED LED LIGHTING. ELECTRICIAN TO PROVIDE POWER SOURCE FOR LETTERS. COORDINATE WITH OWNER'S SIGN VENDOR.
14. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS. FINISH - 'SESAME'; ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.]. ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.



Bidding and Permits: 12 May 2025

Exterior Elevations



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A3.10



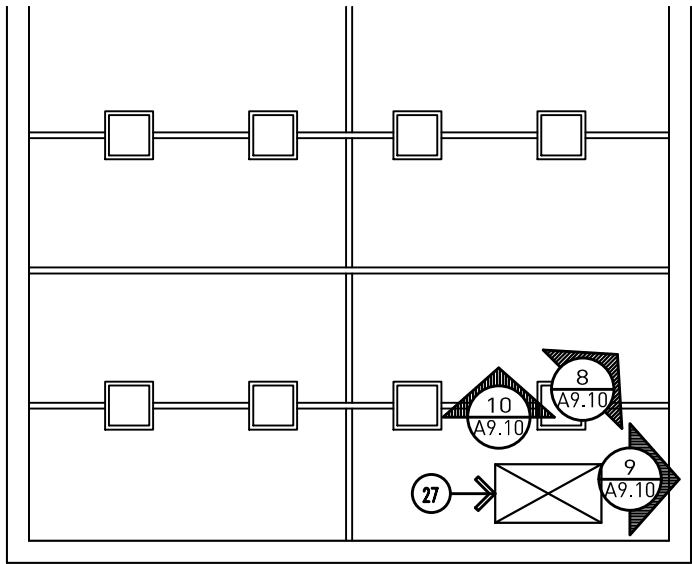
10 Existing Canopy Construction 'C'
A9.10 No Scale



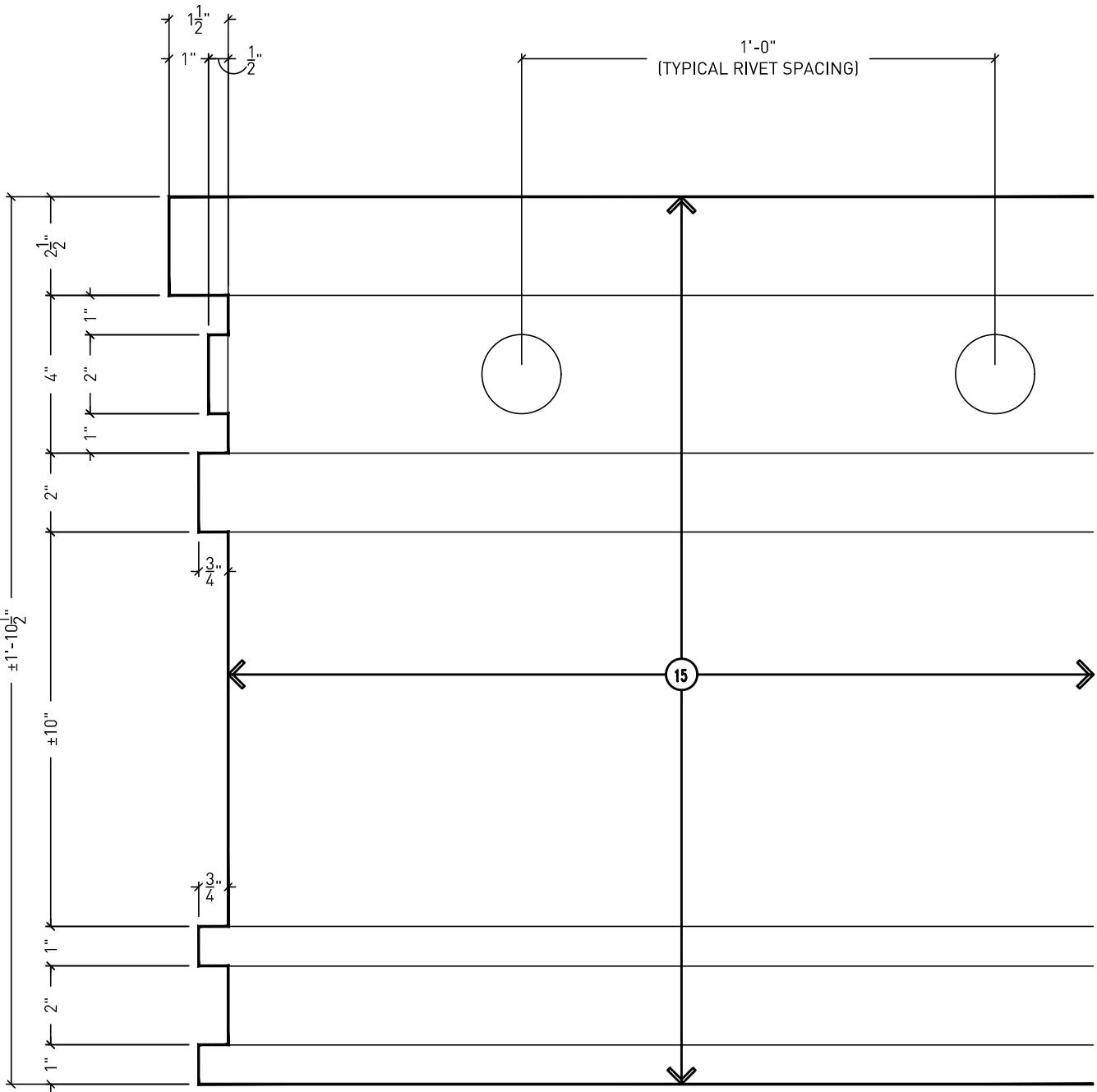
9 Existing Canopy Construction 'B'
A9.10 No Scale



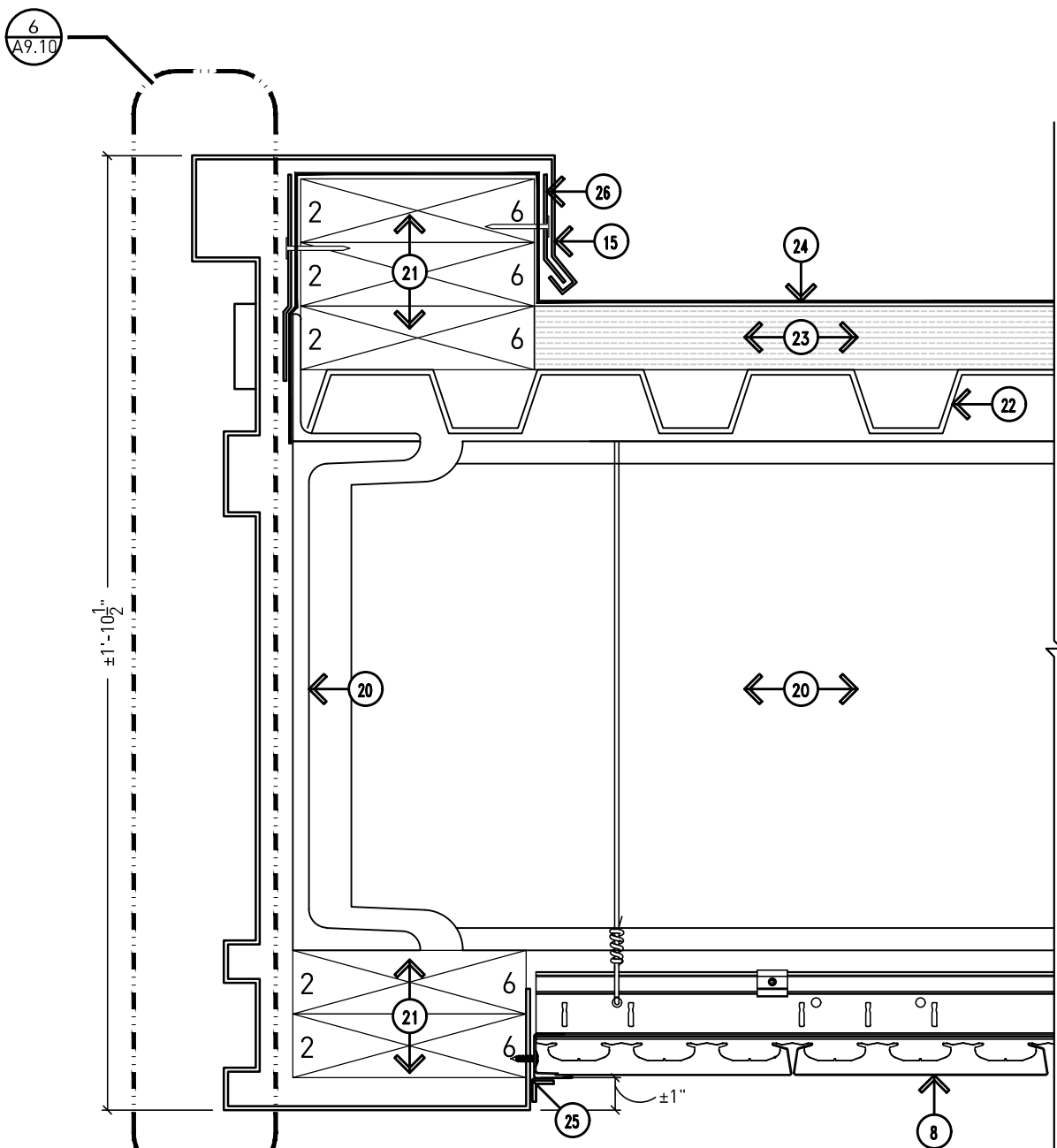
8 Existing Canopy Construction 'A'
A9.10 No Scale



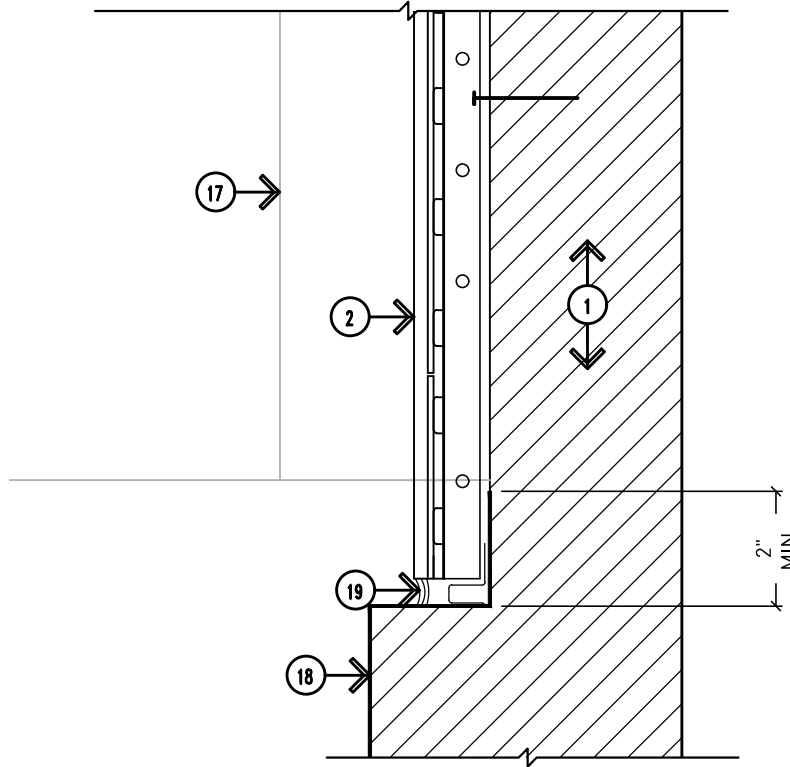
7 Photo Key Plan
A9.10 No Scale
NOTE: UNDERSIDE OF EXISTING CANOPY IS SHOWN FOR REFERENCE PURPOSES ONLY



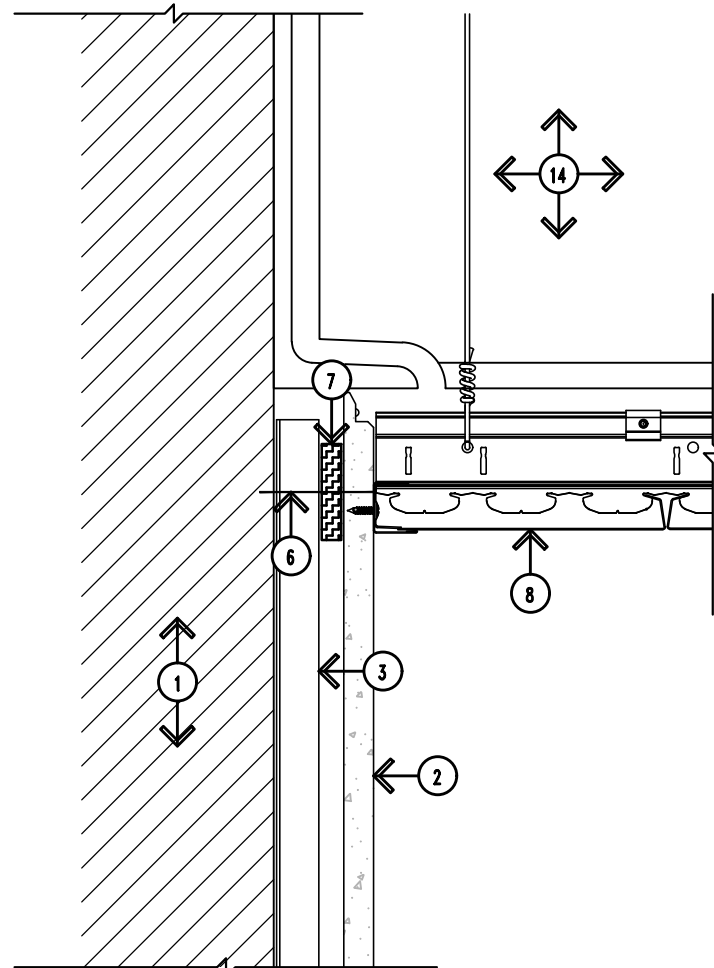
6 Canopy Wrap Profile
A9.10 Scale: 3"=1'-0"



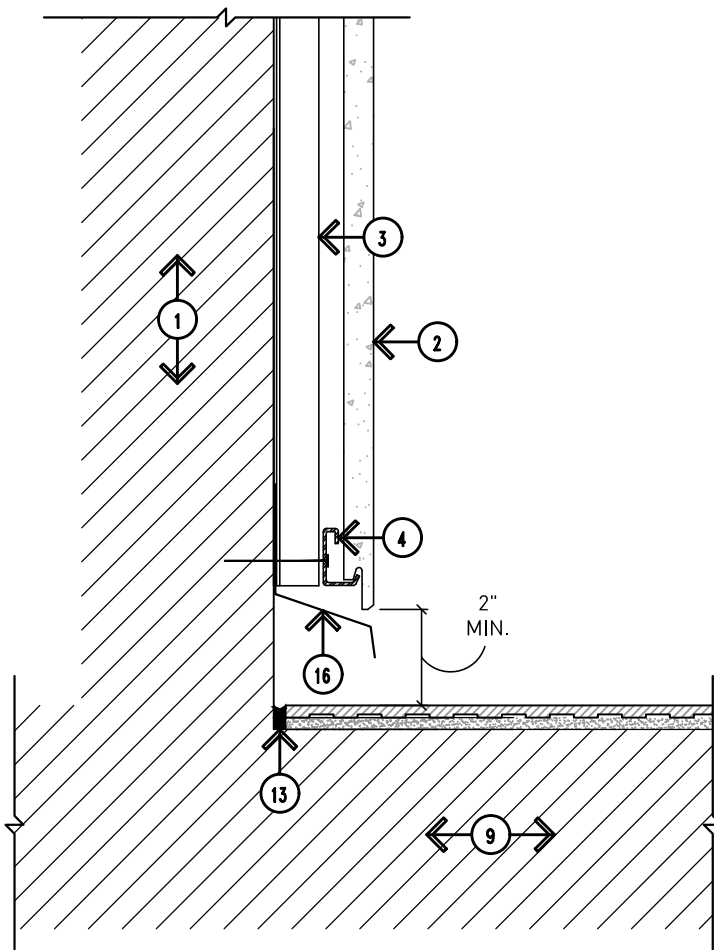
5 Canopy Section - Assumed [E.C.U. - C.F.V.]
A9.10 Scale: 3"=1'-0"



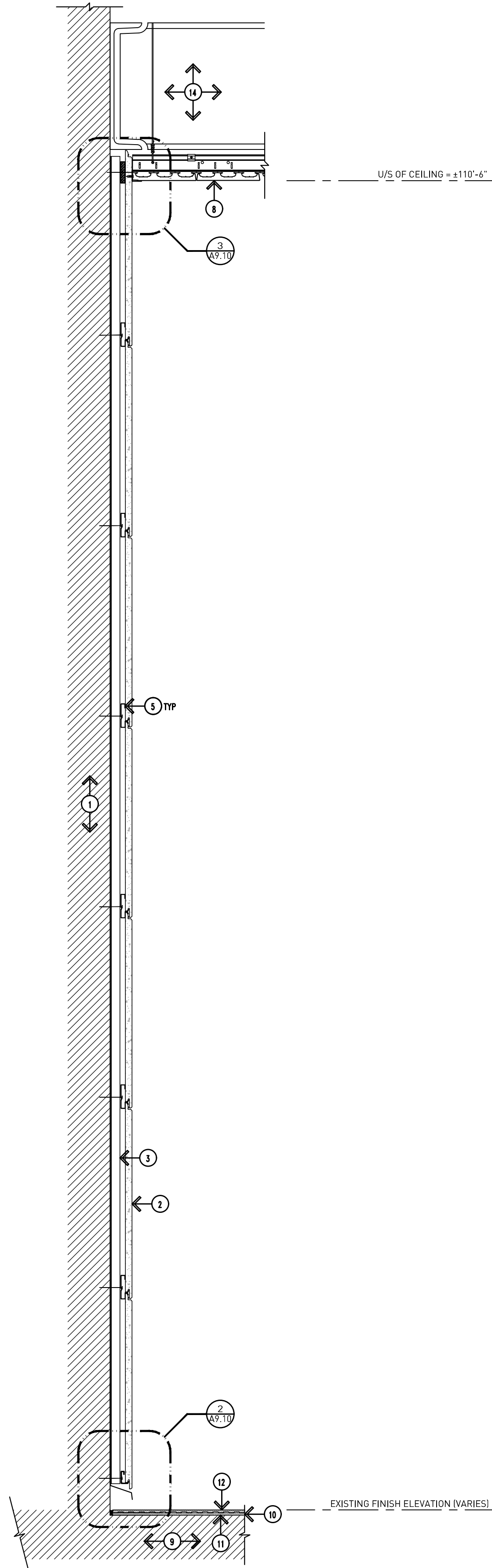
4 Break Metal Wall Wrap Detail
A9.10 Scale: 3"=1'-0"



3 Top of Wall Detail
A9.10 Scale: 3"=1'-0"



2 Bottom of Wall Detail
A9.10 Scale: 3"=1'-0"



1 Exterior Wall Section at Entrance
A9.10 Scale: 1 1/2"=1'-0"

GENERAL NOTES:

1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
2. PROVIDE NON-COM WOOD BLOCKING WHETHER PARTICULARLY NOTED OR NOT.
3. CONSTRUCTION OF EXISTING CANOPY STRUCTURE IS UNKNOWN. DETAIL IS SHOWN FOR REFERENCE PURPOSES. CONTRACTOR TO FIELD VERIFY EXISTING CONSTRUCTION PRIOR TO FABRICATING NEW CANOPY FACADE.

DRAWING NOTES:

1. EXISTING WALL CONSTRUCTION - E.C.U. [C.F.V.]
2. WALL MOUNTED 'NICHHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR - 'MOCHA'; CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD.
3. 18 GAUGE, 1/2" METAL HAT CHANNEL @ 16" O.C. SPACING.
4. 'NICHHA' STARTER TRACK. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. 'NICHHA' CLIP WITH FASTENER APPLIED TO VERTICAL FURRING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. 'NICHHA' FACE FASTENER AS SUGGESTED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
7. SPACER - SIZE AS INDICATED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS. FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.] ONCE EXISTING CONSTRUCTION IS EXPOSED. ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
9. EXISTING CONCRETE SLAB - ECU [C.F.V.]
10. TILE MORTAR / ADHESIVE.
11. BOND COAT.
12. PORCELAIN TILE
13. CONTRACTOR TO INSTALL EXTERIOR RATED FLEXIBLE SEALANT WITH COMPRESSIBLE BACK-UP AS REQUIRED IN ALL JOINTS ABUTTING A PERIMETER WALL. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
14. EXISTING BUILDING / CANOPY STRUCTURE - ECU [C.F.V.]
15. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED. PROFILE IS FOR DESIGN INTENT.
16. 'NICHHA' ESSENTIAL STARTER FLASHING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
17. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MK' 12" X 24" FIELD TILE, COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: 'EC 947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
18. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
19. CONTRACTOR TO INSTALL EXTERIOR RATED SEALANT OVER 'NICHHA' SINGLE FLANGE SEALANT BACKER. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
20. EXISTING STRUCTURAL CHANNEL - E.C.U. [C.F.V.]
21. 2 X 4 WOOD BLOCKING AS NEEDED FOR NEW CANOPY FACADE.
22. EXISTING METAL ROOF DECK - E.C.U. [C.F.V.]
23. EXISTING INSULATION - E.C.U. [C.F.V.]
24. EXISTING ROOFING MATERIAL - E.C.U. [C.F.V.] - TIE IN AS REQUIRED DUE TO NEW BLOCKING, ETC.
25. EXTERIOR RATED SEALANT WITH FOAM BACKER ROD. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
26. CONCEALED CONTINUOUS CLEAT (NO EXPOSED EDGES)
27. PORTION OF EXISTING CANOPY REMOVED TO EVALUATE EXISTING STRUCTURE.



Bidding and Permits: 12 May 2025

Exterior Wall Panel and Canopy Details



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A9.10











The Kales Grand Circus Park LLC

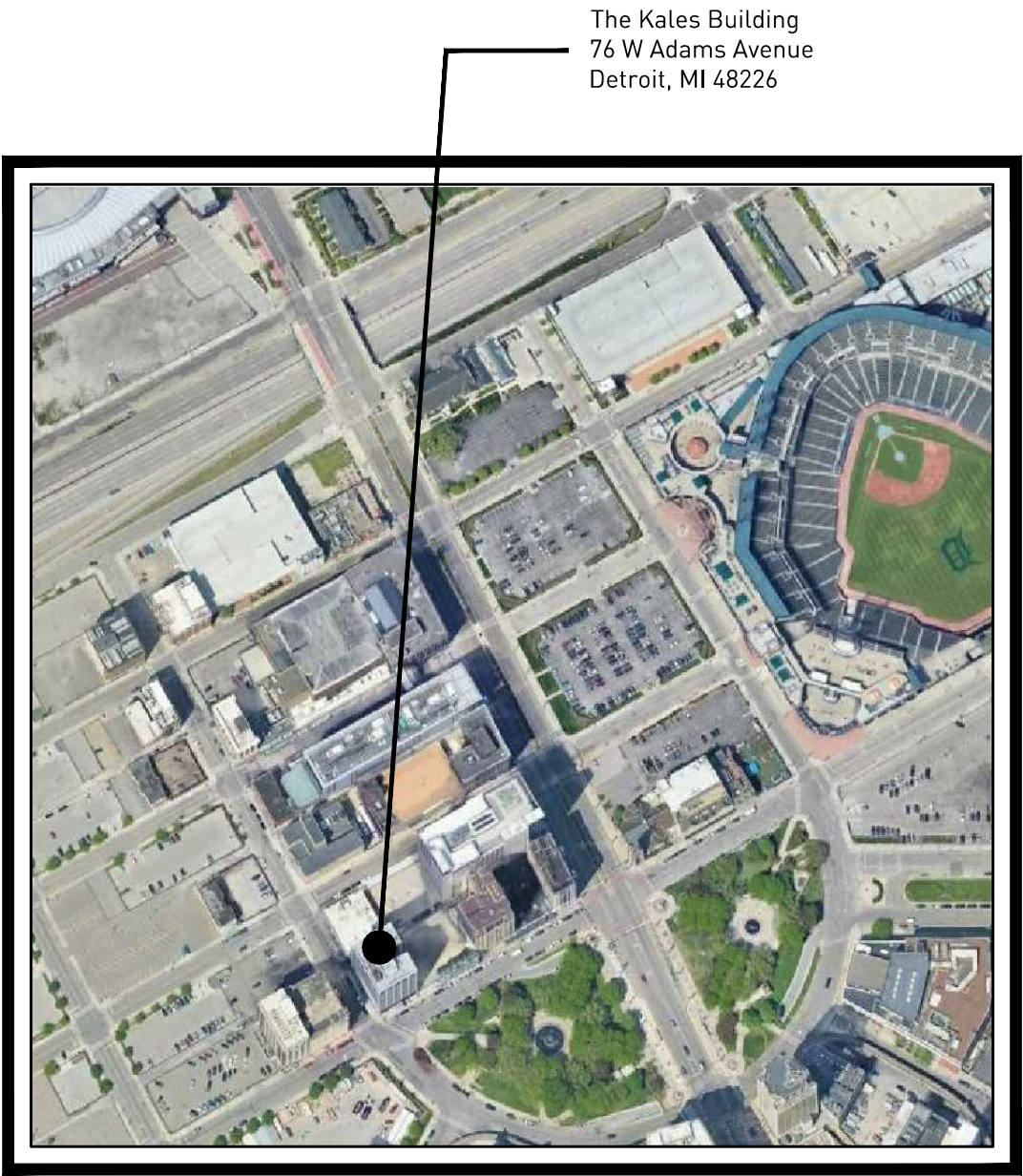
The Kales Building

76 W. Adams Avenue Detroit, MI 48226

Exterior Remodeling

DTN Management Company
2502 Lake Lansing Road
Lansing, MI 48912
Contact Name: Andrew Kraft, Director of Facilities
Contact Phone: 517.371.5300

ARCHITECT:



LOCATION PLAN

NOT TO SCALE

APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS:	2015 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES):	2023 EDITION
ASHRAE 90.1-2013:	
LIFE SAFETY CODE 101:	2012 EDITION
FEDERAL ADA LAW:	CURRENT ED.
ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):	2017 EDITION

USE GROUP:

R-2 RESIDENTIAL

CONSTRUCTION TYPE:

TYPE IIIB (ASSUMED) , SPRINKLED

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS:

TTL	TITLE SHEET
A0.00	GENERAL INFORMATION
A1.10	REMOVALS PLANS
A2.10	FLOOR AND REFLECTED CEILING PLANS
A3.00	PARTIAL EXTERIOR ELEVATIONS
A9.10	EXTERIOR CANOPY DETAILS

DEFERRED SUBMITTALS:

PER SECTION 107.3.4.1, ANY REQUIRED SUBMITTALS WILL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ASSUMING THE DUTIES OF CONSTRUCTION SUPERVISION AT THE APPROPRIATE TIME.

DEFERRED SUBMITTALS:	
1.	FIRE SUPPRESSION SYSTEMS
2.	FIRE ALARM SYSTEMS
3.	ELECTRICAL REVISIONS (DESIGN/BUILD BY CONTRACTOR)

Title Sheet



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

TTL

GENERAL ITEMS

- WALL MOUNTED OR EMERGENCY TELEPHONE (B.F. FRONT APPROACH)
- FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER AND WALL BRACKET
- WALL CABINET
- COAT ROD AND HAT SHELF (ABOVE)
- BOOT RACK (BELOW)

PLUMBING FIXTURES & ACCESSORIES

- BARRIER FREE WATER CLOSET
- BARRIER FREE TOILET PAPER HOLDER
- BARRIER FREE SHOWER SEAT
- MOP STRIP AND SHELF
- BARRIER FREE URINAL
- STANDARD URINAL
- SHOWER HEAD AND VALVE OFFSET VALVE

PLUMBING FIXTURES & ACCESSORIES

- BARRIER FREE SHOWER
- WALL MOUNTED WASH FOUNTAIN
- WALL MOUNTED WASH FOUNTAIN
- DRINKING FOUNTAIN SPOUT LOCATION

CHALKBOARD OR TACKBOARD

BASE AND UPPER WALL CABINETS

DOOR HARDWARE

59" MIN. LENGTH
HOSE WITH HAND HELD
OR ADJUSTABLE SPRAY
UNIT ON BAR

LINE OF WALL

B.F. CONTROLS ARE MOUNTED WITHIN THIS AREA

C.O. COVER

LINE OF WALL BASE

WALL C.O.

LINE OF WALL

LAVATORY

NOTE: AN NEAR SINK TO BE MOU

KNEE CLEARANCE

TOE CLEARANCE

ELECTRICAL ITEMS

LIGHT SWITCH

FIRE ALARM PULL BOX (ABOVE)

THERMOSTAT

ELEVATOR PUSH BUTTONS

ELECTRIC DUPLEX, TELEPHONE, OR T.V. OUTLET WITH LIGHT SWITCH

DUPLEX OUTLET (B.F./STANDARD HT) (BELOW)

LINE OF WALL

LINE OF WALL

LINE OF WALL OR PARTITION

URINAL SCREEN

VANITY

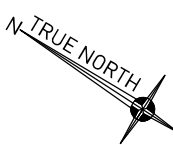
URINAL

LINE OF OBSTRUCTION

ELECTRICAL OUTLET


IN B.F. TOILET ROOMS

UNTED 33" OR 36" A.F.F. TO 6'

ROOM NAME		A	
100			
COLUMN INDICATION		NORTH INDICATION	
<div>A</div> <div>COLUMN IDENTIFICATION LETTER OR NUMBER FOR NEW CONSTRUCTION</div>			
<div>1</div> <div>COLUMN IDENTIFICATION LETTER OR NUMBER FOR EXISTING CONSTRUCTION</div>			

Bidding and Permits: 12 May 2025

General Information



EHRESMAN

ARCHITECTS

ehresmanarchitects.com

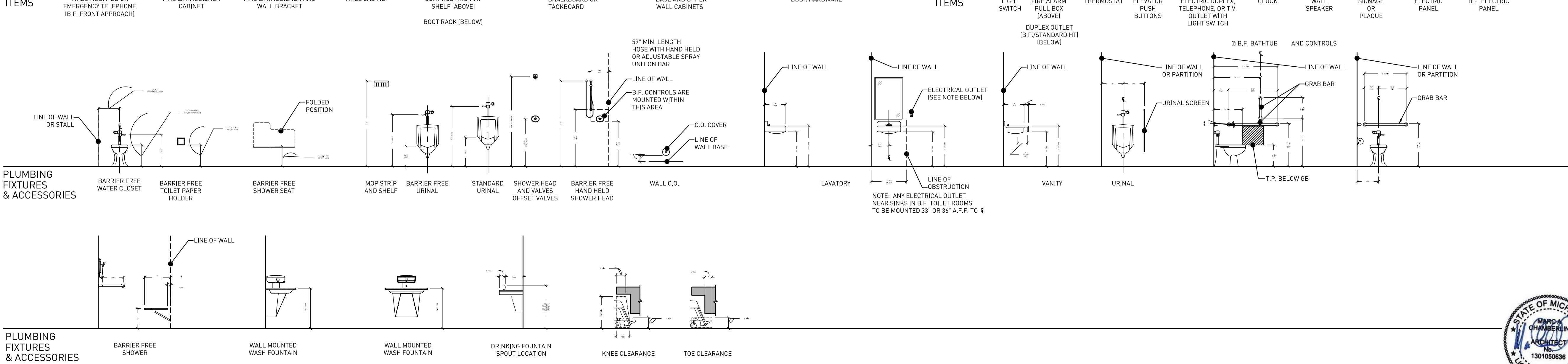
The Kales Grand Circus Park LLC

The Kales Building

Exterior Remodeling

GENERAL WALL MOUNTED OR

ITEMS WILL MOUNTED ON EMERGENCY TELEPHONE (R.F. FRONT APPROACH)



DETAIL IDENTIFICATION

DETAIL LOCATION INDICATION FOR ENLARGED PLANS

DETAIL IDENTIFICATION NUMBER

SHEET IDENTIFICATION NUMBER
(SHEET NUMBER WHERE ENLARGED PLAN IS DRAWN)

SECTION IDENTIFICATION

SECTION IDENTIFICATION NUMBER
(NUMBER ON SHEET WHERE DRAWN OR REFERENCED)

Section Title

1/4" = 1'-0"

SHEET IDENTIFICATION NUMBER
(SHEET NUMBER WHERE SECTION IS DRAWN)

SECTION LOCATION INDICATION

ELEVATION INDICATION

SECTION IDENTIFICATION NUMBER

INDICATES DIRECTION OF VIEW

SHEET IDENTIFICATION NUMBER
(SHEET NUMBER WHERE SECTION IS DRAWN)


MATCH LINE INDICATION


SHEET IDENTIFICATION NUMBER


ZONE "A"

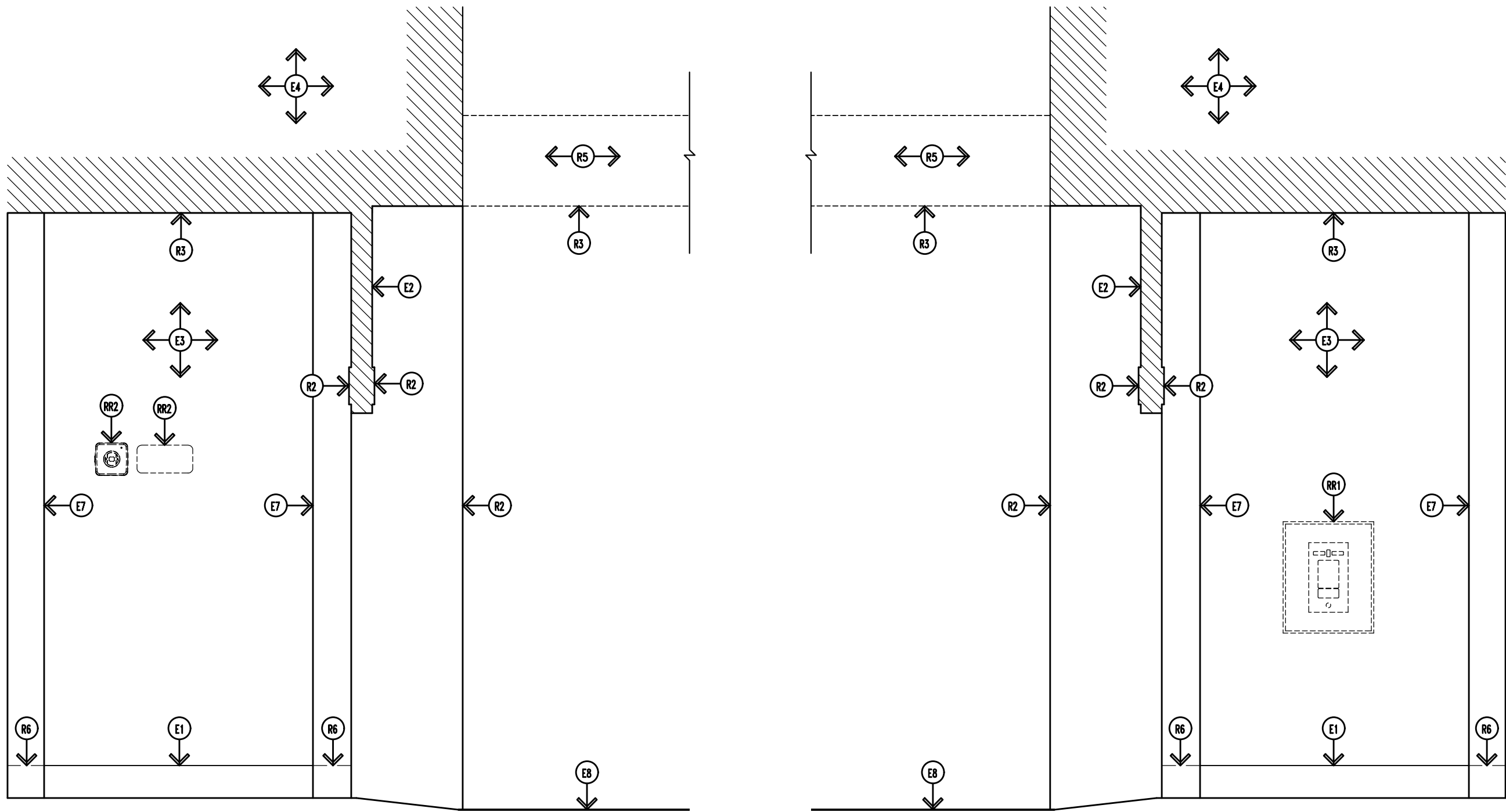
ZONE "B"

SHEET IDENTIFICATION NUMBER
(SHEET NUMBER WHERE SECTION IS DRAWN)

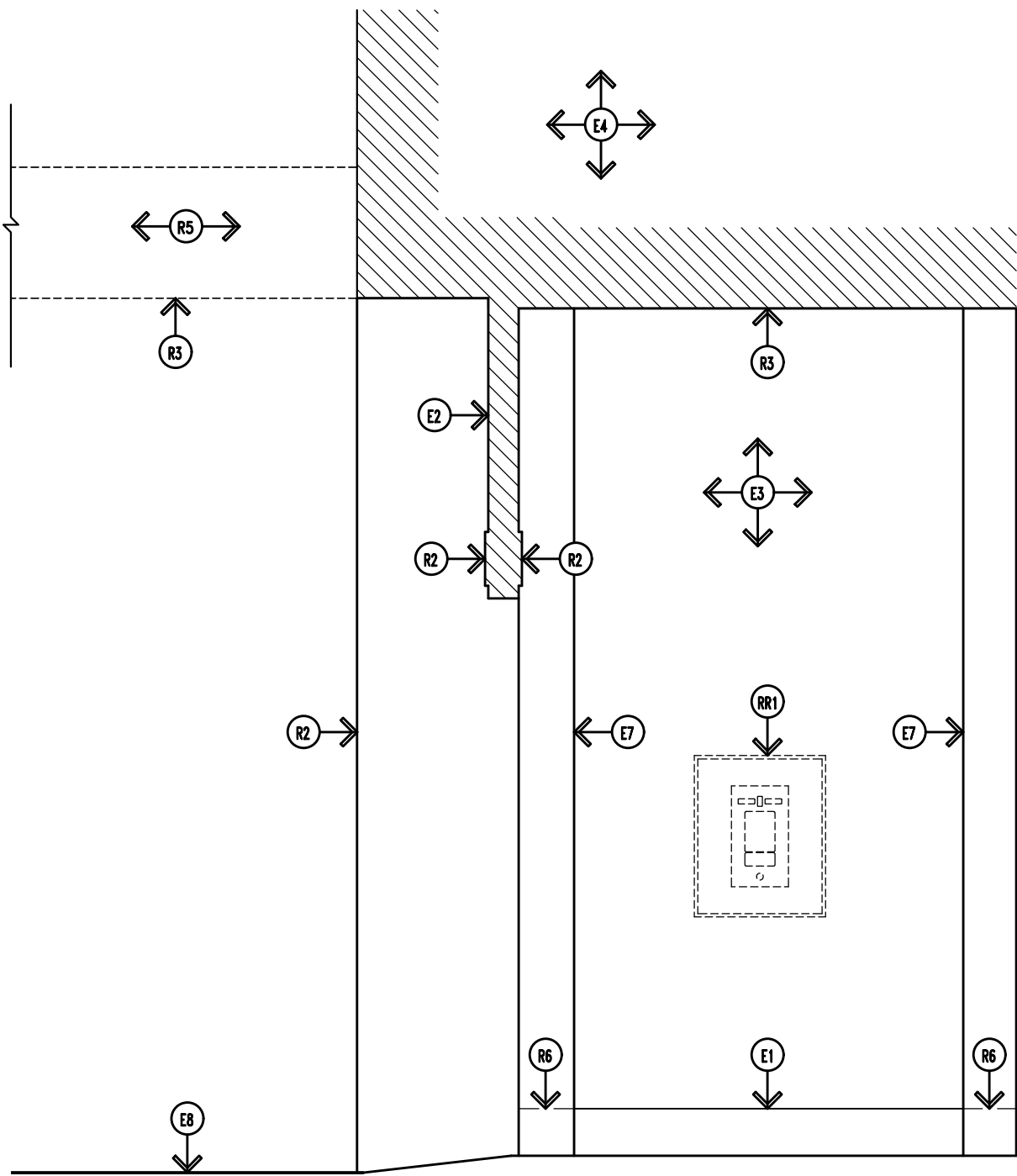
 COLUMN IDENTIFICATION LETTER
OR NUMBER FOR NEW CONSTRUCTION

 COLUMN IDENTIFICATION LETTER
OR NUMBER FOR EXISTING CONSTRUCTION

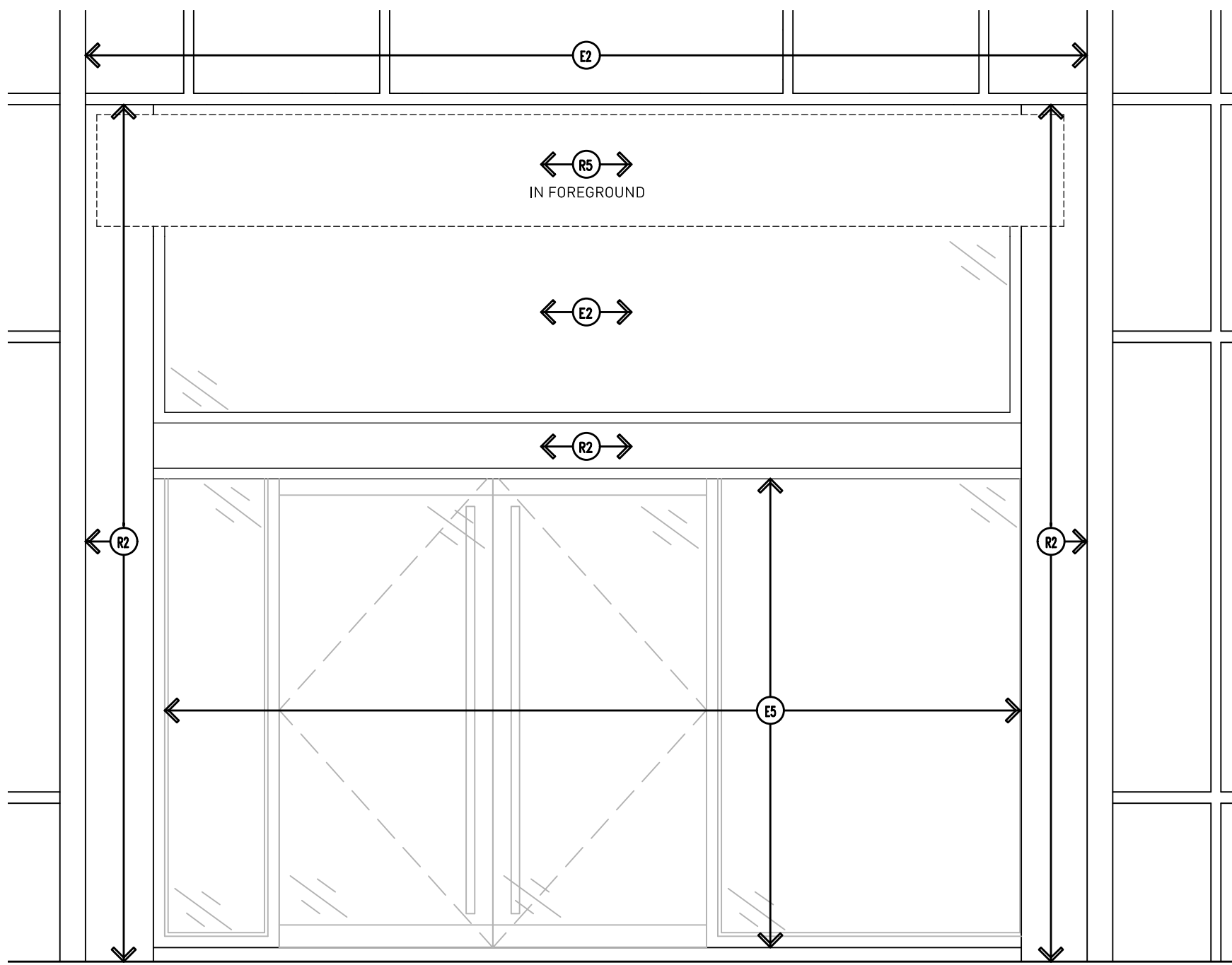




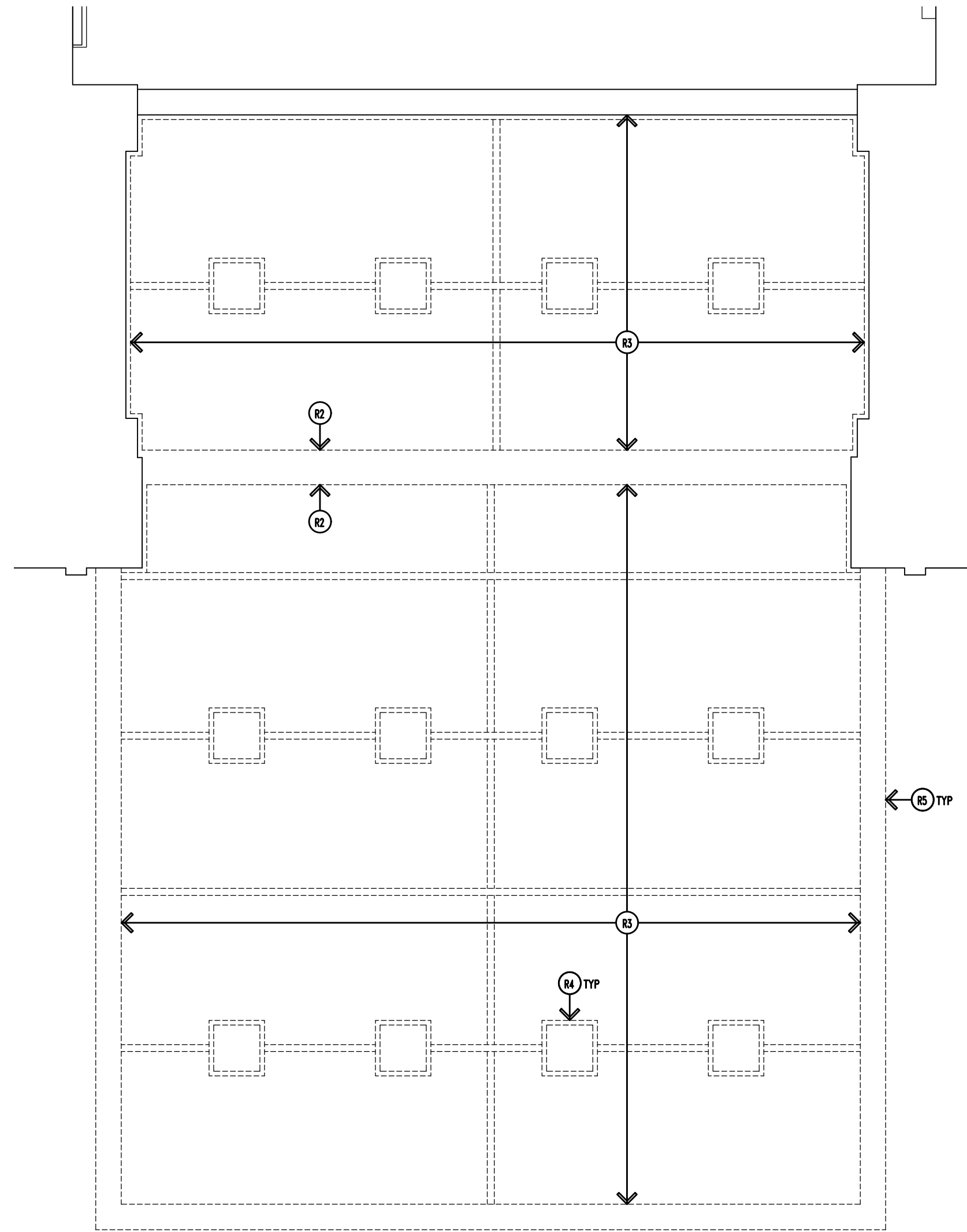
5 East Wall Removals Elevation
Scale: 1/2"=1'-0"



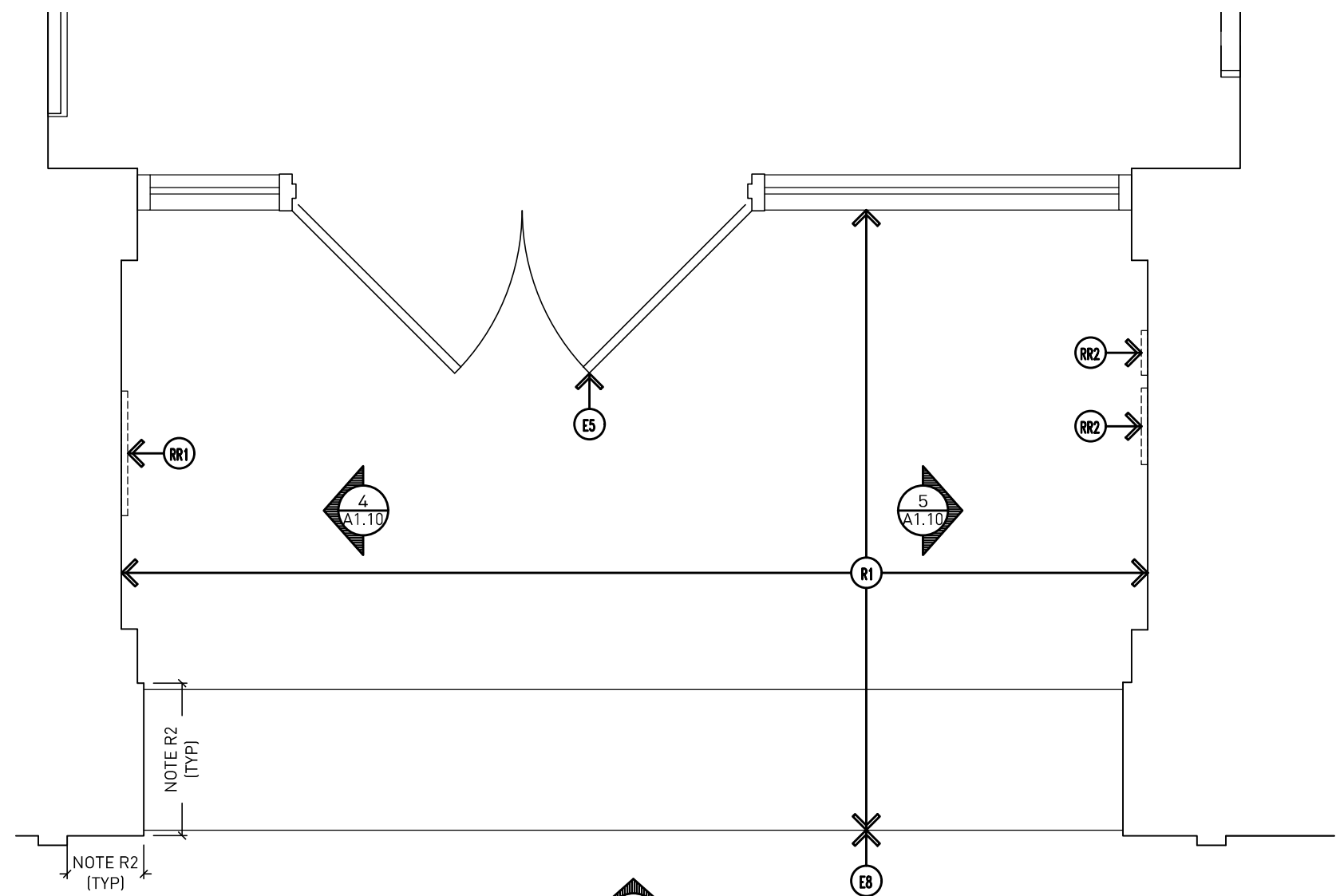
4 West Wall Removals Elevation
Scale: 1/2"=1'-0"



2 North Entrance Removals Elevation
Scale: 1/2"=1'-0"



3 Removals Reflected Ceiling Plan
Scale: 1/2"=1'-0"



1 Removals Floor Plan
Scale: 1/2"=1'-0"

GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK.
- G4. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. FINAL DUMPSTER LOCATION TO BE COORDINATED WITH OWNER REPRESENTATIVE PRIOR TO PLACING. CONTRACTOR TO PROVIDE PLYWOOD AND 2x UNDER ALL DUMPSTER WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. CONTRACTOR TO REPAIR ANY PAVING DAMAGED DUE TO CONSTRUCTION OPERATIONS.
- G7. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G8. COORDINATE TIMING OF REMOVAL WORK SO AS TO NOT CAUSE DISRUPTION TO NORMAL OPERATIONS.
- G9. CONTRACTOR TO RE-CONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, ETC. THAT ARE CONNECTED TO FIXTURES OR DEVICES THAT ARE NOT TO BE REMOVED.
- G10. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH/REPAIR PRIOR TO FINISHING.
- G11. PATCH, REPAIR AND FINISH WALL WHERE AREAS ARE DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- G12. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- G13. CONTRACTOR'S OPTION TO REUSE ANY ABANDONED CONDUIT TO THE EXTENT POSSIBLE TO RUN NEW ELECTRICAL.
- G14. CEILING REMOVALS SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR'S MEANS AND METHODS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.)
- G15. CONTRACTOR TO PATCH/REPAIR ALL EXISTING WALLS, INCLUDING ANY VISIBLE CRACKS, FOR A LIKE NEW APPEARANCE PRIOR TO FINISHING.
- G16. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC AND ALL STATE AND LOCAL ELECTRICAL CODES.
- G17. CONTRACTOR MUST VERIFY EXISTING LOADS ON CIRCUITS AND PANELS. EXISTING ELECTRICAL PANEL(S) AND CIRCUITS ARE NOT TO BE OVERLOADED.

EXISTING TO REMAIN:

- E1. MARBLE WALL BASE ON WALLS WITH EXISTING TILE TO REMAIN.
- E2. STOREFRONT FRAMING AND GLAZING
- E3. DECORATIVE WALL TILE
- E4. BUILDING STRUCTURE - E.C.U.
- E5. STOREFRONT ENTRY SYSTEM
- E6. WINDOW GLAZING
- E7. LIMESTONE WALL PILASTER
- E8. CONCRETE SIDEWALK

REMOVE & REPLACE NOTES:

- RR1. EXISTING TENANT INTERCOM SYSTEM- ADJUST TO BE FLUSH WITH FACE OF NEW WALL PANELS.
- RR2. EXISTING KNOX BOX & SIGNAGE - ADJUST TO BE FLUSH WITH FACE OF NEW CONCRETE WALL PANELS.

REMOVALS NOTES:

- R1. EXISTING TILE, MORTAR BED, ETC. PROPERLY PREPARE SUBSTRATE FOR NEW FINISHES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- R2. EXISTING BREAK METAL SURROUND. PROPERLY PREPARE SUBSTRATE TO RECEIVE NEW BREAK METAL.
- R3. EXISTING SUSPENDED PLASTIC CEILING PANELS AND ASSOCIATED SUSPENSION SYSTEM COMPLETE.
- R4. EXISTING RECESSED LIGHT FIXTURE. REMOVE WIRING BACK TO SOURCE AND TERMINATE PER CODE REQUIREMENTS, UNLESS NEW FIXTURE IS TO BE INSTALLED IN SAME LOCATION.
- R5. EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY - E.C.U. (C.F.V.I.) CONTRACTOR TO CONSULT ARCHITECT IF ADDITIONAL DIRECTION FOR REMOVAL IS REQUIRED. STRUCTURAL CONSULTATION MAY BE REQUIRED BEFORE PROCEEDING.
- R6. EXISTING MARBLE WALL BASE ON LIMESTONE PILASTERS ONLY. PATCH PILASTER AS NEEDED FOR NEW ALUMINUM CLADDING.



Bidding and Permits: 12 May 2025

Removals Plans



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A1.10


GENERAL NOTES:

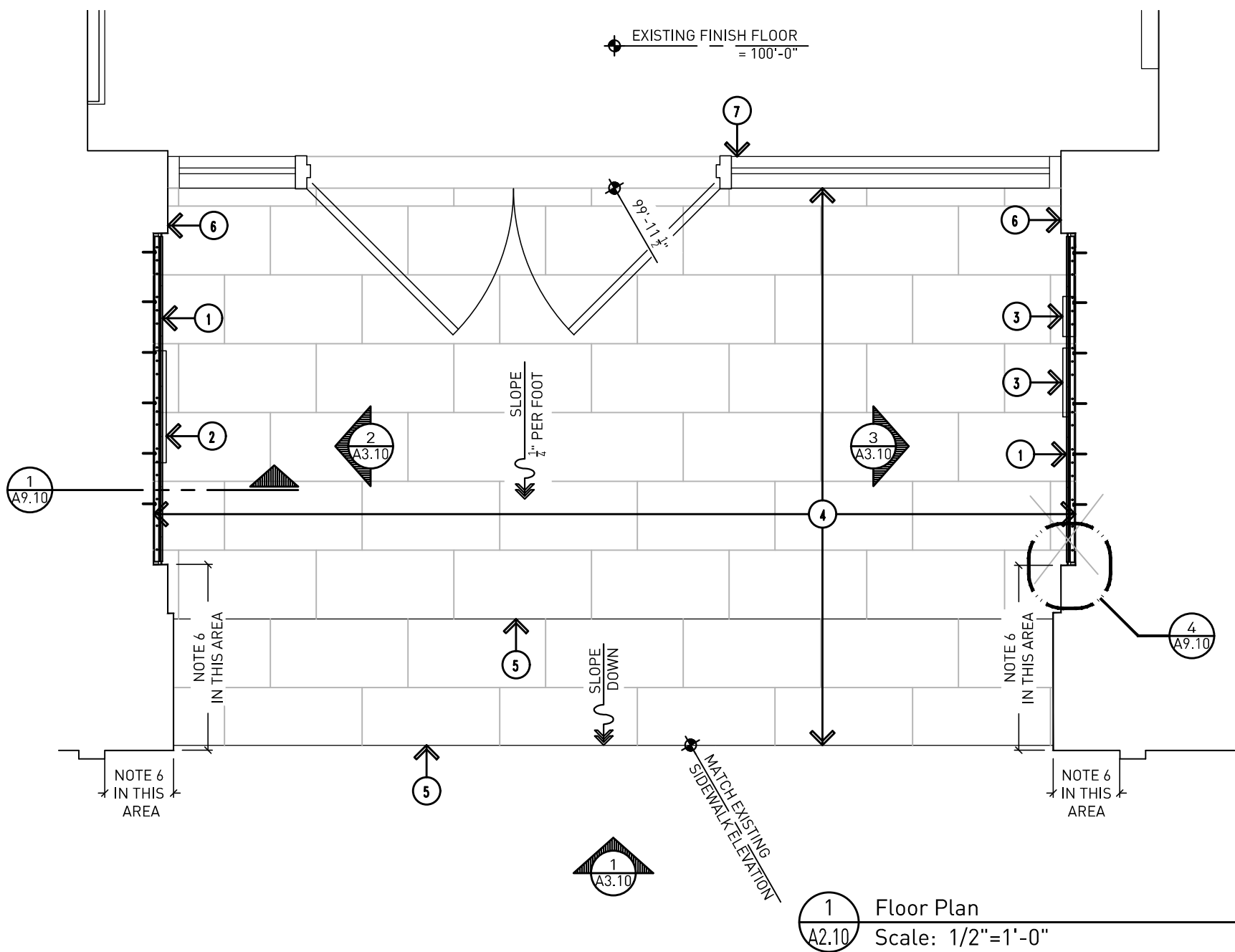
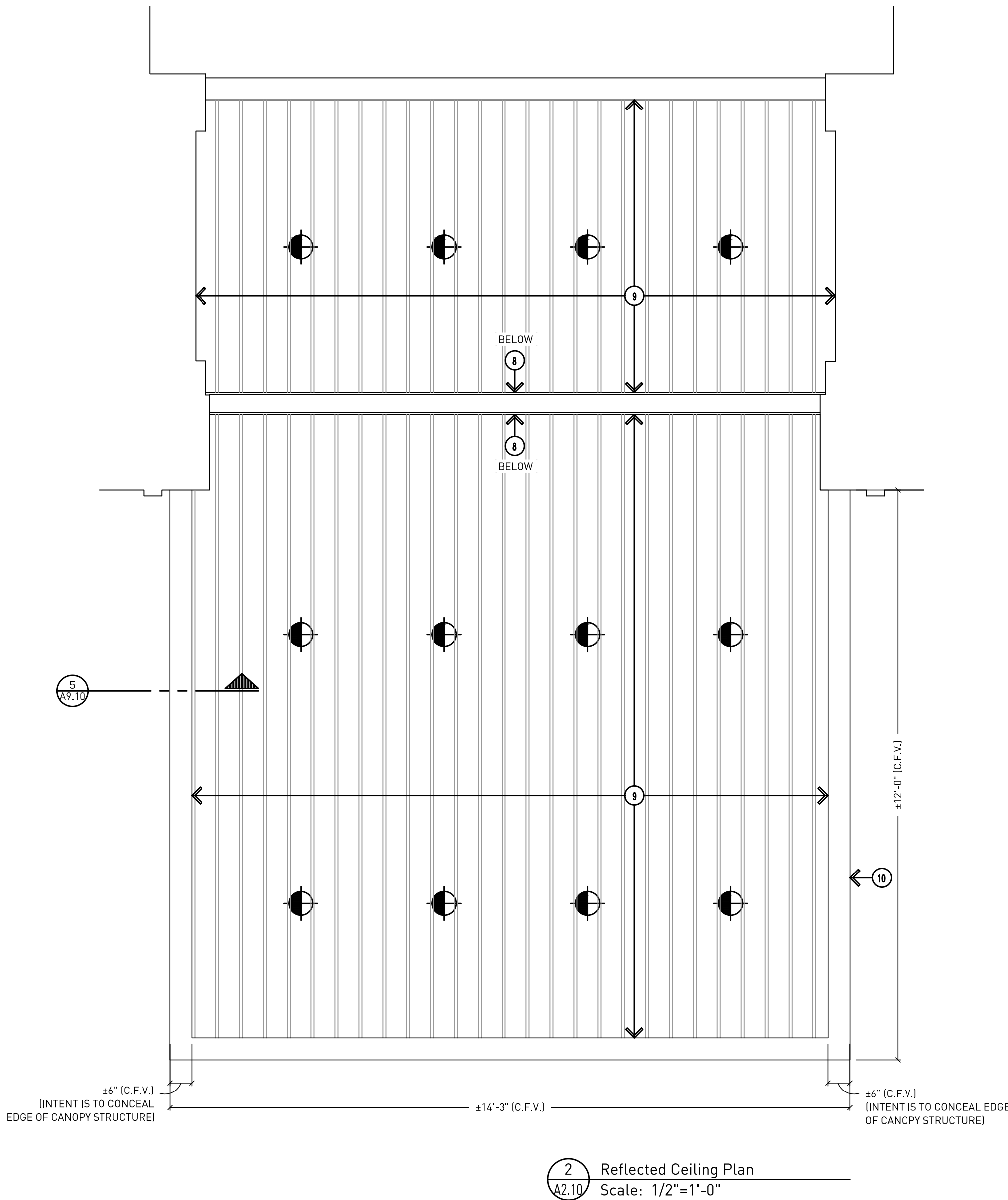
- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
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- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

DRAWING NOTES:

1. WALL MOUNTED 'NICHHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR - 'MOCHA', TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN (C.F.V.).
2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
4. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR - IVORY MATTE, INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
7. EXISTING ALUMINUM STOREFRONT SYSTEM.
8. EXISTING STRUCTURE TO BE WRAPPED WITH DARK BRONZE ALUMINUM CLADDING
9. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL EDGE OF CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.


LEGEND:

-  EXTERIOR RATED LED RECESSED LIGHT FIXTURE INSTALLED IN SUSPENDED METAL CEILING SYSTEM.



Bidding and Permits: 12 May 2025

Floor and Reflected Ceiling Plans


The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

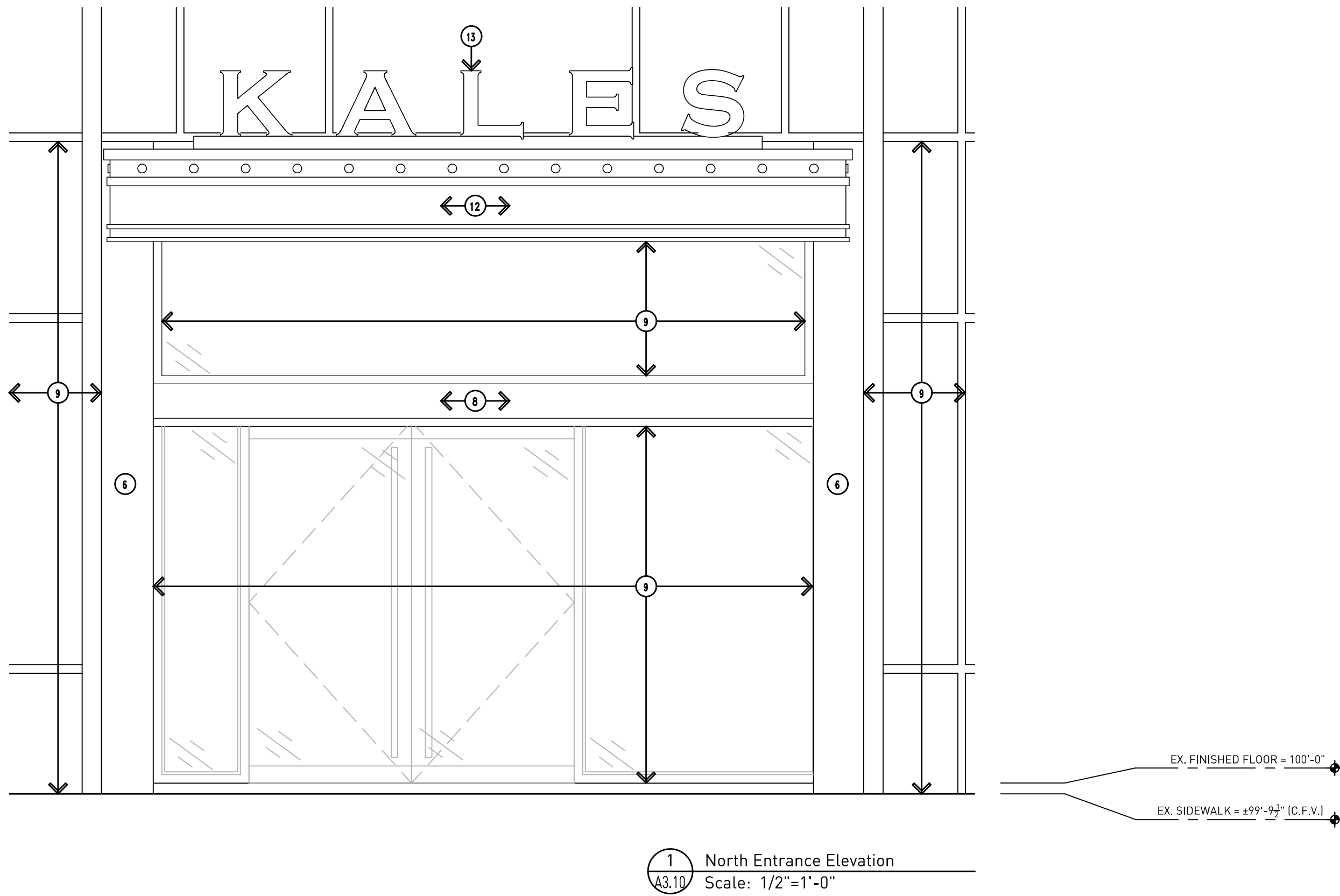
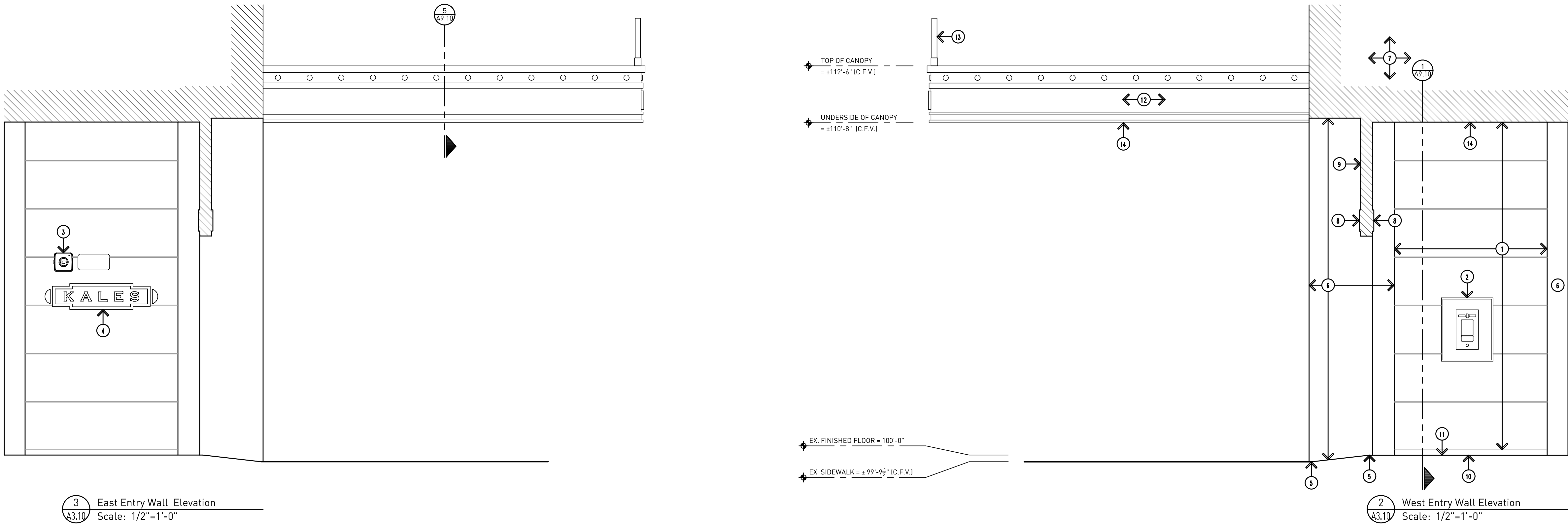
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GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

DRAWING NOTES:

1. WALL MOUNTED 'NICHHA' PANELS TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN [C.F.V.].
2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
4. BUILDING SIGNAGE - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. EXACT SIZE AND FORMAT OF SIGNAGE T.B.D.
5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILLARS.
7. EXISTING BUILDING STRUCTURE - E.C.U.
8. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING STRUCTURE.
9. EXISTING ALUMINUM STOREFRONT SYSTEM.
10. EXISTING MARBLE WALL BASE.
11. PORCELAIN TILE FLOORING, ATLAS CONCORDE 'BOOST MK1' 12" X 24" FIELD TILE. COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
12. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.
13. 15"H DARK BRONZE ALUMINUM LOGO LETTERS - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. LETTERS TO BE CHANNEL SET AND BACK LIT WITH INTEGRATED LED LIGHTING. ELECTRICIAN TO PROVIDE POWER SOURCE FOR LETTERS. COORDINATE WITH OWNER'S SIGN VENDOR.
14. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS. FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.]. ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.



Bidding and Permits: 12 May 2025

Exterior Elevations



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A3.10



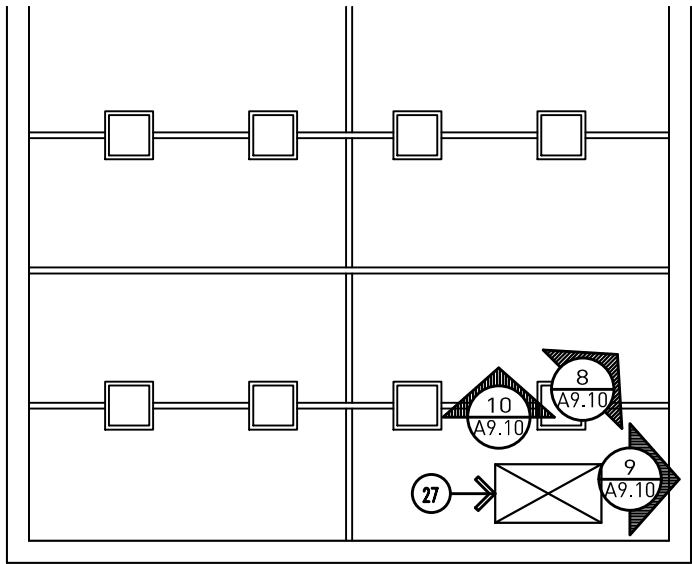
10 Existing Canopy Construction 'C'
A9.10 No Scale



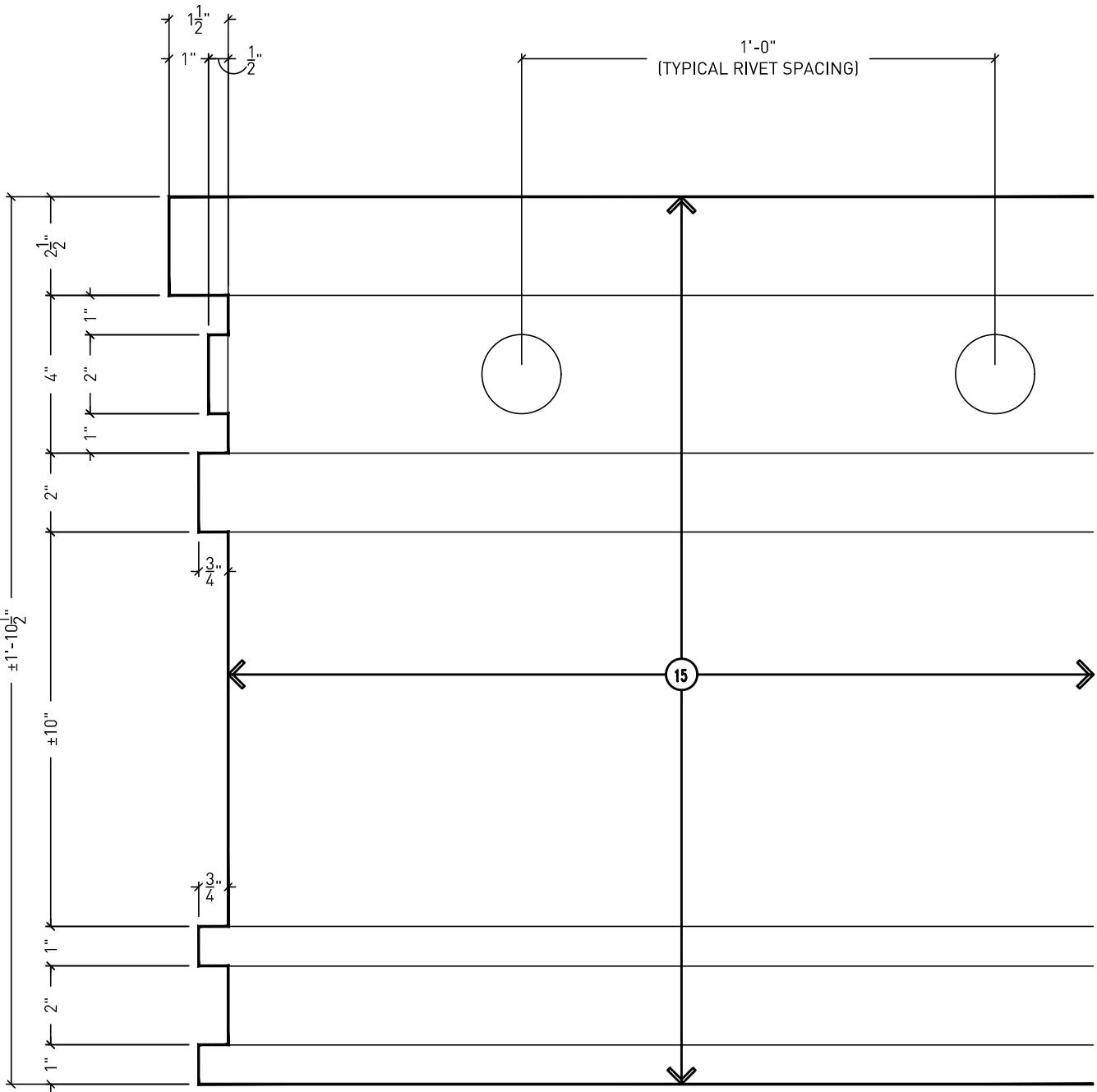
9 Existing Canopy Construction 'B'
A9.10 No Scale



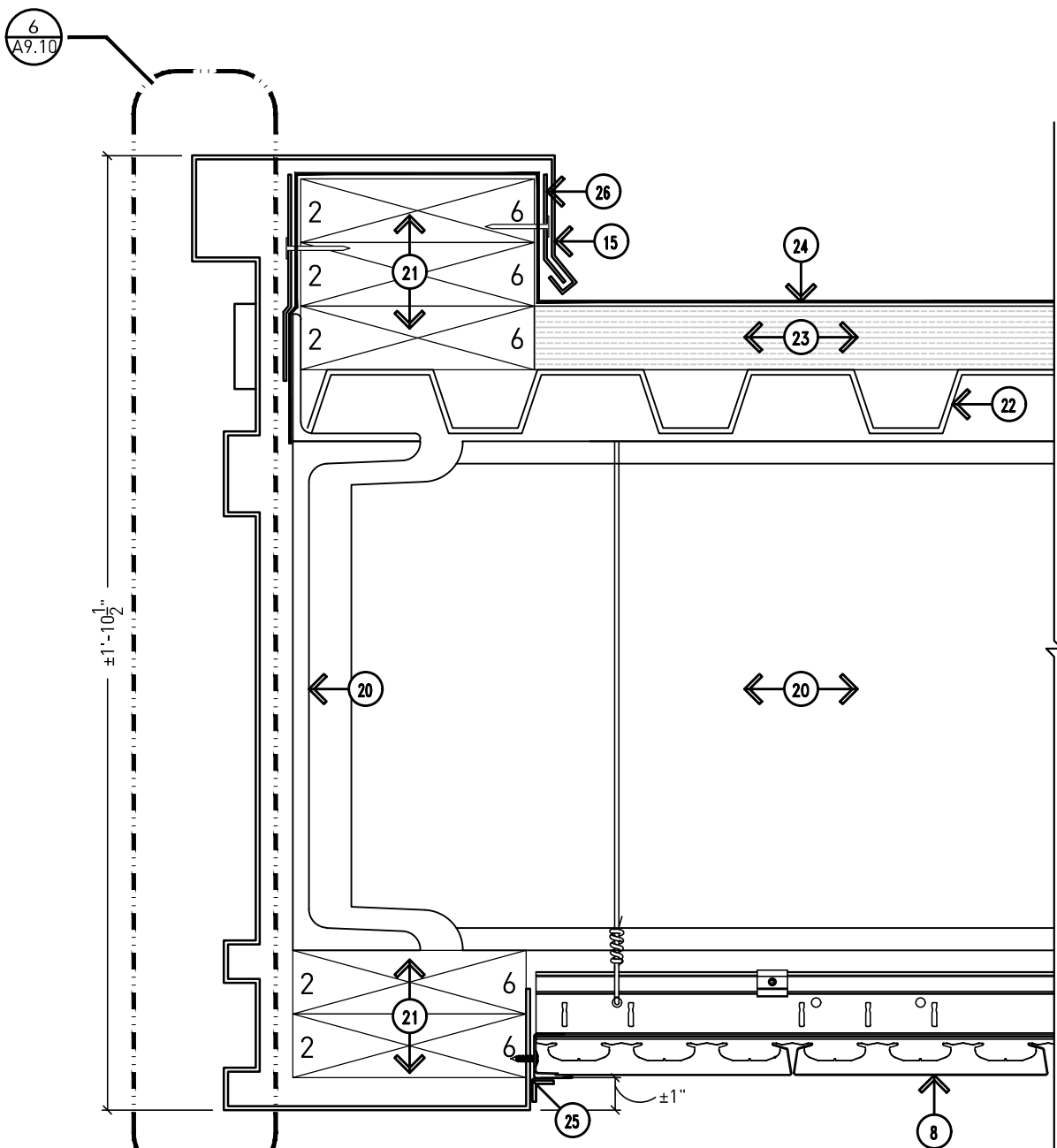
8 Existing Canopy Construction 'A'
A9.10 No Scale



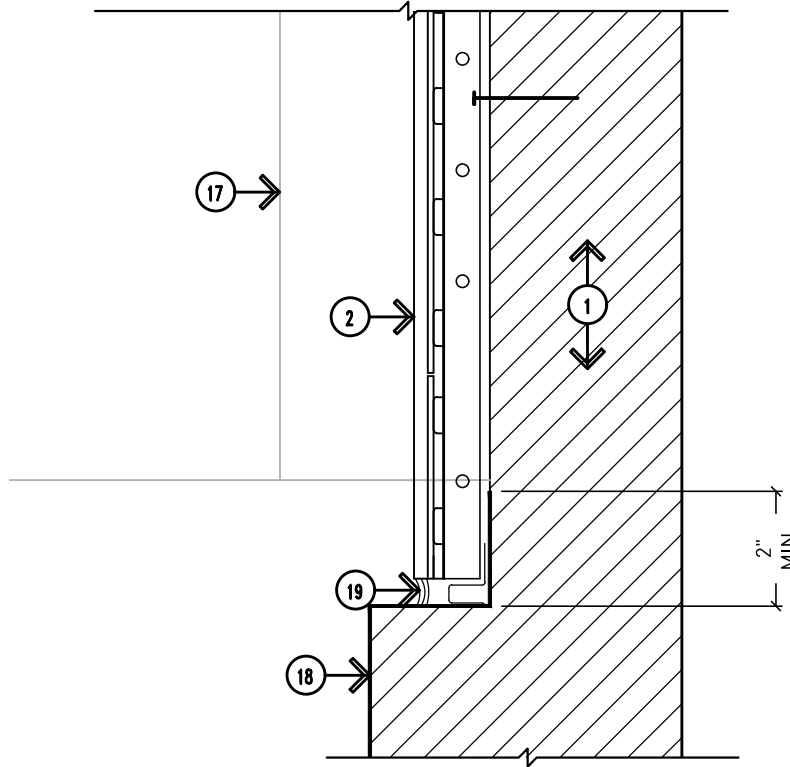
7 Photo Key Plan
A9.10 No Scale
NOTE: UNDERSIDE OF EXISTING CANOPY IS SHOWN FOR REFERENCE PURPOSES ONLY



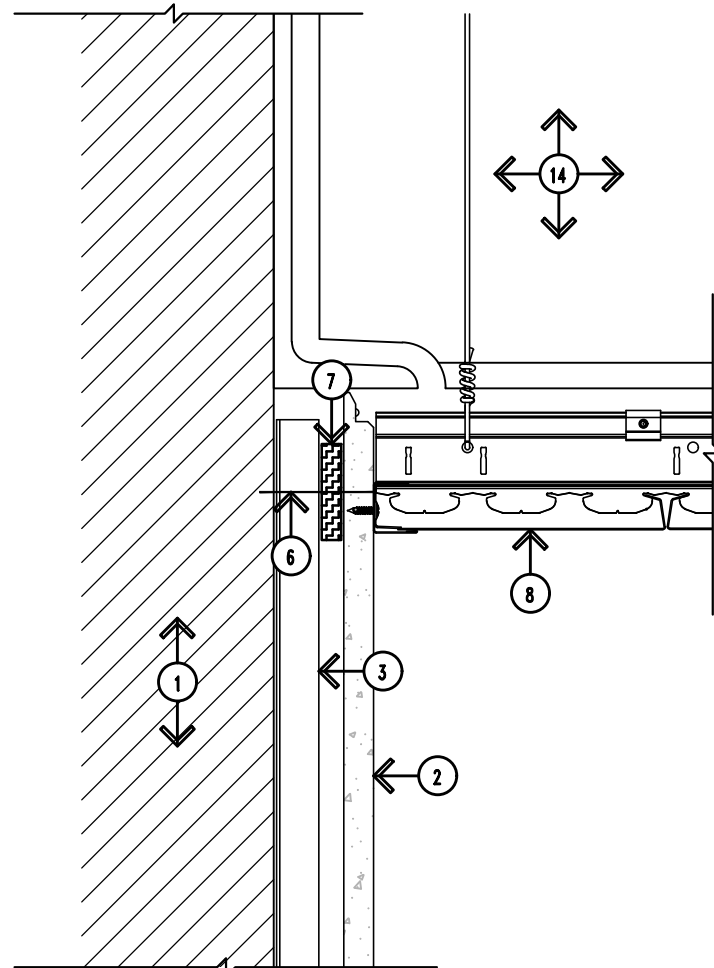
6 Canopy Wrap Profile
A9.10 Scale: 3"=1'-0"



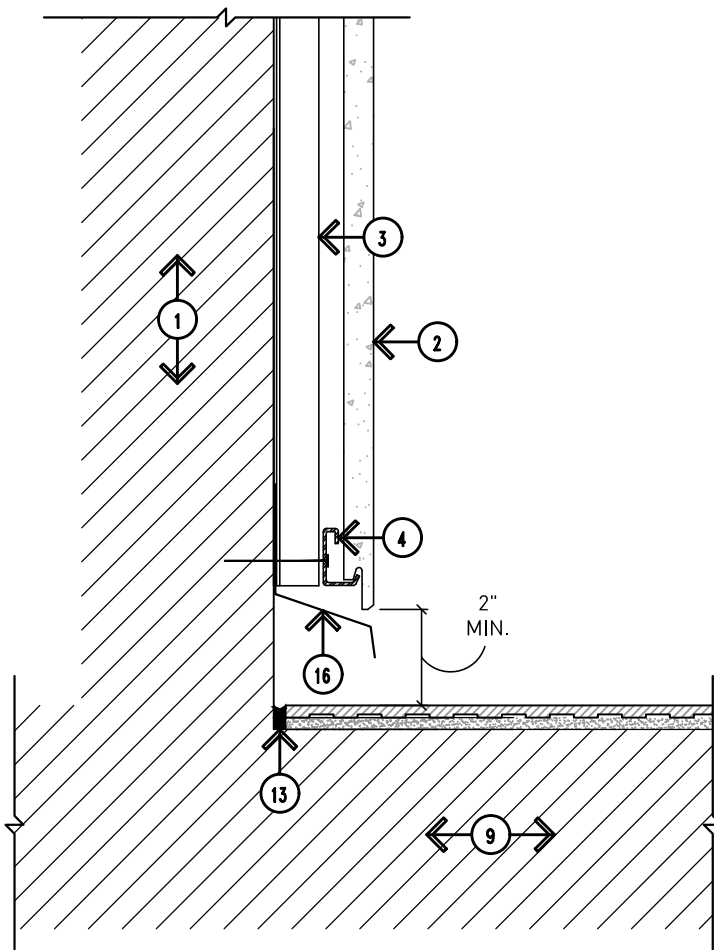
5 Canopy Section - Assumed [E.C.U. - C.F.V.]
A9.10 Scale: 3"=1'-0"



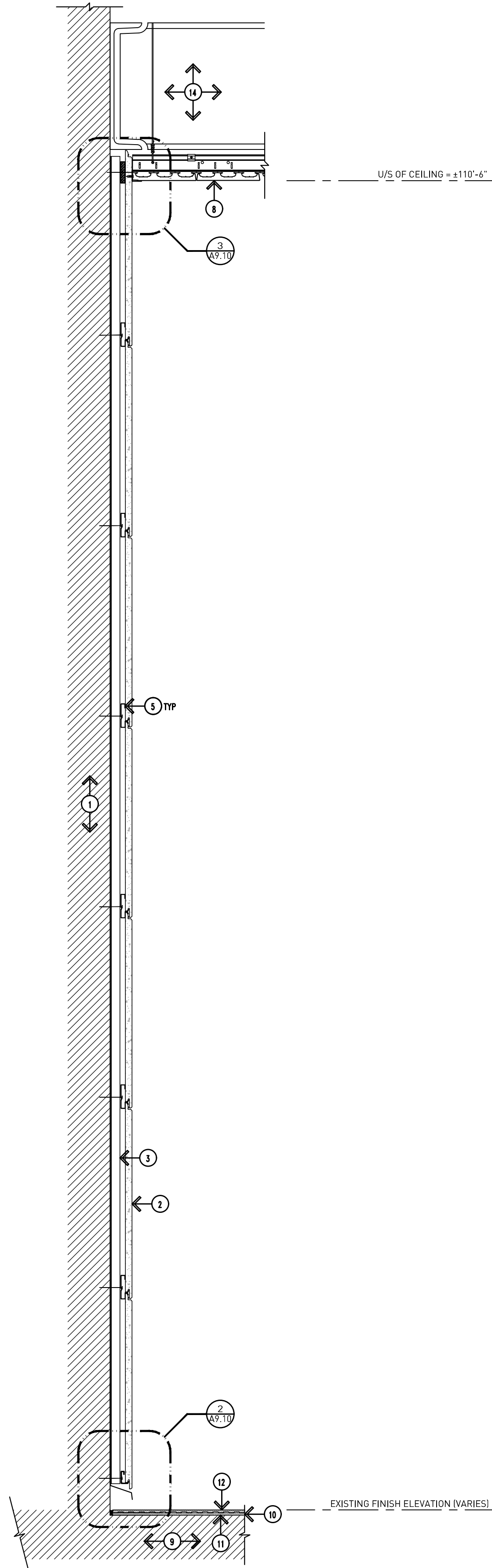
4 Break Metal Wall Wrap Detail
A9.10 Scale: 3"=1'-0"



3 Top of Wall Detail
A9.10 Scale: 3"=1'-0"



2 Bottom of Wall Detail
A9.10 Scale: 3"=1'-0"



1 Exterior Wall Section at Entrance
A9.10 Scale: 1 1/2"=1'-0"

GENERAL NOTES:

- DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- PROVIDE NON-COM WOOD BLOCKING WHETHER PARTICULARLY NOTED OR NOT.
- CONSTRUCTION OF EXISTING CANOPY STRUCTURE IS UNKNOWN. DETAIL IS SHOWN FOR REFERENCE PURPOSES. CONTRACTOR TO FIELD VERIFY EXISTING CONSTRUCTION PRIOR TO FABRICATING NEW CANOPY FACADE.

DRAWING NOTES:

- EXISTING WALL CONSTRUCTION - E.C.U. [C.F.V.]
- WALL MOUNTED 'NICHHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR - 'MOCHA'; CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD.
- 18 GAUGE, 1/2" METAL HAT CHANNEL @ 16" O.C. SPACING.
- 'NICHHA' STARTER TRACK. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 'NICHHA' CLIP WITH FASTENER APPLIED TO VERTICAL FURRING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 'NICHHA' FACE FASTENER AS SUGGESTED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- SPACER - SIZE AS INDICATED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS. FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.] ONCE EXISTING CONSTRUCTION IS EXPOSED. ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- EXISTING CONCRETE SLAB - ECU [C.F.V.]
- TILE MORTAR / ADHESIVE.
- BOND COAT.
- PORCELAIN TILE
- CONTRACTOR TO INSTALL EXTERIOR RATED FLEXIBLE SEALANT WITH COMPRESSIBLE BACK-UP AS REQUIRED IN ALL JOINTS ABUTTING A PERIMETER WALL. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- EXISTING BUILDING / CANOPY STRUCTURE - ECU [C.F.V.]
- DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED. PROFILE IS FOR DESIGN INTENT.
- 'NICHHA' ESSENTIAL STARTER FLASHING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MK' 12" X 24" FIELD TILE, COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: 'EC 947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- CONTRACTOR TO INSTALL EXTERIOR RATED SEALANT OVER 'NICHHA' SINGLE FLANGE SEALANT BACKER. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- EXISTING STRUCTURAL CHANNEL - E.C.U. [C.F.V.]
- 2 X 4 WOOD BLOCKING AS NEEDED FOR NEW CANOPY FACADE.
- EXISTING METAL ROOF DECK - E.C.U. [C.F.V.]
- EXISTING INSULATION - E.C.U. [C.F.V.]
- EXISTING ROOFING MATERIAL - E.C.U. [C.F.V.] - TIE IN AS REQUIRED DUE TO NEW BLOCKING, ETC.
- EXTERIOR RATED SEALANT WITH FOAM BACKER ROD. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- CONCEALED CONTINUOUS CLEAT (NO EXPOSED EDGES)
- PORTION OF EXISTING CANOPY REMOVED TO EVALUATE EXISTING STRUCTURE.



Bidding and Permits: 12 May 2025

Exterior Wall Panel and Canopy Details

EHRESMAN ARCHITECTS
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The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling