



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00551

PROPERTY INFORMATION**ADDRESS(ES):** 455 E Ferry**HISTORIC DISTRICT:** East Ferry Avenue**SCOPE OF WORK: (Check ALL that apply)**

- | | | | | | |
|---|--|--|--|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input checked="" type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Entire House Rehabilitation

APPLICANT IDENTIFICATION**TYPE OF APPLICANT:** Architect/Engineer/Consultant**NAME:** Brian V Hurttienne**COMPANY NAME:** Christian Hurttienne Architects**ADDRESS:** 15324 E Jefferson, Suite 5**CITY:** Grosse Pointe Park**STATE:** MI**ZIP:** 48230**PHONE:** +1 (313) 850-6689**EMAIL:** brian@cha-c.com**I AGREE TO AND AFFIRM THE FOLLOWING:**

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Brian V Hurttienne

Christian Hurttienne Architects

08/20/2025

SIGNATURE

DATE

15324 E Jefferson, Suite 5

Grosse Pointe Park MI 48230

+1 (313) 850-6689

brian@cha-c.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

Please see write-up enclosed.



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

Please see write-up enclosed.



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

Please see write-up and drawing set enclosed.




5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<div><div>6. WINDOWS/DOORS</div><div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div></div>	<div></div>



255 E Ferry Rehabilitation

August 4, 2025

Historic District Commission Staff
Coleman A. Young Municipal Center
2 Woodward Avenue
Detroit, Michigan 48226

Re: 255 E Ferry Rehabilitation

Staff:

We are submitting the following drawings, photographs and write-up for your review of the proposed rehabilitation of the historic 255 E Ferry house in the East Ferry Avenue Historic District.

The existing handsome red brick house is currently vacant with some damage due to neglect over the recent years. It has been owned by the neighboring Fraternity but was recently purchased by Lena and Adam Selzer. The Selzer's live in the neighborhood and are growing their family and wish to stay and make this house their home. The interior of the house has been altered significantly and is currently gutted with only interior wood studs remaining, and few interior details. The exterior remains intact with some alterations and deterioration. The following is the description of the proposed rehabilitation.

Exterior Brick Masonry

The brick masonry is in good to excellent condition. We proposed to maintain this with the stabilization of the brick masonry through replacement of worn mortar joints and perhaps a brick replacement scattered throughout the façade. The brick will be utilized through taking brick from other areas of the house, such as under the proposed side porch, replace that area with new brick to match (as closely as possible, if we can find the resource). Maintaining the exterior to be homogeneous is our goal. The brick will be cleaned, slightly, with a soapy water mixture and soft brush throughout.

Brick Infill

We are proposing to infill some brick doors with windows and close-up some windows and doors with brick masonry. These areas would be where the new brick will be used and then recessed 1" keeping the existing masonry openings intact. Please see the plans and elevations for the specific locations.

Red Sandstone Replacement

The red sandstone on the house, in locations of windowsills and front porch wall cap, have not fared well. They have deteriorated by spalling chunks from the main body or breaking under some of the windowsills.



255 E Ferry Rehabilitation

We propose to replace only what we think is necessary to maintain the exterior. Thus, some windowsills will be replaced and the front porch cap we propose to be replaced. Our proposal is to create new sandstone elements dyed red to match the color of the original red sandstone, in the sizes and dimensions of the existing to be replaced original configurations.

Front Porch

The porch is in reasonable condition with some elements requiring replacement versus other elements proposed to be repaired. The exiting porch floor, being a structural slab, has cracked and caved in for most of the floor. We are proposing to remove the entire floor and install a concrete porch floor in-place. The existing floor has a terrazzo finish. We proposed to provide a new crushed limestone finish to emulate the terrazzo finish. The porch roof and fascia will be retained and patched with wood where required and painted. The brick and red sandstone will follow the exterior notes above. The columns will be replaced with new columns to match the historic photograph, within the drawings, and painted. We propose a synthetic column, per the enclosed cut sheet.

New Side Porch

We are proposing to make two existing windows into doors, with the same openings, just removing the brick masonry below the window sill, for the opening. This then will be part of the addition of a side porch within the cut-out of the house shape. It will be a wood framed porch with partial brick columns, a simple wood railing, wood roof structure and a wood railing around at the edge of the porch roof. Please see the drawings for details and specifics.

Roof, Gutters and Downspouts

The existing shingled roof will remain and be patched with new shingling to match the existing. New aluminum gutters and downspouts will be installed throughout the house. They will be a Dark Brown to be close to the Dark Brown of the window color.

Dormers

The dormers will be repaired. The existing sides of the dormers are covered with a faux vinyl shingle, which will be removed. The existing wood shingles beneath will be repaired, replaced when deteriorated and painted. We will also install aluminum finials on each dormer, per the historic photograph.

Windows

The existing windows of the first and second floor are in good condition and are proposed to be reconditioned, painted and new storm windows installed on the exterior. The windows of the basement and third floor attic are very deteriorated and are proposed to be demolished. The attic space will have new casement windows made to fit the size of the existing rough framed opening. The basement windows



255 E Ferry Rehabilitation

will have new awing type windows of only four, while the remainder will be bricked in, with a 1" recess maintaining the existing brick opening.

Please see the existing photographs of all windows, exterior and interior. There is also a window schedule within the drawing package.

Doors

The existing front door is a replacement, with sidelights of poor construction and the frame in a deteriorated condition. We proposed to install a new custom door with panels and light, per the enclosed AI sketch. The two new side porch doors would also be custom made to match the front door.

Basement Areaway

The existing basement door, from the exterior, is via a concrete block areaway. It is in poor condition, with one wall buckling. We are proposing to demolish the existing areaway and reconstruct it with the same scale and dimension as the existing, but of poured concrete walls and floor. A new basement door will be installed to match the front door.

Site Landscaping

The site will be reconfigured with a proposed landscape plan, forthcoming.

255 E FERRY EXTERIOR PHOTOGRAPHS

East Side of House



255 E FERRY EXTERIOR PHOTOGRAPHS

Front and East Side of House



255 E FERRY EXTERIOR PHOTOGRAPHS

Front and West Side of House



255 E FERRY EXTERIOR PHOTOGRAPHS

Front of House



255 E FERRY EXTERIOR PHOTOGRAPHS

Rear of House



255 E FERRY EXTERIOR PHOTOGRAPHS

West Side and Rear of House



255 E FERRY EXTERIOR PHOTOGRAPHS

West Side of House





255 E Ferry Rehabilitation

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DuraClassic™ Tuscan Round

Design #200DC

	Bot. Dia.	Top Dia.	Shaft Heights	Base/Plinth Height	Plinth Width	Cap Height	Cap Width
	6"	5 1/2"	6' - 10'	3 1/4"	8 1/4"	1 3/4"	7 1/8"
	8"	6 1/2"	5' 6" - 10'	4 1/4"	10 1/4"	2 3/8"	9 9/16"
	10"	8 1/2"	6' - 12'	5 1/4"	12 7/8"	3"	11 7/8"
	12"	10"	6' - 16'	6"	15 1/4"	3 3/8"	14 1/2"
	14"	12"	8' - 16'	7 3/8"	18 3/4"	4"	17 1/4"
	16"	13 1/2"	8' - 20'	8 3/8"	21 1/2"	4 5/8"	19 1/4"
	18"	15"	8' - 20'	9 5/8"	24 1/4"	5"	21 3/8"
	20"	17"	12' - 20'	10 3/4"	27"	5 5/8"	24 1/4"
	24"	20"	8' - 24'	13 1/4"	32 1/2"	6 7/8"	28 3/4"



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

01



02



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

03



04



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

05



06



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

07



08



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

09



10



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

11 01



11 02



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

12 and D3 – 1



12 and D3 – 2



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

13



14



15

255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS



16 and 17



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

18



19



20

255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS



21



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

22



23



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

24 and 25



26 and 27



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

28



29



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

B1



B2



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

B3



B4



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

D1 Front Door



D2



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

D5



D01 and D02



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

D03 - 1



D03 and West Roof Line



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

D03 - 2



D04



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

D05 and Rear Chimney



D07



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

Front Chimney



Rear West Chimney



255 E FERRY EXTERIOR WINDOWS DOORS AND DORMERS

West Rear Roof w/ D05 and D06



255 E FERRY INTERIOR WINDOWS AND DOORS

01



02



255 E FERRY INTERIOR WINDOWS AND DOORS

03



04, 05 AND 06



255 E FERRY INTERIOR WINDOWS AND DOORS

07



08



255 E FERRY INTERIOR WINDOWS AND DOORS

09



10



255 E FERRY INTERIOR WINDOWS AND DOORS

11



12 and D3



255 E FERRY INTERIOR WINDOWS AND DOORS

12



13



255 E FERRY INTERIOR WINDOWS AND DOORS

14



15



255 E FERRY INTERIOR WINDOWS AND DOORS

16



17



255 E FERRY INTERIOR WINDOWS AND DOORS

18



19



255 E FERRY INTERIOR WINDOWS AND DOORS

20



21



255 E FERRY INTERIOR WINDOWS AND DOORS

22



23



255 E FERRY INTERIOR WINDOWS AND DOORS

24



25



255 E FERRY INTERIOR WINDOWS AND DOORS

28



29



255 E FERRY INTERIOR WINDOWS AND DOORS

B2



B3



255 E FERRY INTERIOR WINDOWS AND DOORS

B4



B5



255 E FERRY INTERIOR WINDOWS AND DOORS

B6



B7



255 E FERRY INTERIOR WINDOWS AND DOORS

B8



B9



255 E FERRY INTERIOR WINDOWS AND DOORS

B10



B11



255 E FERRY INTERIOR WINDOWS AND DOORS

B12



D1 Front Door



255 E FERRY INTERIOR WINDOWS AND DOORS

D2



D3



255 E FERRY INTERIOR WINDOWS AND DOORS

D4



D01



255 E FERRY INTERIOR WINDOWS AND DOORS

D02



D03



255 E FERRY INTERIOR WINDOWS AND DOORS

D04



D05



255 E FERRY INTERIOR WINDOWS AND DOORS

D06



D07



ALTA/NSPS LAND TITLE SURVEY

EXCEPTIONS PERTAINING TO A SURVEY OF THE SCHEDULE "B"

3. Easements or claims of easements not shown by the public records. (General statement).

6. Any water or well rights, or rights or title to water or claims thereof, in, on or under the land.

7. Unpatented mining claims; reservations or exceptions in patents or in the Acts authorizing the issuance of said patents.

10. Terms and conditions contained in Ordinance as recorded in Liber 21199, page 852, Wayne County Records. (Pertains to a Historic Distric encompassing subject property).

11. Covenants, Conditions, and Restrictions as set forth in instrument recorded in Liber 24836, page 909, Wayne County Records, but omitting any covenant, condition or Restriction, if any, based on race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that the covenant, condition or Restriction (a) is exempt under Title 42 of the United States Code, or (b) relates to handicap, but does not discriminate against handicapped persons. (Pertains to a Historic Distric encompassing subject property).

Exceptions of Schedule "B" as shown herein are contained contained in Title Commitment No.: LIB174324, issued by "Westcor Land Title Insurance Company", on June 10, 2022 @ 8:00am.

GENERAL NOTES
CORRESPONDING TO TABLE "A" OF ALTA/ACSM LAND TITLE SURVEY REQUIREMENTS

14. Distance to nearest intersection is 264 feet southwesterly from the center line of the site access, to the intersection of the centerlines of E Ferry Street and John R Street, both public right-of-ways.

16. There is no evidence of current earth moving, building construction or building additions observed in the process of conducting the fieldwork.

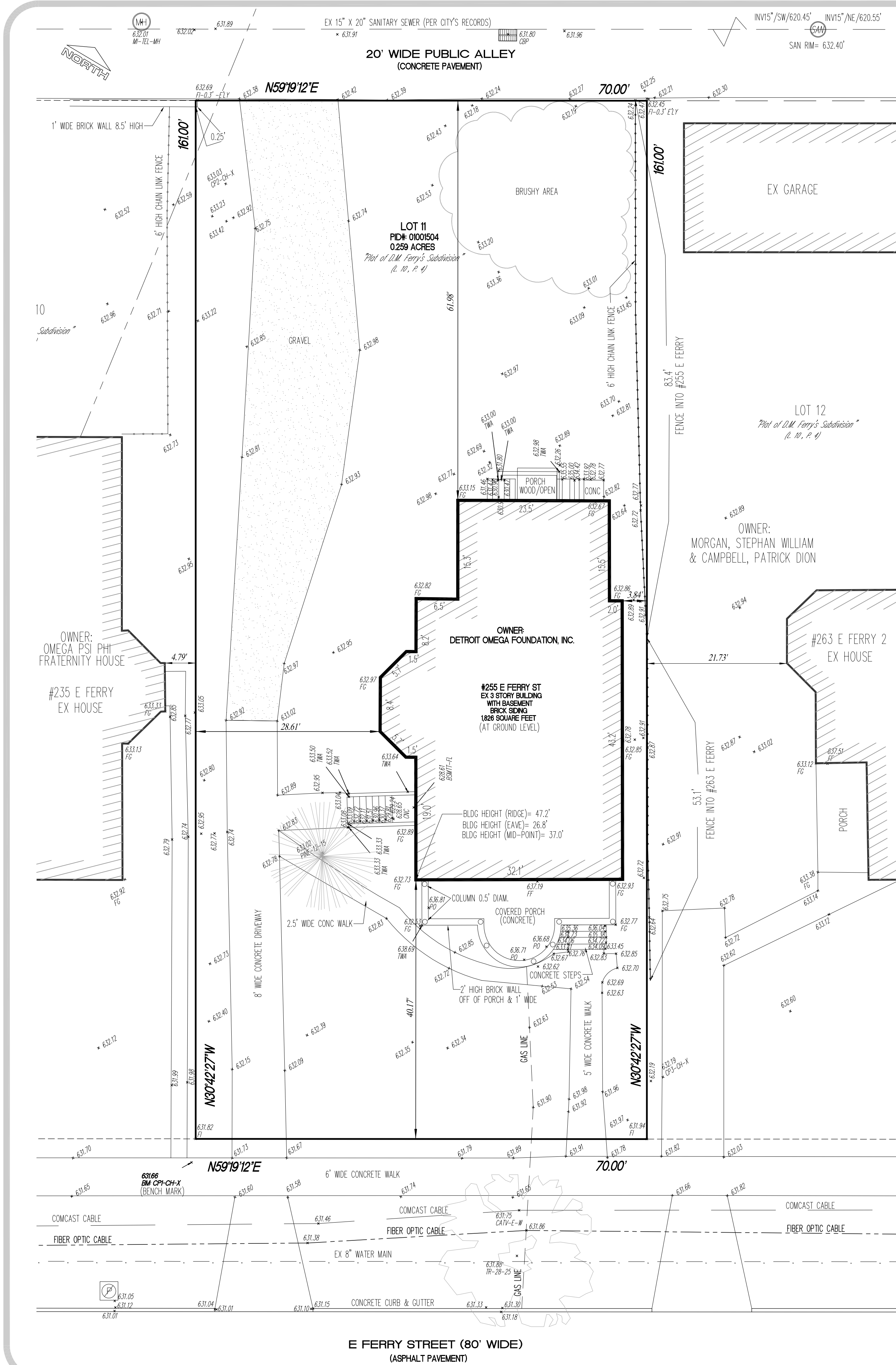
17. There is no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

PROPERTY PHOTO



LEGEND

- ⊕ = UTILITY POLE
- = OVER HEAD WIRE
- ▨ = PAVEMENT CATCH BASIN/CBP
- EL = ELEVATION
- FF = FINISH FLOOR
- BSMT FL = BASEMENT FLOOR
- FG = FINISH GRADE
- P.I.D. = PARCEL IDENTIFICATION NUMBER
- TR-8-8 = TREE-8" TRUNK-8FT SPREAD
- CONC = CONCRETE
- TWA = TOP OF WALL
- BLDG = BUILDING
- E'LY = EASTERLY
- PO = PORCH
- BM = BENCH MARK
- NAVD88 = NORTH AMERICAN DATUM AS OF 1988
- VERTICAL = FOUND IRON
- FI = FOUND IRON
- CP = CONTROL POINT
- CH X = CHISELED "X"
- MI-TEL = MICHIGAN TELEPHONE MH
- Ⓟ = NO PARKING



FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260222, Panel No. 0280, Suffix "E", being effective as of February 21, 2012.

BEARINGS ORIGIN

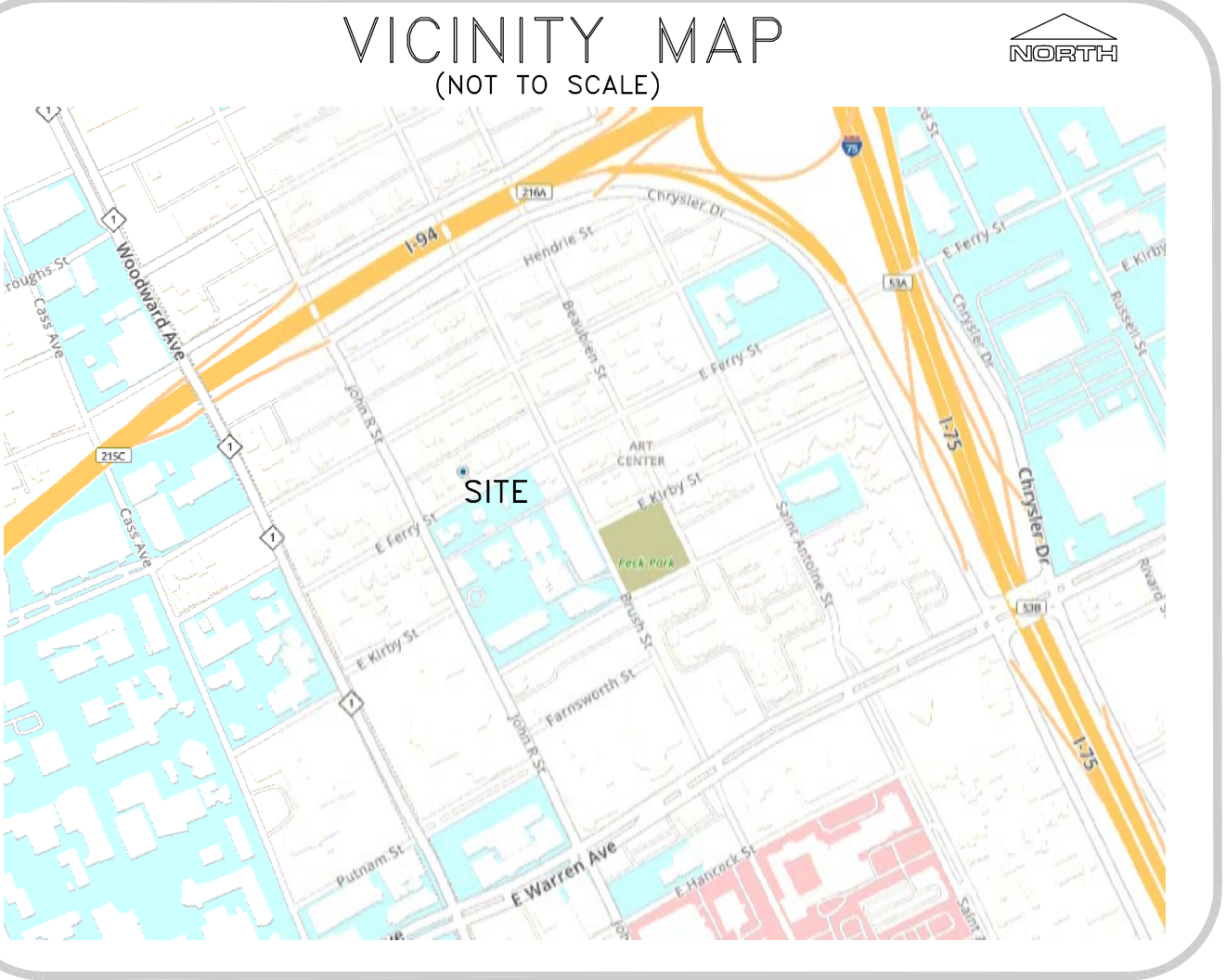
PER TRUE NORTH

LAND AREA

11,270 ± SQUARE FEET
0.259 ± ACRES

COPY RIGHT NOTE

AB-SB Land Survey, P.C. retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation. Copyright © 2022 AB-SB Land Survey, P.C.



LEGAL DESCRIPTION

#255 E Ferry Street, Detroit, MI, 48202

The land is located in the City of Detroit, County of Wayne, State of Michigan, and described as follows: Lot(s) 11, Plat of D.M. Ferry's Subdivision, according to the recorded Plat thereof, as recorded in Liber 10 of Plat(s), Page 4, Wayne County Records. Tax Code: 01001504

Legal description as cited herein is contained in Title Commitment No.: LIB174324, issued by "Westcor Land Title Insurance Company", on June 10, 2022 @ 8:00am.

ALTA/NSPS LAND TITLE SURVEY


SURVEYOR'S CERTIFICATE

To: "255 E FERRY, LLC", "KIPLING DEVELOPMENT", "DETROIT INVESTMENT FUND, LP", and "LIBERTY TITLE INSURANCE COMPANY":


This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items: 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16 and 19 of Table A thereof. The field work was performed on July 26, 2022.

Date of Plat or Map: August 1, 2022.

STATE OF MICHIGAN
MENDE
BEZANOVSKI
PROFESSIONAL
SURVEYOR
NO. 49430
Mende Bezanovski, P.S. 49430
Professional Surveyor in the State of Michigan

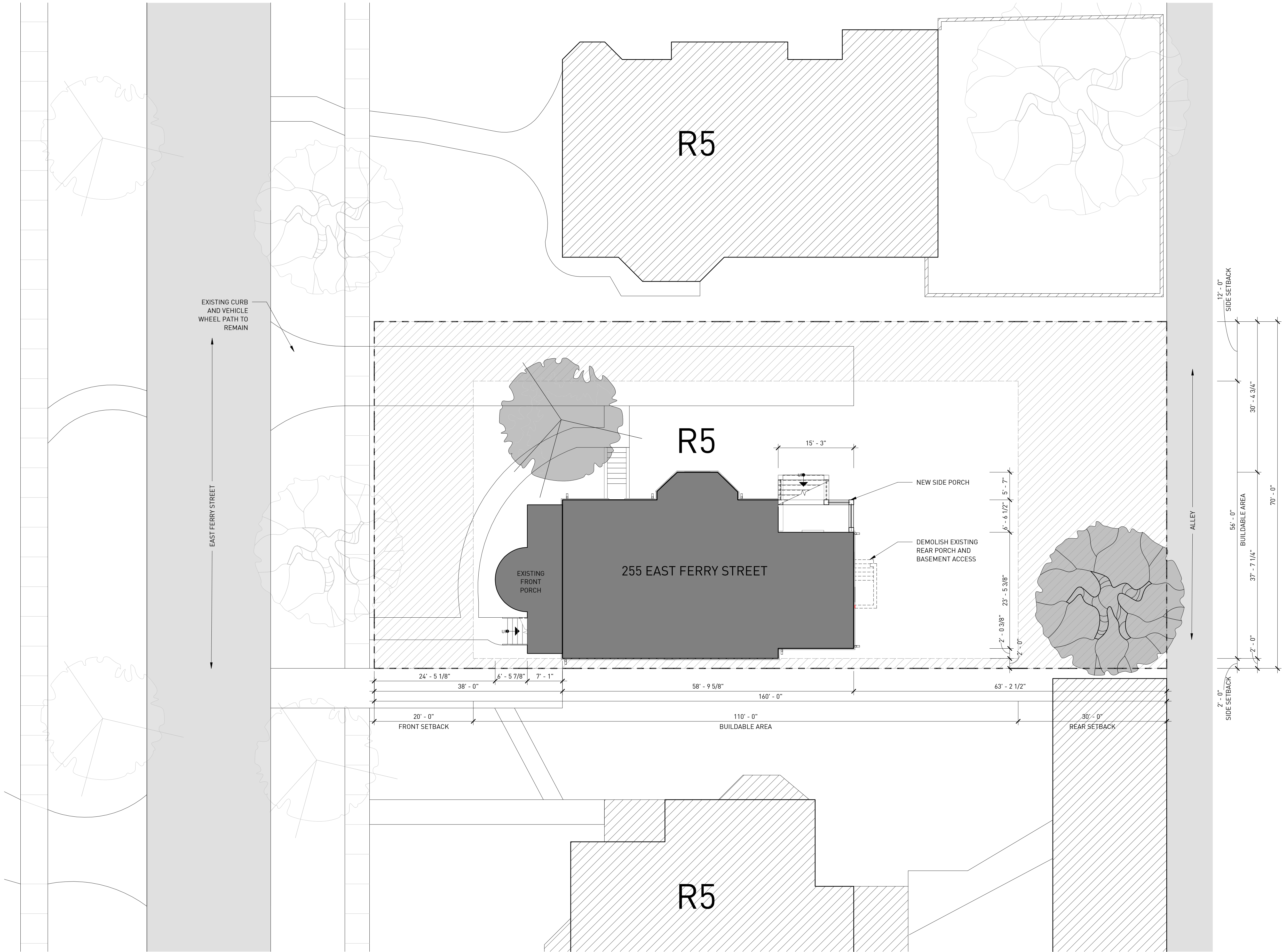


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36636 North Pointe Dr. New Baltimore, MI 48047
TEL: (586) 822-4964, FAX: (586) 591-5930
info@ab-sb-landsurvey.com;
www.ab-sb-landsurvey.com

SCALE: 1" = 10'	PAGE: 1 OF 1
JOB NUMBER: 2022-07-20-226-CK	DRAWN: MB
FIELD: MB	CHECKED: MB
REVISIONS: R1: 06-26-2023	DATE: 08-01-2022
CLIENT: KIPLING DEVELOPMENT, LLC	
ADDRESS: 255 E Ferry Street Detroit, MI, 48202	TEL: (732)-589-2859 FAX:



CONTRACTOR'S NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

3 WORKING DAYS
**BEFORE YOU DIG
CALL MISS DIG**
1-800-482-7171

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

GENERAL SITE NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OF.
- ASSUMED ALLOWABLE SOIL PRESSURE OF 2000 PSF (VERIFY CAPACITY)
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS IF DISTURBING MUNICIPAL OR PUBLIC PAVING.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).



CHRISTIAN HURTITTIENNE ARCHITECTS
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313.825.2005 CHA-C.COM

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SURVEYOR / CIVIL ENG.

STRUCTURAL ENG.

MEP ENGINEER

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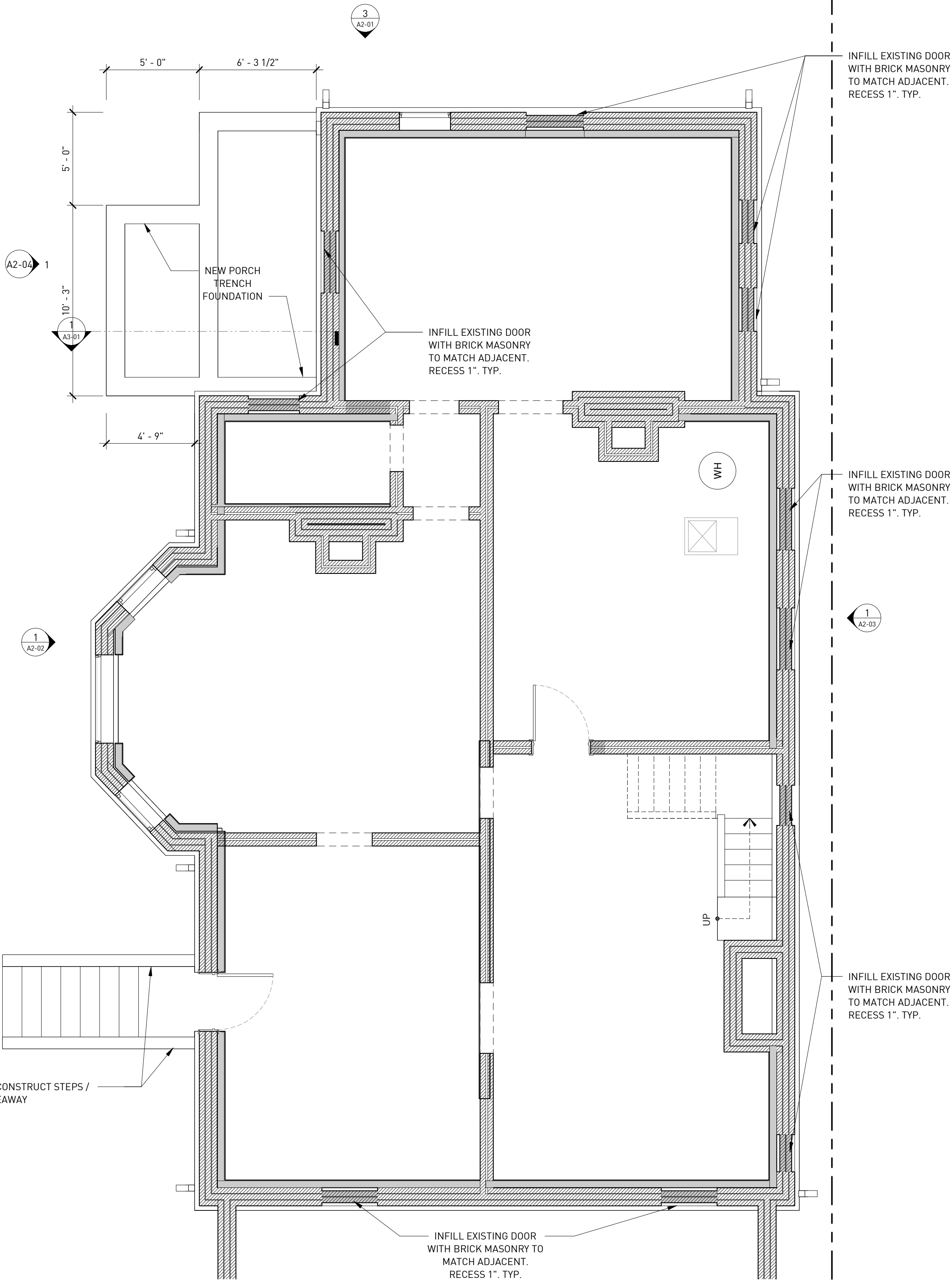
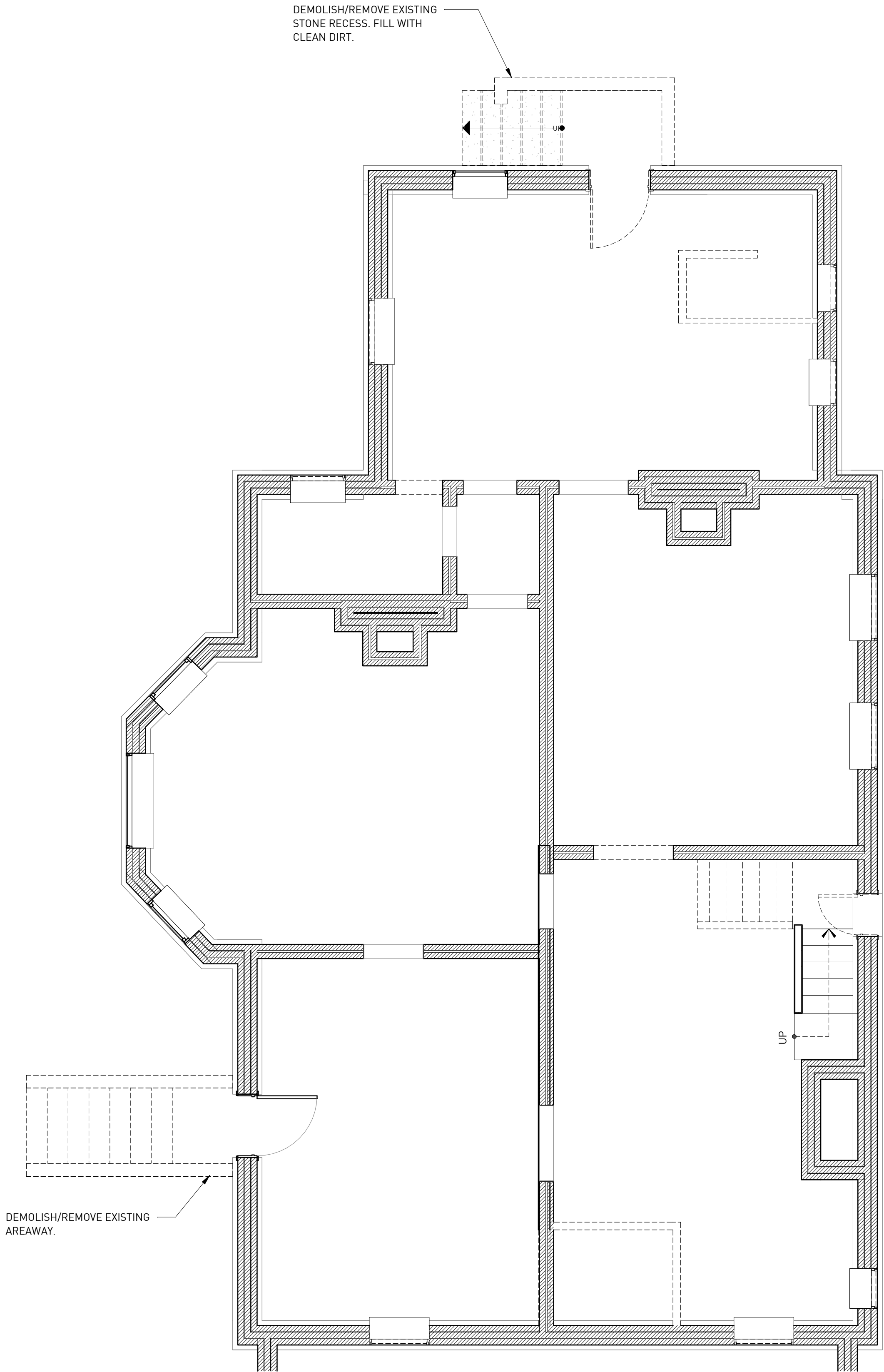


SITE PLAN

AS1-01

1 PROGRAMATIC SITE PLAN Copy 1
ORIGINAL DRAWING SCALE: 1" = 10'-0"





FLOOR PLAN LEGEND

NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE

- NEW WOOD STUD WALL
- NEW BRICK / MASONRY WALL
- WINDOW TAG
- DOOR TAG
- WALL TAG
- DIMENSIONS TO FACE OF STUD OR FACE OF MASONRY ON BRICK WALLS UNLESS NOTED OTHERWISE. CENTERLINE DIMENSIONS SHOWN FOR DEMISING WALLS, WINDOWS, OPENINGS, AND DOORS IN FRAMED WALLS.
- F.O.F. = FACE OF FINISH
- F.O.S. = FACE OF SHEATHING

WALL LEGEND

NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING FLOOR/ROOF DECK TO BE REMOVED
- EXISTING MASONRY WALL

PLAN GENERAL NOTES

- IF CONFLICTS EXIST BETWEEN THESE DRAWINGS / DOCUMENTS AND ANY OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, ALERT THE ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION OF CONFLICT.
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1 BASEMENT DEMOLITION PLAN
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

2 BASEMENT ARCHITECTURE PLAN
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



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SUPERVISOR / CIVIL ENG.

STRUCTURAL ENG.

MEP ENGINEER

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BASEMENT
DEMOLITION &
ARCHITECTURAL
PLANS

A1-10



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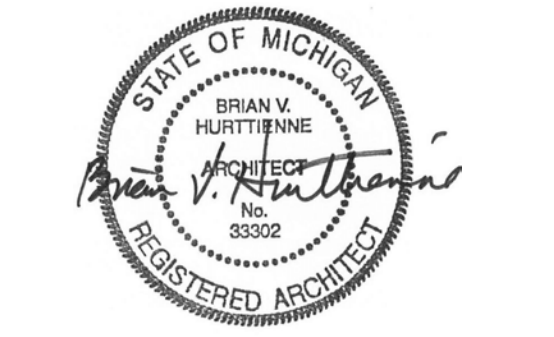
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FIRST LEVEL
DEMOLITION &
ARCHITECTURAL
PLANS

A1-11

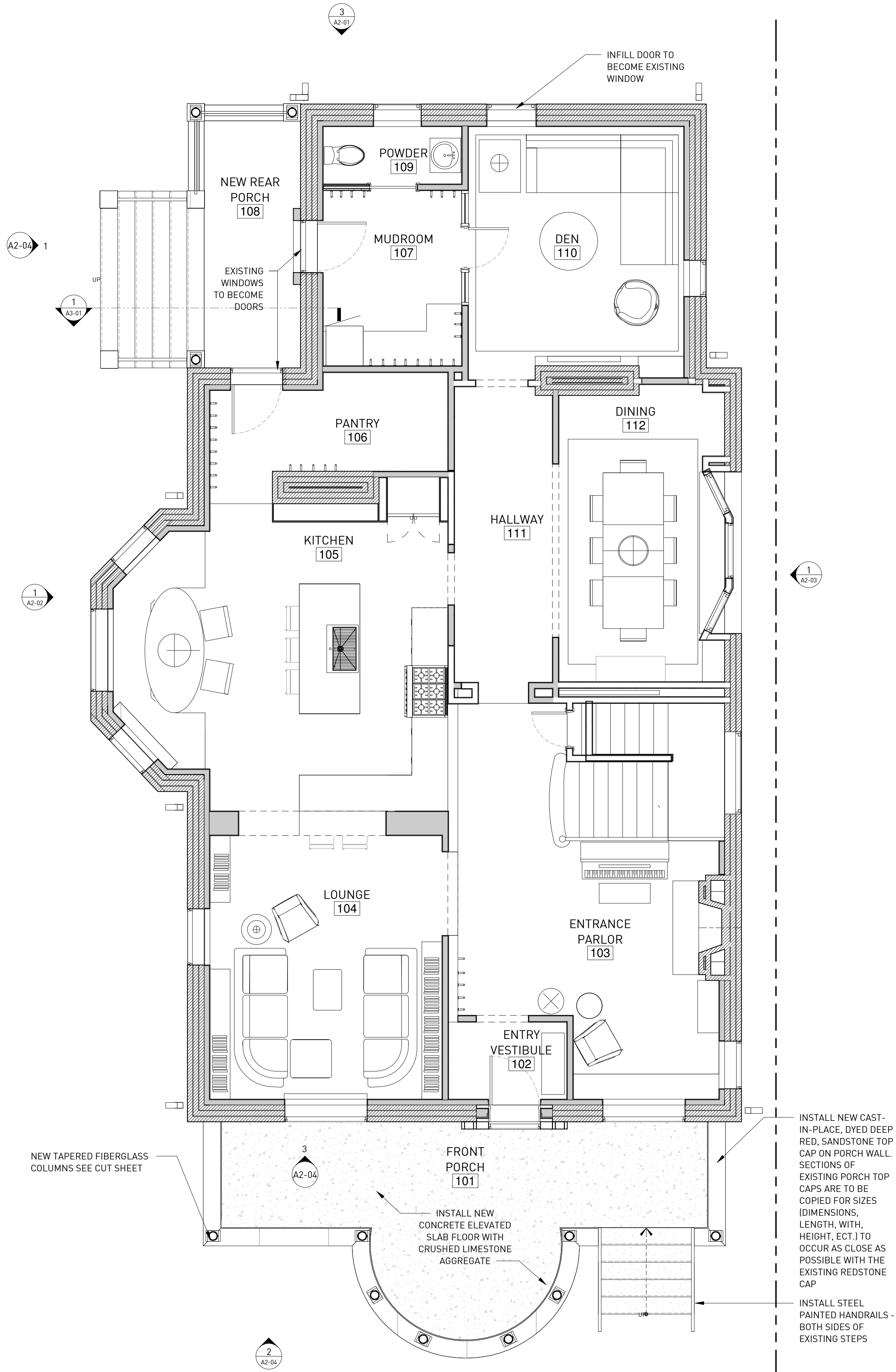
FLOOR PLAN LEGEND

NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE

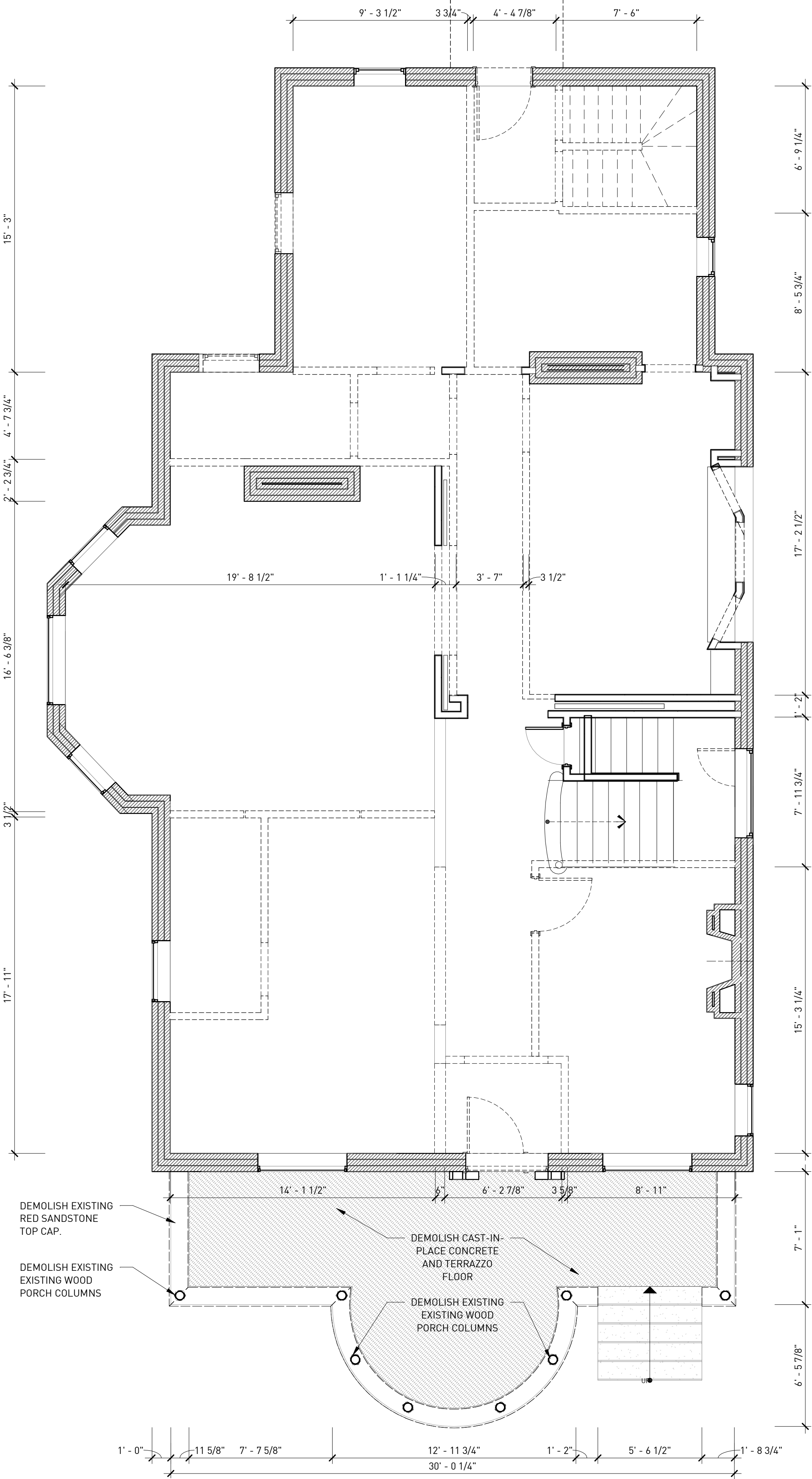
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2 LEVEL 1 ARCHITECTURE PLAN
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



1 LEVEL 1 DEMOLITION PLAN
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

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LEVEL 2 DEMOLITION
& ARCHITECTURAL
PLAN

A1-12

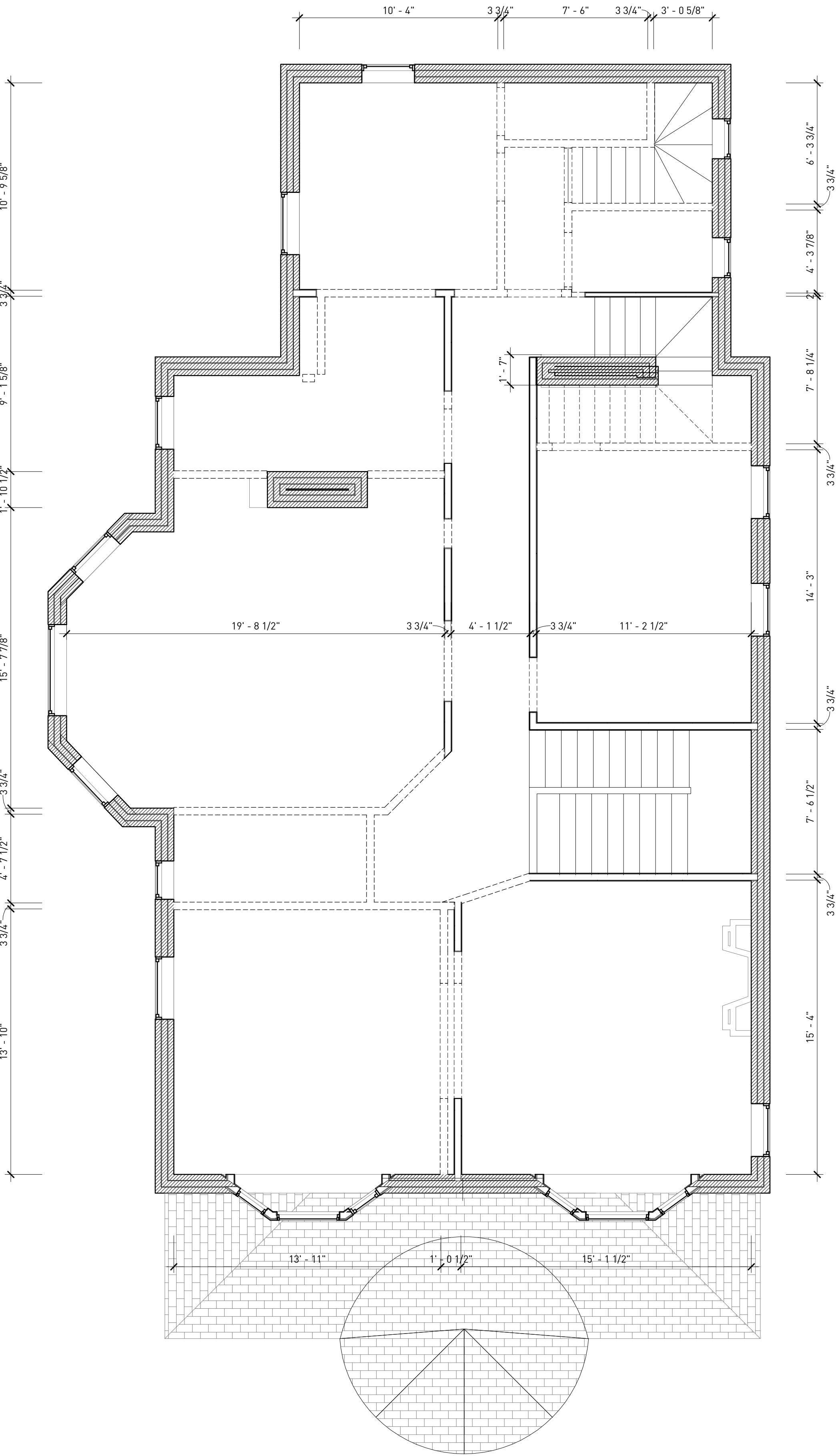
FLOOR PLAN LEGEND

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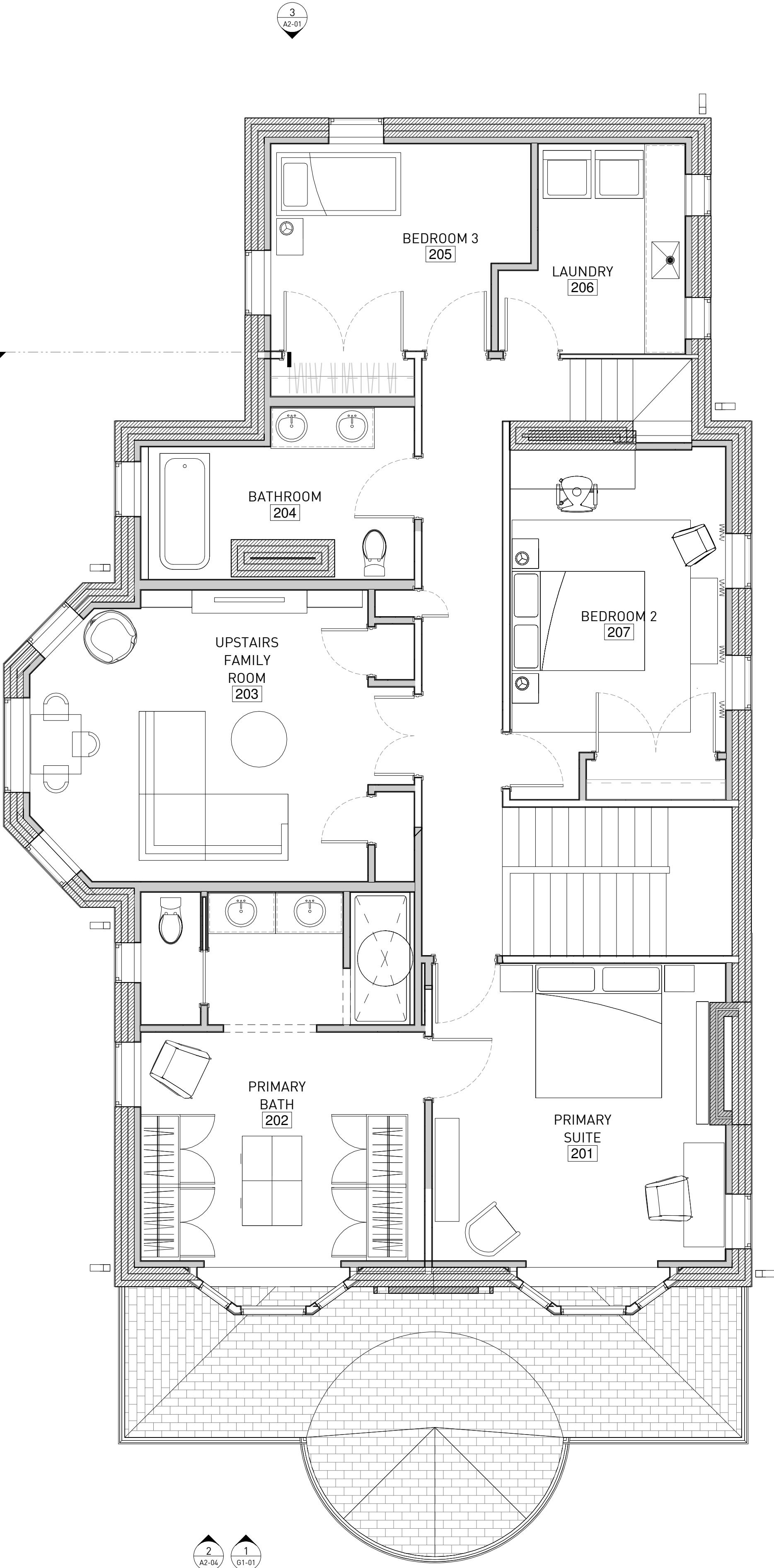
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1 LEVEL 2 DEMOLITION PLAN
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



2 LEVEL 2 ARCHITECTURE PLAN
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE

NEW WOOD STUD WALL

NEW BRICK / MASONRY WALL

WINDOW TAG

DOOR TAG

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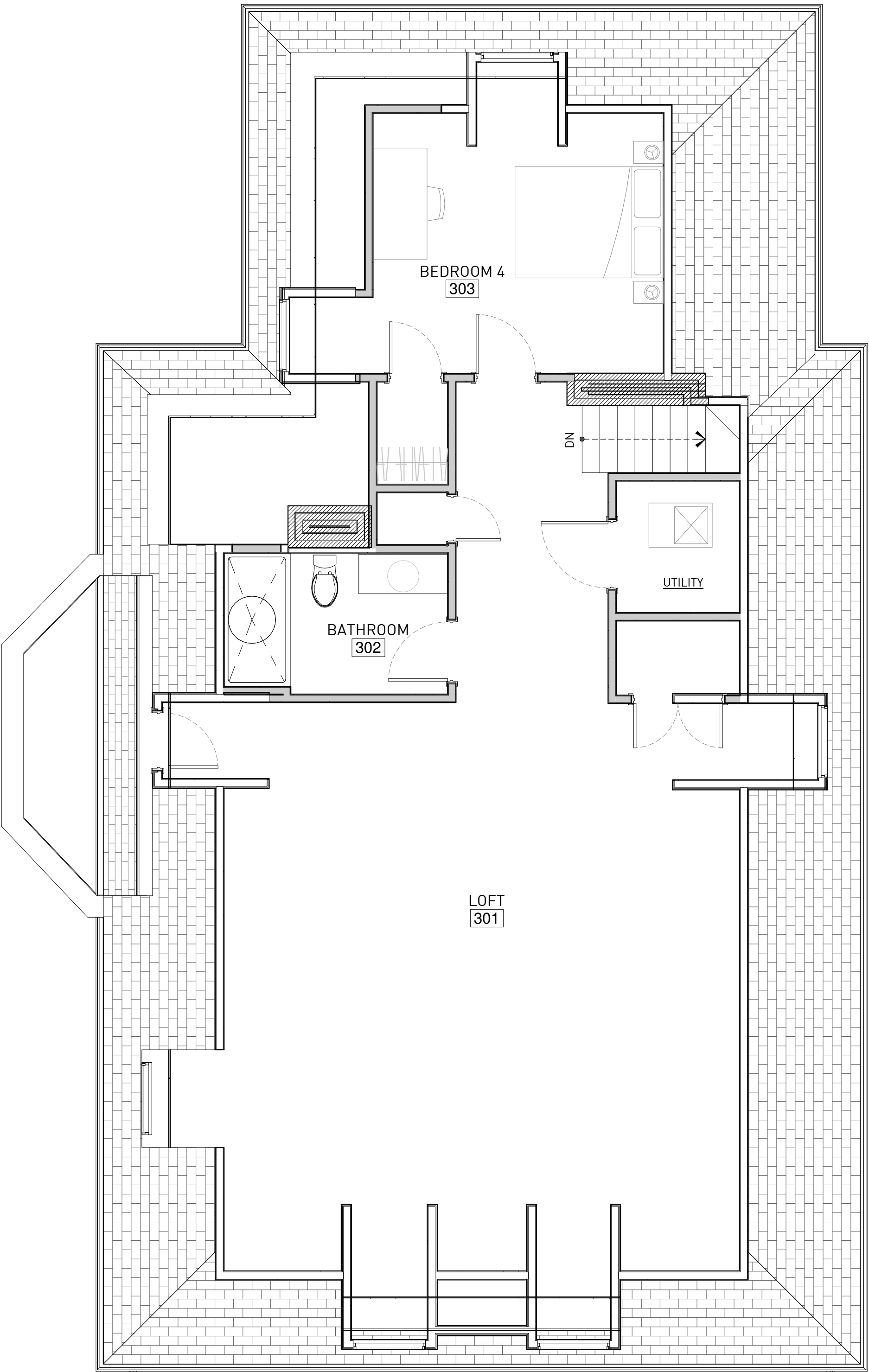
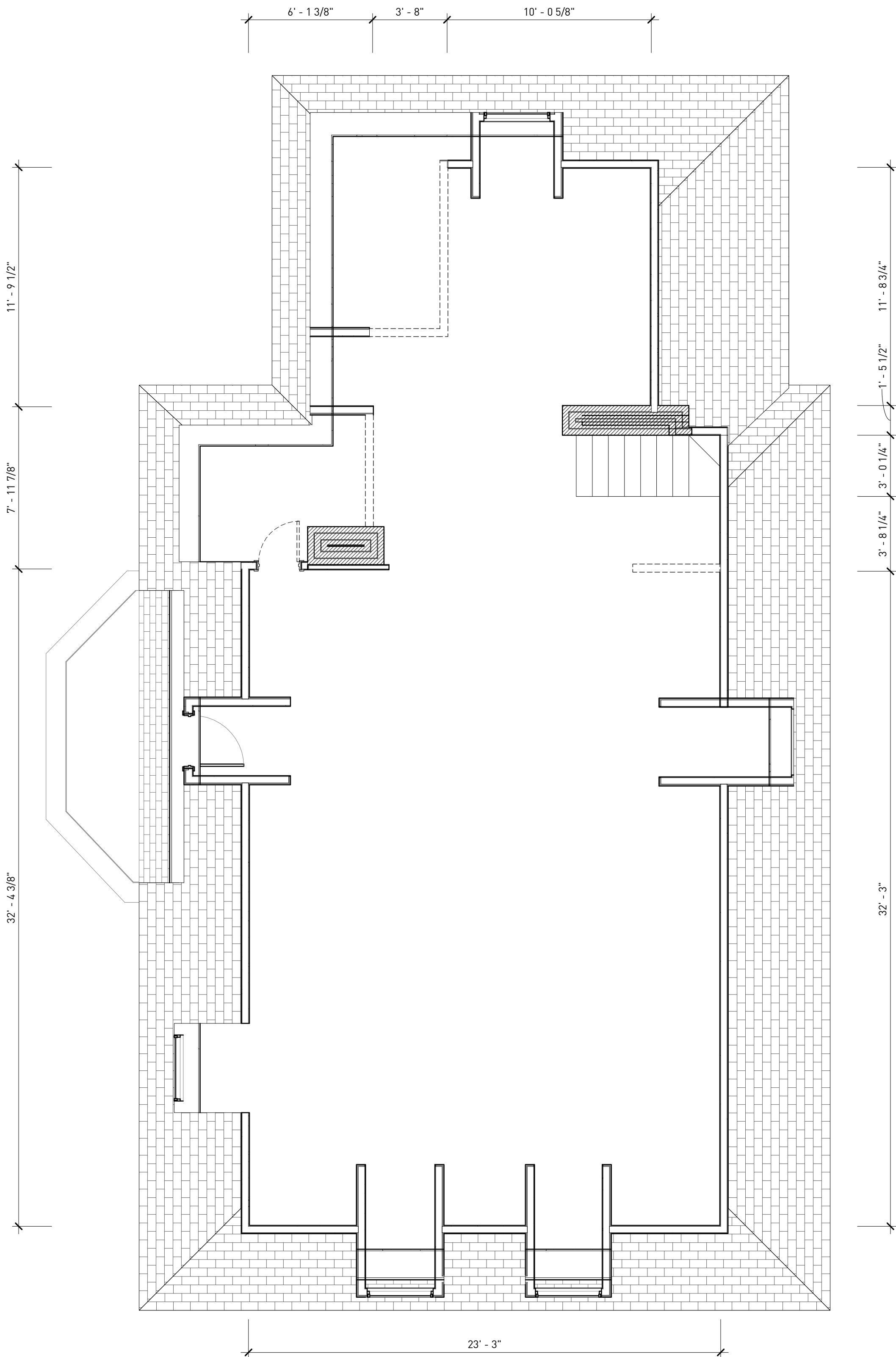
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STRUCTURAL ENG.

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ROOF PLAN

A1-14

ROOF SYMBOLS

NOTE: SOME WALL TYPES MAY NOT BE APPLICABLE

- CENTER OF 2-HR RATED SEPARATION WALL BELOW
- 'CLASS C' FIRE COVERING ROOF
- NEW ASPHALT ROOF
- HIGH POINT SLOPE
- LOW POINT SLOPE
- ROOF TYPE TAG

ROOF GENERAL NOTES

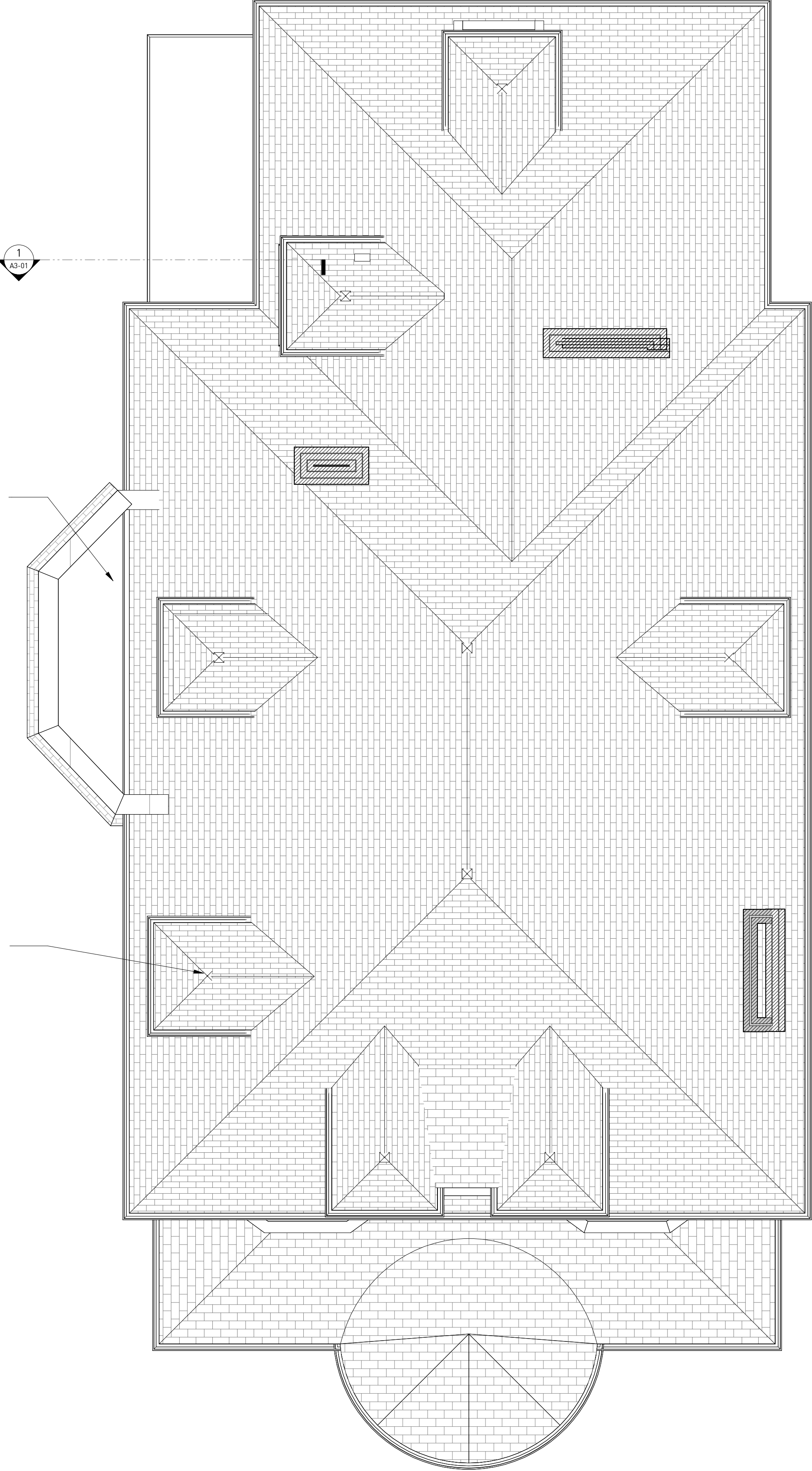
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- INSTALL NEW CARULSE SYNTREC MECHANICALLY-FASTENED TPO "CLASS-C" (MINIMUM) FIRE-RATED ROOFING ASSEMBLY PER CODE. ASSEMBLY IS TO INCLUDE FIRE-RETARDANT-TREATED PLYWOOD ROOF DECK AND FIRE RESISTANT SLIP SHEET. REFER TO THE SPECIFICATIONS AND MANUFACTURERS INSTALLATION DIRECTIONS FOR THE PREPARATION OF THE EXISTING CONDITIONS / DECK.
- FOR ALL ROOF TOP MECHANICAL UNITS, EQUIPMENT, EXHAUST, FRESH-AIR INTAKE AND PLUMBING PENETRATIONS: REFER TO MECHANICAL / ELECTRICAL / PLUMBING ENGINEER'S DRAWINGS FOR LOCATIONS, SPECIFICATIONS AND PLACEMENT WITH REGARD TO ALL APPLICABLE GOVERNING CODES AND REGULATIONS.
- PROVIDE 12" HIGH RAISED ROOF CURBS AT ALL PENETRATIONS FOR MECHANICAL, PIPING, FURNACE AND WATER HEATER VENT PIPING, ELECTRICAL, AND EXHAUST FAN PENETRATIONS. ALL CURB CONSTRUCTION IS TO BE FULLY INSULATED TO MAINTAIN FIRE RATED RESISTANCE THROUGH ROOF PENETRATION - IF APPLICABLE
- GROUP CONDENSING UNITS ADJACENT TO CHASE LOCATIONS OVER BUILDING CORRIDOR AS POSSIBLE. PROVIDE MINIMUM SPACING BETWEEN UNITS AND ADJACENT OBJECTS PER MANUFACTURE'S SPECIFICATIONS SO AS NOT TO RESTRICT AIR-FLOW TO UNIT. DO NOT LOCATE CONDENSING UNITS ABOVE BEDROOMS.
- ROOFING CONTRACTOR IS TO COORDINATE ALL SUPPLY LINES TO NEW CONDENSERS AND ROOF TOP EQUIPMENT. REDUCE PENETRATIONS TO GREATEST EXTENT POSSIBLE.
- INSTALL WALK MATS AT AND ADJACENT TO ALL EQUIPMENT, SERVICE AREAS AND PATHS OF TRAVEL.
- PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING AND DRIP EDGES WHEREVER NECESSARY AND / OR INDICATED ON DRAWINGS TO MAINTAIN WEATHER AND WATER TIGHT SEAL AND TO PRESERVE ALL APPLICABLE ROOFING WARRANTIES.
- REFER TO MECHANICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS, COORDINATE ROOF STRUCTURE, SUPPORTS AND PENETRATIONS FOR MECHANICAL EQUIPMENT WITH ALL ASSOCIATED TRADES INCLUDING ROOFING MANUFACTURER AND INSTALLER.



2 HISTORICAL REFERENCE IMAGE

RE-FRAME AND RE-ROOF
FLAT AREA WITH BLACK
"WALKABLE" ROOFING

INSTALL NEW ALUMINUM
PAINTED FINIALS ON
DORMER TOPS.



1 ROOF
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"





EXISTING SOUTH FACADE



EXISTING WEST FACADE



EXISTING NORTH FACADE



EXISTING EAST FACADE



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EXISTING EXTERIOR
ELEVATIONS - IMAGES

A2-00

KEY NOTES - ELEVATIONS

ELEVATION GENERAL NOTES

1. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES. WHERE AN ASSEMBLY IS TO COORDINATE WITH MULTIPLE ADJACENT ASSEMBLIES, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.

2. REFER TO BUILDING AND WALL SECTIONS FOR ELEVATION AND BUILDING HEIGHT INFORMATION.

3. ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED BUT MAY NOT COVER OR INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR IS TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR PRIOR TO COMMENCING ANY SCOPE OF WORK.

4. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS / DOCUMENTS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, ALERT THE ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION OF CONFLICT.

5. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.

6. PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING AND DRIP EDGES WHEREVER NECESSARY AND / OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATER TIGHT SEAL AND TO PRESERVE ALL WARRANTIES.

7. CONTRACTOR IS TO CLEAN ALL CLADDING AND SIDING ASSEMBLIES UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK.
8. REFER TO SPECIFICATIONS FOR ALL WINDOW AND DOOR INFORMATION.

9. CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING DIMENSIONS.

10. PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY MATERIAL AND APPLICATION.

11. REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL GRADING AND ELEVATIONS. GENERAL CONTRACTOR TO COORDINATE GRADES AND ELEVATIONS ACROSS ALL TRADES AND DISCIPLINES THROUGHOUT THIS SET AND SITE CONDITIONS.

12. COORDINATE LOCATION OF SCHEDULED EXHAUST PENETRATIONS ADJACENT TO OPERABLE WINDOW UNITS WITH REQUIREMENTS OF GOVERNING CODE.

13. PROVIDE PRE-FINISHED, BREAK METAL FLASHING WITH "HEMMED" DRIP EDGE OVER SCHEDULED, GALVANIZED, LINTELS. COORDINATE WEATHER RESISTANT BARRIER (WRB), FLEXIBLE FLASHING, MORTAR NET, ETC. TO ENSURE WATERPROOF & DRAINABLE ASSEMBLY.

ROOF
ELEVATION:36' - 0 3/4"

REMOVE VINYL SIDING AND OTHER EXISTING MATERIAL DOWN TO ORIGINAL SHEATHING FROM DORMER SIDES. INSTALL NEW WOOD CEDAR SHAKE SIDING. PAINT HISTORIC COLOR CODE B-11.

LEVEL 03
ELEVATION:26' - 0 3/4"

LEVEL 02
ELEVATION:16' - 0 3/4"

LEVEL 01
ELEVATION:4' - 6"

PORCH
ELEVATION:4' - 0"

GRADE
ELEVATION:0' - 0"

1 SOUTH
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

ROOF
ELEVATION:36' - 0 3/4"

REMOVE VINYL SIDING AND OTHER EXISTING MATERIAL DOWN TO ORIGINAL SHEATHING FROM DORMER SIDES. INSTALL NEW WOOD CEDAR SHAKE SIDING. PAINT HISTORIC COLOR CODE B-11.

LEVEL 03
ELEVATION:26' - 0 3/4"

LEVEL 02
ELEVATION:16' - 0 3/4"

INFILL EXISTING DOOR WITH BRICK MASONRY TO MATCH ADJACENT. RECESS 1".

LEVEL 01
ELEVATION:4' - 6"

PORCH
ELEVATION:4' - 0"

GRADE
ELEVATION:0' - 0"

3 NORTH
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



CHRISTIAN HURTTIENNE ARCHITECTS
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SUPERVISOR / CIVIL ENG.

STRUCTURAL ENG.

MEP ENGINEER

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EXTERIOR ELEVATIONS

A2-01



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EXTERIOR ELEVATIONS

A2-02

ELEVATION GENERAL NOTES

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- REFER TO SPECIFICATIONS FOR ALL WINDOW AND DOOR INFORMATION.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING DIMENSIONS.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY MATERIAL AND APPLICATION.
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1 WEST
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



1 EAST
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

ELEVATION GENERAL NOTES

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STRUCTURAL ENG.

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EXTERIOR ELEVATIONS

A2-03



1 REAR PORCH
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION - HDC COLOR SCHEME
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - FRONT DOOR
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

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HDC COLORS



B:11 Grayish Olive Green
MS: 5GY 4/2

LOCATIONS: BRICK MOLDING, WINDOW FRAME, PORCH COLUMNS, FASCIA, AND DORMERS



B:8 Grayish Brown
MS: 5YR 3/2

LOCATIONS: WINDOW SASH / STORM WINDOWS, PORCH TRIM DETAILS



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EXTERIOR ELEVATIONS
- COLOR SCHEME

A2-04

SECTION SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE

- CONCRETE FOUNDATION
- RIGID INSULATION BOARD
- PLYWOOD SHEATHING
- MASONRY CMU BLOCK
- BATT INSULATION

SECTION GENERAL NOTES

- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK.
- ALL ASTM AND OTHER REFERENCES ARE PER THE LATEST EDITIONS OF THESE STANDARDS, UNLESS OTHERWISE NOTED.
- THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT.

LEVEL 02
ELEVATION: 16' - 0 3/4"

LEVEL 01
ELEVATION: 4' - 6"
PORCH
ELEVATION: 4' - 0"

GRADE
ELEVATION: 0' - 0"

1 SECTION THROUGH NEW SIDE PORCH
ORIGINAL DRAWING SCALE: 3/4" = 1'-0"



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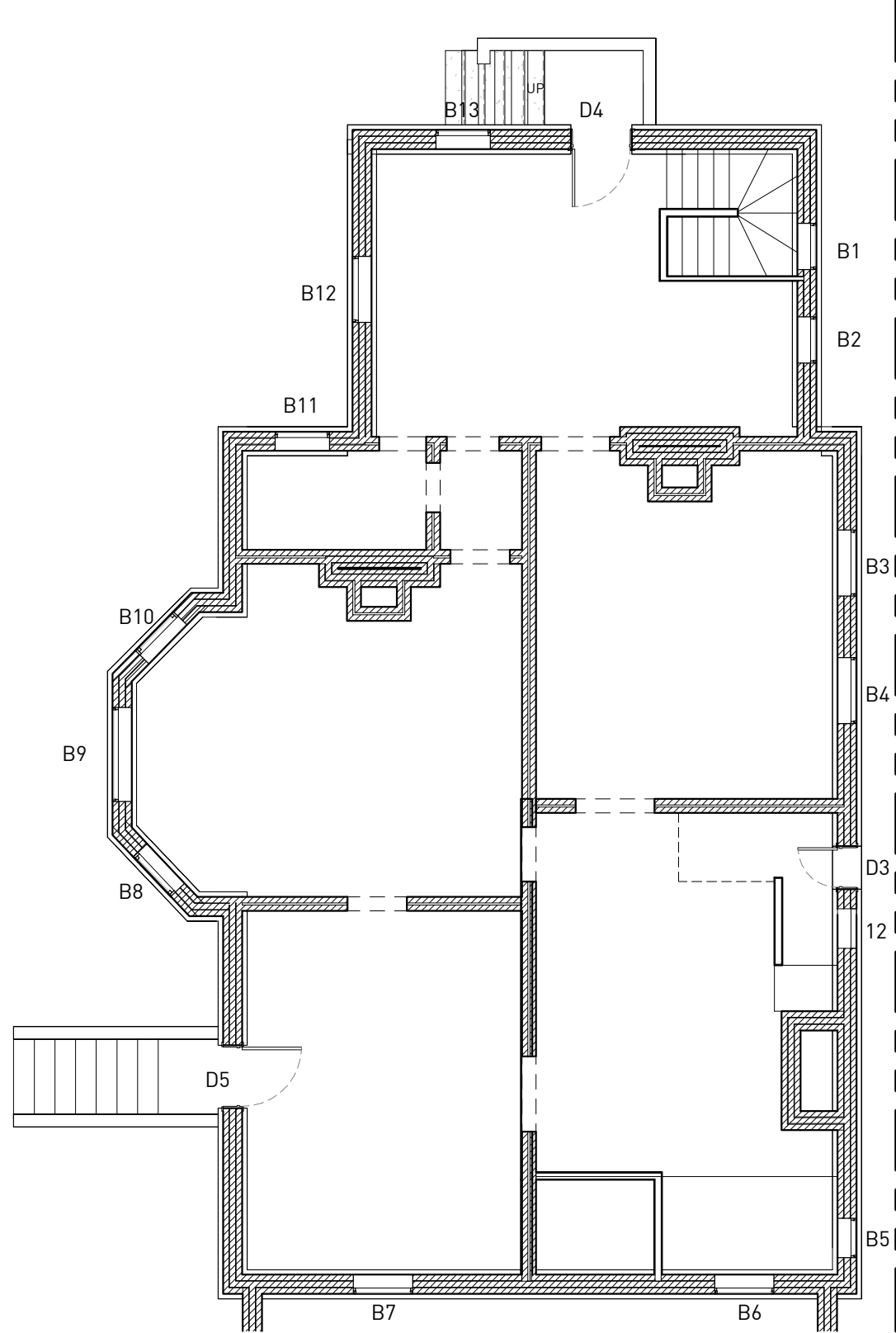
HDC SUBMISSION

NO.	DATE	DESCRIPTION
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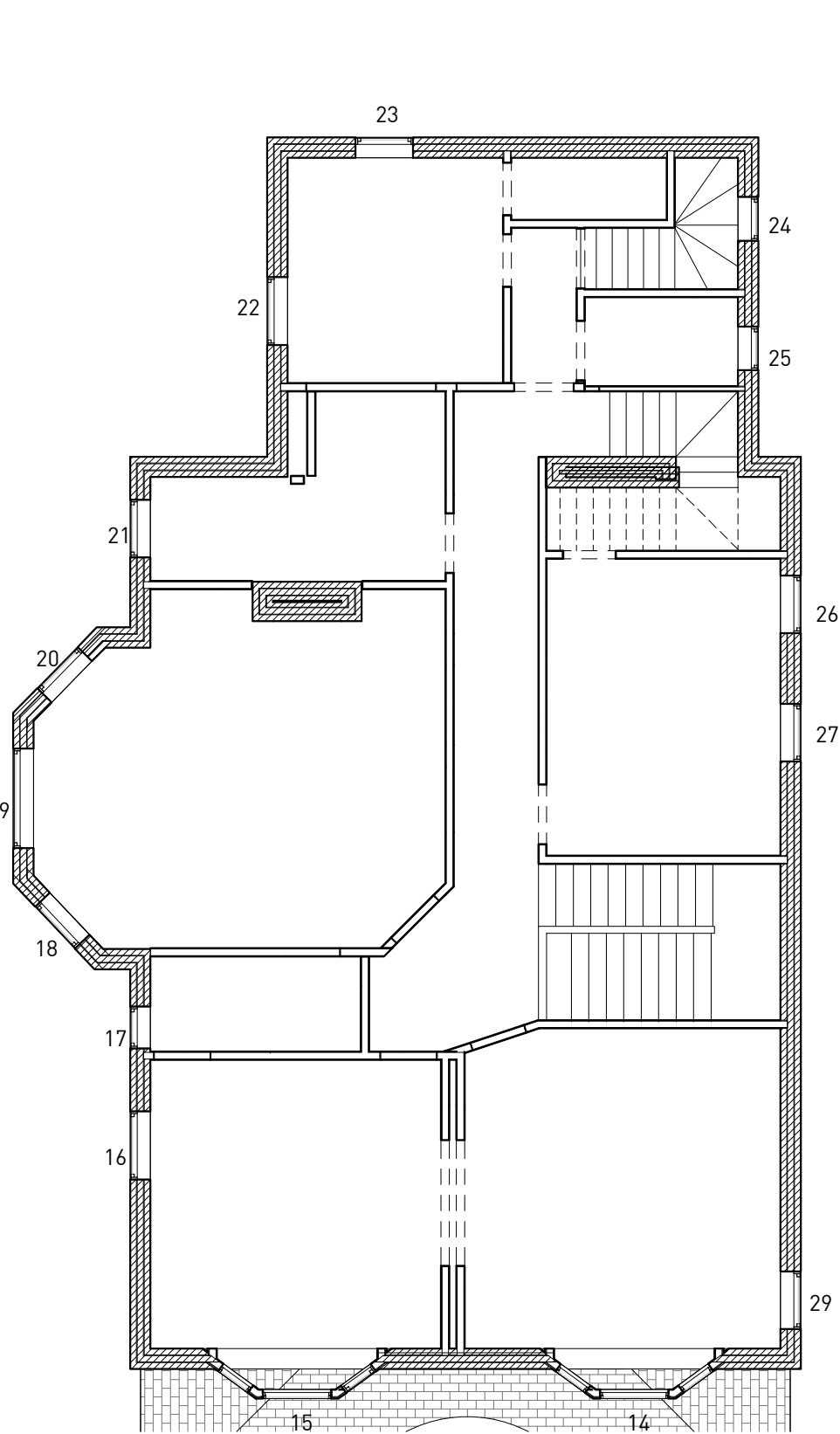


BUILDING SECTIONS

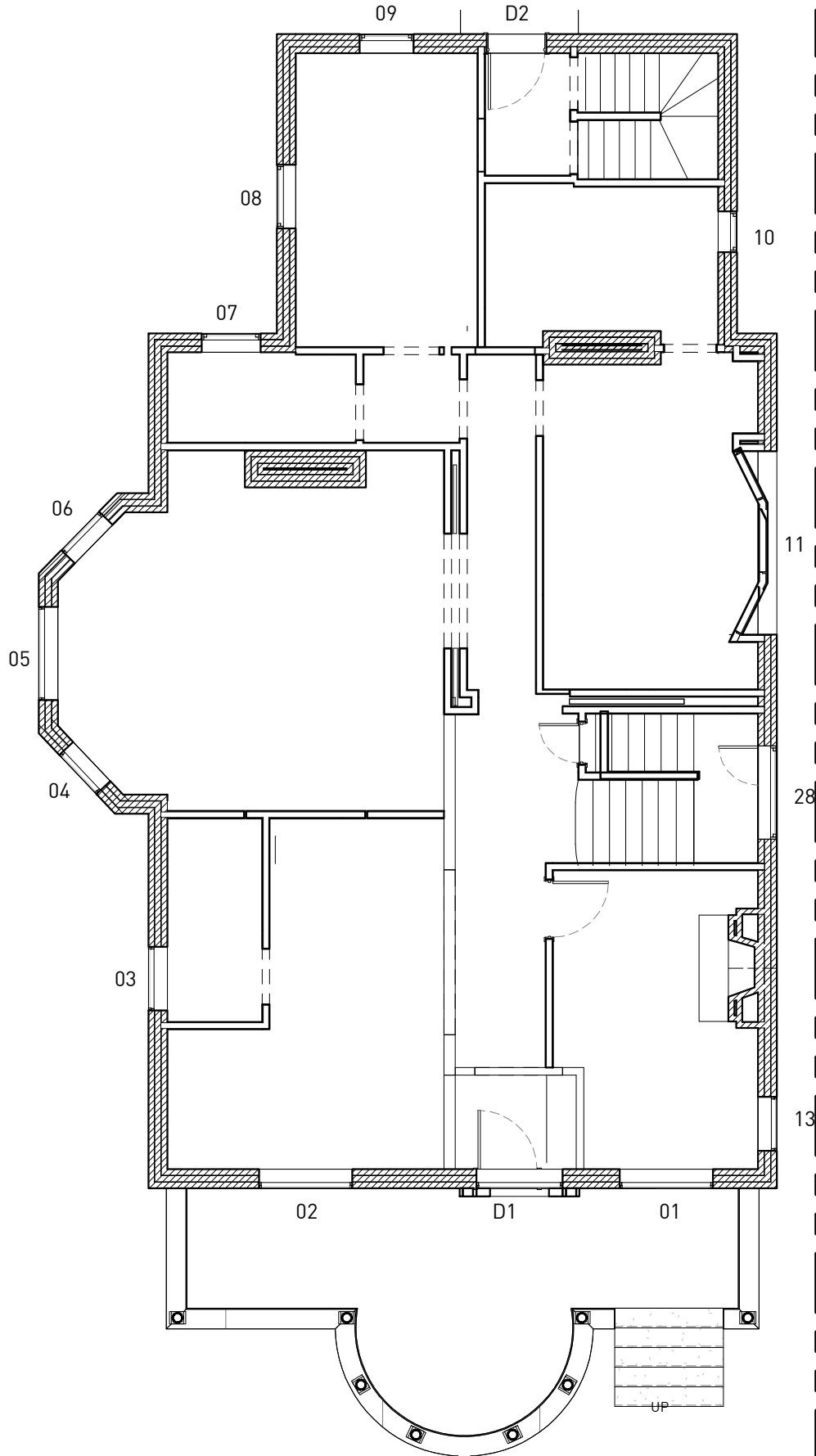
A3-01



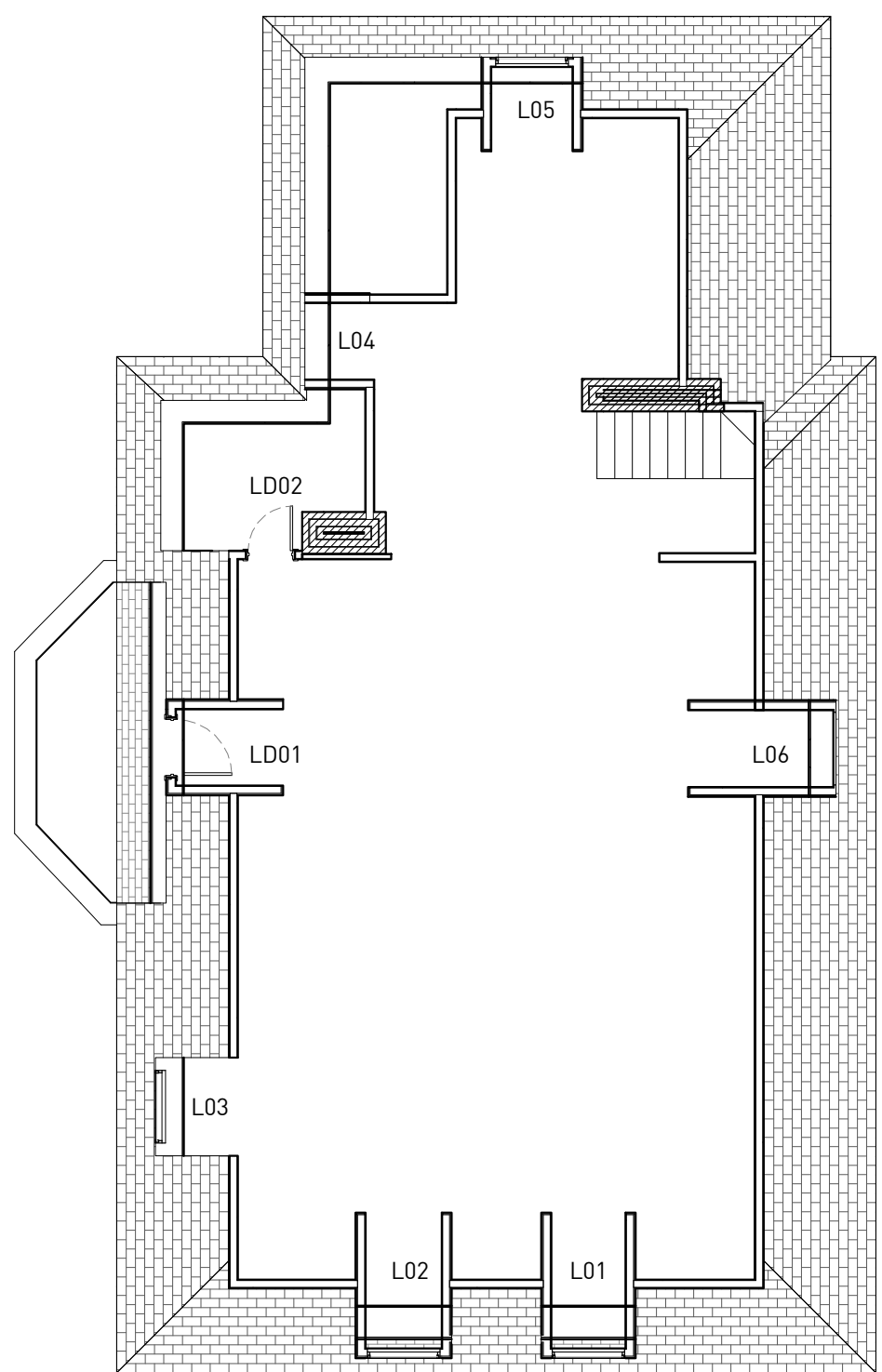
1 EXISTING BASEMENT WINDOW PLAN
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"



3 EXISTING LEVEL 2 WINDOW PLAN
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"



2 EXISTING LEVEL 1 WINDOW PLAN
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"



4 EXISTING LEVEL 3 WINDOW PLAN
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

DES.	STATUS	EXISTING	PROPOSED ALTERATION	NOTES
BASEMENT				
B1	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B2	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B3	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B4	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B5	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B6	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B7	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B8	ORIGINAL	DEMOLISH	NEW AWNING	
B9	ORIGINAL	DEMOLISH	NEW AWNING	
B10	ORIGINAL	DEMOLISH	NEW AWNING	
B11	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B12	ORIGINAL	DEMOLISH	BRICK IN	RECESS 1"
B13	ORIGINAL	DEMOLISH	NEW AWNING	

FIRST LEVEL				
1	ORIGINAL	REFURBISHED	ADD STORM	
2	ORIGINAL	REFURBISHED	ADD STORM	
3	ORIGINAL	REFURBISHED	ADD STORM	
4	ORIGINAL	REFURBISHED	ADD STORM	
5	ORIGINAL	REFURBISHED	ADD STORM	
6	ORIGINAL	REFURBISHED	ADD STORM	
7	ORIGINAL	NOT MEASURED		TO BECOME DOOR
8	ORIGINAL	NOT MEASURED		TO BECOME DOOR
9	ORIGINAL	REFURBISHED	ADD STORM	
10	ORIGINAL	REFURBISHED	ADD STORM	
11	ORIGINAL	REFURBISHED	ADD STORM	
12	ORIGINAL	NOT MEASURED		BRICK IN W/ 1" RECESS
13	ORIGINAL	REFURBISHED	ADD STORM	

SECOND LEVEL				
14	ORIGINAL	REFURBISHED	ADD STORM	
15	ORIGINAL	REFURBISHED	ADD STORM	
16	ORIGINAL	REFURBISHED	ADD STORM	
17	ORIGINAL	REFURBISHED	ADD STORM	
18	ORIGINAL	REFURBISHED	ADD STORM	
19	ORIGINAL	REFURBISHED	ADD STORM	
20	ORIGINAL	REFURBISHED	ADD STORM	
21	ORIGINAL	REFURBISHED	ADD STORM	
22	ORIGINAL	REFURBISHED	ADD STORM	
23	ORIGINAL	REFURBISHED	ADD STORM	
24	ORIGINAL	REFURBISHED	ADD STORM	
25	ORIGINAL	REFURBISHED	ADD STORM	
26	ORIGINAL	REFURBISHED	ADD STORM	
27	ORIGINAL	REFURBISHED	ADD STORM	
28	ORIGINAL	REFURBISHED	ADD STORM	
29	ORIGINAL	REFURBISHED	ADD STORM	

THIRD LEVEL			
L01	REPLACEMENT	NOT MEASURED	NEW CASEMENT
L02	REPLACEMENT	NOT MEASURED	NEW CASEMENT
L03	REPLACEMENT	NOT MEASURED	NEW CASEMENT
L04	REPLACEMENT	NOT MEASURED	NEW CASEMENT
L05	REPLACEMENT	NOT MEASURED	NEW CASEMENT
L06	REPLACEMENT	NOT MEASURED	NEW CASEMENT



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HDC WINDOW
SCHEDULE

A6-00

255 E FERRY FRONT PORCH

Porch 1



Porch 2



255 E FERRY FRONT PORCH

Porch 3



Porch 4



255 E FERRY FRONT PORCH

Porch Ceiling 1



Porch Ceiling 2



255 E FERRY FRONT PORCH

Porch Floor 1



Porch Floor 2

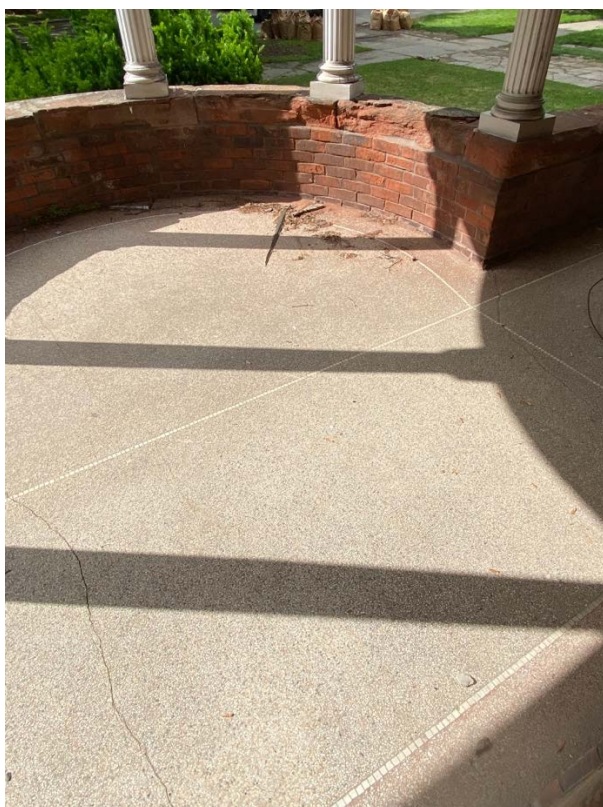


255 E FERRY FRONT PORCH

Porch Floor 3



Porch Floor 4



255 E FERRY FRONT PORCH

Porch Floor 5



Porch Steps

