

# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

APPL	ICATION ID

HDC2025-00566

RMATION				
ams Ave				
Grand Circus Park				
ck ALL that apply)				
Valls/ Painting	Roof/Gutters/	Porch/Deck/Balcony	Other	
Signage New Building	Addition	Site Improvements (landscape, trees, fenc	es,	
RIPTION:		palios, etc.)		
TIFICATION				
	T			
ME: The Kales Grand Circus Park LLc		COMPANY NAME: The Kales Grand Circus Park LLc		
nsing Rd suite C	CITY: lansong	STATE: MI	<b>ZIP:</b> 48912	
0	EMAIL: jjohnson@dtr	nmgt.com		
AFFIRM THE FOLLOW	/ING:			
e failure to upload all required nied application.	documentation may res	sult in extended review	v times for my	
nply with any other applicable	ordinances including ob			
am the legal owner and/or occupa	ant of the subject property	and that the information	on this application is	
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ales Grand Circus Park LLc	The Kales	s Grand Circus Park LLc lansong	MI 48912	
	ams Ave  Grand Circus Park  Grand Circus Park  Circus Painting  Grand Circus Park  Painting  Grand Circus Painting  Painting  RIPTION:  RIPTION:  RIPTION:  Remove old metal cladding and in  Property Owner/Homeowner  Circus Park LLc  Rising Rd suite C  Consing Rd suite C  AFFIRM THE FOLLOW  Re failure to upload all required application.  Re review of this application by apply with any other applicable department approvals prior to be application.	ARISH Circus Park    Circus Park	AFFIRM THE FOLLOWING:  e failure to upload all required documentation may result in extended review nied application.  e review of this application by the Historic District Commission does not wainply with any other applicable ordinances including appropriate pedepartment approvals prior to beginning the work.	

Questions? Contact us at <a href="https://documents.com/hdc@detroitmi.gov">hdc@detroitmi.gov</a> or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www/detroitmi.gov/hdc

for scope-specific requirements.

#### PROJECT DETAILS - TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

(only applicable if you've already applied for permits through ePLANS)

□ BLD2025-01697

#### **GENERAL**

#### 1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

entry door is not working properly, does not close and secure the site. Existing canopy is old and needs to be recladded, structural condition is good. Ceramic tile at entry is breaking and starting to become a trip hazzard,

#### 2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



#### 3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

Replace existing door with new glass work and door; replace entry tile with new tile, replace existing metal cladding on canopy, replace soffit of canopy, update lighting, add new wall panels

#### 4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

remove roof membrane, metal cladding, soffit, ceramic tile, metal cladding around door, glass from entry. Install new roof membrane, metal cladding, soffit, lighting, tile, wallpanels, door system

#### 5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



## ADDITIONAL DETAILS

6. WINDOWS/DOORS  Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)	
7. DEMOLITION  If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.	











# The Kales Grand Circus Park LLC The Kales Building 76 W. Adams Avenue Detroit, MI 48226 Exterior Remodeling

DTN Management Company 2502 Lake Lansing Road Lansing, MI 48912

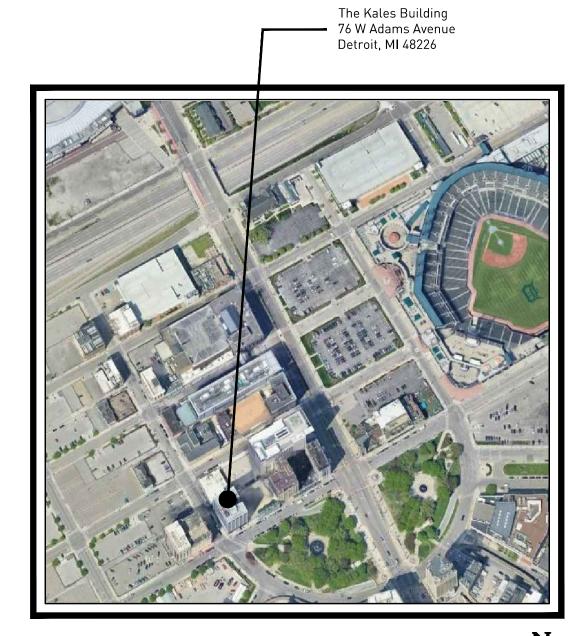
Contact Name: Andrew Kraft, Director of Facilities

Contact Phone: 517.371.5300

**ARCHITECT:** 







# LOCATION PLAN



2017 EDITION

# **APPLICABLE CODES:**

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS: 2015 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES): 2023 EDITION
ASHRAE 90.1-2013:
LIFE SAFETY CODE 101: 2012 EDITION
FEDERAL ADA LAW: CURRENT ED.

ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):

# **USE GROUP:**

R-2 RESIDENTIAL

NOT TO SCALE

## **CONSTRUCTION TYPE:**

TYPE IIIB (ASSUMED) , SPRINKLED

## LIST OF DRAWINGS

#### ARCHITECTURAL DRAWINGS:

A0.00 GENERAL INFORMATION
A1.10 REMOVALS PLANS

.2.10 FLOOR AND REFLECTED CEILING PLANS
.3.00 PARTIAL EXTERIOR ELEVATIONS
.9.10 EXTERIOR CANOPY DETAILS

## **DEFERRED SUBMITTALS:**

PER SECTION 107.3.4.1, ANY REQUIRED SUBMITTALS WILL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ASSUMING THE DUTIES OF CONSTRUCTION SUPERVISION AT THE APPROPRIATE TIME.

#### DEFERRED SUBMITTALS:

1. FIRE SUPPRESSION SYSTEMS

FIRE ALARM SYSTEMS
 ELECTRICAL REVISIONS (DESIGN/BUILD BY CONTRACTOR)

Bidding and Permits: 12 May 2025

Title Sheet



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

IIL

801 W. Big Beaver Road, Suite 250, Troy MI 48084 | 248.244.9710 © Ehresman Architects 2025

**PLUMBING** 

FIXTURES & ACCESSORIES BARRIER FREE

SHOWER

WALL MOUNTED

WASH FOUNTAIN

WALL MOUNTED

WASH FOUNTAIN

DRINKING FOUNTAIN

SPOUT LOCATION

KNEE CLEARANCE

TOE CLEARANCE

#### **ABBREVIATIONS** C (CONTINUED): D (CONTINUED): F (CONTINUED): H (CONTINUED): P (CONTINUED): S (CONTINUED): масн. WAINS. MACHINE WAINSCOT CAST IRON FIRE DAMPER HOUR PORC. PORCELAIN CATCH BASIN DOOR OPENING FIRE EXTINGUISHER HYDRANT M.A.U. MAKE-UP AIR UNIT PORCELAIN ENAMEL W.C.O WALL CLEANOUT ABOVE FINISH FLOOR PORC ENAM SPACE M.D.P. F.E.C. FIRE EXTINGUISHER CABINET MAIN DISTRIBUTION PANEL WALL HYDRANT CEILING DR. OP DOOR OPERATOR SPEAKER ACCESS M.S.B MAIN SWITCH BOARD CLG. HT. CEILING HEIGHT FLASH POUNDS PER LINEAR FOOT SPECIFICATIONS WALL VENT FLASHING DOUBLE ACC. PNI ACCESS PANEL MAINT MAINTENANCE WASH FOUNTAIN ACOUSTICAL CEILING TILE D.H. F.C. FLEXIBLE CONNECTION POUNDS PER SQUARE FOOT DOUBLE HUNG SQUARE M.H. SQUARE FFFT CEMENT PLASTER MANHOLE ADDENDUM CEM. PLAS DOWEL FLR POUNDS PER SQUARE INCH WASTE INSIDE DIMENSION F.C.O. MFR. CENTER FLOOR CLEANOU MANUFACTURER POUNDS PER CUBIC FOOT STAINLESS STEE WATER CLOSET ADDITION INCAND. INCANDESCENT DOWNSPOUT FLOOR DRAIN MAR. MARRIF POWER PANEL STANDARD WATER HEATER ADJACENT CENTER LINE IN. OR " INCH(ES) FLR. FIN FLOOR FINISH M.O. MASONRY OPENING PRECAST WATERPROOF AIR CONDITIONING INCLUDE/INCLUDING CERAMIC DRAIN TILE MAX. MAXIMUM WEIGHT FLUOR. FLUORESCENT STEEL AIR CONDITIONING COMPRESSOR PREFA PREFABRICATE ACCINDIRECT WASTER CERAMIC TILE WELDED WIRE FABRI DRAIN TILE CONNECTOR FTG MECHANICAL STOR STORAGE A.C.C.U. AIR COOLED CONDENSING UNIT FOOTING PREFINISHED INFORMATION CHALKBOARD NED. MEDIUM FDN FOUNDATION AIR HANDLING UNIT DRAWER PRESSURE TREATED STREET INSTALL/INSTALLATION CHAN. OR CHANNEL INST'L МЕМВ. MEMBRANE WIDE/WIDTH STRUCT. DRAWING FRAME PRESSURE GAUGE STRUCTURA CHILLED WATER RETURN INSULATE/INSULATION MET. PRESSURE REDUCING VALVE DRINKING FOUNTAIN FRMG FRAMING METAL SUSPEND(ED) W.B. WALL BASE ALTERNATE CHILLED WATER SUPPLY INTERIOR M.D.S. METAL DIVIDER STRIP DUPLICATE FRZR. FREEZER SWBD WINDOW OPENING SWITCHBOARD ALUM./AL ALUMINUM CIRCUM. CIRCUMFERENCE INTER. INTERMEDIATE **FURNISH** M.E. METAL EDGE PROJECT/PROJECTION SWGR WIRE MESH SWITCHGEAR ANCH. ANCHOR CR. BRK. CIRCUIT BREAKER INVERT FURR. METAL LATH SYM. ANCHOR BOLT PROP. PROPERTY/PROPOSED SYMBOL CLASSROOM INVERT ELEVATION M.L.&PLAS METAL LATH & PLASTER FUTURE WITHOUT PROPERTY LINE SYS. SYSTEM CLEANOUT MARBLE THRESHOLD EACH PUBLIC ADDRESS WOOD ANG./L OR Z ANGLE CLEAR MEZZ. MEZZANINE ANOD. EACH FACE PURSE SHELF WORKING POINT ANODIZED CLOSER MDOT MICHIGAN DEPARTMENT OF TRANSPORTATION EACH WAY **PUSH BUTTON** APARTMENT COLD WATER JANITOR CLOSET MIN. MISC. MINIMUM T.BD APPR TACKBOARD APPROVED COLUMN JOINT MISCELLANEOUS EXTERIOR INSULATION FINISH SYSTEM E.I.F.S. GALV. GALVANIZED APPROX APPROXIMATE COMPANY TECH TECHNICAL JOIST MTD MOUNTED ARCHITECT/ARCHITECTURAL ELAST. ELASTOMETRIC TELEPHONE COMPRESSED AIR JUNCTION BOX MTG MEETING ELEC. ELECTRIC/ELECTRICAL GASKET **TELEVISION** YIELD POINT AUTOMATIC TELLER MACHINE CONC. QUANTITY CONCRETE ELEC. CAB. ELECTRICAL CABINET GATE VALVE AND BOX YIELD STRENGTH **TEMPORARY** CONCRETE MASONRY UNITS QUARRY TILE ASPHALT C.M.U. **GUARD RAIL** TERR. ELECTRICAL CONTRACTOR **TERRAZZO** YEAR ASSY. ASSEMBLY CWR **COLD WATER RETURN** QTR QUARTER GENERAL ELECTRICAL PANEL THERMOSTAT CWS COLD WATER SUPPLY QTR.RD. QUARTER ROUND KICKPLATE NOISE REDUCTION COEFFICIENT GLASS/GLAZING AUTO. AUTOMATIC E.W.C. ELECTRIC WATER PANEL THROUGH KILOVOLT NOM. G.H.T. GLAZED HARD TILE AUXILIARY CONF. ELEC. OPER. ELECTRICALLY OPERATED TONGUE AND GROOV CONFERENCE KILOVOLT AMPERE AVERAGE CONST. CONSTRUCTION **ELEVATION** GRAB BAR TOP AND BOTTOM ZINC KW KILOWATT N.I.C NOT IN CONTRACT ELEV. **ELEVATOR** GRANITE TOP OF CURB CONTROL JOINT KIP (1000#) N.T.S. NOT TO SCALE GREASE TRAP EMERG. **EMERGENCY** TOP OF FOOTING CONTINUE/CONTINUOUS RAD. OR R. RADIUS KITCHEN NO. OR # NUMBER ENCL. **ENCLOSURE** CONTR. CONTRACTOR ROOF CONDUCTOR TOP OF GUTTER KNOCKDOWN GROUND FAULT INTERRUPTER G.F.I. ENGR ENGINEER BACK TO BACK **CONTROL PANEL** TRFR TRANSFORMER RAILROAD KNOCK OUT PANEL ENTR. ENTRANCE BACK FLOW PREVENTER CONVECTOR REFER/REFERENCE GYPSUM CRS. TRENCH DRAIN BACK DRAFT DAMPER COURSE B.D.D REFL. REFLECT(ED) ETHYLENE PROPYLENE DIENE MONOMER GYP. BD. EPDM. GYPSUM BOARD **OBSCURE** TYPICAL BARRIER EREE COVER REFRIGERATOR ON CENTER COVER PLATE BASE BOARD RADIATION COV. PL REINF. REINFORCE(MENT) EQUIPMENT BASE PLATE CU. FT CUBIT FEET/CUBIC FOOT REQ'D LABORATORY REQUIRED EQUIV. EQUIVALENT CONTRACTOR FIELD VERIFY BASEMENT RETURN AIR LADDER OPER. **ESCALATOR** OPERATOR CULV CULVERT HANDICAPPED UNDERCUT REVISED/REVISION LAG BOLT OPP. OPPOSITE ESTIMATE HANDRAIL BACK OF CURB CYLINDER UNDERGROUND **REVOLUTIONS PER MINUTE** LAMINATE/LAMINATED ORN. ORNAMENTAL EXCAVATED **HARDWARE** UNDERWRITER'S LABORATORY BEARING CYCLE(S) RIGHT HAND LANDING EXHAUST OUNCE HDWD. HARDWOOD BENCHMARK CIRCUM. CIRCUMFERENCE UNFIN. UNFINISHED R.O.W. RIGHT OF WAY LARGE EXHAUST FAN OUTSIDE AIR HEAD UNIT HEATER ROAD LAUNDRY EXISTING OUTSIDE DIAMETER HEADER BETW. BETWEEN UNIT VENTILATOR U.V. ROOF LAVATORY EXISTING CONDITIONS UNKNOWN HTR HEATER U.N.O. UNLESS NOTED OTHERWISE ROOF DRAIN LEFT HAND OVERHEAD HEATING AND VENTILATING EXISTING TO REMAIN BITUMINOUS ROOF SUMP DAMPER HEATING, VENTILATING & AIR CONDITIONING LIGHT OR L LENGTH 0.F. OVERFLOW FXPANSION BLACK IRON ROOFTOP UNIT DMPG DAMPPROOFING EXPANSION JOINT HEATING HOT WATER RETURN BL OCK DEAD LOAD LIGT EXPOSED HHWS HEATING HOT WATER SUPPLY BLKG BLOCKING **ROUGH OPENING DECIBEL** LIGHTING EXT'N EXTENSION VARIABLE RUBBER BASE LIGHTING PANEL PTD PAINTED EXTERIOR HEXAGON BOILER VARN. DEMOUNTABLE PARTITION VARNISH LIMESTONE E.H. EXTRA HEAVY PATCH AND REPAIR **BOOK SHELVES** VENEER DEPARTMENT LINTFL EXTR. EXTRUDED H.I.D. HIGH INTENSITY DISCHARGE PNL P.T.D. DEPR. DEPRESSED LINEAR FOOT/FEET PAPER TOWEL DISPENSER HIGH POINT BOTTOM ELEVATION BOT. EI VENT THRU ROOF DESIGN SANITARY HIGH PRESSURE PKG BOUL FVARD VERIFY IN FIELD SANITARY NAPKIN DISPENSER DETAIL LIVE LOAD P.BD. PARTICLE BOARD HIGH STRENGTH BDRY BOUNDARY V.M. VERIFY WITH MANUFACTURER D.E.C. **DETROIT EDISON COMPANY** LOCATION S.N.R. SANITARY NAPKIN RECEPTACLE PASS. FABRICATED HIGH VOLTAGE BRKT BRACKET VERSUS SCHED. **SCHEDULE** PVMT PAVEMENT BRITISH TERMINAL UNIT F.FIN. FACTORY FINISH HIGHWAY VERTICAL/VERTICALLY VERT DIA. OR Ø DIAMETER LONG LEG HORIZONTAL SEATING PED HOLLOW CORF PEDESTAL FASTENER BUILDING VEST. VESTIBULE DIFFUSER SECTION LONG LEG VERTICAL PERF. FT OR' FOOT OR FEET HOLLOW METAL PERFORATED B.U.R. BUILT UP ROOFING VINYL COMPOSITION TILE DIMENSION SERV. SERVICE PLAS. FEET PER MINUTE PLASTER BUZZER V.R.S. VINYL REDUCER STRIP DIRECTION LOUVER OPENING SHEET HORIZONAL P.LAM. PLASTIC LAMINATE VITREOUS DISCONNECT SHWR SHOWER LOW POINT FIELD VERIFY HORSEPOWER VOL. VOLUME DISHWASHER SIMII AR LOW PRESSURE PLBG PLUMBING HOSE BIB FIGURE H.B. **VOLTS** DISPENSER SOAP DISPENSER LBS. OR # POUNDS PLWD PLYW00D HOT WATER FINISH/FINISHED H.W. DISTANCE SOLID CORE POINT FIN. FLR/ F.F. FINISHED FLOOR H.W.H. HOT WATER HEATER CAPACITY DISTRIBUTION PANEL SOUND TRANSMISSION CLASS HWR HOT WATER RETURN POL. POLISH(ED) FIRE ALARM F.A. DIVIDER/DIVISION HOT WATER SUPPLY POLYVINYLCHLORIDE TYPICAL MOUNTING HEIGHTS MISCELLANEOUS ACCESSORIES, TOILET ACCESSORIES AND FIXTURES NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE MIRROR SIZE AS SPECIFIED OR NOTED NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS) **→ IIIII ----**LAV TOILET ROOM ACCESSORIES SOAP SOAP DISH DISPENSER TOWEL WASTE FULL LENGTH MIRROR, MIRROR AND BARRIER FREE HOOKS FACIAL TISSUE HANDRAIL SANITARY SANITARY SHOWER NAPKIN NAPKIN COVER DISPENSER DISPENSER RECEPTACLE MIRROR AND MIRROR AND VANITY COUNTER CHANGING (ABOVE) BAR OR DISPENSER DRYER DRYER CURTAIN BAR AND STATION PURSE BARRIER FREE SHELF OR DISPENSER DISPOSAL DISPENSER DISPENSER AND WASTE ROD SHELF MULTIPURPOSE WALL SLOT RECEPTACLE TILTED MIRROR MIRROR (BELOW) -BACKSPLASH SIZE AS NOTED 48" A.F.F. MAXIMUM \_\_\_\_\_\_ ◆ 48" A.F.F. MAXIMUM CONTROLS KNOB OR 15" A.F.F. MINIMUM LEVER (B.F.) SENIOR HOUSING GENERAL ELECTRICAL COAT ROD AND HAT WALL MOUNTED OR FIRE EXTINGUISHER FIRE EXTINGUISHER AND WALL CABINET CHALKBOARD OR BASE AND UPPER DOOR HARDWARE LIGHT FIRE ALARM B.F. ELECTRIC ITEMS THERMOSTAT ELEVATOR ELECTRIC DUPLEX, CLOCK WALL ELECTRIC EMERGENCY TELEPHONE WALL BRACKET SHELF (ABOVE) **TACKBOARD** WALL CABINETS SWITCH PULL BOX PUSH TELEPHONE, OR T.V. SPEAKER OR PANEL (B.F. FRONT APPROACH) (ABOVE) BUTTONS OUTLET WITH PLAQUE BOOT RACK (BELOW) LIGHT SWITCH **DUPLEX OUTLET** (B.F./STANDARD HT) 59" MIN. LENGTH (BELOW) @ B.F. BATHTUB AND CONTROLS HOSE WITH HAND HELD OR ADJUSTABLE SPRAY UNIT ON BAR LINE OF WALL —I INF OF WALL LINE OF WALL LINE OF WALL ---LINE OF WALL ---LINE OF WALL OR PARTITION OR PARTITION -LINE OF WALL ELECTRICAL OUTLET ←B.F. CONTROLS ARE (SEE NOTE BELOW) -GRAB BAR MOUNTED WITHIN THIS AREA POSITION LINE OF WALL C.O. COVER LINE OF WALL BASE PLUMBING T.P. BELOW GB BARRIER FREE MOP STRIP BARRIER FREE URINAL **FIXTURES** BARRIER FREE BARRIER FREE STANDARD SHOWER HEAD BARRIER FREE WALL C.O. LAVATORY VANITY **└**OBSTRUCTION WATER CLOSET TOILET PAPER SHOWER SEAT AND SHELF URINAL URINAL AND VALVES HAND HELD & ACCESSORIES NOTE: ANY ELECTRICAL OUTLET OFFSET VALVES SHOWER HEAD NEAR SINKS IN B.F. TOILET ROOMS TO BE MOUNTED 33" OR 36" A.F.F. TO **Q** LINE OF WALL

REFERENCE SYMBOLS DETAIL IDENTIFICATION DETAIL IDENTIFICATION NUMBER (NUMBER ON SHEET WHERE DRAWN OR REFERENCED) 1● Netail Title SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE DETAIL IS DRAWN) DETAIL LOCATION INDICATION DETAIL IDENTIFICATION NUMBER 1 PLAN SECTIONS SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE DETAIL IS DRAWN) DETAIL LOCATION INDICATION FOR ENLARGED PLANS DETAIL IDENTIFICATION NUMBER SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE ENLARGED PLAN IS DRAWN) SECTION IDENTIFICATION SECTION IDENTIFICATION NUMBER (NUMBER ON SHEET WHERE DRAWN OR REFERENCED) 1 Section Title 1/4"=1'-0" - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) SECTION LOCATION INDICATION - SECTION IDENTIFICATION NUMBER - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) ELEVATION IDENTIFICATION - ELEVATION IDENTIFICATION NUMBER (NUMBER ON SHEET WHERE DRAWN OR REFERENCED) 1**◆**\ Elevation Title 1/4"=1'-0" - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE ELEVATION IS DRAWN) ELEVATION INDICATION - SECTION IDENTIFICATION NUMBER INDICATES DIRECTION OF VIEW SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) MATCH LINE INDICATION — SHEET IDENTIFICATION NUMBER - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) DOOR INDICATION DOOR SWING INDICATION DOOR SWING INDICATION DOOR SWING INDICATION NEW DOOR EXISTING DOOR EXISTING DOOR TO TO REMAIN BE REMOVED DOOR IDENTIFICATION ROOM NAME AND NUMBER NAME 100 Α

Bidding and Permits: 12 May 2025

NORTH INDICATION

#### General Information

COLUMN INDICATION

COLUMN IDENTIFICATION LETTER

COLUMN IDENTIFICATION LETTER

OR NUMBER FOR EXISTING CONSTRUCTION

 $\Lambda$  OR NUMBER FOR NEW CONSTRUCTION

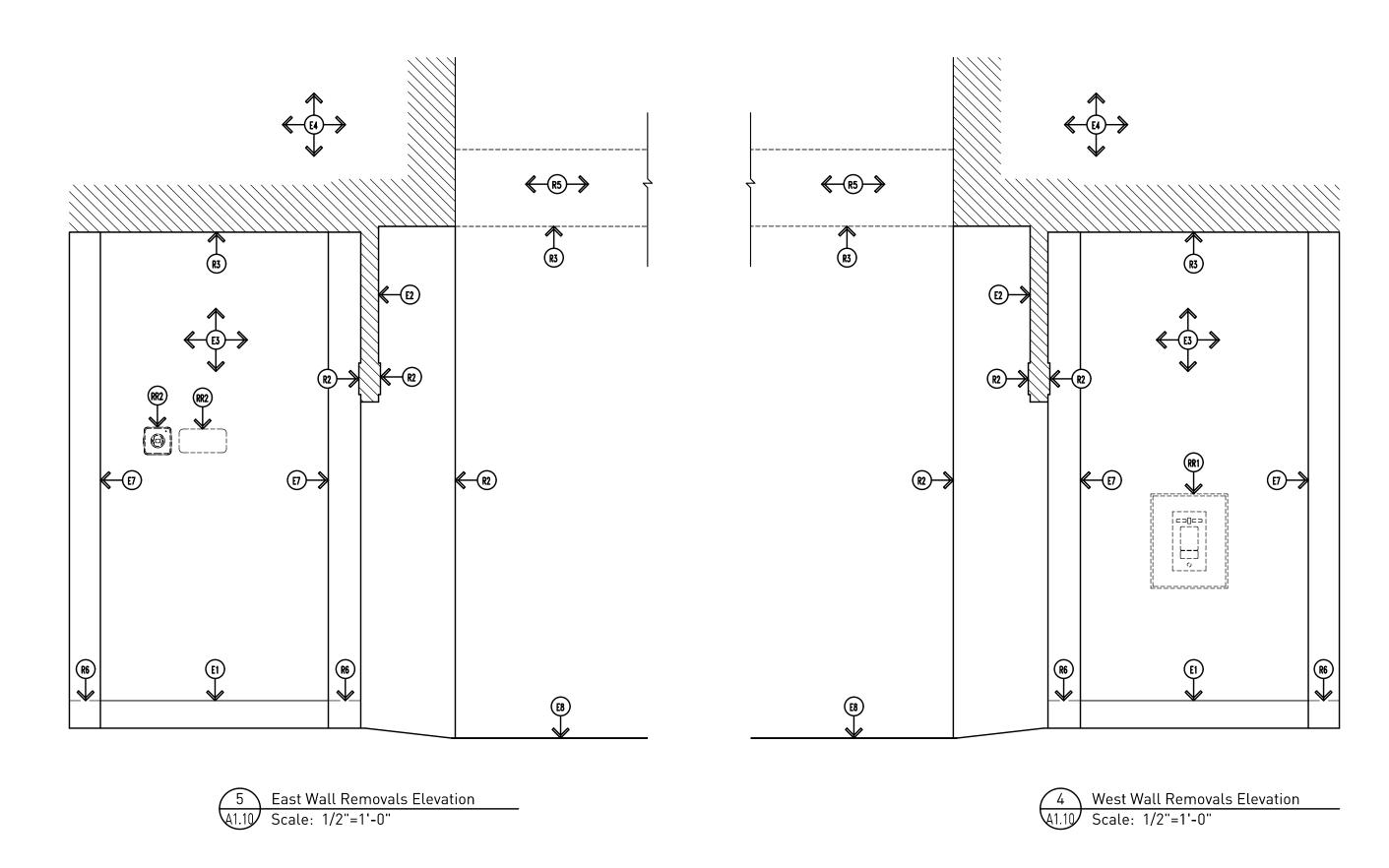


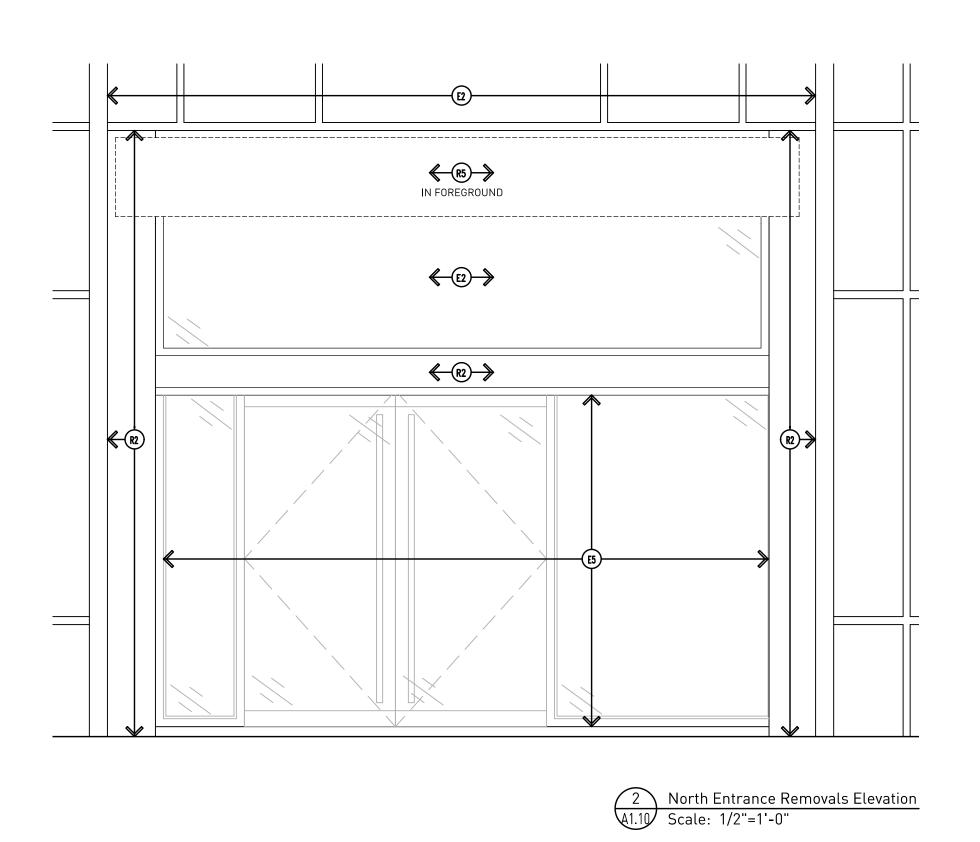
The Kales Grand Circus Park LLC The Kales Building

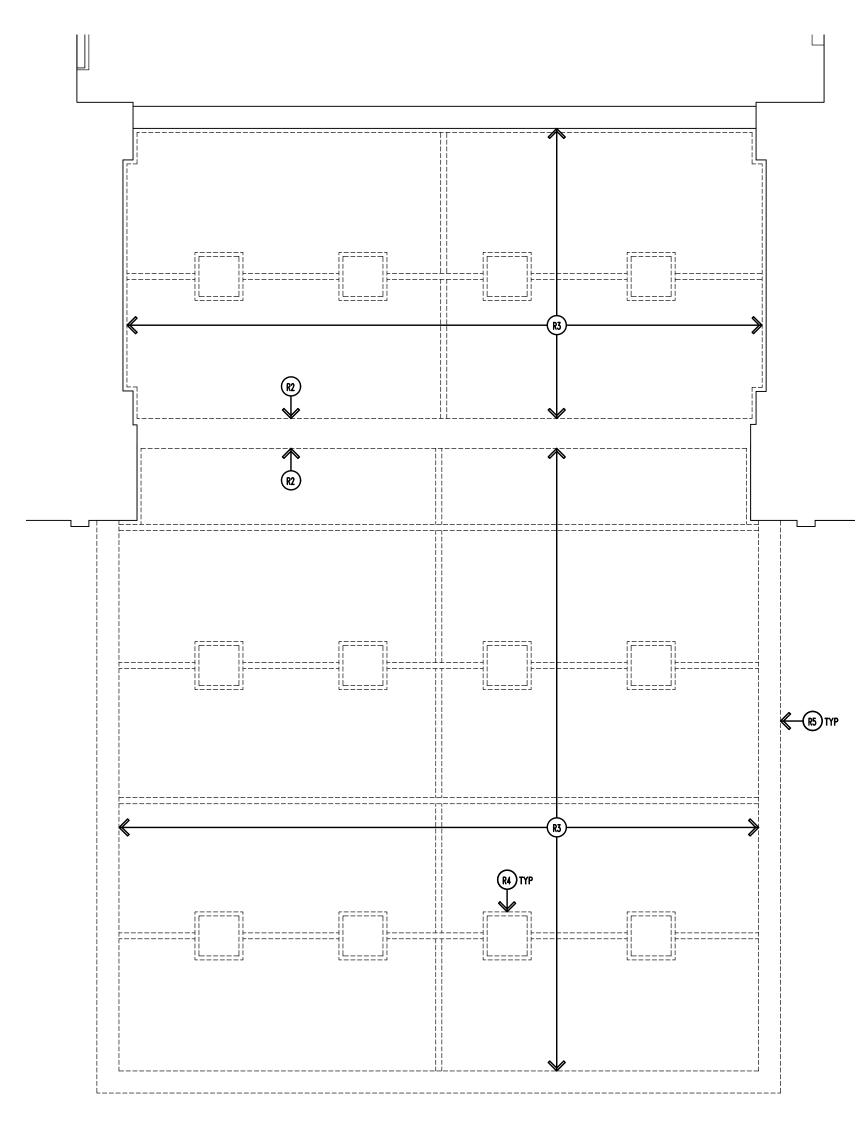
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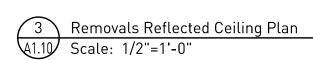
Exterior Remodeling

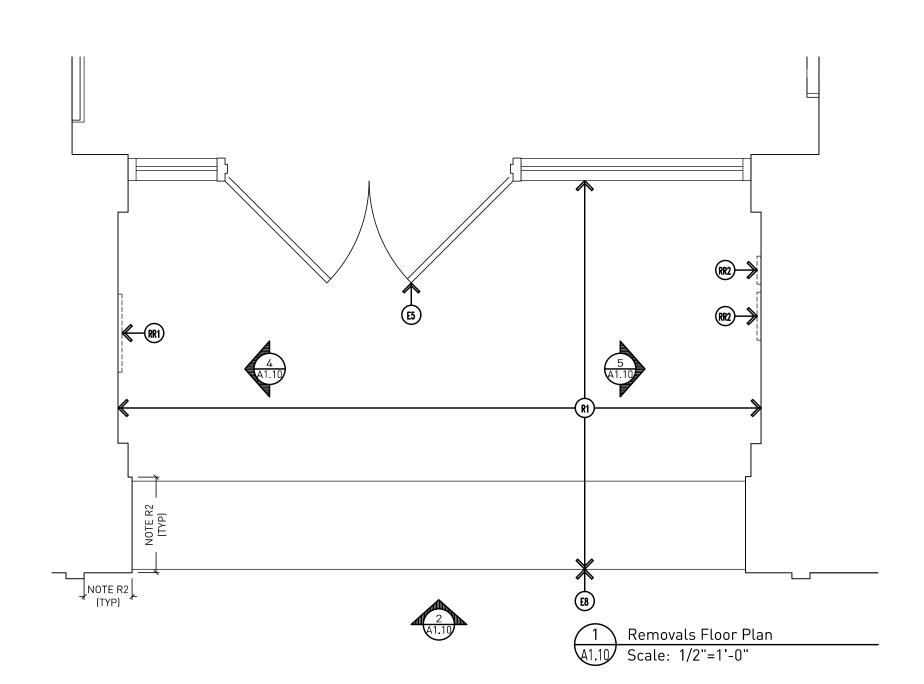
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- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
  - G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
  - G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK.
  - G4. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
  - G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. FINAL DUMPSTER LOCATION TO BE COORDINATED WITH OWNER REPRESENTATIVE PRIOR TO PLACING. CONTRACTOR TO PROVIDE PLYWOOD AND 2x UNDER ALL DUMPSTER WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. CONTRACTOR TO REPAIR ANY PAVING DAMAGED DUE TO CONSTRUCTION OPERATIONS.
- G7. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G8. COORDINATE TIMING OF REMOVAL WORK SO AS TO NOT CAUSE DISRUPTION TO NORMAL OPERATIONS.
- G9. CONTRACTOR TO RE-CONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, ETC. THAT ARE CONNECTED TO FIXTURES OR DEVICES THAT ARE NOT TO BE REMOVED.
- G10. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G11. PATCH, REPAIR AND FINISH WALL WHERE AREAS ARE DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- G12. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO
- NOT CAUSE DAMAGE.
- G13. CONTRACTOR'S OPTION TO REUSE ANY ABANDONED CONDUIT TO THE EXTENT POSSIBLE TO RUN NEW ELECTRICAL.G14. CEILING REMOVALS SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE DETERMINED
- BY CONTRACTOR'S MEANS AND METHODS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.)
- G15. CONTRACTOR TO PATCH/REPAIR ALL EXISTING WALLS, INCLUDING ANY VISIBLE CRACKS, FOR A LIKE NEW APPEARANCE PRIOR TO FINISHING.
- G16. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC AND ALL STATE AND LOCAL ELECTRICAL CODES.
- G17. CONTRACTOR MUST VERIFY EXISTING LOADS ON CIRCUITS AND PANELS. EXISTING ELECTRICAL PANEL(S) AND CIRCUITS ARE NOT TO BE OVERLOADED.

#### EXISTING TO REMAIN:

- E1. MARBLE WALL BASE ON WALLS WITH EXISTING TILE TO REMAIN.
- E2. STOREFRONT FRAMING AND GLAZING
- E3. DECORATIVE WALL TILE
- E4. BUILDING STRUCTURE E.C.U.
- E5. STOREFRONT ENTRY SYSTEM
- E6. WINDOW GLAZING
- E7. LIMESTONE WALL PILASTERE8. CONCRETE SIDEWALK

## REMOVE & REPLACE NOTES:

- RR1. EXISTING TENANT INTERCOM SYSTEM- ADJUST TO BE FLUSH WITH FACE OF NEW WALL
- RR2. EXISTING KNOX BOX & SIGNAGE ADJUST TO BE FLUSH WITH FACE OF NEW CONCRETE WALL PANELS.

## REMOVALS NOTES:

- R1. EXISTING TILE, MORTAR BED, ETC. PROPERLY PREPARE SUBSTRATE FOR NEW FINISHES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- R2. EXISTING BREAK METAL SURROUND. PROPERLY PREPARE SUBSTRATE TO RECEIVE NEW
- BREAK METAL.

  R3. EXISTING SUSPENDED PLASTIC CEILING PANELS AND ASSOCIATED SUSPENSION SYSTEM
- COMPLETE.

  R4. EXISTING RECESSED LIGHT FIXTURE. REMOVE WIRING BACK TO SOURCE AND TERMINATE
- PER CODE REQUIREMENTS, UNLESS NEW FIXTURE IS TO BE INSTALLED IN SAME LOCATION.

  EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY E.C.U. (C.F.V.), CONTRACTOR TO
- R5. EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY E.C.U. (C.F.V.), CONTRACTOR TO CONSULT ARCHITECT IF ADDITIONAL DIRECTION FOR REMOVAL IS REQUIRED. STRUCTURAL CONSULTATION MAY BE REQUIRED BEFORE PROCEEDING.
- R6. EXISTING MARBLE WALL BASE ON LIMESTONE PILASTERS ONLY. PATCH PILASTER AS NEEDED FOR NEW ALUMINUM CLADDING.



Bidding and Permits: 12 May 2025

### Removals Plans

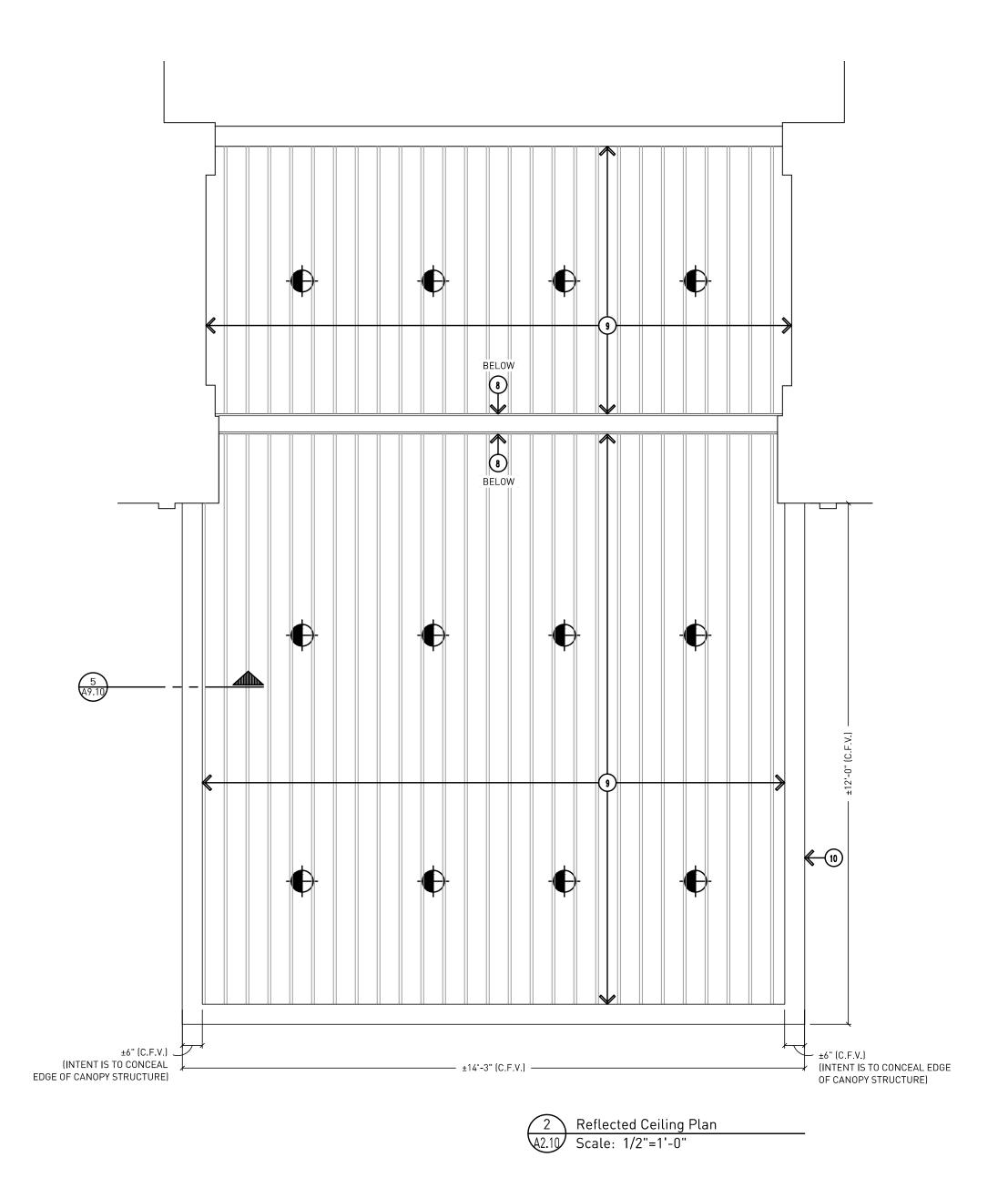


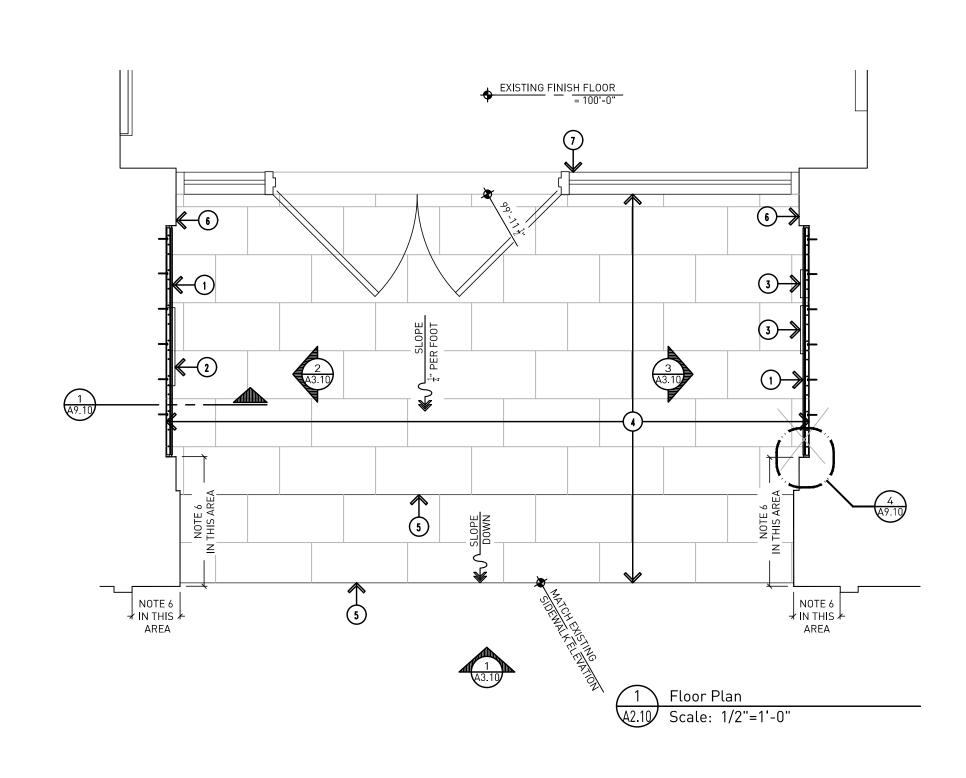
The Kales Grand Circus Park LLC The Kales Building

Exterior Remodeling

۸1 10

Project No. 4824





#### **GENERAL NOTES:**

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

#### DRAWING NOTES:

- WALL MOUNTED 'NICHIHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR 'MOCHA', TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN (C.F.V.).
- RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO
- ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.

  4. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH
- FINISHED ELEVATION OF EXISTING TILE EXACTLY.

  5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- 7. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 8. EXISTING STRUCTURE TO BE WRAPPED WITH DARK BRONZE ALUMINUM CLADDING
- ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 10. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL EDGE OF CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.

#### LEGEND:

lack

EXTERIOR RATED LED RECESSED LIGHT FIXTURE INSTALLED IN SUSPENDED METAL CEILING SYSTEM.

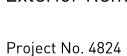


Bidding and Permits: 12 May 2025

## Floor and Reflected Ceiling Plans



The Kales Grand Circus Park LLC The Kales Building

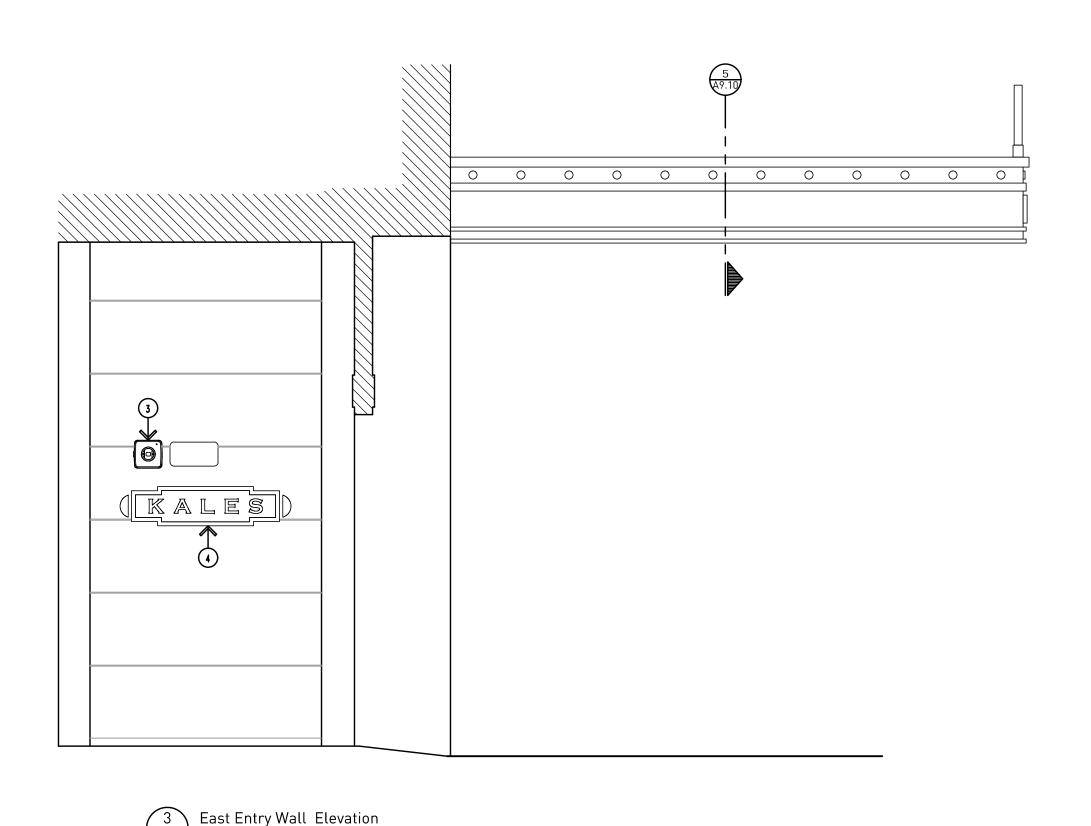


Exterior Remodeling

A2.10

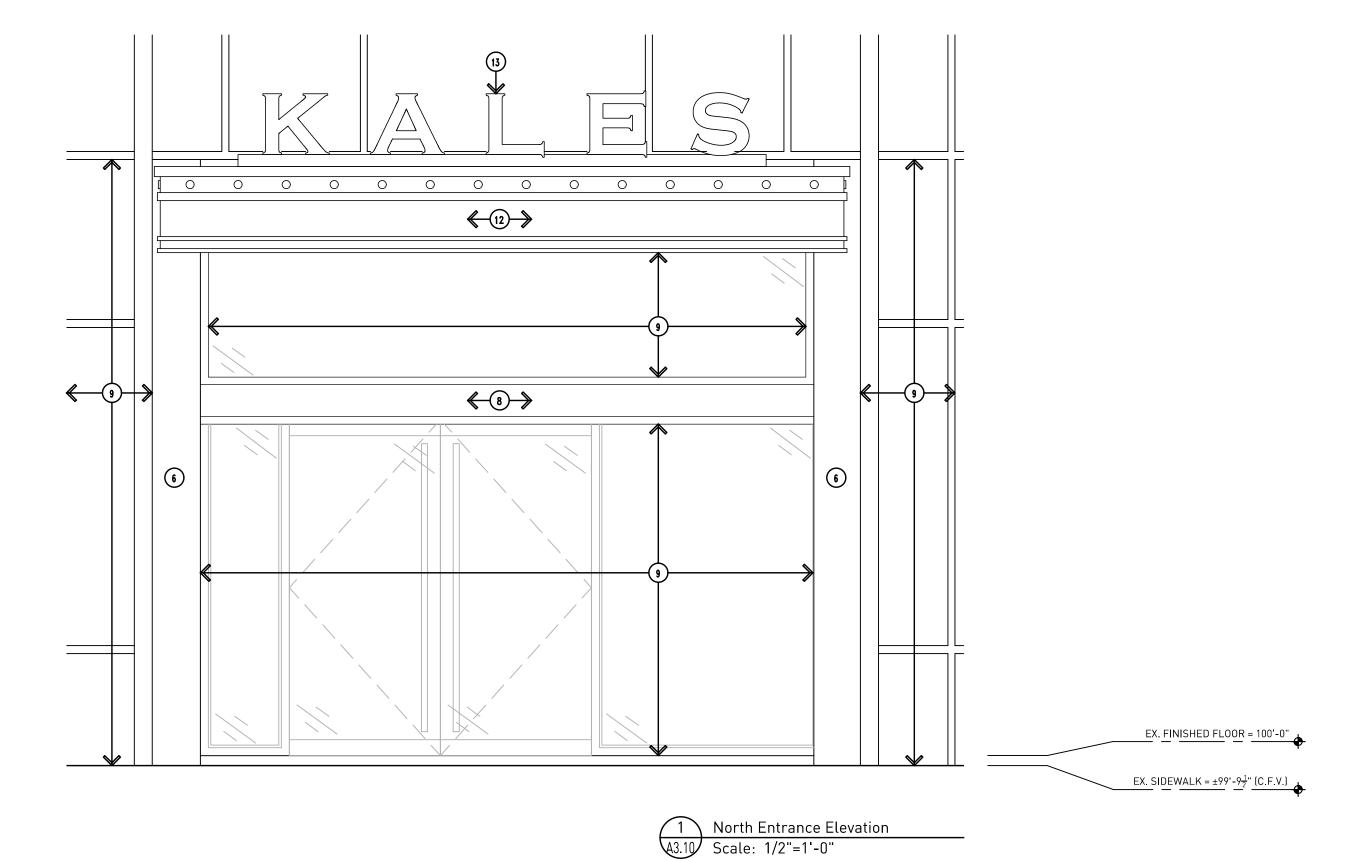


Docusign Envelope ID: 9F410F54-FA3D-458A-9C28-D7599874C281



\(\A3.10\) Scale: 1/2"=1'-0"

NOTE: REFER TO ELEVATION 2/A3.10 FOR TYPICAL NOTES



#### **GENERAL NOTES:**

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
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- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
  - OONEODM TO ALL MICHIGAN BARRIER EDGE RECHIREMENTS
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

#### DRAWING NOTES:

- 1. WALL MOUNTED 'NICHIHA' PANELS TO BE INSTALLED OVER EXISTING WALL TILE.
  CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER
  MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS
  - RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
  - RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO
  - ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.

    BUILDING SIGNAGE FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. EXACT
- SIZE AND FORMAT OF SIGNAGE T.B.D.

  5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- DADI/ DDONZE ALLIMINIUM OLADDINO TO WDAD EVIC

FINISHED ELEVATION OF EXISTING TILE EXACTLY.

- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILLARS.
- 7. EXISTING BUILDING STRUCTURE E.C.U.
- 8. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING STRUCTURE.
- 9. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 10. EXISTING MARBLE WALL BASE.
- 1. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH
- 12. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.
- 13. 15"H DARK BRONZE ALUMINUM LOGO LETTERS FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. LETTERS TO BE CHANNEL SET AND BACK LIT WITH INTEGRATED LED LIGHTING. ELECTRICIAN TO PROVIDE POWER SOURCE FOR LETTERS. COORDINATE WITH OWNER'S SIGN VENDOR.
- 14. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.



Bidding and Permits: 12 May 2025

### **Exterior Elevations**



The Kales Grand Circus Park LLC The Kales Building Exterior Remodeling

A3.10

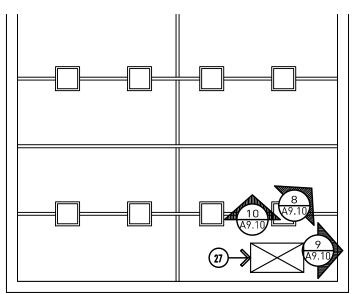




10 Existing Canopy Construction 'C'
A9.10 No Scale





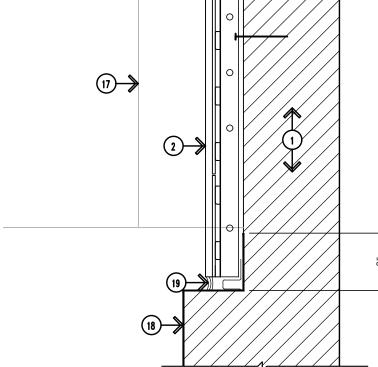


9 Existing Canopy Construction 'B' A9.10 No Scale

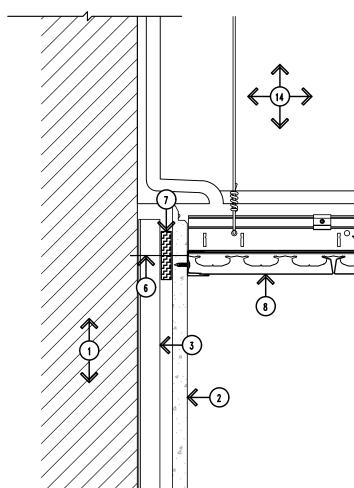
(TYPICAL RIVET SPACING)

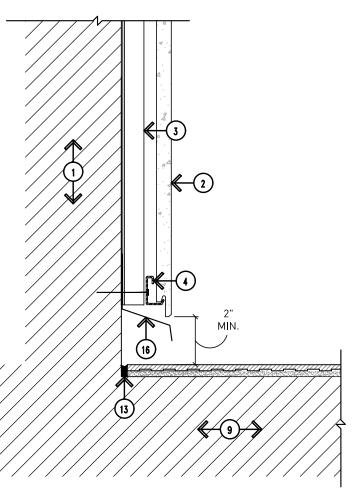
8 Exsiting Canopy Construction 'A'

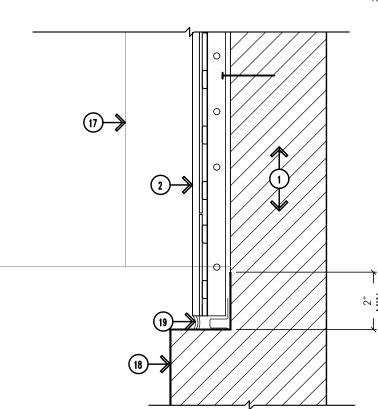
\ Photo Key Plan NOTE: UNDERSIDE OF EXISTING CANOPY IS SHOWN FOR

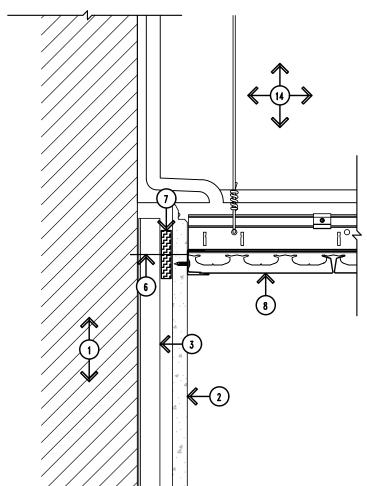


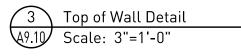
4 Break Metal Wall Wrap Detail

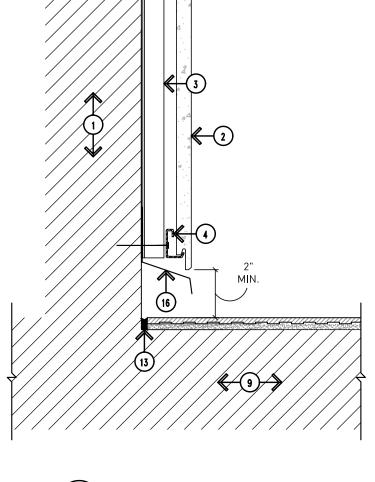












Bottom of Wall Detail
A9.10 Scale: 3"=1'-0"



- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
  - G2. PROVIDE NON-COM WOOD BLOCKING WHETHER PARTICULARLY NOTED OR NOT.
  - G3. CONSTRUCTION OF EXISTING CANOPY STRUCTURE IS UNKNOWN. DETAIL IS SHOWN FOR REFERENCE PURPOSES. CONTRACTOR TO FIELD VERIFY EXISTING CONSTRUCTION PRIOR TO FABRICATING NEW CANOPY FACADE.

#### DRAWING NOTES:

- 1. EXISTING WALL CONSTRUCTION E.C.U. (C.F.V.)
- 2. WALL MOUNTED 'NICHIHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR -'MOCHA'. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD.
- 3. 18 GAUGE,  $\frac{3}{4}$ " METAL HAT CHANNEL @ 16" O.C. SPACING.
- 4. 'NICHIHA' STARTER TRACK. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION
- 5. 'NICHIHA' CLIP WITH FASTENER APPLIED TO VERTICAL FURRING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 6. 'NICHIHA' FACE FASTENER AS SUGGESTED BY MANUFACTURER'S INSTALLATION
- INSTRUCTIONS.
- 7. SPACER SIZE AS INDICATED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE

ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.

- 10. TILE MORTAR / ADHESIVE.

EXISTING CONCRETE SLAB - ECU (C.F.V.).

BOND COAT.

U/S 0F CEILING = ±110'-6"

2

Exterior Wall Section at Entrance

A9.10 Scale: 1 1/2"=1'-0"

- 12. PORCELAIN TILE
- 13. CONTRACTOR TO INSTALL EXTERIOR RATED FLEXIBLE SEALANT WITH COMPRESSIBLE BACK-UP AS REQUIRED IN ALL JOINTS ABUTTING A PERIMETER WALL. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- 14. EXISTING BUILDING / CANOPY STRUCTURE ECU (C.F.V.).
- 15. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED. PROFILE IS FOR DESIGN INTENT.
- 16. 'NICHIHA' ESSENTIAL STARTER FLASHING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 17. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- 18. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- 19. CONTRACTOR TO INSTALL EXTERIOR RATED SEALANT OVER 'NICHIHA' SINGLE FLANGE SEALANT
- BACKER. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS. 20. EXISTING STRUCTURAL CHANNEL- E.C.U. (C.F.V.)
- 21. 2 X 6 WOOD BLOCKING AS NEEDED FOR NEW CANOPY FACADE.
- 22. EXISTING METAL ROOF DECK E.C.U. (C.F.V.)
- 23. EXISTING INSULATION E.C.U. (C.F.V.)
- 24. EXISTING ROOFING MATERIAL E.C.U. (C.F.V.) TIE IN AS REQUIRED DUE TO NEW BLOCKING, ETC.
- 25. EXTERIOR RATED SEALANT WITH FOAM BACKER ROD. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- 26. CONCEALED CONTINUOUS CLEAT (NO EXPOSED EDGES)
- 27. PORTION OF EXISTING CANOPY REMOVED TO EVALUATE EXISTING STRUCTURE.



Bidding and Permits: 12 May 2025

Exterior Wall Panel and Canopy Details



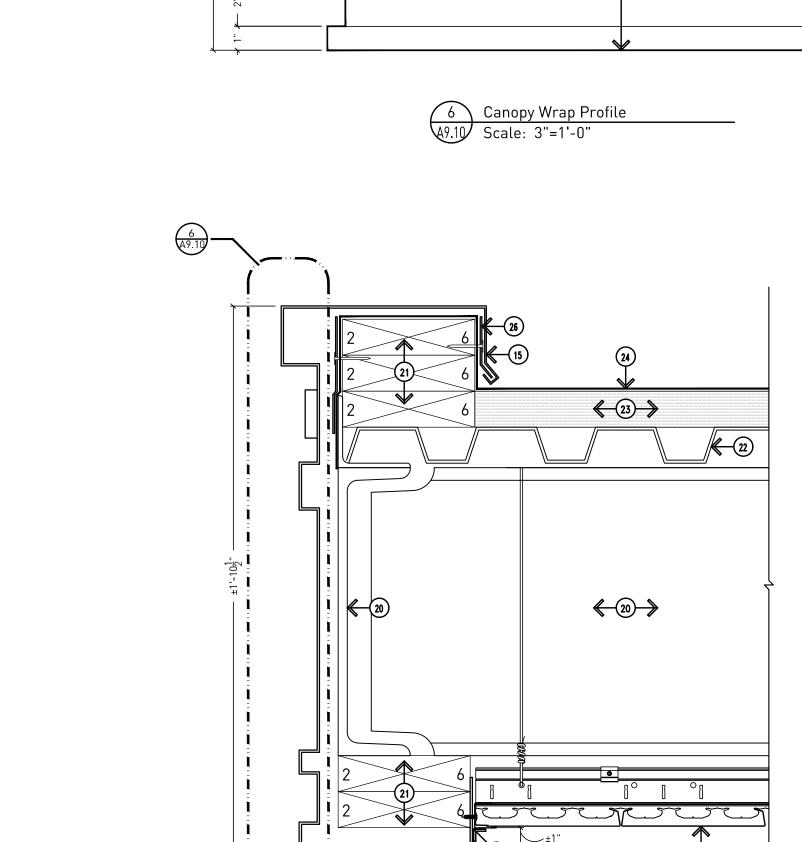
The Kales Grand Circus Park LLC The Kales Building Exterior Remodeling

Project No. 4824

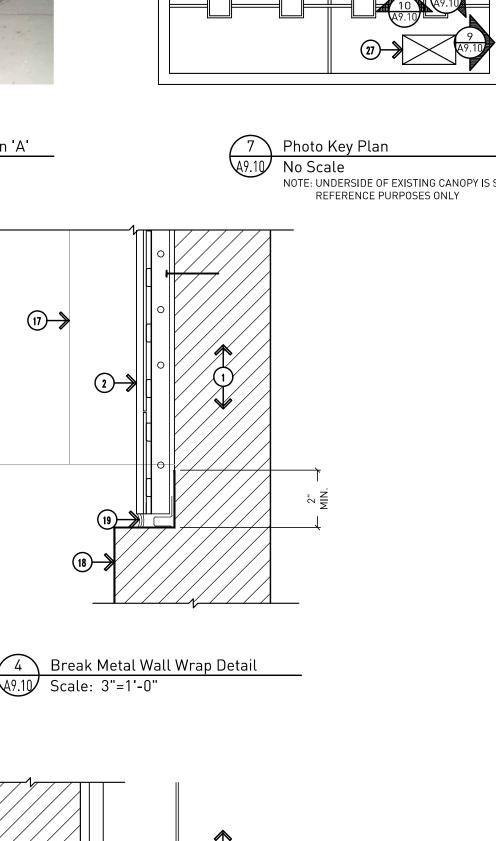
\_\_EXISTING FINISH ELEVATION (VARIES)

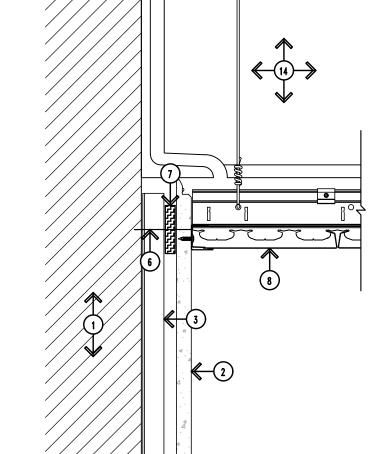
A9.10

801 W. Big Beaver Road, Suite 250, Troy MI 48084 | 248.244.9710



5 Canopy Section - Assumed (E.C.U. - C.F.V.) A9.10 Scale: 3"=1'-0"















# The Kales Grand Circus Park LLC The Kales Building 76 W. Adams Avenue Detroit, MI 48226 Exterior Remodeling

DTN Management Company 2502 Lake Lansing Road Lansing, MI 48912

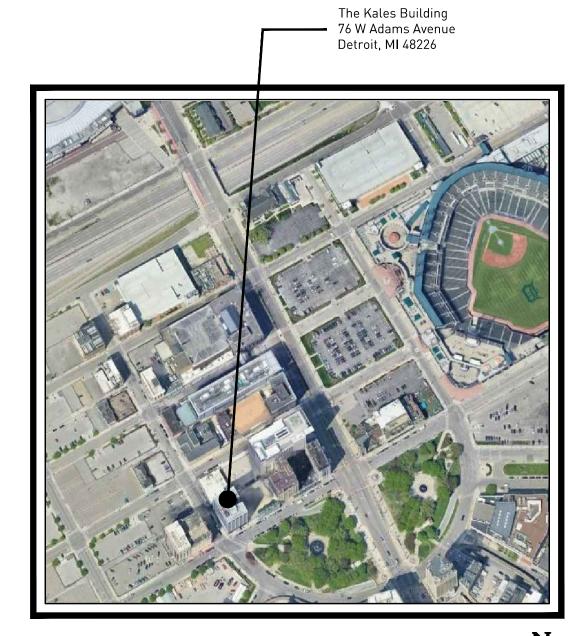
Contact Name: Andrew Kraft, Director of Facilities

Contact Phone: 517.371.5300

**ARCHITECT:** 







# LOCATION PLAN



2017 EDITION

# **APPLICABLE CODES:**

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS: 2015 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES): 2023 EDITION
ASHRAE 90.1-2013:
LIFE SAFETY CODE 101: 2012 EDITION
FEDERAL ADA LAW: CURRENT ED.

ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):

# **USE GROUP:**

R-2 RESIDENTIAL

NOT TO SCALE

## **CONSTRUCTION TYPE:**

TYPE IIIB (ASSUMED) , SPRINKLED

## LIST OF DRAWINGS

#### ARCHITECTURAL DRAWINGS:

A0.00 GENERAL INFORMATION
A1.10 REMOVALS PLANS

.2.10 FLOOR AND REFLECTED CEILING PLANS
.3.00 PARTIAL EXTERIOR ELEVATIONS
.9.10 EXTERIOR CANOPY DETAILS

## **DEFERRED SUBMITTALS:**

PER SECTION 107.3.4.1, ANY REQUIRED SUBMITTALS WILL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ASSUMING THE DUTIES OF CONSTRUCTION SUPERVISION AT THE APPROPRIATE TIME.

#### DEFERRED SUBMITTALS:

1. FIRE SUPPRESSION SYSTEMS

FIRE ALARM SYSTEMS
 ELECTRICAL REVISIONS (DESIGN/BUILD BY CONTRACTOR)

Bidding and Permits: 12 May 2025

Title Sheet



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

IIL

801 W. Big Beaver Road, Suite 250, Troy MI 48084 | 248.244.9710 © Ehresman Architects 2025

**PLUMBING** 

FIXTURES & ACCESSORIES BARRIER FREE

SHOWER

WALL MOUNTED

WASH FOUNTAIN

WALL MOUNTED

WASH FOUNTAIN

DRINKING FOUNTAIN

SPOUT LOCATION

KNEE CLEARANCE

TOE CLEARANCE

#### **ABBREVIATIONS** C (CONTINUED): D (CONTINUED): F (CONTINUED): H (CONTINUED): P (CONTINUED): S (CONTINUED): масн. WAINS. MACHINE WAINSCOT CAST IRON FIRE DAMPER HOUR PORC. PORCELAIN CATCH BASIN DOOR OPENING FIRE EXTINGUISHER HYDRANT M.A.U. MAKE-UP AIR UNIT PORCELAIN ENAMEL W.C.O WALL CLEANOUT ABOVE FINISH FLOOR PORC ENAM SPACE M.D.P. F.E.C. FIRE EXTINGUISHER CABINET MAIN DISTRIBUTION PANEL WALL HYDRANT CEILING DR. OP DOOR OPERATOR SPEAKER ACCESS M.S.B MAIN SWITCH BOARD CLG. HT. CEILING HEIGHT FLASH POUNDS PER LINEAR FOOT SPECIFICATIONS WALL VENT FLASHING DOUBLE ACC. PNI ACCESS PANEL MAINT MAINTENANCE WASH FOUNTAIN ACOUSTICAL CEILING TILE D.H. F.C. FLEXIBLE CONNECTION POUNDS PER SQUARE FOOT DOUBLE HUNG SQUARE M.H. SQUARE FFFT CEMENT PLASTER MANHOLE ADDENDUM CEM. PLAS DOWEL FLR POUNDS PER SQUARE INCH WASTE INSIDE DIMENSION F.C.O. MFR. CENTER FLOOR CLEANOU MANUFACTURER POUNDS PER CUBIC FOOT STAINLESS STEE WATER CLOSET ADDITION INCAND. INCANDESCENT DOWNSPOUT FLOOR DRAIN MAR. MARRIF POWER PANEL STANDARD WATER HEATER ADJACENT CENTER LINE IN. OR " INCH(ES) FLR. FIN FLOOR FINISH M.O. MASONRY OPENING PRECAST WATERPROOF AIR CONDITIONING INCLUDE/INCLUDING CERAMIC DRAIN TILE MAX. MAXIMUM WEIGHT FLUOR. FLUORESCENT STEEL AIR CONDITIONING COMPRESSOR PREFA PREFABRICATE ACCINDIRECT WASTER CERAMIC TILE WELDED WIRE FABRI DRAIN TILE CONNECTOR FTG MECHANICAL STOR STORAGE A.C.C.U. AIR COOLED CONDENSING UNIT FOOTING PREFINISHED INFORMATION CHALKBOARD NED. MEDIUM FDN FOUNDATION AIR HANDLING UNIT DRAWER PRESSURE TREATED STREET INSTALL/INSTALLATION CHAN. OR CHANNEL INST'L МЕМВ. MEMBRANE WIDE/WIDTH STRUCT. DRAWING FRAME PRESSURE GAUGE STRUCTURA CHILLED WATER RETURN INSULATE/INSULATION MET. PRESSURE REDUCING VALVE DRINKING FOUNTAIN FRMG FRAMING METAL SUSPEND(ED) W.B. WALL BASE ALTERNATE CHILLED WATER SUPPLY INTERIOR M.D.S. METAL DIVIDER STRIP DUPLICATE FRZR. FREEZER SWBD WINDOW OPENING SWITCHBOARD ALUM./AL ALUMINUM CIRCUM. CIRCUMFERENCE INTER. INTERMEDIATE **FURNISH** M.E. METAL EDGE PROJECT/PROJECTION SWGR WIRE MESH SWITCHGEAR ANCH. ANCHOR CR. BRK. CIRCUIT BREAKER INVERT FURR. METAL LATH SYM. ANCHOR BOL PROP. PROPERTY/PROPOSED SYMBOL CLASSROOM INVERT ELEVATION M.L.&PLAS METAL LATH & PLASTER FUTURE WITHOUT PROPERTY LINE SYS. SYSTEM CLEANOUT MARBLE THRESHOLD EACH PUBLIC ADDRESS WOOD ANG./L OR Z ANGLE CLEAR MEZZ. MEZZANINE ANOD. EACH FACE PURSE SHELF WORKING POINT ANODIZED CLOSER MDOT MICHIGAN DEPARTMENT OF TRANSPORTATION EACH WAY **PUSH BUTTON** APARTMENT COLD WATER JANITOR CLOSET MIN. MISC. MINIMUM T.BD APPR TACKBOARD APPROVED COLUMN JOINT MISCELLANEOUS EXTERIOR INSULATION FINISH SYSTEM E.I.F.S. GALV. GALVANIZED APPROX APPROXIMATE COMPANY TECH TECHNICAL JOIST MTD MOUNTED ARCHITECT/ARCHITECTURAL ELAST. ELASTOMETRIC TELEPHONE COMPRESSED AIR JUNCTION BOX MTG MEETING ELEC. ELECTRIC/ELECTRICAL GASKET **TELEVISION** YIELD POINT AUTOMATIC TELLER MACHINE CONC. QUANTITY CONCRETE ELEC. CAB. ELECTRICAL CABINET GATE VALVE AND BOX YIELD STRENGTH **TEMPORARY** CONCRETE MASONRY UNITS QUARRY TILE ASPHALT C.M.U. **GUARD RAIL** TERR. ELECTRICAL CONTRACTOR **TERRAZZO** YEAR ASSY. ASSEMBLY CWR **COLD WATER RETURN** QTR QUARTER GENERAL ELECTRICAL PANEL THERMOSTAT CWS COLD WATER SUPPLY QTR.RD. QUARTER ROUND KICKPLATE NOISE REDUCTION COEFFICIENT GLASS/GLAZING AUTO. AUTOMATIC E.W.C. ELECTRIC WATER PANEL THROUGH KILOVOLT NOM. G.H.T. GLAZED HARD TILE AUXILIARY CONF. ELEC. OPER. ELECTRICALLY OPERATED TONGUE AND GROOV CONFERENCE KILOVOLT AMPERE AVERAGE CONST. CONSTRUCTION **ELEVATION** GRAB BAR TOP AND BOTTOM ZINC KW KILOWATT N.I.C NOT IN CONTRACT ELEV. **ELEVATOR** GRANITE TOP OF CURB CONTROL JOINT KIP (1000#) N.T.S. NOT TO SCALE GREASE TRAP EMERG. **EMERGENCY** TOP OF FOOTING CONTINUE/CONTINUOUS RAD. OR R. RADIUS KITCHEN NO. OR # NUMBER ENCL. **ENCLOSURE** CONTR. CONTRACTOR ROOF CONDUCTOR TOP OF GUTTER KNOCKDOWN GROUND FAULT INTERRUPTER G.F.I. ENGR ENGINEER BACK TO BACK **CONTROL PANEL** TRFR TRANSFORMER RAILROAD KNOCK OUT PANEL ENTR. ENTRANCE BACK FLOW PREVENTER CONVECTOR REFER/REFERENCE GYPSUM CRS. TRENCH DRAIN BACK DRAFT DAMPER COURSE B.D.D REFL. REFLECT(ED) ETHYLENE PROPYLENE DIENE MONOMER GYP. BD. EPDM. GYPSUM BOARD **OBSCURE** TYPICAL BARRIER EREE COVER REFRIGERATOR ON CENTER COVER PLATE BASE BOARD RADIATION COV. PL REINF. REINFORCE(MENT) EQUIPMENT BASE PLATE CU. FT CUBIT FEET/CUBIC FOOT REQ'D LABORATORY REQUIRED EQUIV. EQUIVALENT CONTRACTOR FIELD VERIFY BASEMENT RETURN AIR LADDER OPER. **ESCALATOR** OPERATOR CULV CULVERT HANDICAPPED UNDERCUT REVISED/REVISION LAG BOLT OPP. OPPOSITE ESTIMATE HANDRAIL BACK OF CURB CYLINDER UNDERGROUND **REVOLUTIONS PER MINUTE** LAMINATE/LAMINATED ORN. ORNAMENTAL EXCAVATED **HARDWARE** UNDERWRITER'S LABORATORY BEARING CYCLE(S) RIGHT HAND LANDING EXHAUST OUNCE HDWD. HARDWOOD BENCHMARK CIRCUM. CIRCUMFERENCE UNFIN. UNFINISHED R.O.W. RIGHT OF WAY LARGE EXHAUST FAN OUTSIDE AIR HEAD UNIT HEATER ROAD LAUNDRY EXISTING OUTSIDE DIAMETER HEADER BETW. BETWEEN UNIT VENTILATOR U.V. ROOF LAVATORY EXISTING CONDITIONS UNKNOWN HTR HEATER U.N.O. UNLESS NOTED OTHERWISE ROOF DRAIN LEFT HAND OVERHEAD HEATING AND VENTILATING EXISTING TO REMAIN BITUMINOUS ROOF SUMP DAMPER HEATING, VENTILATING & AIR CONDITIONING LIGHT OR L LENGTH 0.F. OVERFLOW FXPANSION BLACK IRON ROOFTOP UNIT DMPG DAMPPROOFING EXPANSION JOINT HEATING HOT WATER RETURN BL OCK DEAD LOAD LIGT EXPOSED HHWS HEATING HOT WATER SUPPLY BLKG BLOCKING **ROUGH OPENING DECIBEL** LIGHTING EXT'N EXTENSION VARIABLE RUBBER BASE LIGHTING PANEL PTD PAINTED EXTERIOR HEXAGON BOILER VARN. DEMOUNTABLE PARTITION VARNISH LIMESTONE E.H. EXTRA HEAVY PATCH AND REPAIR **BOOK SHELVES** VENEER DEPARTMENT LINTFL EXTR. EXTRUDED H.I.D. HIGH INTENSITY DISCHARGE PNL P.T.D. DEPR. DEPRESSED LINEAR FOOT/FEET PAPER TOWEL DISPENSER HIGH POINT BOTTOM ELEVATION BOT. EI VENT THRU ROOF DESIGN SANITARY HIGH PRESSURE PKG BOUL FVARD VERIFY IN FIELD SANITARY NAPKIN DISPENSER DETAIL LIVE LOAD P.BD. PARTICLE BOARD HIGH STRENGTH BDRY BOUNDARY V.M. VERIFY WITH MANUFACTURER D.E.C. **DETROIT EDISON COMPANY** LOCATION S.N.R. SANITARY NAPKIN RECEPTACLE PASS. FABRICATED HIGH VOLTAGE BRKT BRACKET VERSUS SCHED. **SCHEDULE** PVMT PAVEMENT BRITISH TERMINAL UNIT F.FIN. FACTORY FINISH HIGHWAY VERTICAL/VERTICALLY VERT DIA. OR Ø DIAMETER LONG LEG HORIZONTAL SEATING PED HOLLOW CORF PEDESTAL FASTENER BUILDING VEST. VESTIBULE DIFFUSER SECTION LONG LEG VERTICAL PERF. FT OR' FOOT OR FEET HOLLOW METAL PERFORATED B.U.R. BUILT UP ROOFING VINYL COMPOSITION TILE DIMENSION SERV. SERVICE PLAS. FEET PER MINUTE PLASTER BUZZER V.R.S. VINYL REDUCER STRIP DIRECTION LOUVER OPENING SHEET HORIZONAL P.LAM. PLASTIC LAMINATE VITREOUS DISCONNECT SHWR SHOWER LOW POINT FIELD VERIFY HORSEPOWER VOL. VOLUME DISHWASHER SIMII AR LOW PRESSURE PLBG PLUMBING HOSE BIB FIGURE H.B. **VOLTS** DISPENSER SOAP DISPENSER LBS. OR # POUNDS PLWD PLYW00D HOT WATER FINISH/FINISHED H.W. DISTANCE SOLID CORE POINT FIN. FLR/ F.F. FINISHED FLOOR H.W.H. HOT WATER HEATER CAPACITY DISTRIBUTION PANEL SOUND TRANSMISSION CLASS HWR HOT WATER RETURN POL. POLISH(ED) FIRE ALARM F.A. DIVIDER/DIVISION HOT WATER SUPPLY POLYVINYLCHLORIDE TYPICAL MOUNTING HEIGHTS MISCELLANEOUS ACCESSORIES, TOILET ACCESSORIES AND FIXTURES NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE MIRROR SIZE AS SPECIFIED OR NOTED NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS) **→ IIIII ----**LAV TOILET ROOM ACCESSORIES SOAP SOAP DISH DISPENSER TOWEL WASTE FULL LENGTH MIRROR, MIRROR AND BARRIER FREE HOOKS FACIAL TISSUE HANDRAIL SANITARY SANITARY SHOWER NAPKIN NAPKIN COVER DISPENSER DISPENSER RECEPTACLE MIRROR AND MIRROR AND VANITY COUNTER CHANGING (ABOVE) BAR OR DISPENSER DRYER DRYER CURTAIN BAR AND STATION PURSE BARRIER FREE SHELF OR DISPENSER DISPOSAL DISPENSER DISPENSER AND WASTE ROD SHELF MULTIPURPOSE WALL SLOT RECEPTACLE TILTED MIRROR MIRROR (BELOW) -BACKSPLASH SIZE AS NOTED 48" A.F.F. MAXIMUM \_\_\_\_\_\_ ◆ 48" A.F.F. MAXIMUM CONTROLS KNOB OR 15" A.F.F. MINIMUM LEVER (B.F.) SENIOR HOUSING GENERAL ELECTRICAL COAT ROD AND HAT WALL MOUNTED OR FIRE EXTINGUISHER FIRE EXTINGUISHER AND WALL CABINET CHALKBOARD OR BASE AND UPPER DOOR HARDWARE LIGHT FIRE ALARM B.F. ELECTRIC ITEMS THERMOSTAT ELEVATOR ELECTRIC DUPLEX, CLOCK WALL ELECTRIC EMERGENCY TELEPHONE WALL BRACKET SHELF (ABOVE) **TACKBOARD** WALL CABINETS SWITCH PULL BOX PUSH TELEPHONE, OR T.V. SPEAKER OR PANEL (B.F. FRONT APPROACH) (ABOVE) BUTTONS OUTLET WITH PLAQUE BOOT RACK (BELOW) LIGHT SWITCH **DUPLEX OUTLET** (B.F./STANDARD HT) 59" MIN. LENGTH (BELOW) @ B.F. BATHTUB AND CONTROLS HOSE WITH HAND HELD OR ADJUSTABLE SPRAY UNIT ON BAR LINE OF WALL —I INF OF WALL LINE OF WALL LINE OF WALL ---LINE OF WALL ---LINE OF WALL OR PARTITION OR PARTITION -LINE OF WALL ELECTRICAL OUTLET ←B.F. CONTROLS ARE (SEE NOTE BELOW) -GRAB BAR MOUNTED WITHIN THIS AREA POSITION LINE OF WALL C.O. COVER LINE OF WALL BASE PLUMBING T.P. BELOW GB BARRIER FREE MOP STRIP BARRIER FREE URINAL **FIXTURES** BARRIER FREE BARRIER FREE STANDARD SHOWER HEAD BARRIER FREE WALL C.O. LAVATORY VANITY **└**OBSTRUCTION WATER CLOSET TOILET PAPER SHOWER SEAT AND SHELF URINAL URINAL AND VALVES HAND HELD & ACCESSORIES NOTE: ANY ELECTRICAL OUTLET OFFSET VALVES SHOWER HEAD NEAR SINKS IN B.F. TOILET ROOMS TO BE MOUNTED 33" OR 36" A.F.F. TO **Q** LINE OF WALL

REFERENCE SYMBOLS DETAIL IDENTIFICATION DETAIL IDENTIFICATION NUMBER (NUMBER ON SHEET WHERE DRAWN OR REFERENCED) 1● Netail Title SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE DETAIL IS DRAWN) DETAIL LOCATION INDICATION DETAIL IDENTIFICATION NUMBER 1 PLAN SECTIONS SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE DETAIL IS DRAWN) DETAIL LOCATION INDICATION FOR ENLARGED PLANS DETAIL IDENTIFICATION NUMBER SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE ENLARGED PLAN IS DRAWN) SECTION IDENTIFICATION SECTION IDENTIFICATION NUMBER (NUMBER ON SHEET WHERE DRAWN OR REFERENCED) 1 Section Title 1/4"=1'-0" - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) SECTION LOCATION INDICATION - SECTION IDENTIFICATION NUMBER - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) ELEVATION IDENTIFICATION - ELEVATION IDENTIFICATION NUMBER (NUMBER ON SHEET WHERE DRAWN OR REFERENCED) 1**◆**\ Elevation Title 1/4"=1'-0" - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE ELEVATION IS DRAWN) ELEVATION INDICATION - SECTION IDENTIFICATION NUMBER INDICATES DIRECTION OF VIEW SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) MATCH LINE INDICATION — SHEET IDENTIFICATION NUMBER - SHEET IDENTIFICATION NUMBER (SHEET NUMBER WHERE SECTION IS DRAWN) DOOR INDICATION DOOR SWING INDICATION DOOR SWING INDICATION DOOR SWING INDICATION NEW DOOR EXISTING DOOR EXISTING DOOR TO TO REMAIN BE REMOVED DOOR IDENTIFICATION ROOM NAME AND NUMBER NAME 100 Α

Bidding and Permits: 12 May 2025

NORTH INDICATION

#### General Information

COLUMN INDICATION

COLUMN IDENTIFICATION LETTER

COLUMN IDENTIFICATION LETTER

OR NUMBER FOR EXISTING CONSTRUCTION

 $\Lambda$  OR NUMBER FOR NEW CONSTRUCTION

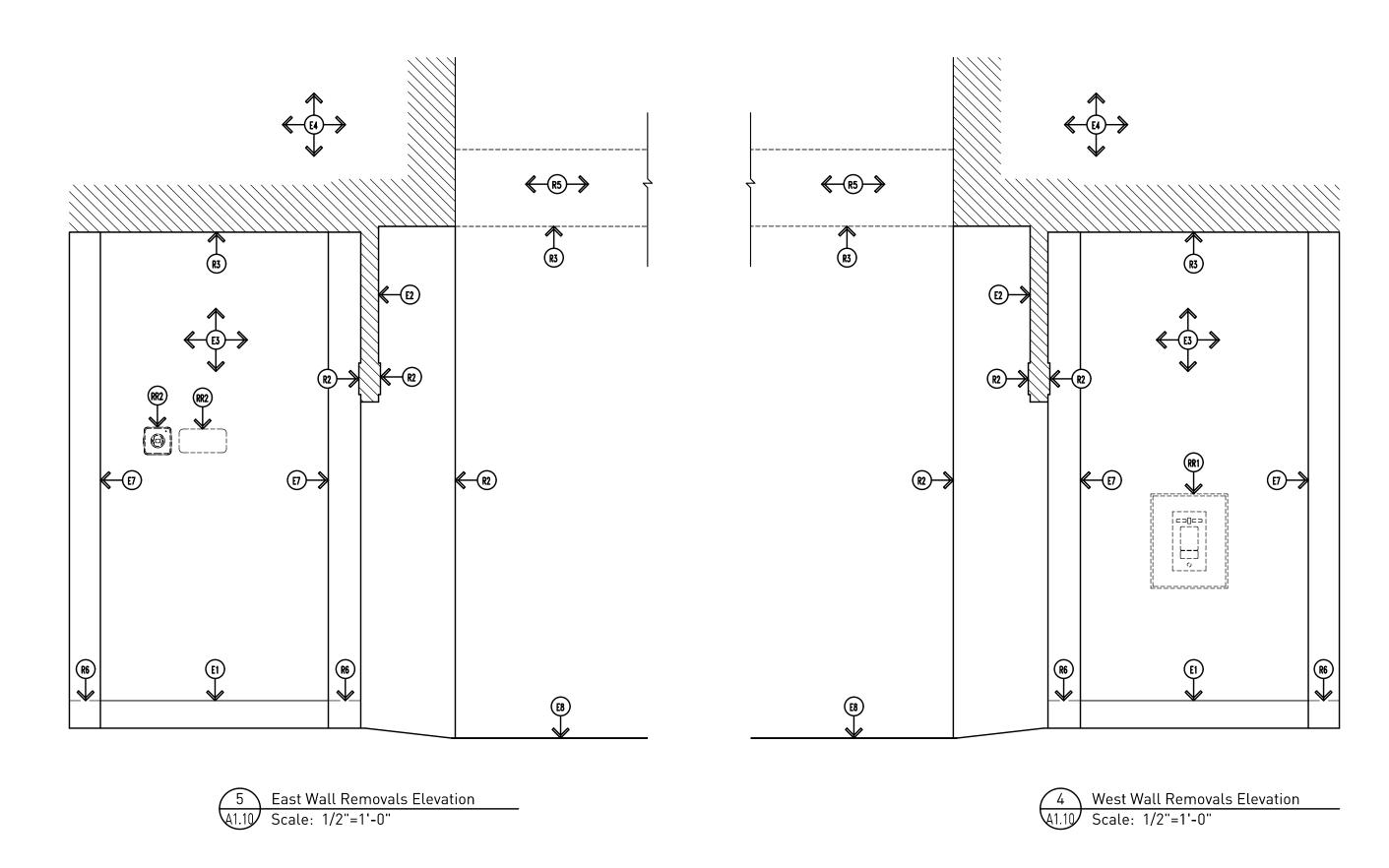


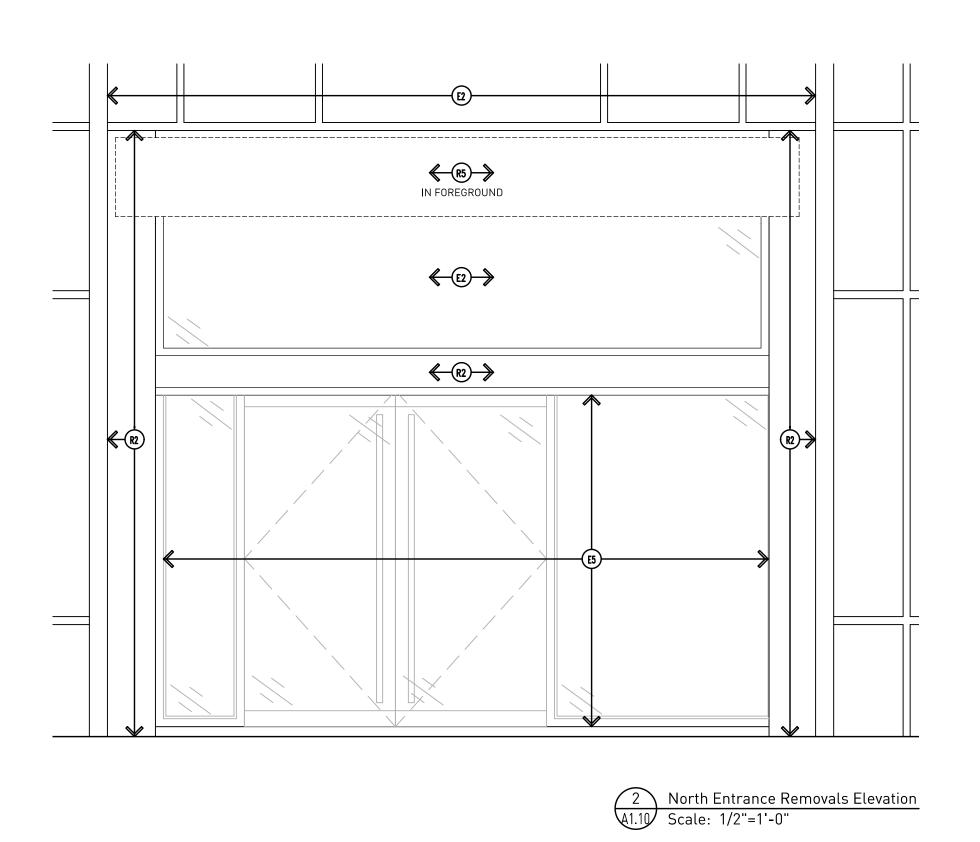
The Kales Grand Circus Park LLC The Kales Building

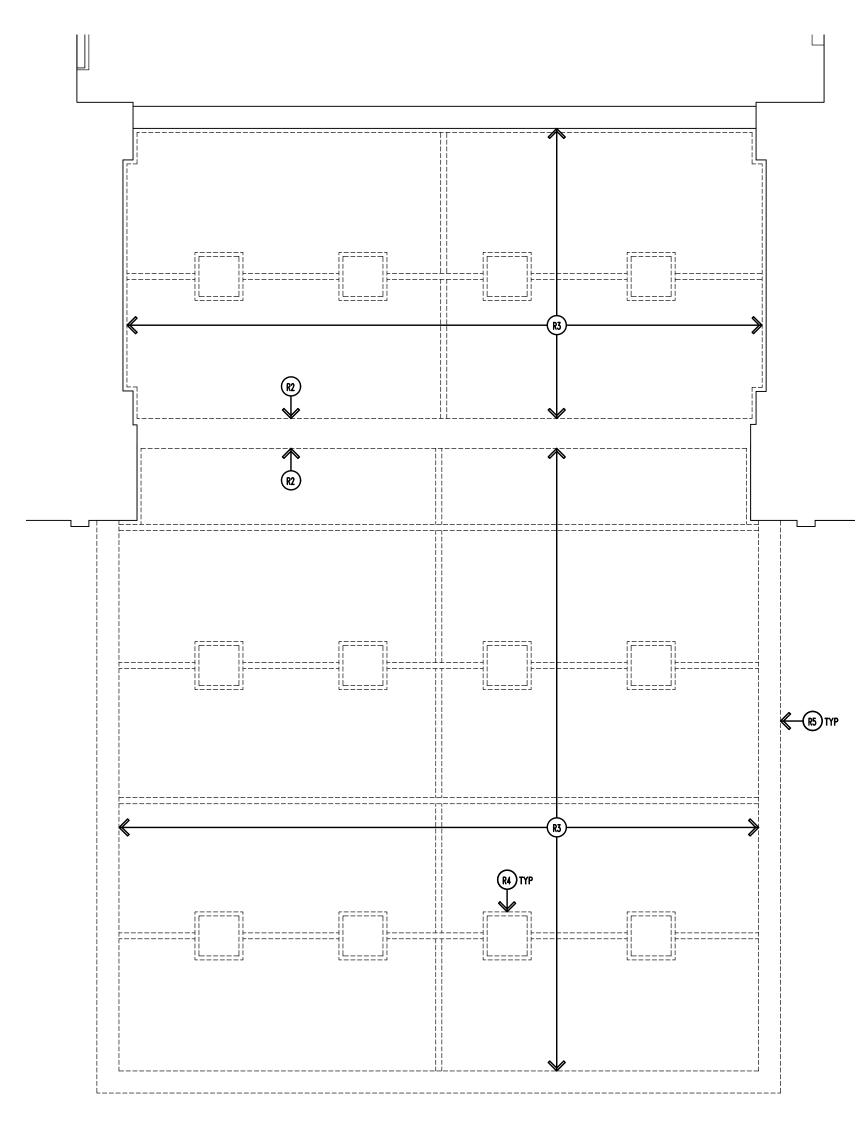
Project No. 4824

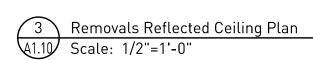
Exterior Remodeling

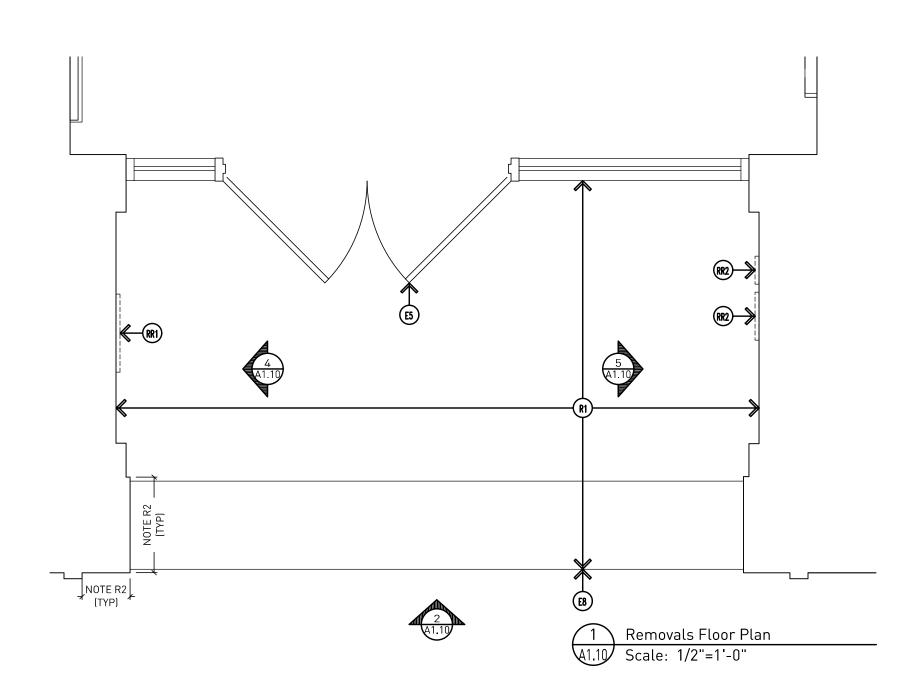
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#### **GENERAL NOTES:**

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- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK.
- G4. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. FINAL DUMPSTER LOCATION TO BE COORDINATED WITH OWNER REPRESENTATIVE PRIOR TO PLACING. CONTRACTOR TO PROVIDE PLYWOOD AND 2x UNDER ALL DUMPSTER WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. CONTRACTOR TO REPAIR ANY PAVING DAMAGED DUE TO CONSTRUCTION OPERATIONS.
- G7. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G8. COORDINATE TIMING OF REMOVAL WORK SO AS TO NOT CAUSE DISRUPTION TO NORMAL
- G9. CONTRACTOR TO RE-CONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, ETC. THAT ARE CONNECTED TO FIXTURES OR DEVICES THAT ARE NOT TO BE REMOVED.
- G10. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G11. PATCH, REPAIR AND FINISH WALL WHERE AREAS ARE DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- G12. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO
- NOT CAUSE DAMAGE.
- G13. CONTRACTOR'S OPTION TO REUSE ANY ABANDONED CONDUIT TO THE EXTENT POSSIBLE TO RUN NEW ELECTRICAL.
- G14. CEILING REMOVALS SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR'S MEANS AND METHODS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.)
- G15. CONTRACTOR TO PATCH/REPAIR ALL EXISTING WALLS, INCLUDING ANY VISIBLE CRACKS, FOR A LIKE NEW APPEARANCE PRIOR TO FINISHING.
- G16. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC AND ALL STATE AND LOCAL ELECTRICAL CODES.
- G17. CONTRACTOR MUST VERIFY EXISTING LOADS ON CIRCUITS AND PANELS. EXISTING ELECTRICAL PANEL(S) AND CIRCUITS ARE NOT TO BE OVERLOADED.

## **EXISTING TO REMAIN:**

- E1. MARBLE WALL BASE ON WALLS WITH EXISTING TILE TO REMAIN.
- E2. STOREFRONT FRAMING AND GLAZING
- E3. DECORATIVE WALL TILE
- E4. BUILDING STRUCTURE E.C.U.
- E5. STOREFRONT ENTRY SYSTEM
- E6. WINDOW GLAZING
- E7. LIMESTONE WALL PILASTER
- E8. CONCRETE SIDEWALK

#### REMOVE & REPLACE NOTES:

- RR1. EXISTING TENANT INTERCOM SYSTEM- ADJUST TO BE FLUSH WITH FACE OF NEW WALL
- RR2. EXISTING KNOX BOX & SIGNAGE ADJUST TO BE FLUSH WITH FACE OF NEW CONCRETE WALL PANELS.

## REMOVALS NOTES:

- R1. EXISTING TILE, MORTAR BED, ETC. PROPERLY PREPARE SUBSTRATE FOR NEW FINISHES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- R2. EXISTING BREAK METAL SURROUND. PROPERLY PREPARE SUBSTRATE TO RECEIVE NEW
- BREAK METAL. R3. EXISTING SUSPENDED PLASTIC CEILING PANELS AND ASSOCIATED SUSPENSION SYSTEM
- R4. EXISTING RECESSED LIGHT FIXTURE. REMOVE WIRING BACK TO SOURCE AND TERMINATE
- PER CODE REQUIREMENTS, UNLESS NEW FIXTURE IS TO BE INSTALLED IN SAME LOCATION. R5. EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY - E.C.U. (C.F.V.), CONTRACTOR TO CONSULT ARCHITECT IF ADDITIONAL DIRECTION FOR REMOVAL IS REQUIRED. STRUCTURAL CONSULTATION MAY BE REQUIRED BEFORE PROCEEDING.
- R6. EXISTING MARBLE WALL BASE ON LIMESTONE PILASTERS ONLY. PATCH PILASTER AS NEEDED FOR NEW ALUMINUM CLADDING.



Bidding and Permits: 12 May 2025

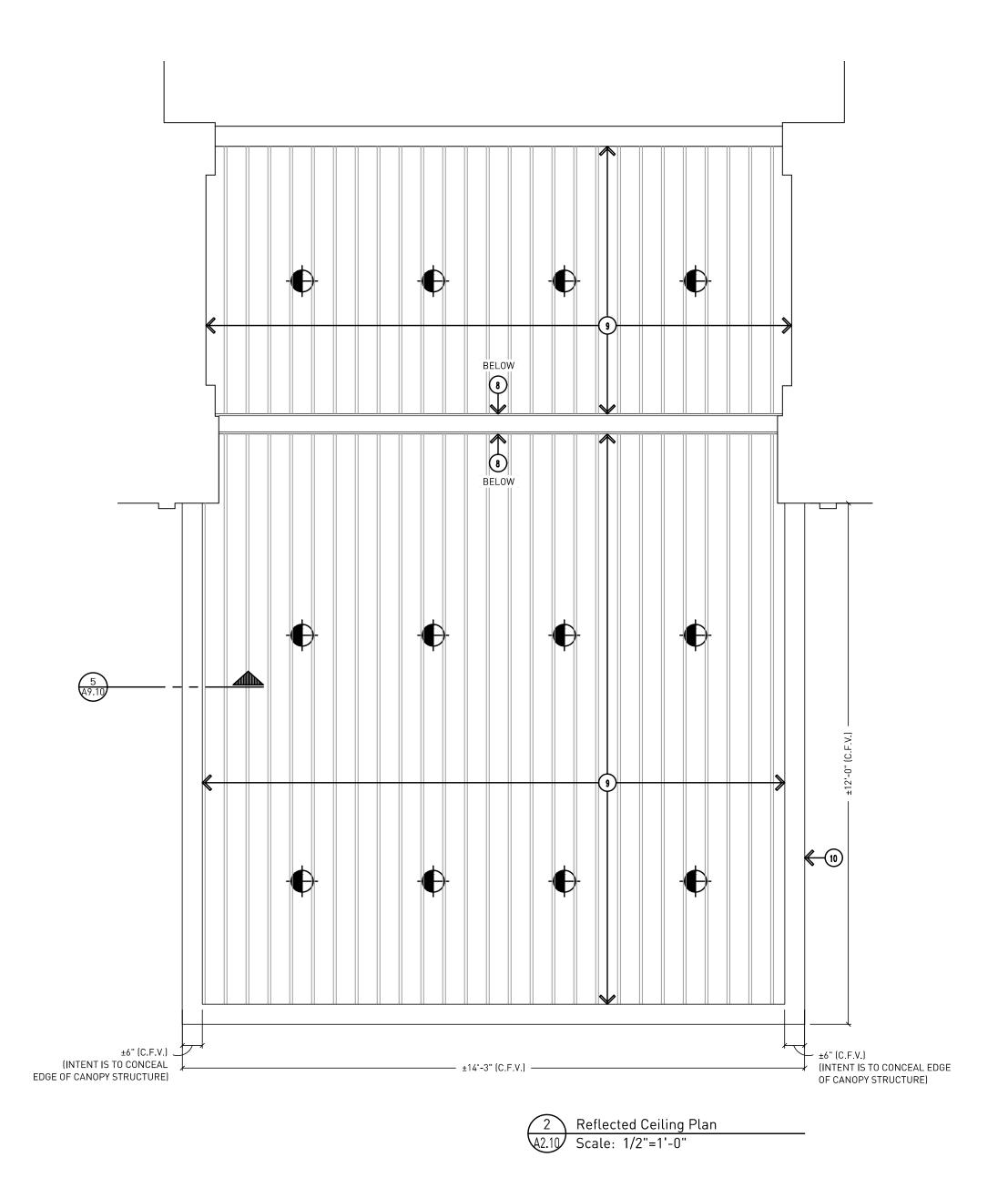
### Removals Plans

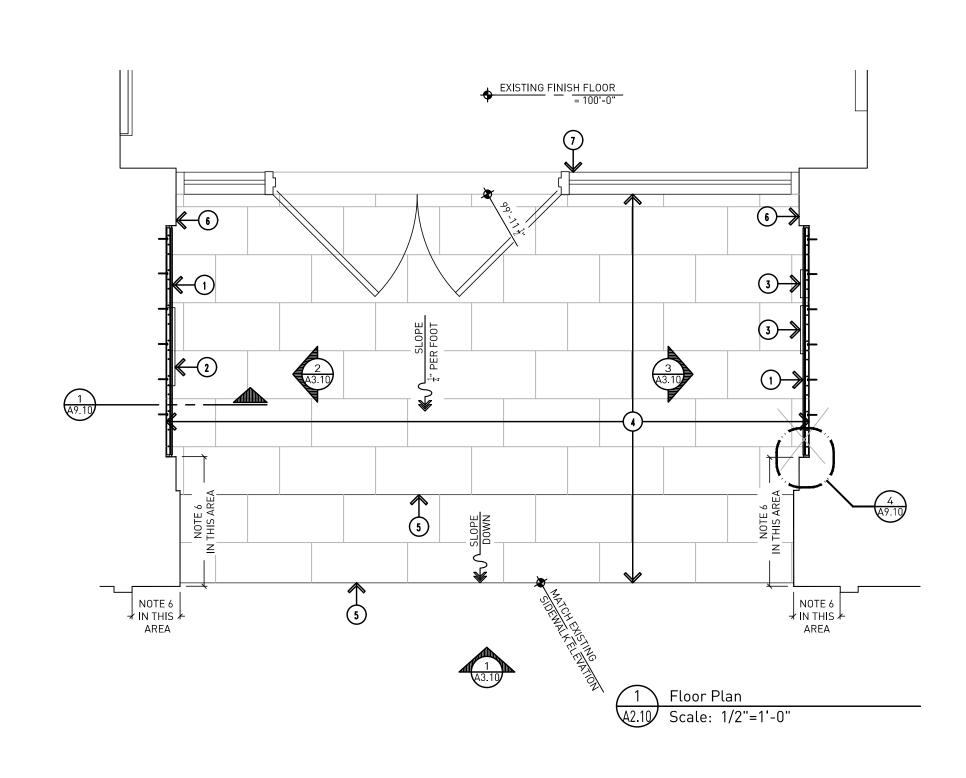


The Kales Grand Circus Park LLC The Kales Building

Exterior Remodeling

Project No. 4824





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- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

#### DRAWING NOTES:

- WALL MOUNTED 'NICHIHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR 'MOCHA', TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN (C.F.V.).
- RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO
- ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.

  4. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH
- FINISHED ELEVATION OF EXISTING TILE EXACTLY.

  5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- 7. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 8. EXISTING STRUCTURE TO BE WRAPPED WITH DARK BRONZE ALUMINUM CLADDING
- ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 10. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL EDGE OF CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.

#### LEGEND:

lack

EXTERIOR RATED LED RECESSED LIGHT FIXTURE INSTALLED IN SUSPENDED METAL CEILING SYSTEM.

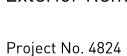


Bidding and Permits: 12 May 2025

## Floor and Reflected Ceiling Plans



The Kales Grand Circus Park LLC The Kales Building

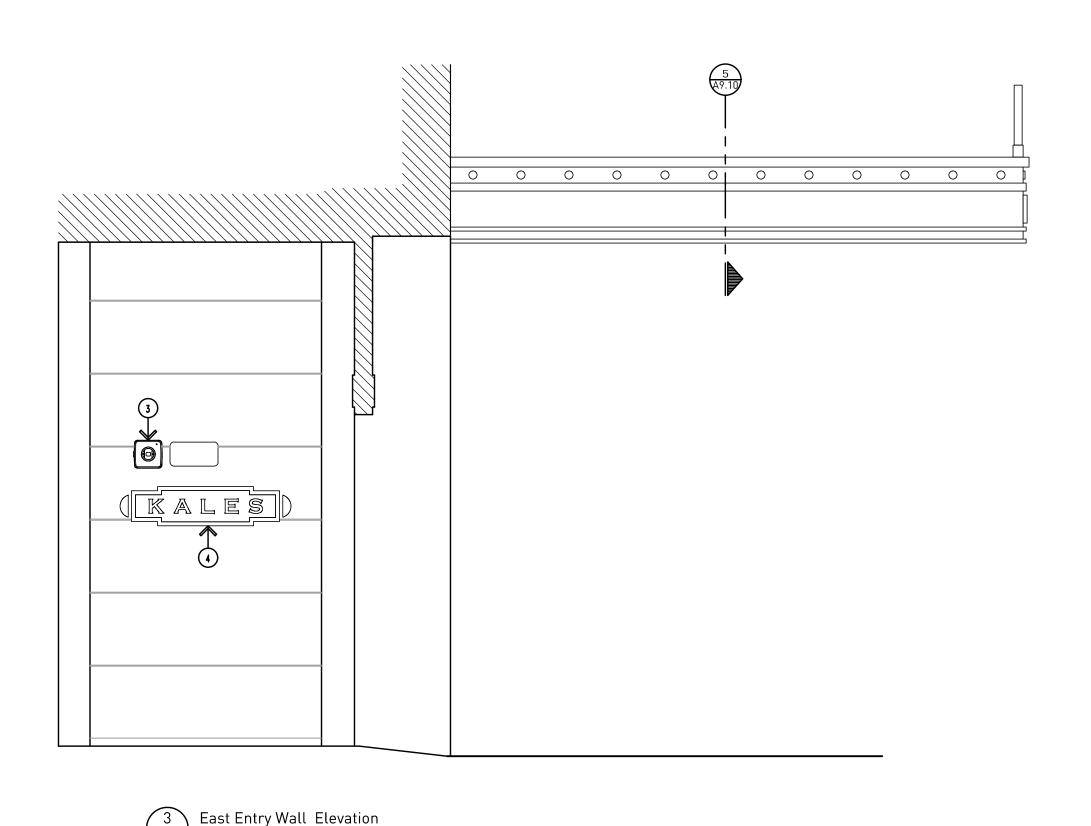


Exterior Remodeling

A2.10



Docusign Envelope ID: 9F410F54-FA3D-458A-9C28-D7599874C281



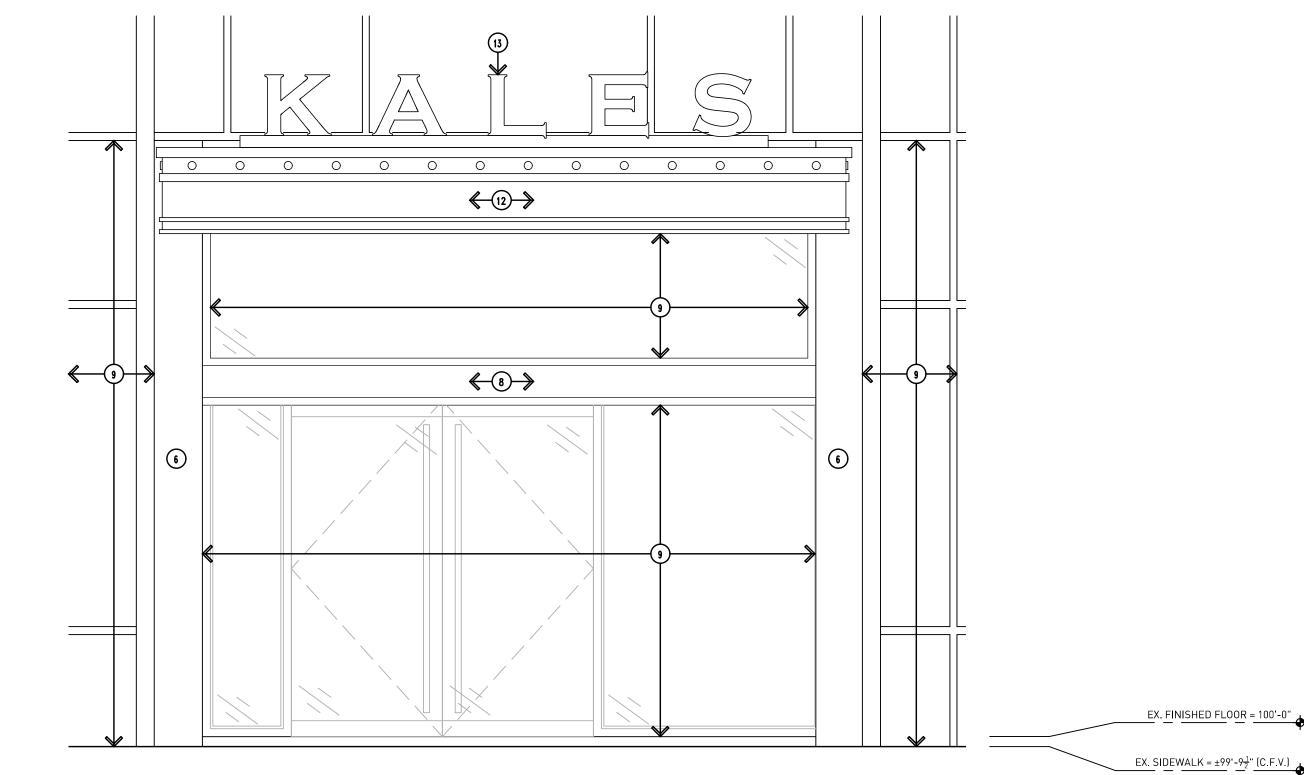
\(\A3.10\) Scale: 1/2"=1'-0"

NOTE: REFER TO ELEVATION 2/A3.10 FOR TYPICAL NOTES

EX FINISHED FLOOR - 1987-97

EX SIDEWALK - 1997-99 | ICC 241

EX S



North Entrance Elevation
A3.10 Scale: 1/2"=1'-0"

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- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- CONTRACTOR TO OPEN UP EVICTING WALLS AS DEGULDED FOR NEW
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
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#### DRAWING NOTES:

- 1. WALL MOUNTED 'NICHIHA' PANELS TO BE INSTALLED OVER EXISTING WALL TILE.
  CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER
  MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS
  - RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
  - RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO
  - ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.

    BUILDING SIGNAGE FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. EXACT
- 5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING

FINISHED ELEVATION OF EXISTING TILE EXACTLY.

- LIMESTONE PILLARS.
- 7. EXISTING BUILDING STRUCTURE E.C.U.

SIZE AND FORMAT OF SIGNAGE T.B.D.

- 8. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING STRUCTURE.
- 9. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 10. EXISTING MARBLE WALL BASE.
- 1. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH
- 12. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.
- 13. 15"H DARK BRONZE ALUMINUM LOGO LETTERS FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. LETTERS TO BE CHANNEL SET AND BACK LIT WITH INTEGRATED LED LIGHTING. ELECTRICIAN TO PROVIDE POWER SOURCE FOR LETTERS. COORDINATE WITH OWNER'S SIGN VENDOR.
- 14. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.



Bidding and Permits: 12 May 2025

### **Exterior Elevations**



The Kales Grand Circus Park LLC The Kales Building Exterior Remodeling

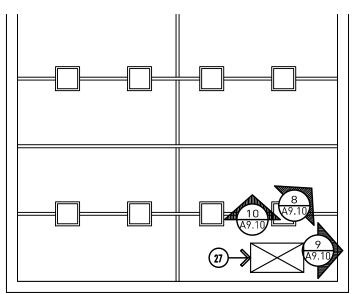
A3.10

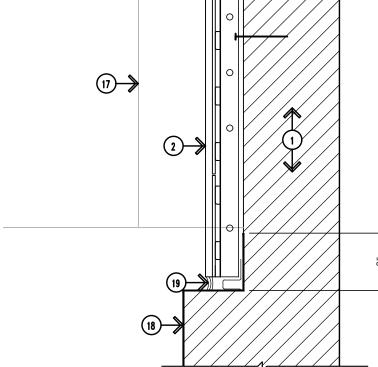
Project No. 4824



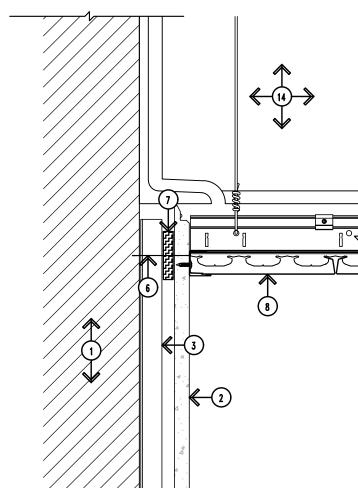


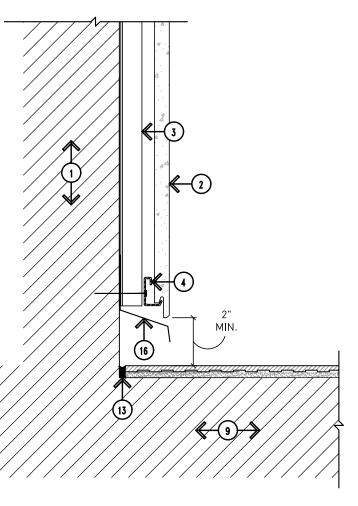


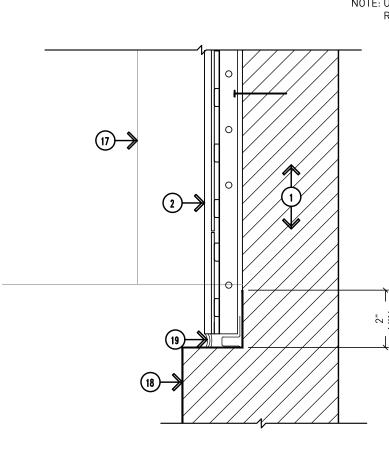


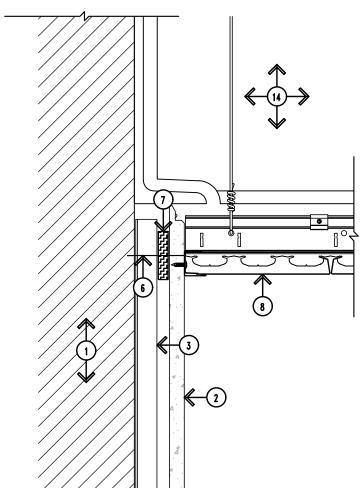


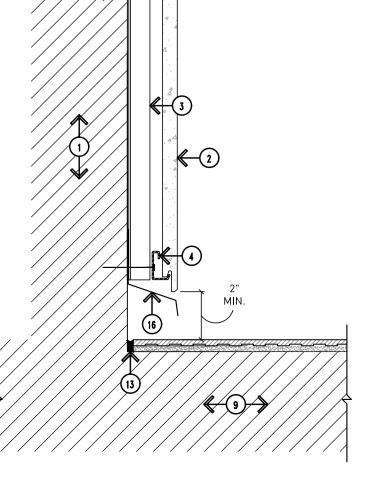
4 Break Metal Wall Wrap Detail











**GENERAL NOTES:** 

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. PROVIDE NON-COM WOOD BLOCKING WHETHER PARTICULARLY NOTED OR NOT.
- G3. CONSTRUCTION OF EXISTING CANOPY STRUCTURE IS UNKNOWN. DETAIL IS SHOWN FOR REFERENCE PURPOSES. CONTRACTOR TO FIELD VERIFY EXISTING CONSTRUCTION PRIOR TO FABRICATING NEW CANOPY FACADE.

#### DRAWING NOTES:

- 1. EXISTING WALL CONSTRUCTION E.C.U. (C.F.V.)
- 2. WALL MOUNTED 'NICHIHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR -'MOCHA'. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD.
- 3. 18 GAUGE,  $\frac{3}{4}$ " METAL HAT CHANNEL @ 16" O.C. SPACING.
- 4. 'NICHIHA' STARTER TRACK. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION
- 5. 'NICHIHA' CLIP WITH FASTENER APPLIED TO VERTICAL FURRING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 6. 'NICHIHA' FACE FASTENER AS SUGGESTED BY MANUFACTURER'S INSTALLATION
- INSTRUCTIONS.
- 7. SPACER SIZE AS INDICATED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS,
- FINISH 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. (C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- EXISTING CONCRETE SLAB ECU (C.F.V.).
- 10. TILE MORTAR / ADHESIVE.
- BOND COAT.

U/S 0F CEILING = ±110'-6"

2

Exterior Wall Section at Entrance

A9.10 Scale: 1 1/2"=1'-0"

- 12. PORCELAIN TILE
- 13. CONTRACTOR TO INSTALL EXTERIOR RATED FLEXIBLE SEALANT WITH COMPRESSIBLE BACK-UP AS REQUIRED IN ALL JOINTS ABUTTING A PERIMETER WALL. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- 14. EXISTING BUILDING / CANOPY STRUCTURE ECU (C.F.V.).
- 15. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED. PROFILE IS FOR DESIGN INTENT.
- 16. 'NICHIHA' ESSENTIAL STARTER FLASHING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 17. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- 18. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- 19. CONTRACTOR TO INSTALL EXTERIOR RATED SEALANT OVER 'NICHIHA' SINGLE FLANGE SEALANT
- BACKER. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS. 20. EXISTING STRUCTURAL CHANNEL- E.C.U. (C.F.V.)
- 21. 2 X 6 WOOD BLOCKING AS NEEDED FOR NEW CANOPY FACADE.
- 22. EXISTING METAL ROOF DECK E.C.U. (C.F.V.)
- 23. EXISTING INSULATION E.C.U. (C.F.V.)
- 24. EXISTING ROOFING MATERIAL E.C.U. (C.F.V.) TIE IN AS REQUIRED DUE TO NEW BLOCKING, ETC.
- 25. EXTERIOR RATED SEALANT WITH FOAM BACKER ROD. CONTRACTOR TO ASSURE JOINT IS CLEAN
- AND FREE OF ALL DEBRIS.
- 26. CONCEALED CONTINUOUS CLEAT (NO EXPOSED EDGES) 27. PORTION OF EXISTING CANOPY REMOVED TO EVALUATE EXISTING STRUCTURE.



Bidding and Permits: 12 May 2025

Exterior Wall Panel and Canopy Details



The Kales Grand Circus Park LLC The Kales Building Exterior Remodeling

Project No. 4824

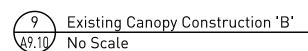
\_\_EXISTING FINISH ELEVATION (VARIES)

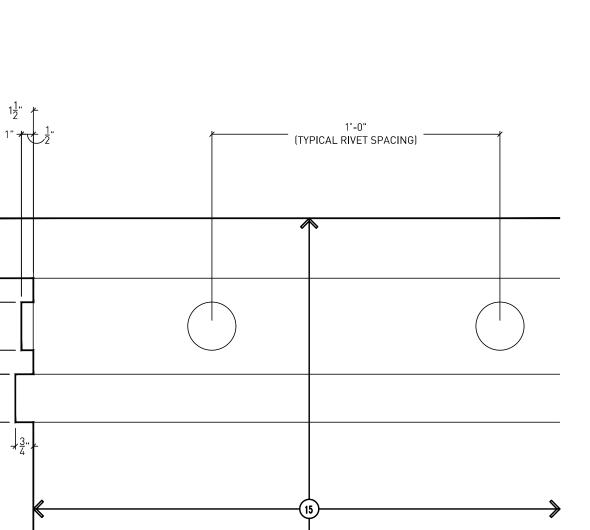
A9.10

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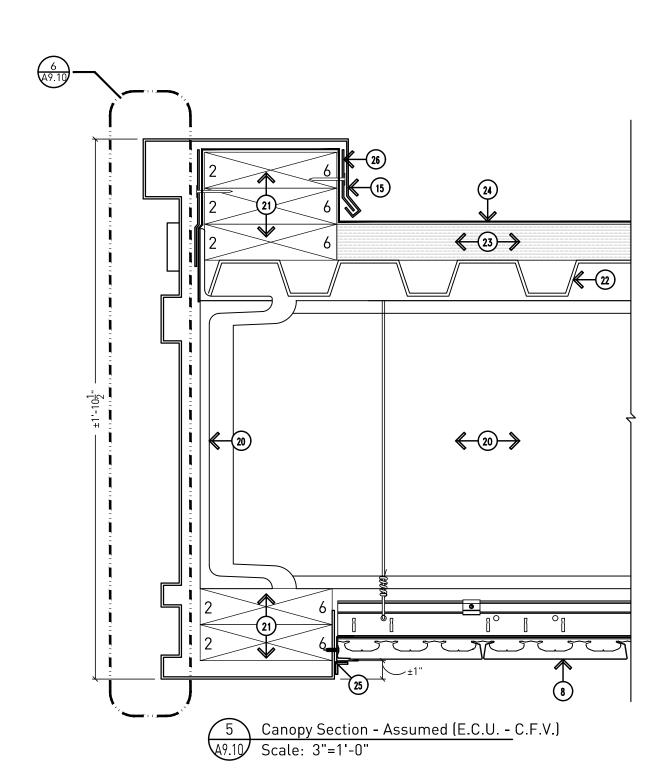




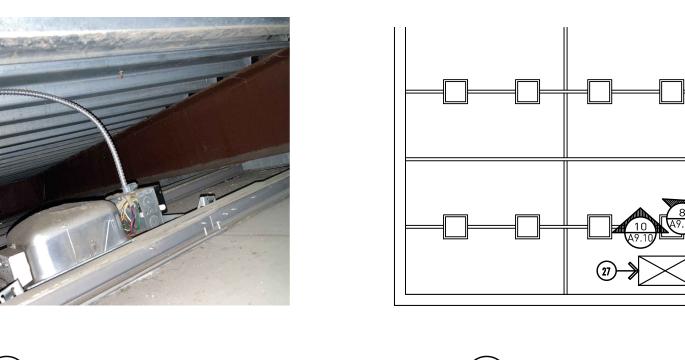


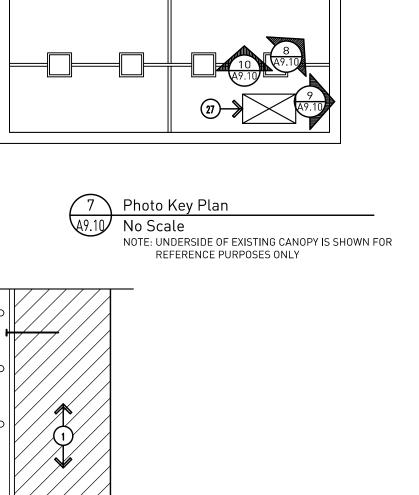


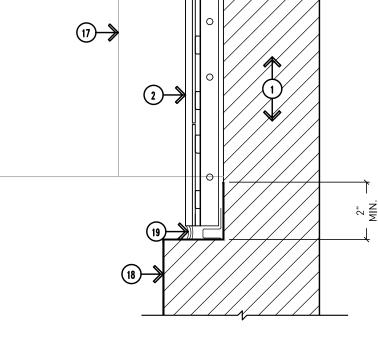
6 Canopy Wrap Profile
A9.10 Scale: 3"=1'-0"

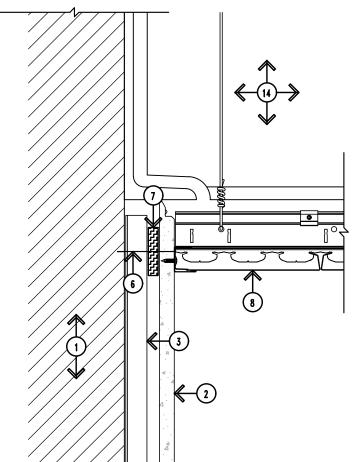


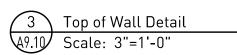












Bottom of Wall Detail
A9.10 Scale: 3"=1'-0"