



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00539

PROPERTY INFORMATION

ADDRESS(ES): 1724 Seyburn St

HISTORIC DISTRICT: West Village

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|--|--|--|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input checked="" type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

REHABILITATION OF AN EXISTING HISTORIC RESIDENCE IN THE WEST VILLAGE NEIGHBORHOOD OF DETROIT. EXTERIOR SCOPE: NEW WOOD WINDOWS IN MODIFIED EXISTING OPENINGS; REMOVAL OF (1) WINDOW & INFILL W/ NEW BRICK; NEW DOORS THROUGHOUT; NEW FRONT PORCH ROOF COVER; NEW REAR DECK & RAILINGS AT FORMER ELEVATED COVERED PATIO AREA; NEW EXTERIOR LIGHTING; REPLACE LOW-SLOPE ROOF AREAS AT REAR AND SIDE BAY WINDOW. SITE SCOPE: REPAIR EXISTING SITEWORK AS NEEDED; NEW SITE-BUILT WOOD FENCE W/ GATES, NEW LANDSCAPING PER OWNER.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Joe Hudec

COMPANY NAME: Infuz Architects

ADDRESS: 1451 Bagley St, Suite 7

CITY: Detroit

STATE: MI

ZIP: 48216

PHONE: +1 (412) 779-9046

EMAIL: joehudec@infuzarchitects.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Joe Hudec

Infuz Architects

Joe Hudec

08/18/2025

SIGNATURE

DATE

1451 Bagley St, Suite 7

Detroit

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48216

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joehudec@infuzarchitects.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

Existing Historic residence is a Colonial Revival w/ Neo-Georgian features.

The house remains in good shape from the exterior and still maintains many original wood windows.

* Repair/Restoration of original wood windows, Masonry restoration, & Gutter replacement has been submitted under HDC2025-00443

The front masonry porch is in poor shape and needs repaired/rebuilt. The rear masonry porch has failed at its concrete slab, and will be replaced with a new deck. The masonry chimney has fallen and will be rebuilt.

The interior is to the studs and will undergo a renovation.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

Exterior scope: New wood windows in modified existing openings; Removal of (1) window & infill w/ new brick; New doors throughout; New front porch roof cover; new rear deck & railings at former elevated covered patio area; New exterior lighting; Replace low-slope roof areas at rear and side bay window.

Site Scope: Repair existing sitework as needed; New site-built wood fence w/ gates, New landscaping per owner.

4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

See attached detailed scope of work + Drawing package





5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<div>6. WINDOWS/DOORS</div> <div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div>	
<div>8. SITE IMPROVEMENTS</div> <div>If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.</div>	







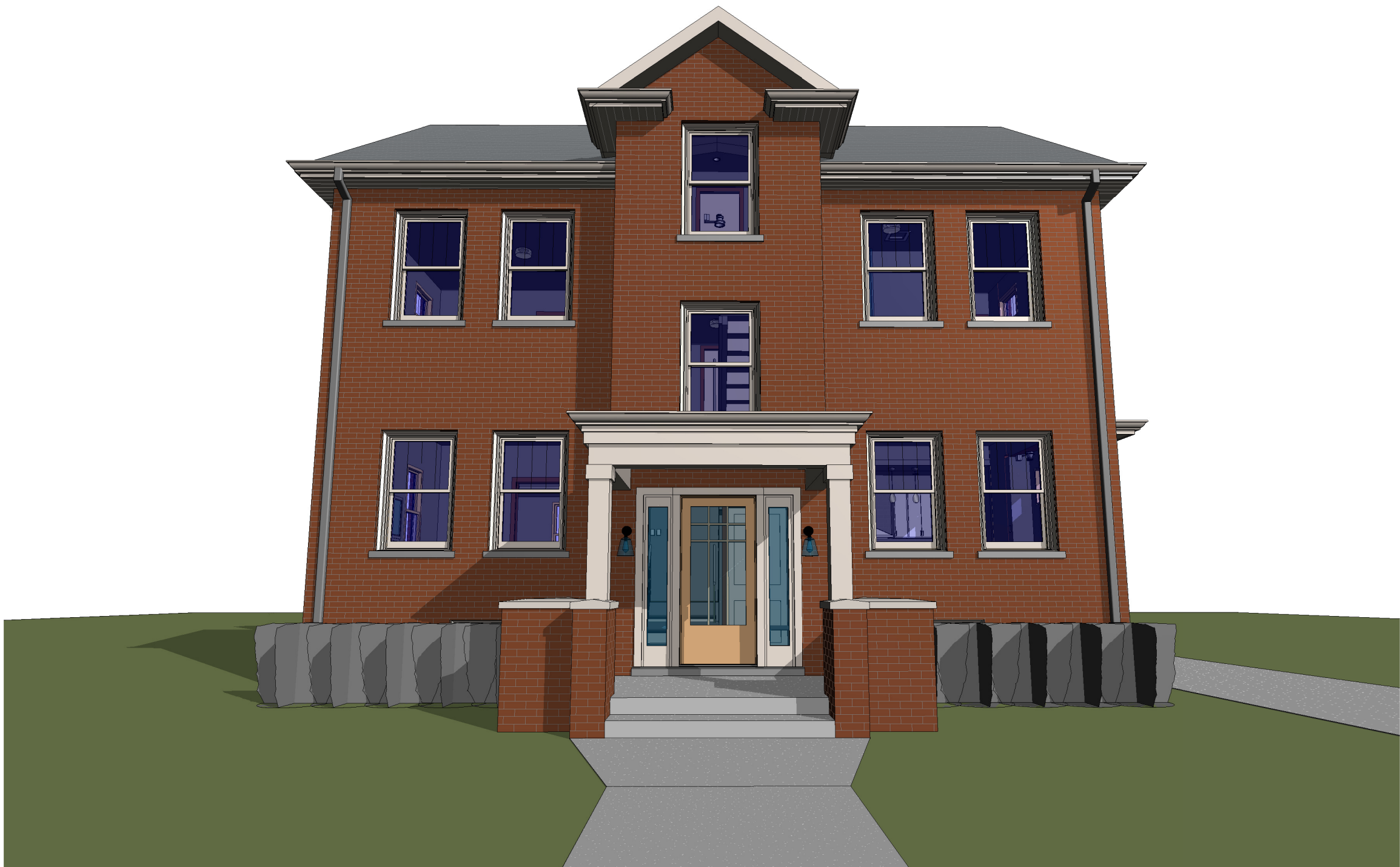




HISTORIC RENOVATION

RYAN & LACEY ZAMPARDO

1724 SEYBURN ST
DETROIT, MI 48214



PROJECT INFORMATION

Owner: RYAN & LACEY ZAMPARDO
Location: 1724 SEYBURN ST.
DETROIT, MI 48214

PROJECT DESCRIPTION:

REHABILITATION OF AN EXISTING HISTORIC RESIDENCE IN THE WEST VILLAGE
NEIGHBORHOOD OF DETROIT, MICHIGAN

SCOPE OF WORK TO INCLUDE:

EXTERIOR:
WINDOW RESTORATION / REPLACEMENT; NEW DOORS THROUGHOUT; NEW FRONT PORCH
ROOF COVER; NEW REAR DECK & RAILINGS AT FORMER ELEVATED COVERED PATIO AREA;
NEW EXTERIOR LIGHTING; REPLACE LOW-SLOPE ROOF AREAS AT REAR AND SIDE BAY
WINDOW.

INTERIOR:
NEW INTERIOR FINISHES THROUGHOUT; REBUILD & REFRAME THE EXISTING MAIN STAIR;
PROVIDE STRUCTURAL BEAM UPGRADES; ALL NEW HVAC, ELECTRICAL, & PLUMBING; NEW
APPLIANCES BY OWNER;

SITework:
REPAIR EXISTING SITework AS NEEDED; NEW SITE-BUILT WOOD FENCE W/ GATES, NEW
LANDSCAPING PER OWNER.

BUILDING SUMMARY:

EXISTING AND PROPOSED GROSS BUILDING AREAS:	1,039 SFG (EXISTING - NO CHANGE)
FIRST FLOOR:	1,031 SFG (EXISTING - NO CHANGE)
SECOND FLOOR:	403 SFG (EXISTING - NO CHANGE)
THIRD FLOOR:	1,031 SFG (EXISTING - NO CHANGE)
BASEMENT:	1,031 SFG (EXISTING - NO CHANGE)
TOTAL GROSS BUILDING AREA:	3,504 SFG (EXISTING - NO CHANGE)

GOVERNING CODES:

2015 MICHIGAN RESIDENTIAL CODE (MRC)
2021 MICHIGAN MECHANICAL CODE (MMC)
2021 MICHIGAN PLUMBING CODE (MPC)
2023 NATIONAL ELECTRICAL CODE (NEC)
2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)
2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

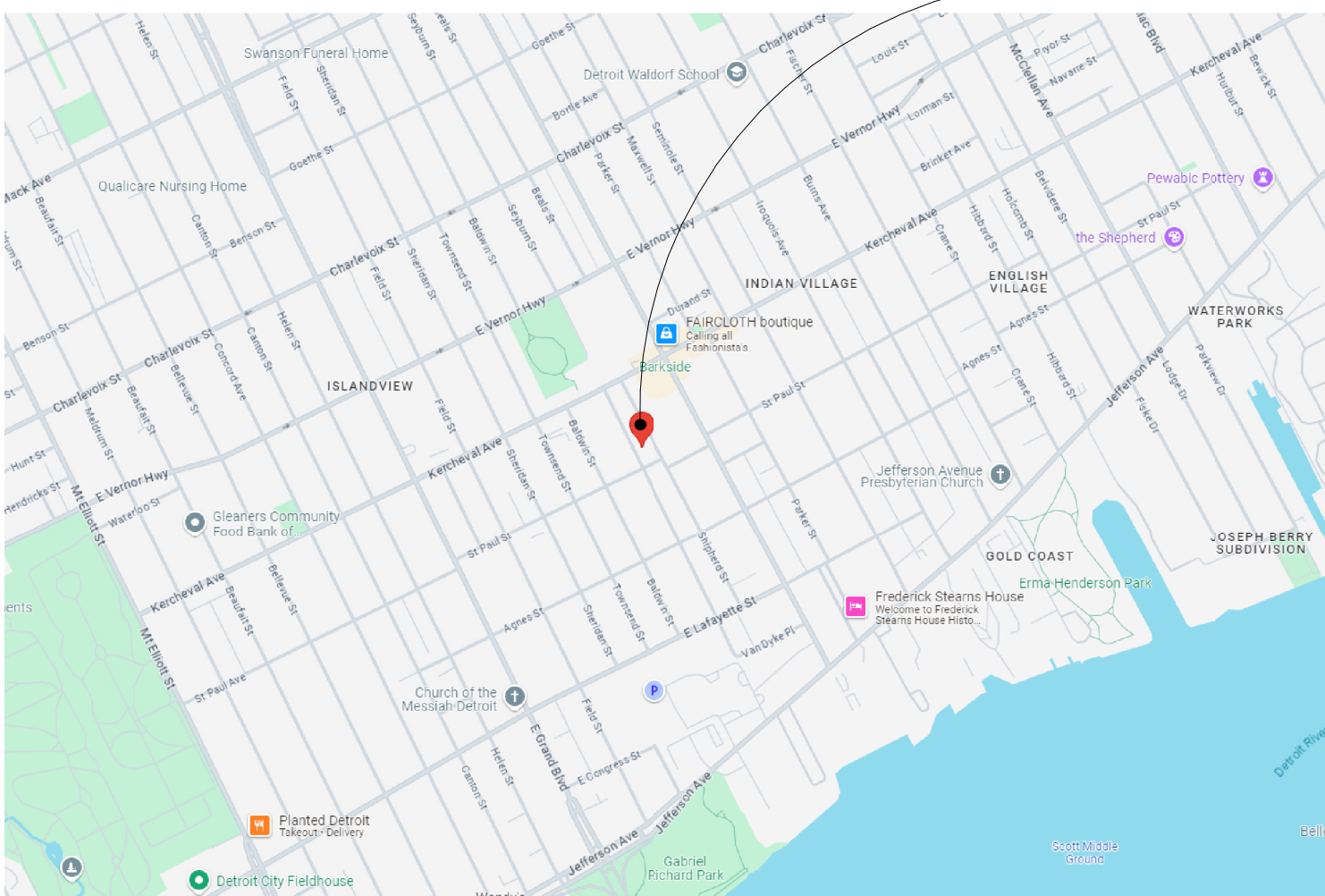
CONSTRUCTION TYPE: TYPE VB / NS (NO SPRINKLER SYSTEM)

DISCLAIMER: ALL CONDITIONS DEPICTED ARE BASED ON KNOWLEDGE
DISCOVERED UPON FIELD MEASURE (OR CONVEYED BY OWNER). IT IS THE
RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF
ANY DISCOVERIES EXPOSED UPON DEMOLITION / NEW CONSTRUCTION THAT
DIFFER FROM CONDITIONS DEPICTED HEREIN.

SHEET LIST	
SHEET NUMBER	SHEET NAME
1CS	COVER SHEET
2CSP	ARCHITECTURAL SITE PLAN
A-1.0	DEMOLITION PLANS
A-1.1	DEMOLITION ELEVATIONS
A-2.1	PROPOSED FLOOR PLANS
A-2.2	PROPOSED FLOOR PLANS
A-2.3	PROPOSED ROOF PLAN
A-3.1	PROPOSED EXTERIOR ELEVATIONS
A-3.2	PROPOSED EXTERIOR ELEVATIONS
A-3.3	ELEVATION DETAILS
A-5.0	REFLECTED CEILING PLANS
A-5.1	REFLECTED CEILING PLANS
A-6.0	TYPICAL UNIT PLANS AND INTERIOR ELEVATIONS

SHEET LIST	
SHEET NUMBER	SHEET NAME
M-100	MECHANICAL NOTES
M-201	HVAC PLANS
M-202	HVAC PLANS
E-100	ELECTRICAL NOTES
E-201	ELECTRICAL POWER PLANS
E-202	ELECTRICAL POWER PLANS
E-203	ELECTRICAL LIGHTING PLANS
E-204	ELECTRICAL LIGHTING PLANS
P-100	PLUMBING NOTES
P-201	PLUMBING PLANS
P-202	PLUMBING PLANS
S-1.0	STRUCTURAL PLANS

VICINITY MAP



GENERAL SYMBOLS

	SECTION WITH SECTION NUMBER & NAME
	DETAIL WITH DETAIL NUMBER & NAME
	WINDOW TYPE
	DOOR TYPE
	LEVEL WITH NAME & HEIGHT
	REVISION
	NORTH DESIGNATION

ABBREVIATIONS

@	AT
ACOUST.	ACOUSTICAL
A.C.T.	ACOUSTICAL CEILING TILE
ADJ.	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.O.	BOTTOM OF
B.O.F.	BOTTOM OF FOOTING
CEM.	CEMENT
CFM.	CUBIC FEET PER MINUTE
CL.	CENTERLINE
C.O.	CLEANOUT
COL.	COLUMN
COL.G.	CORNER GUARD
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRUGATED
CPT.	CARPET
C.T.	CERAMIC TILE
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
DWG.	DRAWING
EA.	EACH
ELEV.	ELEVATION
E.W.	EACH WAY
EX.	EXISTING
EXP.	EXPANSION/EXPOSED
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
FRP.	FIBER REINFORCED PANELS
FIN.	FINISH
FLR.	FLOOR
F.O.	FACE OF
F.O.S.	FACE OF STUD
FR.	FRAME
FTG.	FOOTING
GA.	Gauge
GALV.	GALVANIZED
GYP.	GYPsum
HDW.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HT.	HEIGHT
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JOINT.	JOINT
LAV.	LAVATORY
LG.	LONG
LLO.	LONG LEG OUTSTANDING
LLV.	LONG LEG VERTICAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MEZZ.	MEZZANINE
M.I.	MISCELLANEOUS IRON
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
N.I.C.	NOT IN CONTRACT
N.S.	NO SCALE
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
PL.G.	PLATE GLASS
PL.S.	PLATE STEEL
PL.	PLATE
P-LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PREFAB.	PREFABRICATED
PROJ.	PROJECT
P.F.	POUNDS PER SQUARE FOOT
PT.	PAINT/POINT
R.	RISER
R.A.	RETURN AIR
R.B.	RUBBER BASE
R.C.	ROOF CONDUCTOR
R.F.	RUBBER FLOORING
REINF.	REINFORCED/REINFORCING
REQ'D.	REQUIRED
RFG.	ROOFING
RM.	ROOM
R.S.	ROOF SUMP
R.T.	RUBBER TILE
SAN.	SANITARY
SCHED.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
S.S.	SERVICE SINK/STAINLESS STEEL
STL.	STEEL
STD.	STANDARD
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SW.	SWITCH
SYM.	SYMMETRICAL
T.	TREAD
T&B.	TOP AND BOTTOM
TEL.	TELEPHONE
TERR.	TERRAZZO
T&G.	TONGUE AND GROOVE
THK.	THICKNESS
THRES.	THRESHOLD
T.O.	TOP OF
T.O.F.	TOP OF FOOTING
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
U/C.	UNDERCUT
U.N.O.	UNLESS NOTED OTHERWISE
US.	UNDERSIDE
V.B.	VINYL BASE
V.C.B.	VINYL COMPOSITE BASE
V.C.T.	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
V.S.B.	VINYL STRAIGHT BASE
VERT.	VERTICAL
WD.	WIDE
WAINS.	WAINSCOT
W.A.	WATER CLOSET
WD. WIN.	WOOD WINDOW
WD.	WOOD
WT.	WEIGHT
W.W.F.	WELDED WIRE FABRIC
W.W.M.	WOVEN WIRE MESH



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NO.	DESCRIPTION	DATE
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

SEAL

NOT FOR
CONSTRUCTION

DATE SEALED

HISTORIC RENOVATION

1724 SEYBURN ST
DETROIT, MI 48214

RYAN & LACEY ZAMPARDO

SHEET TITLE
COVER SHEET

SHEET NUMBER

1CS

1
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GENERAL SITE NOTES:

THE DRAWINGS HEREIN ARE FOR INFORMATIONAL PURPOSES AND CONVEYANCE OF DESIGN INTENT. INFORMATION DEPICTED IS NOT INTENDED TO BE CONSTRUED AS LEGAL SURVEY OR ENGINEERED CIVIL. REFER TO SUBMITTALS BY PROFESSIONAL CONSULTANTS FOR WORK BEYOND THE SCOPE DEPICTED HEREIN.

1. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE A REGISTERED LAND SURVEYOR TIE OUT AND RESET ANY PROPERTY CORNERS OR SECTION CORNERS PLANNED TO BE DISTURBED BY CONSTRUCTION OF THIS PROJECT, AND SHALL HAVE A REGISTERED LAND SURVEYOR RE-ESTABLISH ANY PROPERTY CORNERS OR SECTION CORNERS INADVERTENTLY DISTURBED DURING CONSTRUCTION OF THIS PROJECT.
2. ALL STREET, SANITARY SEWER, STORM SEWER AND WATERLINE CONSTRUCTION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF EXECUTION OF THE CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISSDIG, CALL TWO BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
4. MAINTENANCE OF ONSITE DRAINAGE TO MINIMIZE ANY RUNOFF / EROSION DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SERVICE AND SCHEDULES.
6. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION.
7. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION.
8. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
9. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN UNDERGROUND UTILITIES.
10. THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER, WATER SERVICE OR ABANDONING AN EXISTING WATER SERVICE.
11. THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
12. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SCOPE.

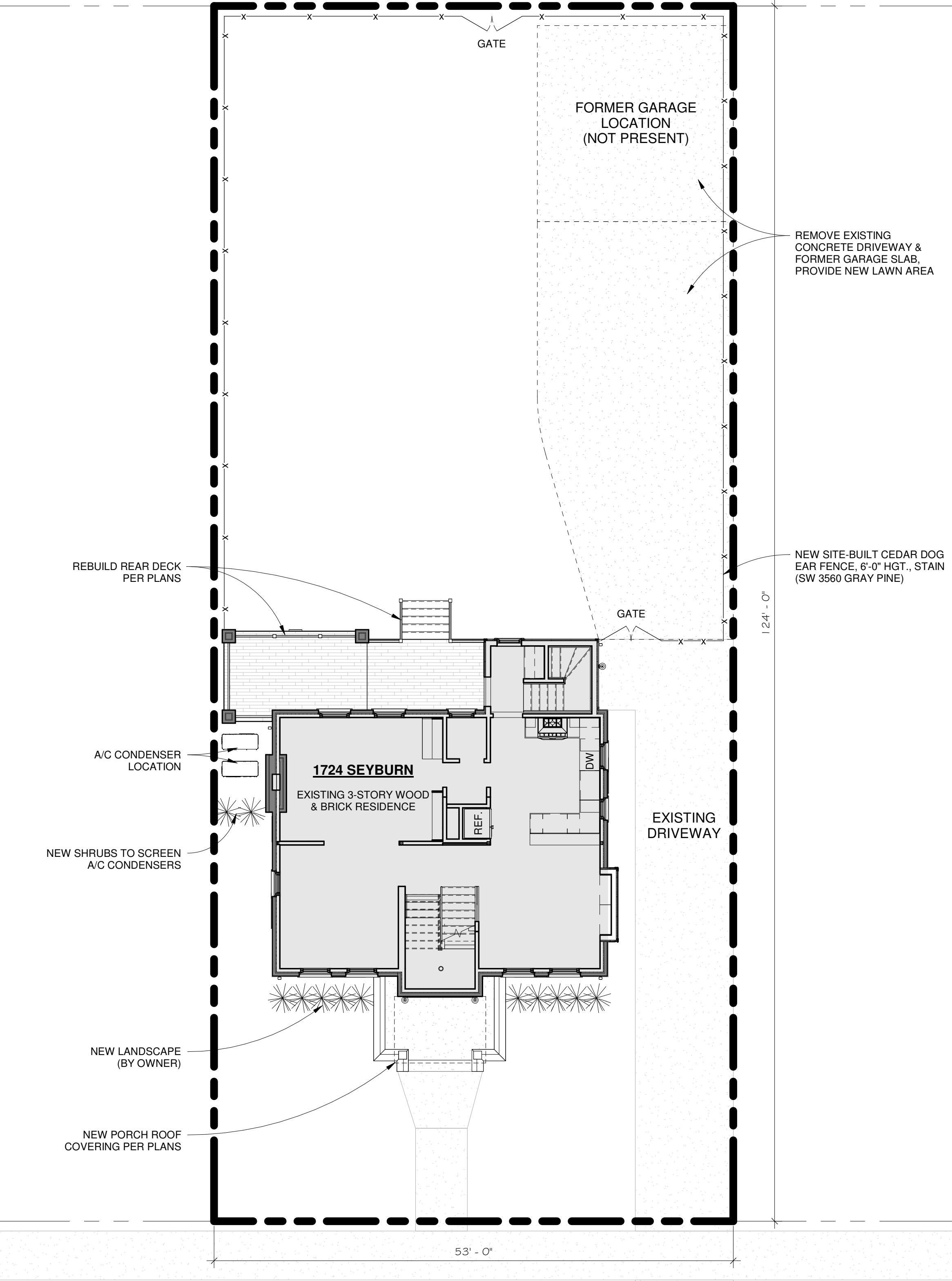
ZONING REQUIREMENTS

LOCAL AUTHORITY: CITY OF DETROIT
LOCAL ORDINANCE: DETROIT ZONING ORDINANCE (REVISION 31 JULY 2018)
ZONING CLASSIFICATION: R-2 RESIDENTIAL
USE CLASSIFICATION: SINGLE FAMILY DWELLING (SEC. 50-11-236 - SEC. 50-11-239)
REQUIRED SETBACKS: (SECT. 50-11-245)
EXISTING TO REMAIN (NO CHANGE)
MINIMUM LOT SIZE: (SECT. 50-13-45)
EXISTING TO REMAIN (NO CHANGE)
MAXIMUM HEIGHT: (SECT. 50-11-245)
EXISTING TO REMAIN (NO CHANGE)
LOT COVERAGE: (SECTS. 50-13-236 & 50-13-237)
EXISTING TO REMAIN (NO CHANGE)
REQUIRED PARKING: 1 SPACE PER DWELLING
TOTAL PARKING PROVIDED: 1 SPACES PROVIDED ON SITE

- NOTE:**
1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
 2. ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO.
 3. ALL LANDSCAPE SELECTIONS BY OWNER/CONTRACTOR.

SITE PLAN - PROPOSED

1/8" = 1'-0"



SEYBURN ST



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Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

NOT FOR CONSTRUCTION

DATE SEALED

HISTORIC RENOVATION
PROJECT NUMBER: Z2409
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER

2CSP

DEMOLITION NOTES:

REGULATORY REQUIREMENTS:

- A. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. OBTAIN AND PAY FOR ALL PERMITS REQUIRED. WHERE TOXIC SUBSTANCES ARE SUSPECTED TO BE PRESENT, PARTICULARLY LEAD PAINT AND ASBESTOS, A CERTIFIED REMOVAL ENTITY SHALL BE RETAINED AND FOLLOW GOVERNING AGENCY GUIDELINES FOR REMOVAL AND DISPOSAL.
- B. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY FEDERAL, STATE, AND LOCAL LAW TO INSURE PUBLIC AND WORKER SAFETY. COMPLY WITH OSHA AND EPA REQUIREMENTS.

PREPARATION:

- A. AS PART OF THE PROJECT SCOPE, THE CONTRACTOR SHALL PREPARE ALL DRAWINGS, DOCUMENTS, AND APPLICATIONS AND SHALL OBTAIN ALL GOVERNMENT AGENCY APPROVALS AND PERMITS REQUIRED FOR DEMOLITION ACTIVITIES.
- B. CONDUCT DEMOLITION OPERATIONS AND REMOVE MATERIALS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND UTILIZED FACILITIES.
- C. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR UTILIZED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- D. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- E. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- F. MAINTAIN TEMPORARY PROTECTION TO PEOPLE AT EXTERIOR AREAS OF THE EXISTING BUILDING WHERE DECORATIVE MEDALLION REMOVAL WORK IS BEING DONE.
- G. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING THAT ARE DESIGNATED TO REMAIN IN PLACE.
- H. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF BUILDINGS TO BE DEMOLISHED AND ADJACENT BUILDINGS TO REMAIN.
- I. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- J. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- K. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF DEMOLITION AND RECYCLING REQUIRED.
- L. SURVEY CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
- M. RETAIN A LICENSED AND QUALIFIED STRUCTURAL ENGINEER TO PROVIDE ANALYSIS, INCLUDING CALCULATIONS, NECESSARY TO ENSURE THE SAFE EXECUTION OF THE DEMOLITION WORK.
- N. BEARING WALLS, STRUCTURAL STEEL, CONCRETE FOUNDATIONS AND SUPPORTED SLABS WITH STRUCTURAL FRAMING SHALL NOT BE ALTERED WITHOUT A FIELD INVESTIGATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER.

GENERAL:

- A. DEMOLITION DRAWINGS INDICATE GENERAL AREAS OF DEMOLITION ONLY. EXTENT OF REMOVAL OF EXISTING CONSTRUCTION MATERIALS TO BE DETERMINED BY FIELD INVESTIGATION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL TO BE RELOCATED PER DRAWINGS, COORDINATE WITH CONTRACTORS AS REQUIRED.
- B. COORDINATE REMOVAL OF EXISTING MATERIALS WITH PROPOSED FRAMING DETAILS, INTERIOR ELEVATIONS, AND DETAILS. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED PRIOR TO STRUCTURAL DEMOLITION.
- C. PATCH AND REPAIR EXISTING MATERIALS TO REMAIN AS REQUIRED WHERE REMOVAL OF EXISTING CONSTRUCTION OR WHERE REQUIREMENTS OF NEW CONSTRUCTION NECESSITATES CUTTING OR ALTERING EXISTING MATERIALS. EXISTING WALLS, FLOORS, AND CEILING TO REMAIN INTACT AS IS INDICATED ON DRAWINGS. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PATCH AND REPAIR OF ALL DAMAGE ARISING FROM DEMOLITION OPERATIONS AS REQUIRED TO MATCH EXISTING.
- D. ALL DEMOLITION WORK SHALL ATTEMPT TO SALVAGE ADJACENT AREAS AND RE-USABLE MATERIALS TO THE EXTENTS POSSIBLE. VERIFY OWNER'S INTENT TO REUSE OR STORE ANY BUILDING COMPONENTS PRIOR TO DISPOSAL. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN PROPERTY OF OWNER, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER.
- E. EVERY ATTEMPT SHALL BE MADE BY THE DEMOLITION CONTRACTOR TO SEPARATE BUILDING MATERIALS INTO RECYCLABLE CONTENT.
- F. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- G. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION.
- H. PROVIDE TEMPORARY AND SECURE WATERPROOF ENCLOSURE DURING CONSTRUCTION.
- I. PREPARE ALL SURFACES AS REQUIRED TO RECEIVE NEW WORK AND NEW FINISHES AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- J. ALL SALVAGED ITEMS TO BE CLEANED, REPAIRS, OR PATCHED AS NECESSARY PRIOR TO NEW INSTALLATION.
- K. REMOVE ANY DAMAGED MASONRY AT REMAINING WALLS. PROVIDE NEW INFILL TO MATCH EXISTING.
- L. REMOVE EXISTING MECHANICAL AND PLUMBING SYSTEMS, VENTS, FIXTURES, DRAINS, AND DUCTWORK NOT INDICATED FOR REUSE. DO NOT ABANDON ITEMS IN PLACE UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION.

DISPOSAL PRACTICES AND HAULING:

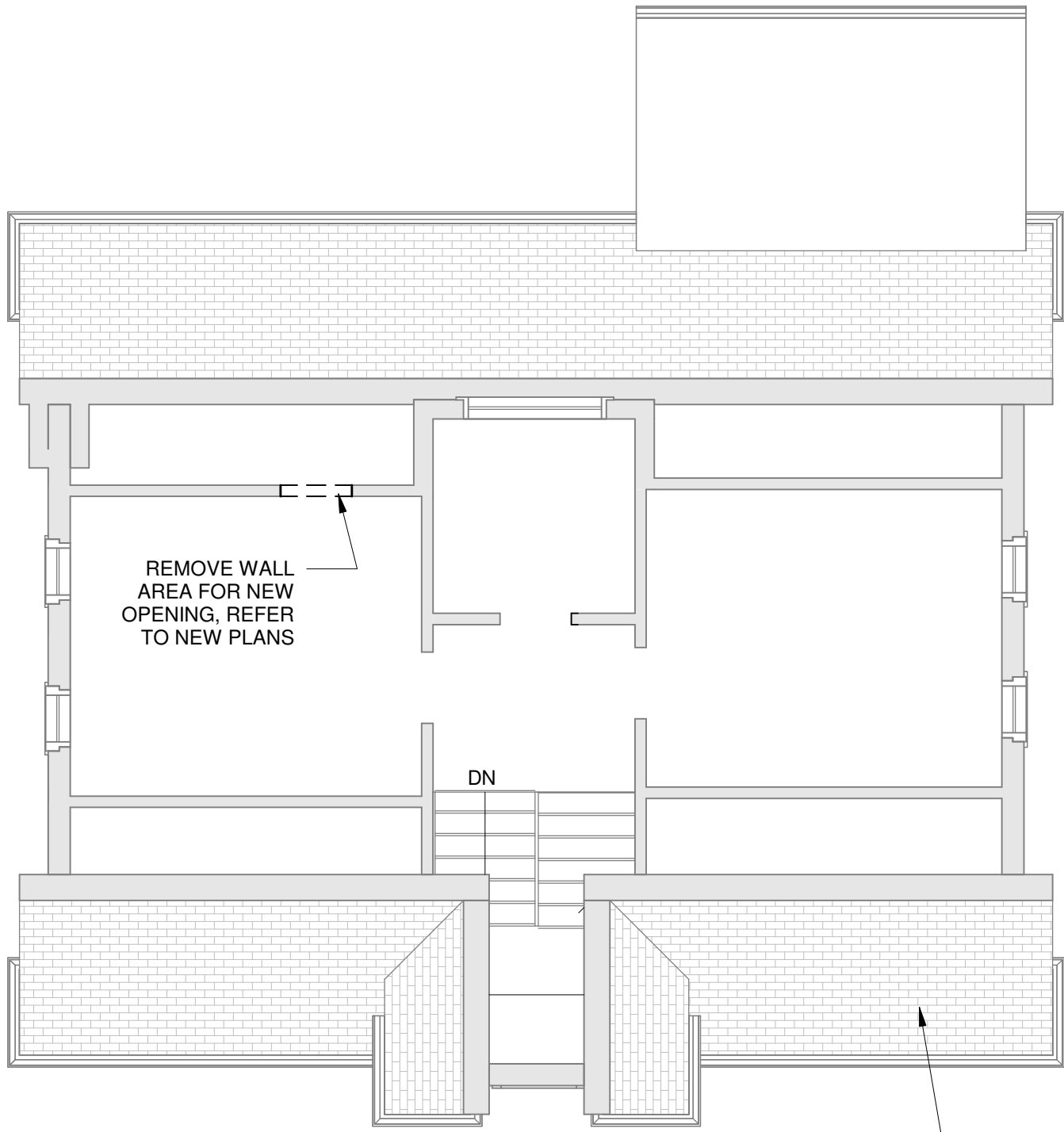
- A. LEGALLY TRANSPORT AND DISPOSE OF MATERIALS THAT CANNOT BE DELIVERED TO A SOURCE-SEPARATED OR MIXED RECYCLING FACILITY TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE OF DISPOSAL.
- B. USE A PERMITTED WASTE HAULER OR CONTRACTOR'S TRUCKING SERVICES AND PERSONNEL TO CONFIRM VALID PERMITTED STATUS OF WASTE HAULERS, CONTACT THE APPROPRIATE WASTE MANAGEMENT AGENCY.
- C. BECOME FAMILIAR WITH THE CONDITIONS FOR ACCEPTANCE OF NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS AT RECYCLING FACILITIES, PRIOR TO DELIVERING MATERIALS.
- D. DELIVER TO FACILITIES THAT CAN LEGALLY ACCEPT NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS FOR PURPOSE OF RE-USE, RECYCLING, COMPOSTING, OR DISPOSAL. DO NOT BURN, BURY OR OTHERWISE DISPOSE OF RUBBISH AND WASTE MATERIALS ON PROJECT SITE.
- E. DEMOLISH CONCRETE AND MASONRY IN SIZES THAT WILL BE SUITABLE FOR ACCEPTANCE AT RECYCLING OR DISPOSAL FACILITIES.

ELECTRICAL DEMOLITION:

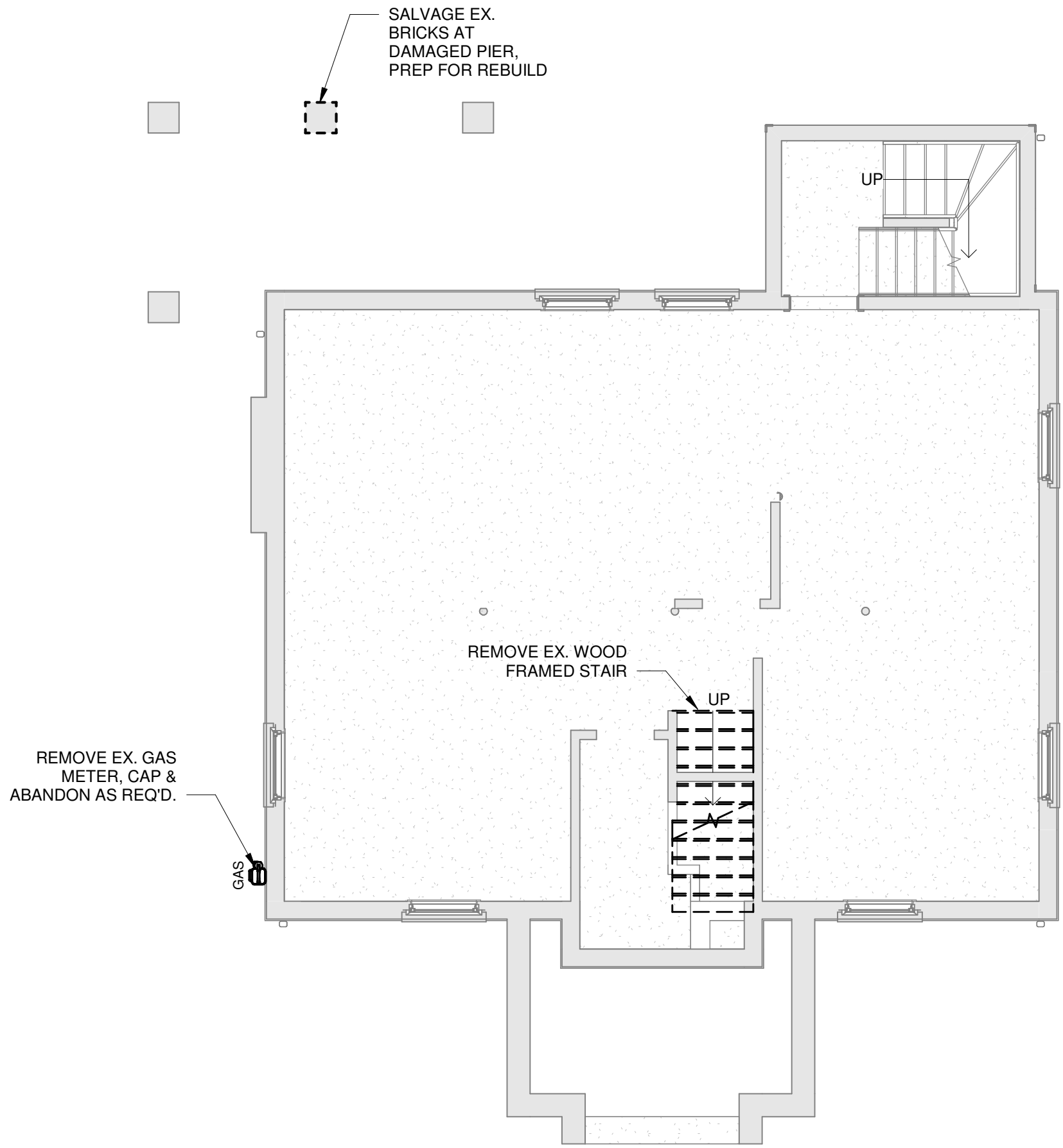
- A. SAFETY-RELATED WORK PRACTICES SHALL BE EMPLOYED TO PREVENT ELECTRIC SHOCK OR ELECTRICAL CONTACTS, WHEN WORK IS PERFORMED NEAR OR ON EQUIPMENT OR CIRCUITS WHICH ARE OR MAY BE ENERGIZED. LIVE PARTS SHALL BE DE-ENERGIZED BEFORE WORK COMMENCES ON THEM. ONLY QUALIFIED ELECTRICIAN MAY WORK ON ENERGIZED CIRCUITS OR EQUIPMENT.
- B. THE CIRCUITS AND EQUIPMENT TO BE WORKED ON SHALL BE DISCONNECTED FROM ALL ELECTRIC ENERGY SOURCES. ELECTRIC EQUIPMENT OR CIRCUITS WHICH HAVE BEEN DE-ENERGIZED SHALL BE LOCKED OUT OR TAGGED OR BOTH.
- C. A QUALIFIED ELECTRICIAN SHALL USE TEST EQUIPMENT (VOLT-OHM METER, ETC.) AND SHALL VERIFY THAT THE CIRCUIT AND EQUIPMENT ARE DE-ENERGIZED. IF THE CIRCUIT IS OVER 600 VOLTS, THE TEST EQUIPMENT SHALL BE CHECKED FOR PROPER OPERATION IMMEDIATELY BEFORE AND IMMEDIATELY AFTER THIS TEST.
- D. STORED ELECTRIC ENERGY WHICH MIGHT ENDANGER PERSONNEL SHALL BE RELEASED. CAPACITORS SHALL BE DISCHARGED AND HIGH CAPACITANCE ELEMENTS SHALL BE SHORT-CIRCUITED AND GROUNDED, IF THE STORED ELECTRIC ENERGY MIGHT ENDANGER PERSONNEL.
- E. A QUALIFIED ELECTRICIAN SHALL CONDUCT TESTS AND VISUAL INSPECTIONS TO VERIFY THAT ALL TOOLS, ELECTRICAL JUMPERS, SHORTS, GROUNDS, AND OTHER SUCH DEVICES HAVE BEEN REMOVED, SO THAT THE CIRCUITS AND EQUIPMENT CAN BE SAFETY ENERGIZED.
- F. CAP, TERMINATE, OR REMOVE ALL MISCELLANEOUS POWER WIRES, OUTLETS, AND SWITCHES AS REQUIRED DURING CONSTRUCTION AND DEMOLITION.
- G. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL LIGHTING FIXTURES, LOW VOLTAGES TRANSFORMERS, WIRING DEVICES IN ENTIRETY. ALL CONDUIT, WIRING, CABLING, ETC. SHALL BE REMOVED BACK TO THE SOURCE.

GAS PIPING:

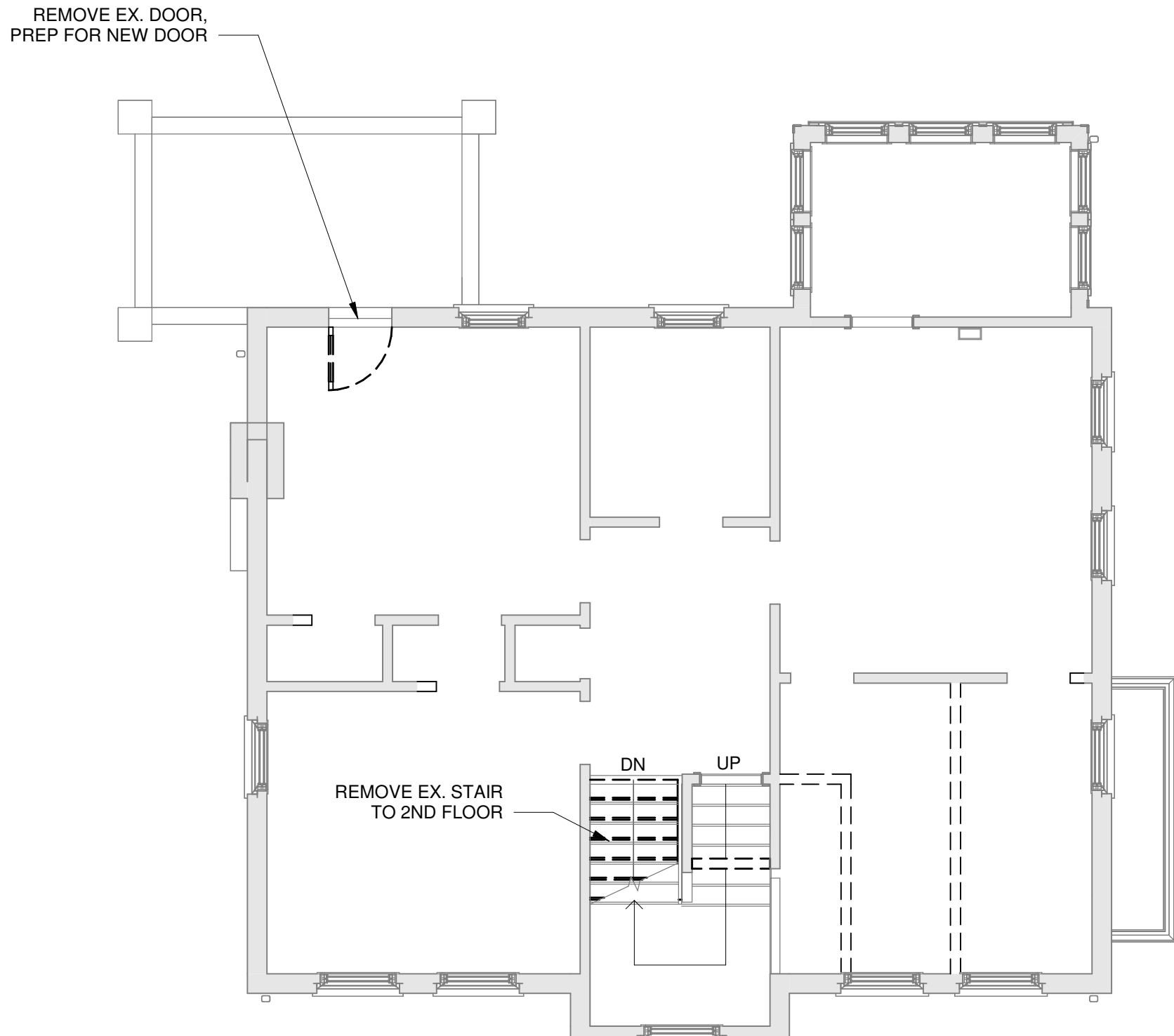
- A. ALL GAS TO BE SHUT OFF TO AREAS OF DEMOLITION BY A QUALIFIED CONTRACTOR. TEST FOR LEAKS PRIOR TO COMMENCING WORK.
- B. WHERE APPLICABLE, PROVIDE NEW SHUT OFF VALVES WHERE PIPING REACHES AREA OF DEMOLITION.



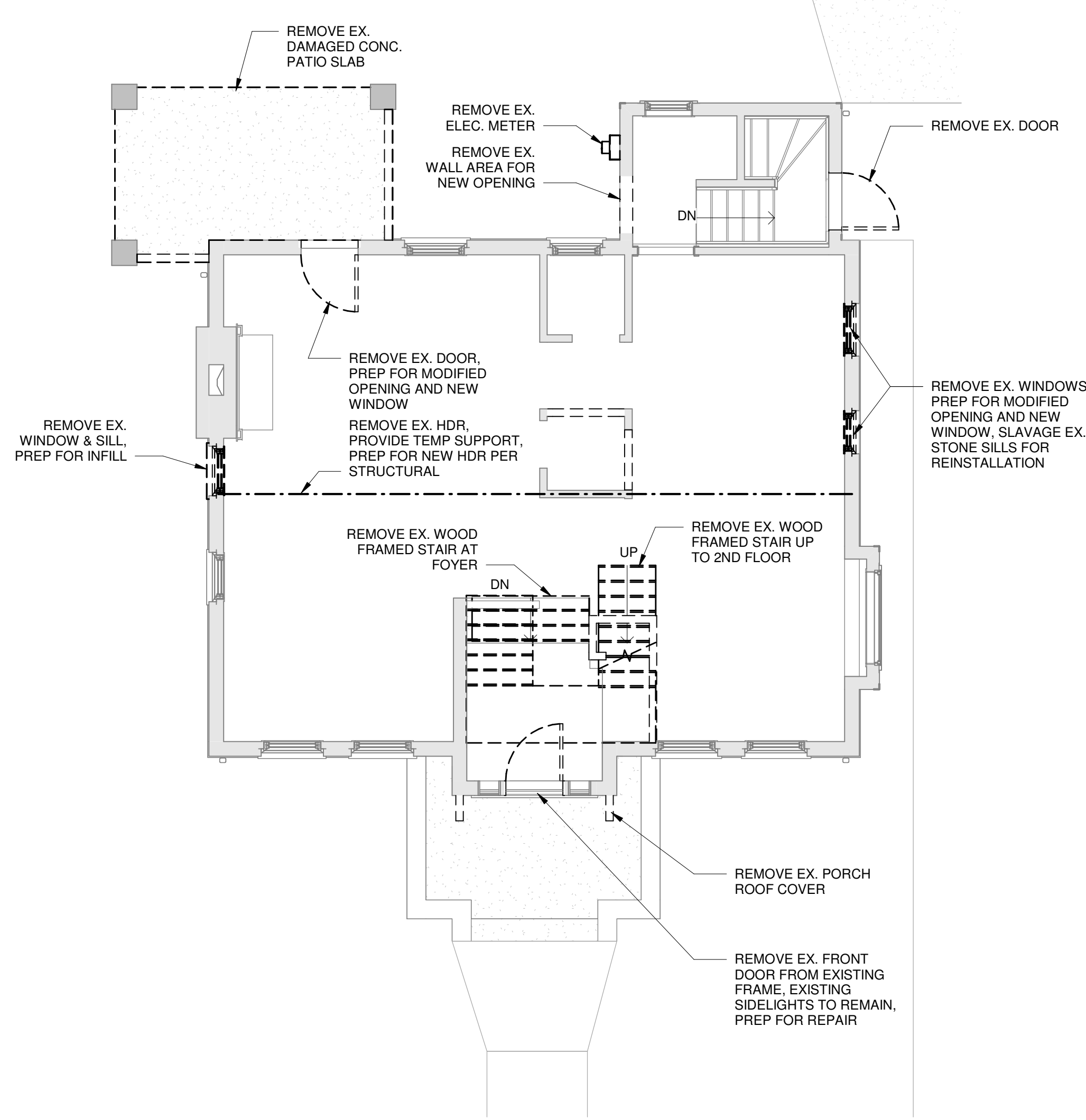
4 ATTIC PLAN - DEMO
A-3.1 3/16" = 1'-0"



2 FOUNDATION PLAN - DEMO
A-3.1 3/16" = 1'-0"

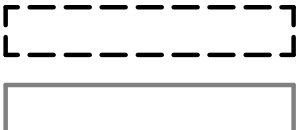


3 SECOND FLOOR - DEMO
A-3.1 3/16" = 1'-0"



1 FIRST FLOOR - DEMO
A-3.1 3/16" = 1'-0"

LEGEND



DEMOLISHED
EXISTING



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Revision Schedule

#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

SEAL

NOT FOR CONSTRUCTION

DATE

SEALED

HISTORIC RENOVATION

PROJECT NUMBER: Z2009

1724 SEYBURN ST

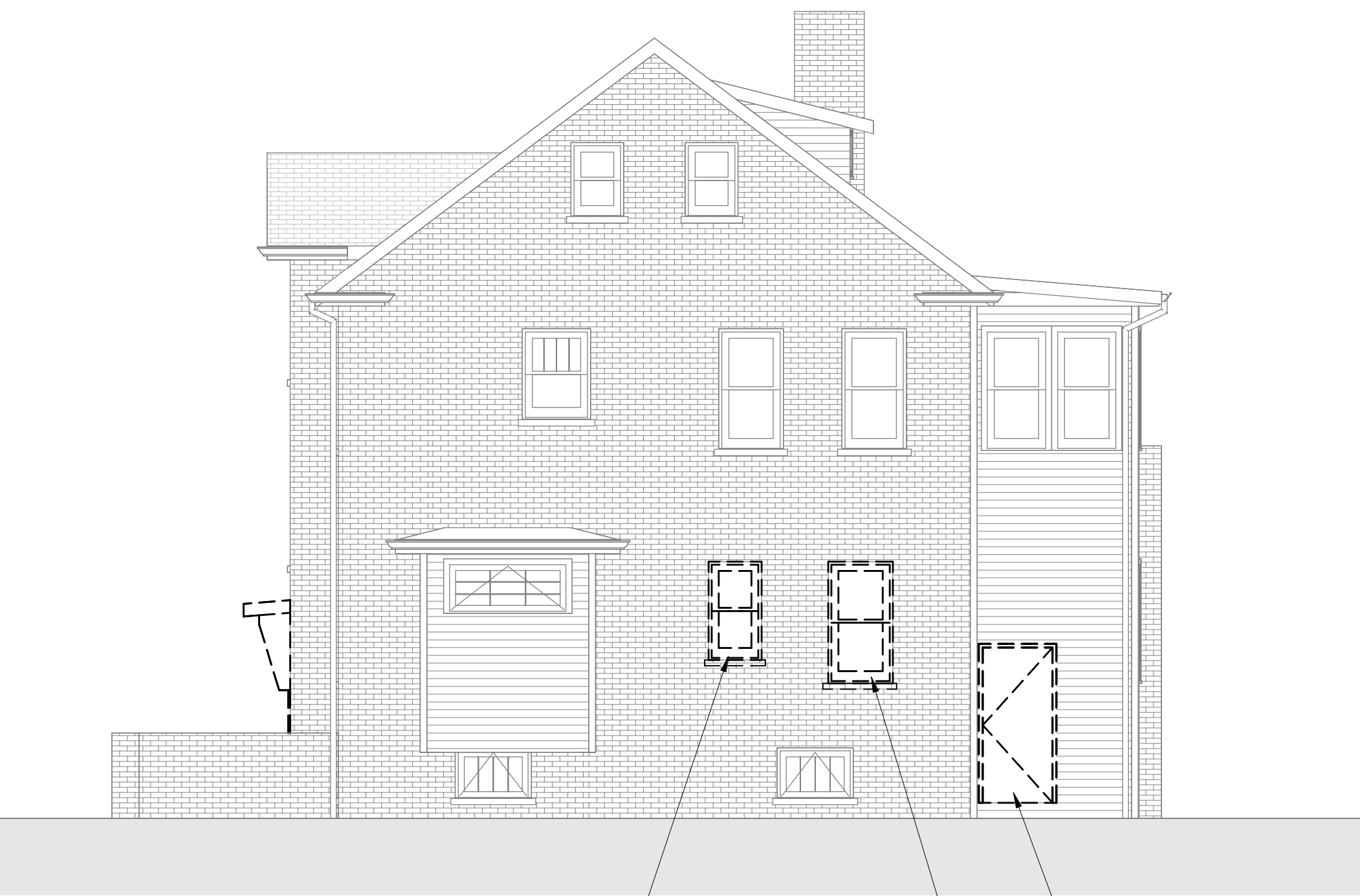
DETROIT, MI 48214

RYAN & LACEY ZAMPARDO

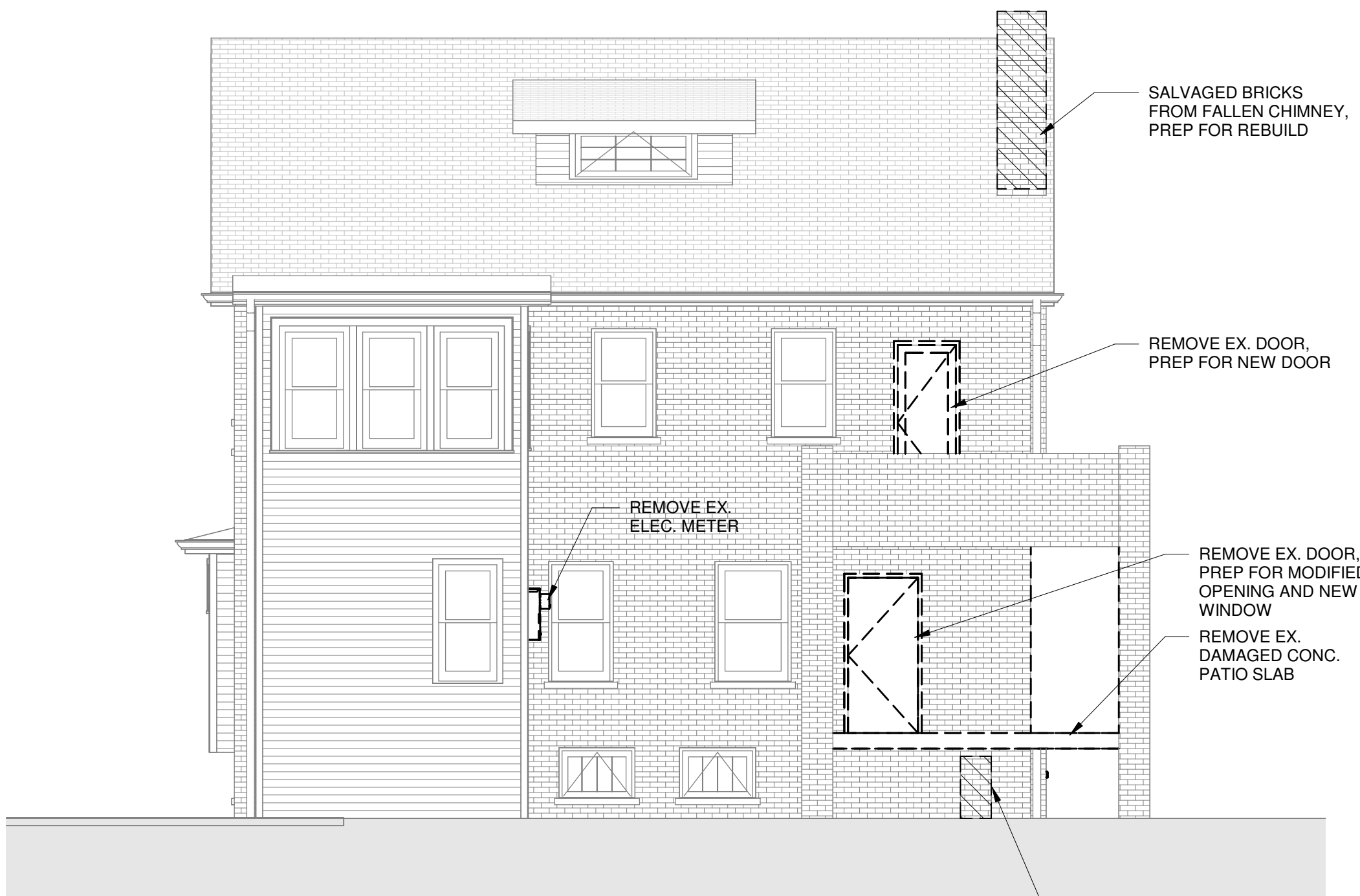
DEMOLITION PLANS

SHEET NUMBER

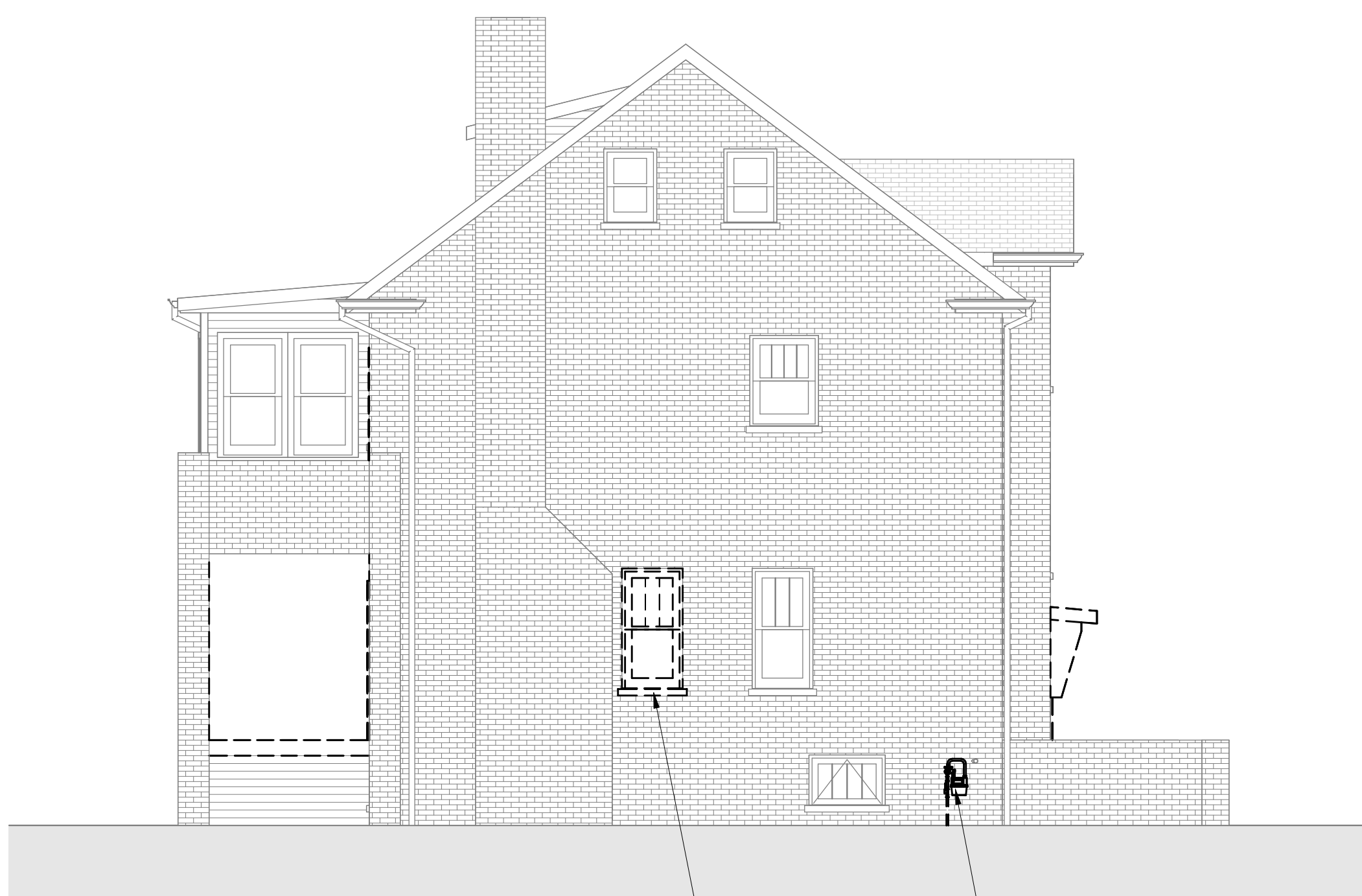
A-1.0



2 SOUTH ELEVATION - DEMO
3/16" = 1'-0"



3 EAST ELEVATION - DEMO
3/16" = 1'-0"



4 NORTH ELEVATION - DEMO
3/16" = 1'-0"



1 WEST ELEVATION - DEMO
3/16" = 1'-0"

LEGEND
[Dashed line] DEMOLISHED
[Solid line] EXISTING

infuz

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Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

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HISTORIC RENOVATION

PROJECT NUMBER: Z24098

1724 SEYBURN ST

DETROIT, MI 48214

RYAN & LACEY ZAMPARDO

SHEET TITLE

DEMOLITION ELEVATIONS

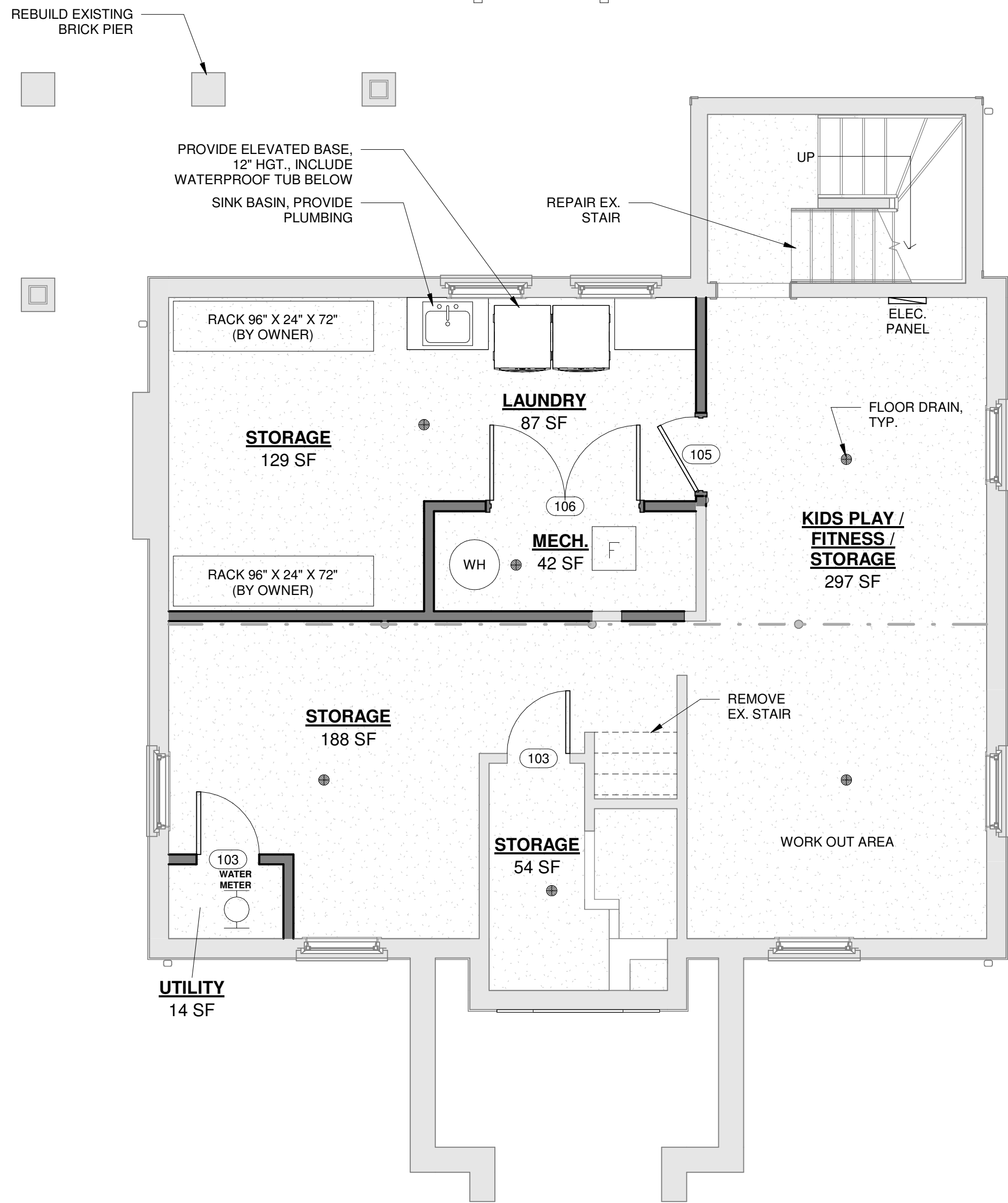
DATE SEALED

A-1.1

NEW DOOR SCHEDULE									
Type Mark	Count	Width	Height	Description	Function	W.S.	Hardware	Comments	
101	9	2' - 6"	6' - 8"	SOLID PANELED DOOR	Interior				
102	2	2' - 6"	6' - 8"	SOLID PANELED DOOR	Interior				
103	2	2' - 6"	6' - 8"	SOLID FLUSH DOOR	Interior				
104	1	2' - 0"	6' - 8"	SOLID PANELED DOOR	Interior				
105	1	3' - 0"	6' - 8"	SOLID FLUSH DOOR	Interior				
106	1	6' - 0"	6' - 8"	SOLID DBL. FLUSH DOOR	Interior				
107	1	3' - 0"	6' - 8"	BARN SLIDER DOOR	Interior		ALL DOOR HARDWARE TO BE PROVIDED BY OWNER	BASEMENT UTILITY CLOSET	
108	1	2' - 8"	6' - 8"	SOLID PANELED BI-FOLD DOOR	Interior				
109	1	2' - 6"	5' - 0"	SOLID PANELED DOOR	Interior			ATTIC UTILITY CLOSET	
201	1	3' - 0"	6' - 8"	RECLAIMED WOOD ENTRY DOOR	Exterior	Yes		SELECTION BY OWNER - SOURCED THROUGH ASWD	
202	1	3' - 0"	6' - 8"	1/4 LITE	Exterior	Yes		FEATHER RIVER DOORS OR APPROVED EQUAL, PAINT SW 2816 ROOKWOOD DARK GREEN	
203	1	3' - 0"	6' - 8"	FULL-LITE	Exterior	Yes		FEATHER RIVER DOORS OR APPROVED EQUAL, PAINT SW 2816 ROOKWOOD DARK GREEN	
204	1	2' - 6"	6' - 8"	FULL-LITE	Exterior	Yes		FEATHER RIVER DOORS OR APPROVED EQUAL, PAINT SW 2816 ROOKWOOD DARK GREEN	

APPLIANCE SCHEDULE			
Type Mark	Description	Model	Comments
DW1	24" 2-DRAWER DISHWASHER	CAFE DISHWASHER DRAWER - MODEL # CDD420P2TS1	
MW1	24" BUILT-IN MICROWAVE	GE PROFILE SERIES BUILT-IN MICROWAVE - MODEL # PWB7030SL/EL	
R1	36" ELECTRIC RANGE	TBD - BY OWNER	
R2	36" REFRIGERATOR	GE ENERGY STAR 21.9 CU. FT. COUNTER-DEPTH FRENCH-DOOR REFRIGERATOR - MODEL # GWE22JYMFS	
RH1	36" RANGE HOOD	TBD - BY OWNER	
WD1	ELECTRIC WASHER / DRYER	TBD - BY OWNER	

NOTE:
ALL APPLIANCES TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR

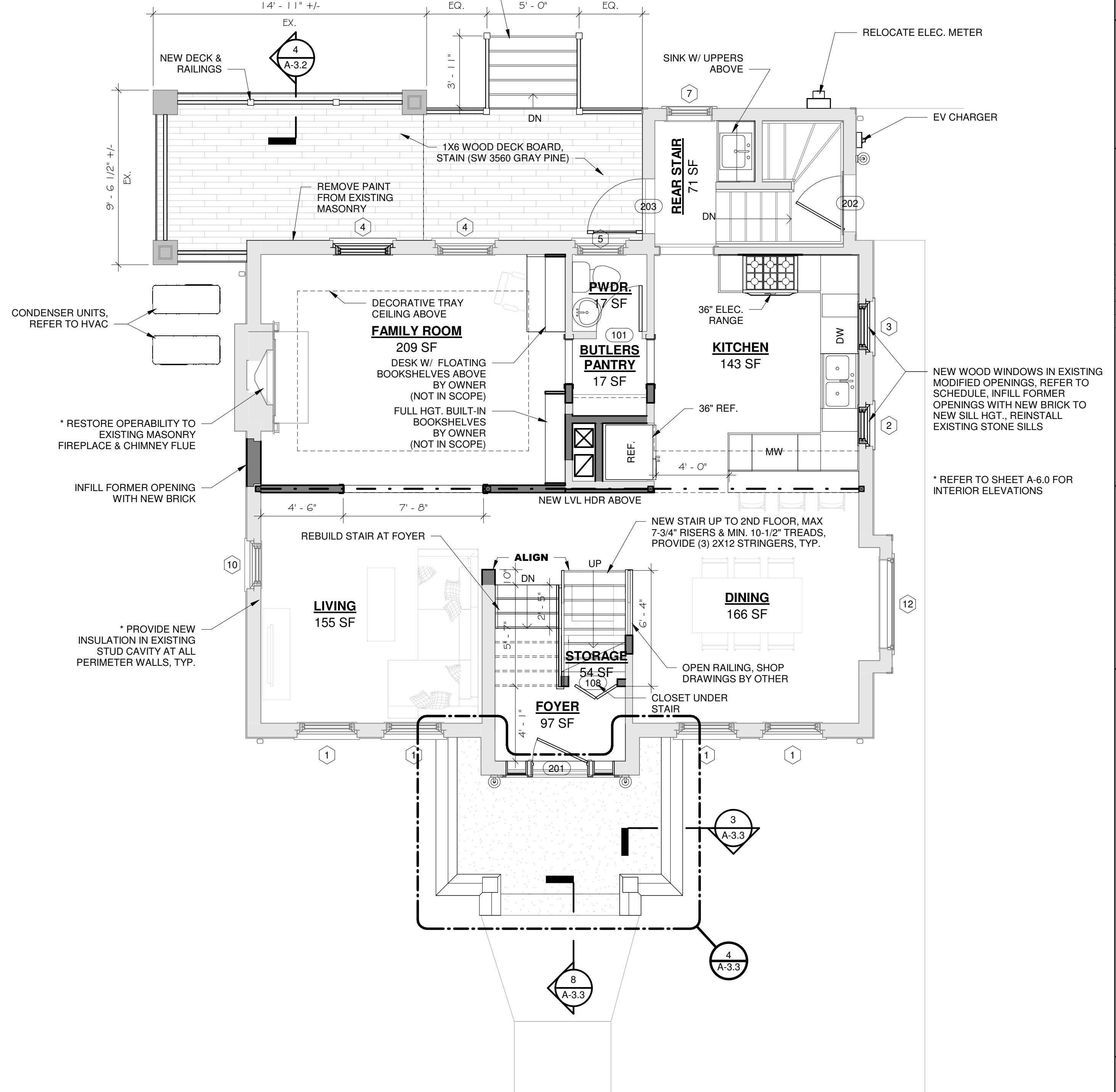


2 FOUNDATION PLAN - PROPOSED
1/4" = 1'-0"



3 3D - KITCHEN

NEW P.T. WD. FRAMED DECK STAIR,
7-3/4" RISER HGT. & 10-1/2" MIN. TREAD,
1X WD. TRIM AT RISER PAINT TO MATCH
TRIM COLOR, 1X WOOD TREADS,
PROVIDE (3) P.T. 2X12 STRINGERS



1 FIRST FLOOR - PROPOSED
1/4" = 1'-0"

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Revision Schedule

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1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

NOT FOR CONSTRUCTION

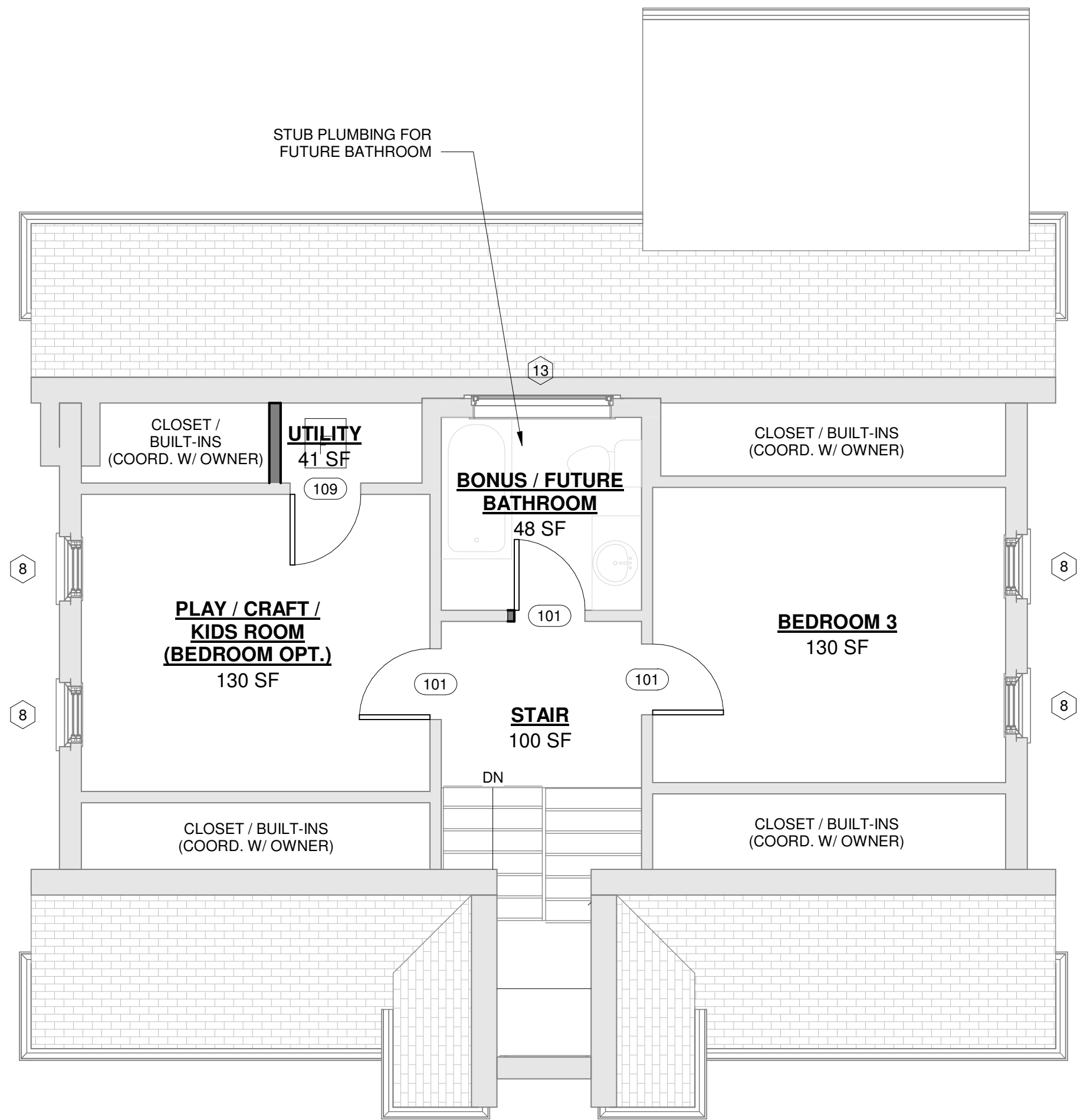
HISTORIC RENOVATION
PROJECT NUMBER: Z2409
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
PROPOSED FLOOR PLANS

SHEET NUMBER
A-2.1

ROOM FINISH SCHEDULE						
Name	Area	Wall Finish	Floor Finish	Base Finish	Ceiling Finish	Comments
EX. 2ND FLOOR						
PRIMARY BEDROOM	169 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
WALK-IN-CLOSET	43 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
PRIMARY BATH	39 SF	GWB, PAINT	TILE	WD BASE BD	GWB, PAINT	
HALL	70 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
BEDROOM 2 (GUEST OPT.)	139 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
BEDROOM 1	139 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
BATH	47 SF	GWB, PAINT	TILE	WD BASE BD	GWB, PAINT	
CLO.	6 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
CLO.	10 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
CLO.	10 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
SUN PORCH	71 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
VANITY	52 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
	796 SF					

EX. ATTIC						
PLAY / CRAFT / KIDS ROOM (BEDROOM OPT.)	130 SF	GWB, PAINT	HARDWOOD			
BEDROOM 3	130 SF	GWB, PAINT	HARDWOOD			
BONUS / FUTURE BATHROOM	48 SF	GWB, PAINT	TILE OR HW			VERIFY W/ OWNER
STAIR	100 SF	GWB, PAINT	HARDWOOD			
UTILITY	41 SF	GWB, PAINT	VINYL	VINYL COVE WALL BASE	GWB, PAINT	
	449 SF					

Grand total: 33 2938 SF

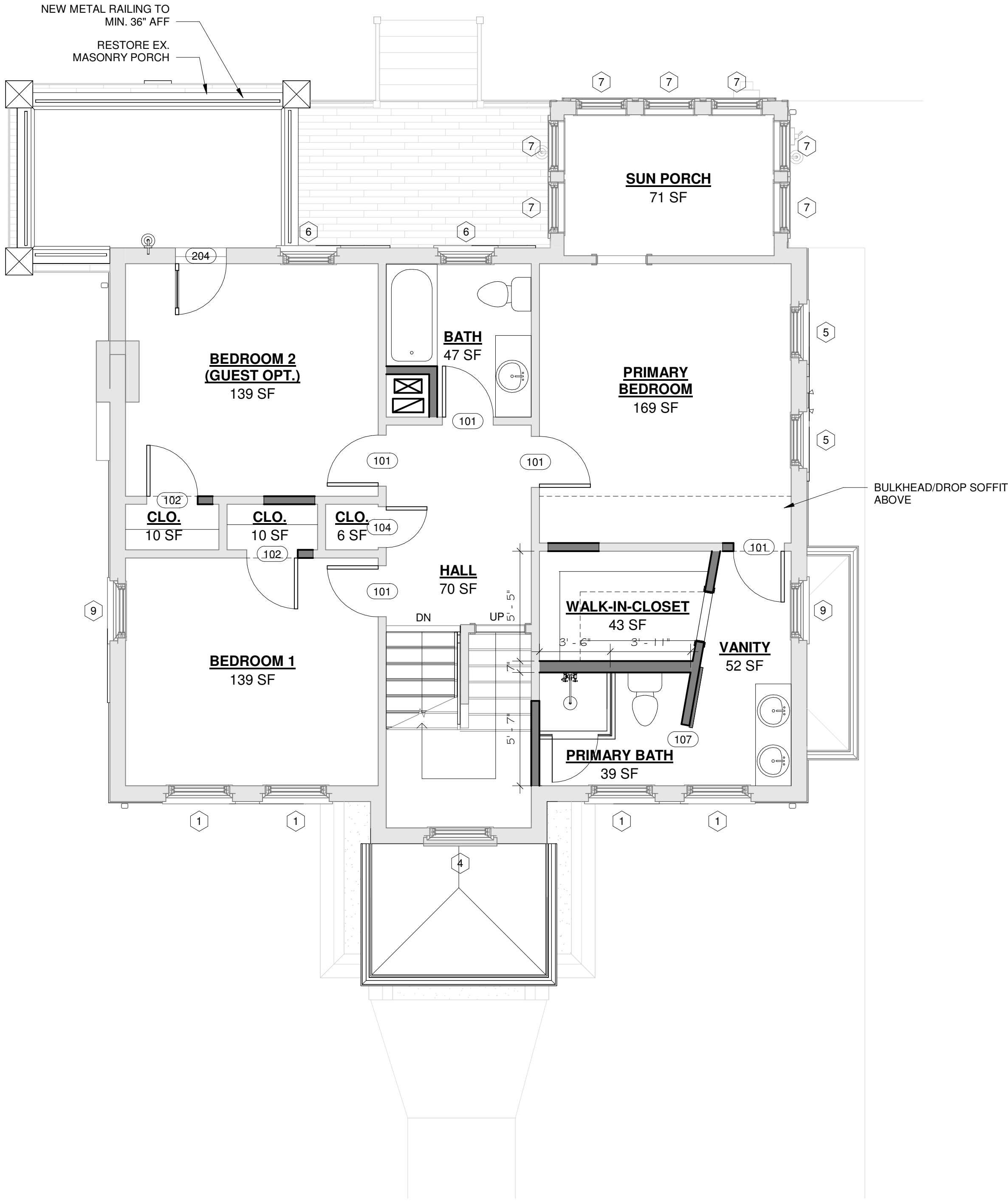


1 ATTIC PLAN - PROPOSED
1/4" = 1'-0"

ROOM FINISH SCHEDULE						
Name	Area	Wall Finish	Floor Finish	Base Finish	Ceiling Finish	Comments
EX. BASEMENT						
STORAGE	129 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
LAUNDRY	87 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
KIDS PLAY / FITNESS / STORAGE	297 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
STORAGE	54 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
STORAGE	188 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
UTILITY	14 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
MECH.	42 SF	GWB, PAINT	CONC.	VINYL COVE WALL BASE	EXPOSED JOISTS, PAINT	
	812 SF					

EX. 1ST FLOOR						
PWDR.	17 SF	GWB, PAINT	TILE	WD BASE BD	GWB, PAINT	
REAR STAIR	71 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
LIVING	155 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
DINING	166 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
KITCHEN	143 SF	GWB, PAINT	TILE OR HW	WD BASE BD	GWB, PAINT	
BUTLERS PANTRY	17 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
FAMILY ROOM	209 SF	GWB, PAINT OR WALL PAPER	HARDWOOD	WD BASE BD	GWB, PAINT	DECORATIVE TRAY DETAIL
FOYER	97 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
CLO.	6 SF	GWB, PAINT	HARDWOOD	WD BASE BD	GWB, PAINT	
	882 SF					

NOTE:
ALL FINAL FINISH SELECTIONS BY OWNER



3 SECOND FLOOR - PROPOSED
1/4" = 1'-0"



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Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

NOT FOR CONSTRUCTION

HISTORIC RENOVATION
PROJECT NUMBER: Z2409
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
PROPOSED FLOOR PLANS

SHEET NUMBER
A-2.2

ROOFING NOTES:

PITCHED ROOFS WITH SHINGLES:

1. PROVIDE W&I SHIELD @ ALL EAVES MIN. 24" BEYOND INSIDE FACE OF EXTERIOR WALLS.
2. PROVIDE W&I SHIELD @ SADDLES AND AREAS WHERE CONVERGING PITCHES MAY RETAIN SNOW BUILD-UP.
3. PROVIDE VALLEY GUARD AT ALL VALLEY LOCATIONS.
4. PROVIDE MIN 30 YR. WARRANTY SHINGLES WITH MIN 15# FELT UNDERLAYMENT.
5. ENSURE THAT ALL DORMERS (FALSE & TRUE) ARE VENTED.
6. WHERE FLAT ROOF MEMBRANES MEET SLOPED ROOFS, RUN MEMBRANE MIN. 48" UP SLOPE.
7. REFER TO MANUFACTURER DETAILS AND RECOMMENDED PRACTICES FOR ALL ROOFING MATERIALS.

FLAT ROOFS:

1. WHERE EXISTING FLAT ROOFS EXIST, ROOFING CONTRACTOR SHALL PROVIDE INSPECTION FOR LEAKS, AND PITCH ISSUES TO ROOF SUMPS.
2. WHERE NEW MEMBRANE ROOFS ARE SPECIFIED, RUN MEMBRANE A MIN. OF 8" UP VERTICAL PARAPET WALLS WITH COUNTER FLASHING DETAIL AS RECOMMENDED BY MFR.... OR UP UNDER COPING.
3. METAL COPING TO BE MIN. .024 MM PRE FINISHED ALUM OR APPROVED EQUAL.
4. PROVIDE MIN RIGID INSULATION AS REQUIRED BY CODE, TAPER WHERE NECESSARY TO ASSURE POSITIVE FLOW OF WATER.

INSULATION/VENTING & ACCESS:

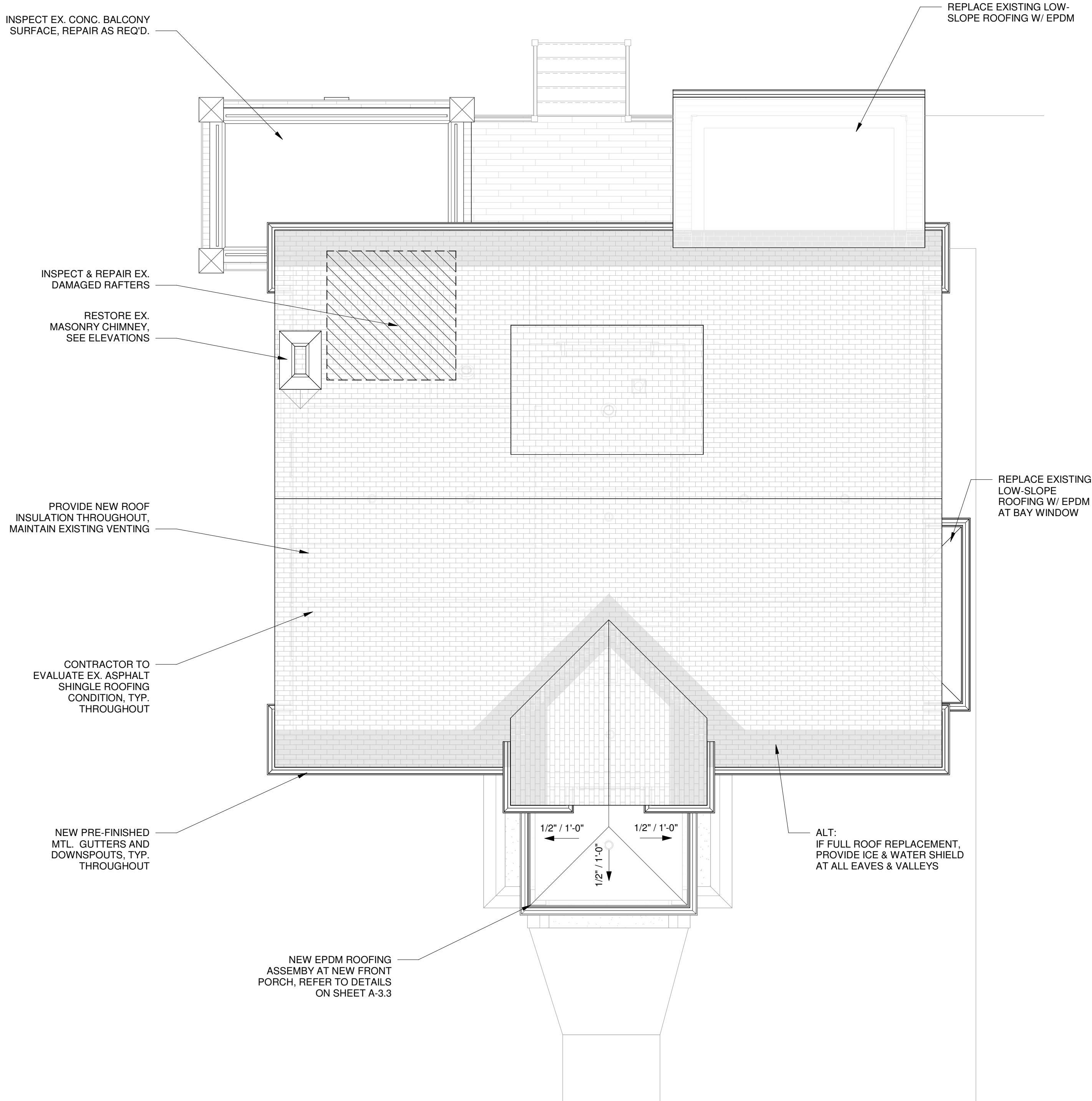
1. PROVIDE MIN. R-26 INSULATION AT ALL BOND AND CONCEALED/SHAFT CONDITIONS.
2. ALL BATT INSULATION SHALL PROVIDE VAPOR BARRIER AT WARM SIDE.
3. RIGID INSULATIONS SHALL CONTAIN/EMIT NO HCFC'S.
4. CONFIRM OWNER REQUIREMENTS FOR BATT SOUND INSULATION IN WALLS, FLOORS AND CEILINGS.
5. PROVIDE INSULATION BEHIND ANY FIXTURE OR CHASE IN EXTERIOR WALLS.
6. CONFIRM THAT ANY FIXTURE BEING COVERED BY INSULATION IS APPROVED AND/OR IC RATED.
7. A READILY ACCESSIBLE OPENING NOT LESS THAN 22" X 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30". PROVIDE ACCESS TO ALL PLUMBING CONTROL VALVES AND MOTORS.
8. PROVIDE FREE AIRFLOW FROM ALL SOFFITS TO THE ROOF SPACE MAINTAINING VENTILATION TO ANY CONCEALED ROOF AREAS; PROVIDE BAFFLES WHERE REQUIRED FOR UNOBSTRUCTED AIR FLOW.

DRAINAGE NOTES:

1. IF REQUIRED, ALL DRAIN TILES TO BE MIN. 4" DIA., RIGID PVC IN PEA STONE COVER, PROVIDE FILTER FABRIC PROTECTION.
2. CONNECT ALL DOWNSPOUTS INTO EXISTING DRAIN TILE WHERE APPLICABLE.
3. VERIFY W/ OWNER FOR ANY DISCONNECTED DOWNSPOUTS AT LANDSCAPE LOCATIONS.

MOISURE PROTECTION:

1. PROVIDE FLASHING AT ALL WALL ASSEMBLIES AT MATERIAL TRANSITIONS.
2. WHERE ANY MOISTURE INTRUSION MAY OCCUR IN BUILDING ASSEMBLIES, PROVIDE RELIEF OUTLET WITH DIRECTED, POSITIVE FLOW.
3. ALL INTERIOR CONCRETE SLABS SHALL HAVE MIN. 6 MIL VAPOR BARRIER BELOW; WHERE EXTREME WET SOILS EXIST, PROVIDE MIN 12 MIL VAPOR BARRIER OVER MIN. 8" OF 3/4" SHARP STONE (NO FINES) BASE WITH PITCHED SUBGRADE TO DRAIN TILES.
4. USE PRESSURE TREATED WOOD WITHIN 8" OF GRADE AND PROTECT WITH WATERPROOF MEMBRANE.
5. USE SOLAR SEAL CAULK FOR ALL EXTERIOR APPLICATIONS, COLOR TO MATCH TRIM.



1

ROOF PLAN - PROPOSED

1/4" = 1'-0"

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Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	06/15/2025

SEAL
NOT FOR CONSTRUCTION

DATE SEALED

HISTORIC RENOVATION
PROJECT NUMBER: Z2409
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
PROPOSED ROOF PLAN

SHEET NUMBER

A-2.3



SURROUNDING RESIDENCES W/ CENTER PORCHES
(IN REGARDS TO HISTORIC SUBMISSION)

WINDOW SCHEDULE					
Type Mark	Count	Width	Height	Type	Comments
1	8	3' - 0"	5' - 0"	DOUBLE HUNG - 4 OVER 1	
2	1	2' - 0"	3' - 6"	DOUBLE HUNG - 1 OVER 1	IN MODIFIED EX. OPNG.
3	1	2' - 6"	3' - 6"	DOUBLE HUNG - 1 OVER 1	IN MODIFIED EX. OPNG.
4	4	3' - 0"	5' - 0"	DOUBLE HUNG - 1 OVER 1	
5	3	2' - 6"	5' - 0"	DOUBLE HUNG - 1 OVER 1	
6	2	2' - 6"	4' - 6"	DOUBLE HUNG - 1 OVER 1	
7	8	2' - 6"	5' - 0"	DOUBLE HUNG - 1 OVER 1	
8	4	2' - 0"	3' - 0"	DOUBLE HUNG - 1 OVER 1	
9	2	2' - 8"	3' - 8"	DOUBLE HUNG - 4 OVER 1	
10	1	2' - 4"	5' - 0"	DOUBLE HUNG - 3 OVER 1	
11	7	3' - 0"	2' - 0"	AWNING WINDOW	EX. TO REMAIN, REPAIR AS REQ'D.
12	1	5' - 0"	2' - 0"	LEADED GLASS WINDOW	OWNER TO PROVIDE
13	1	5' - 0"	2' - 0"	AWNING WINDOW	EX. TO REMAIN, REPAIR AS REQ'D.

WINDOW NOTES:
1. CONTRACTOR SHALL VERIFY ALL EXISTING OPENINGS



INTERSTATE BRICK - WALNUT



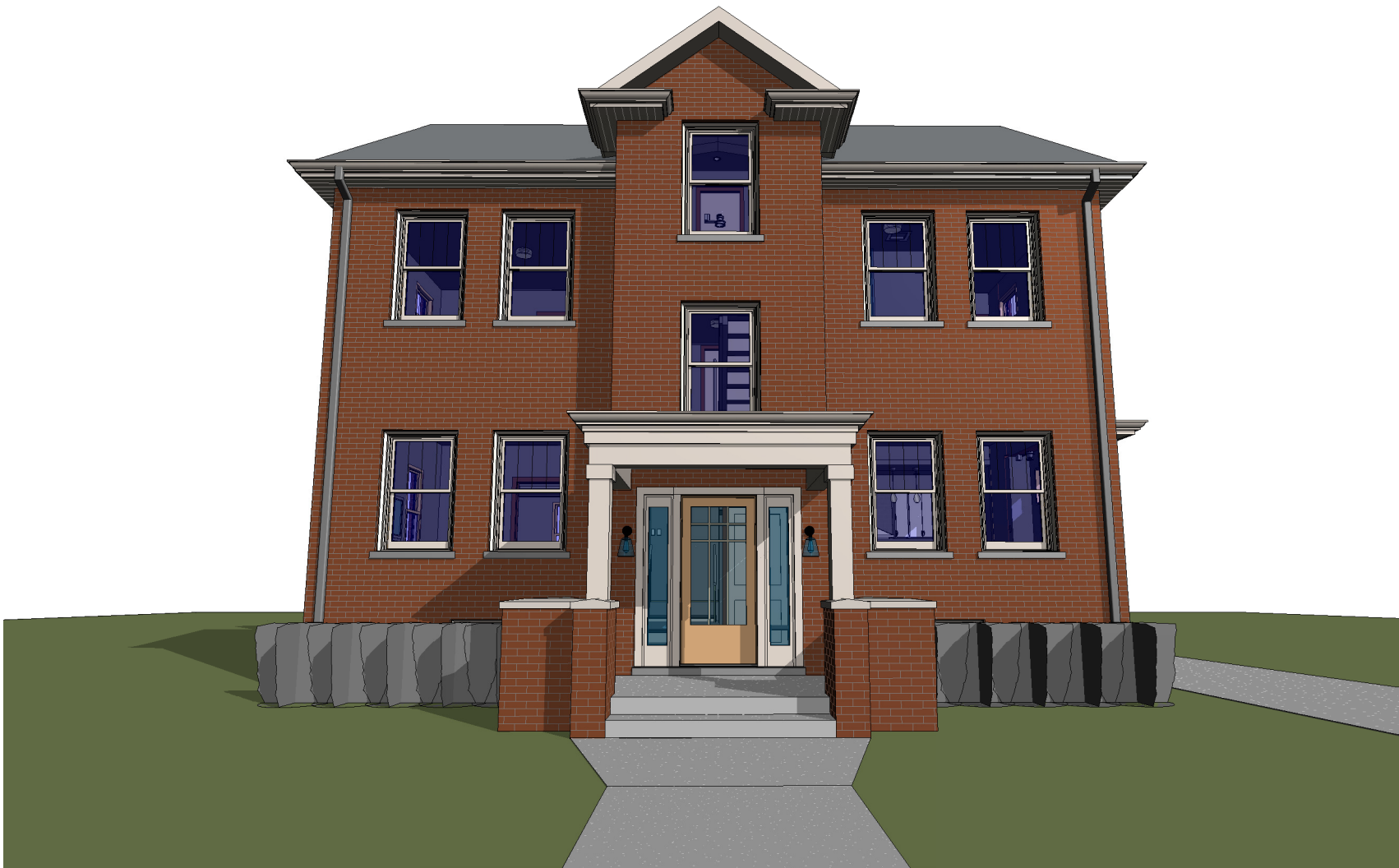
INTERSTATE BRICK - BRONZESTONE



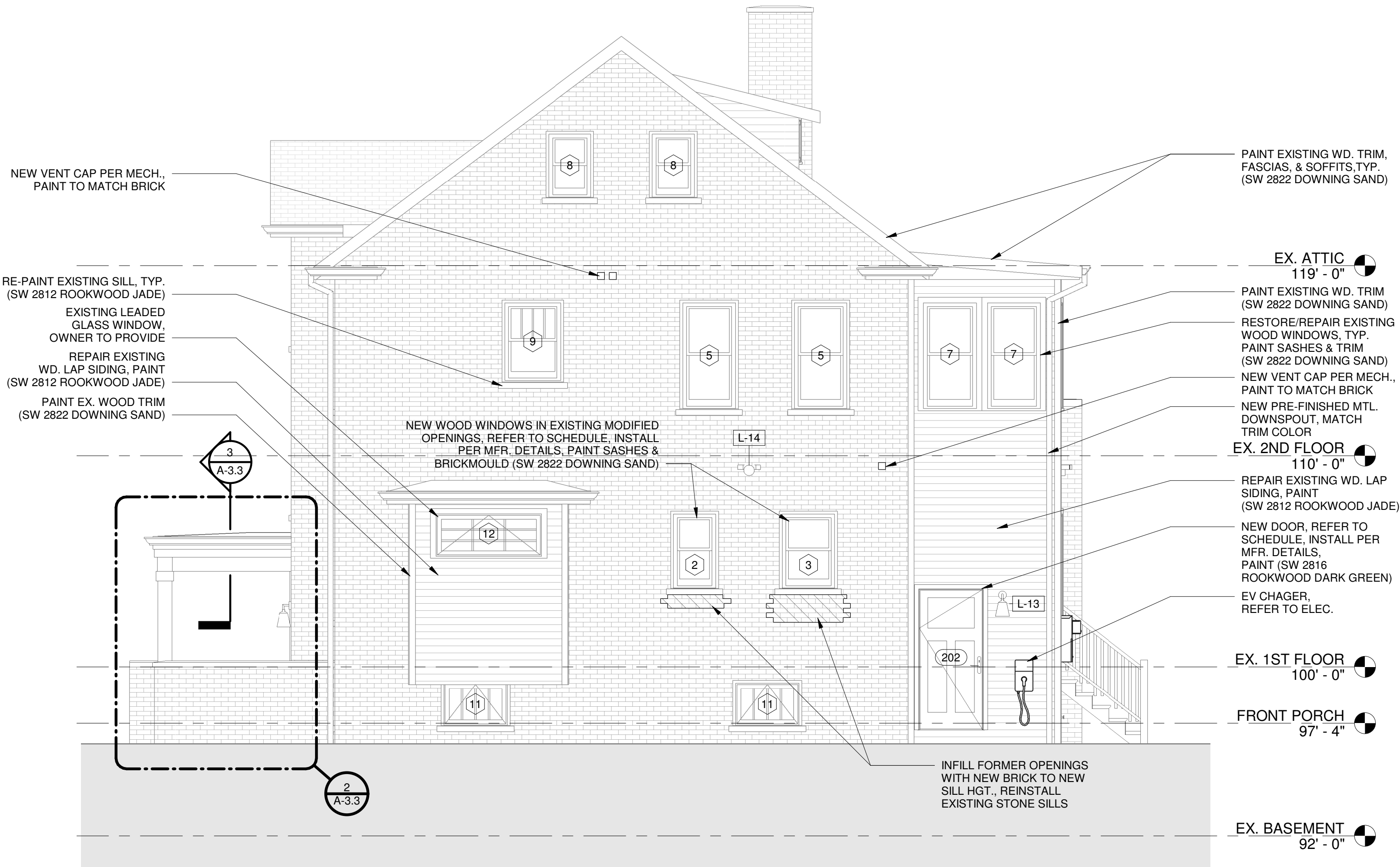
INFILL BRICK TO MATCH EXISTING
INTERSTATE BRICK - BRONZESTONE & WALNUT BLEND - SHOWN IN SAMPLE BOARDS



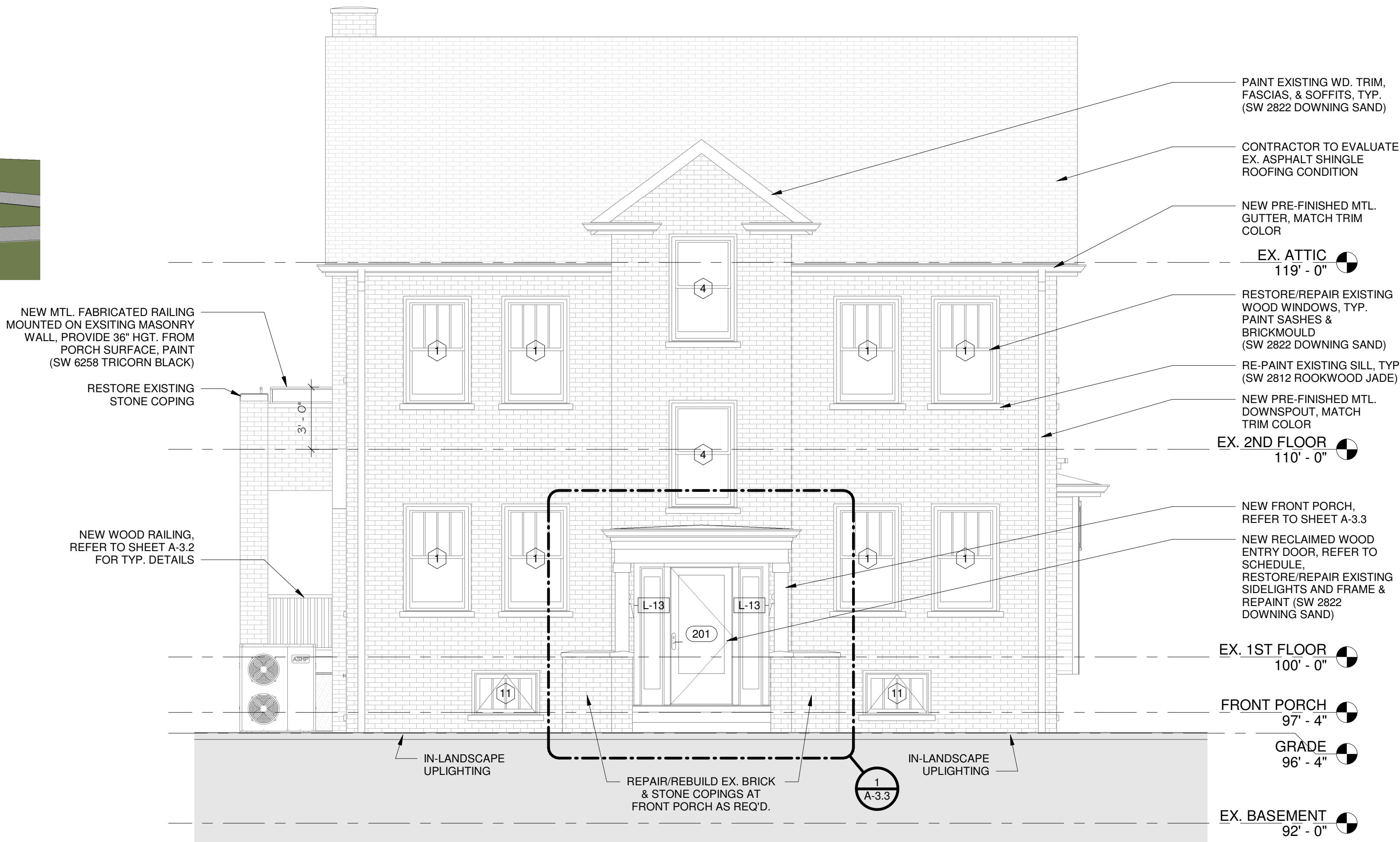
4 3D View 2



3 3D VIEW - FRONT



2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"



1 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

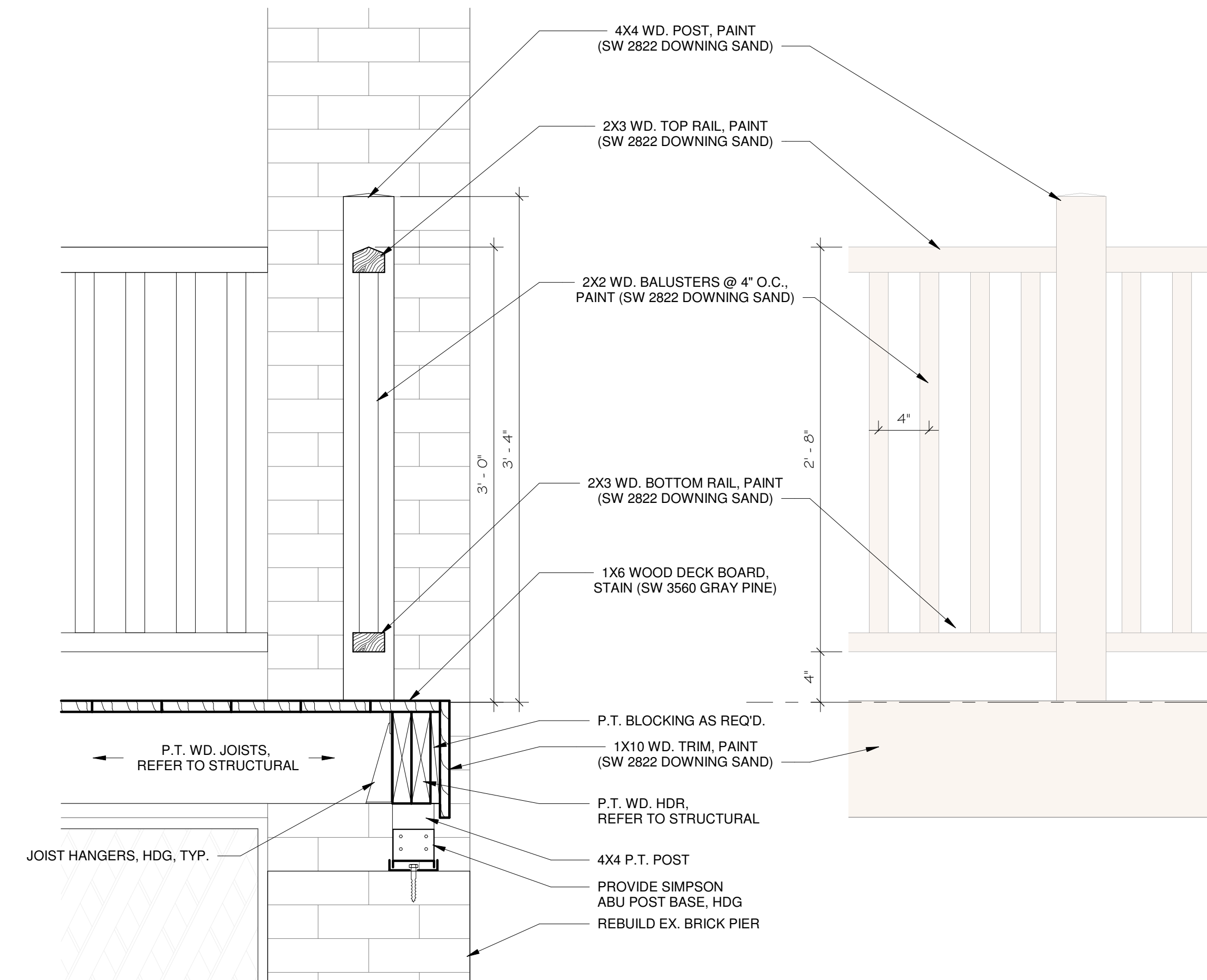
Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

NOT FOR CONSTRUCTION

HISTORIC RENOVATION
PROJECT NUMBER: Z24098
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

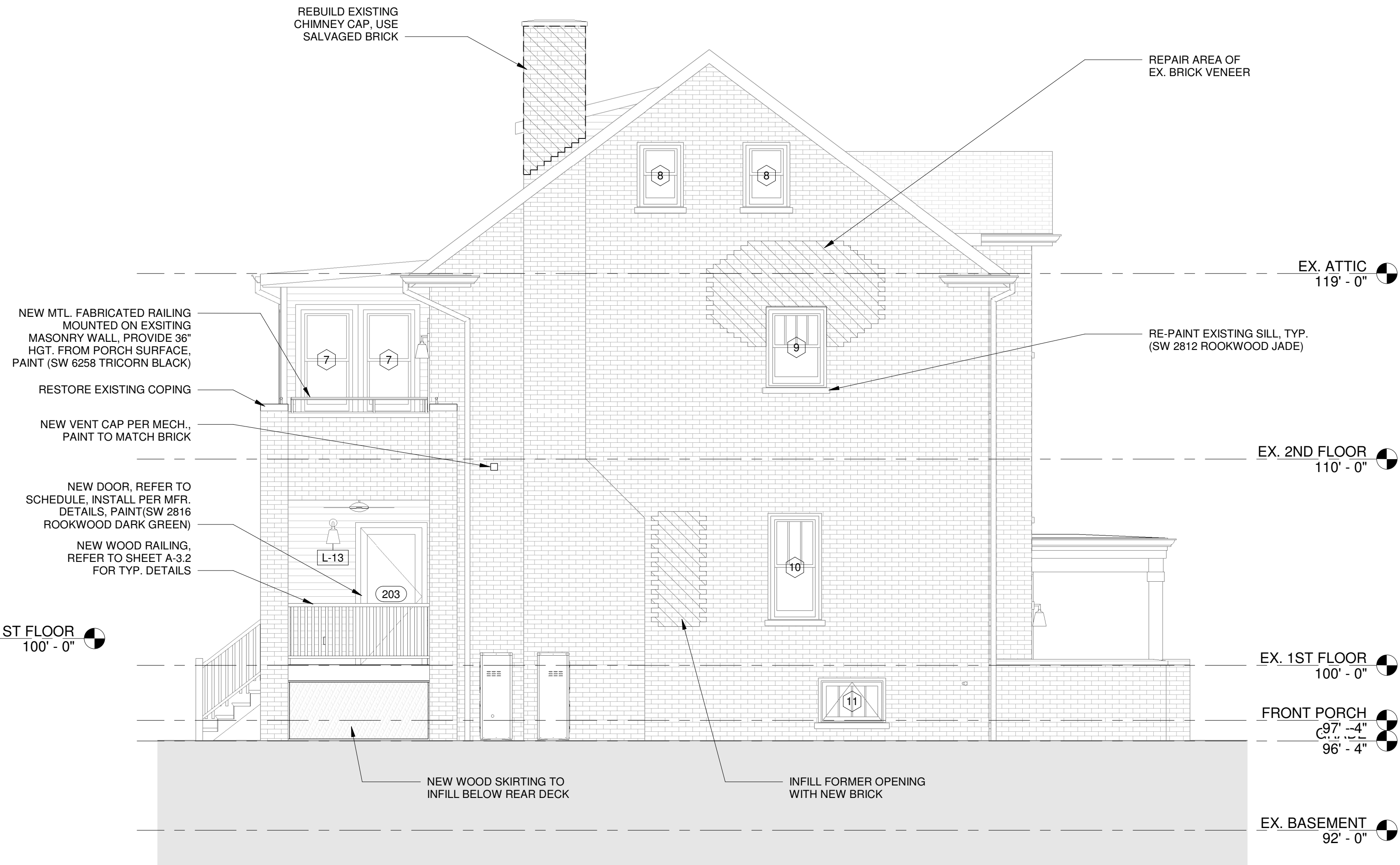
SHEET NUMBER

A-3.1

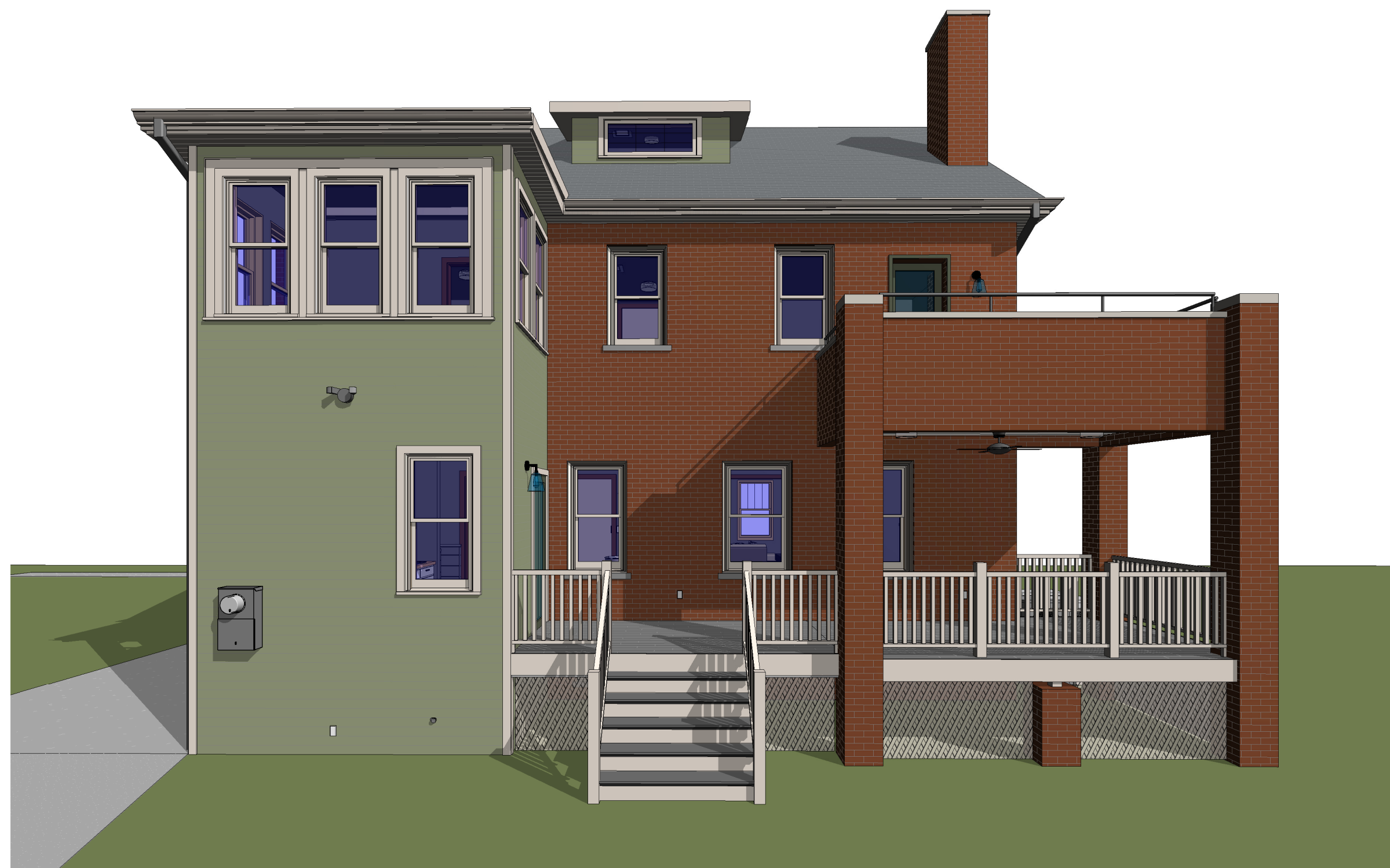


4 DTL - REAR DECK EDGE & RAILING
A-3.1 1 1/2\"/>

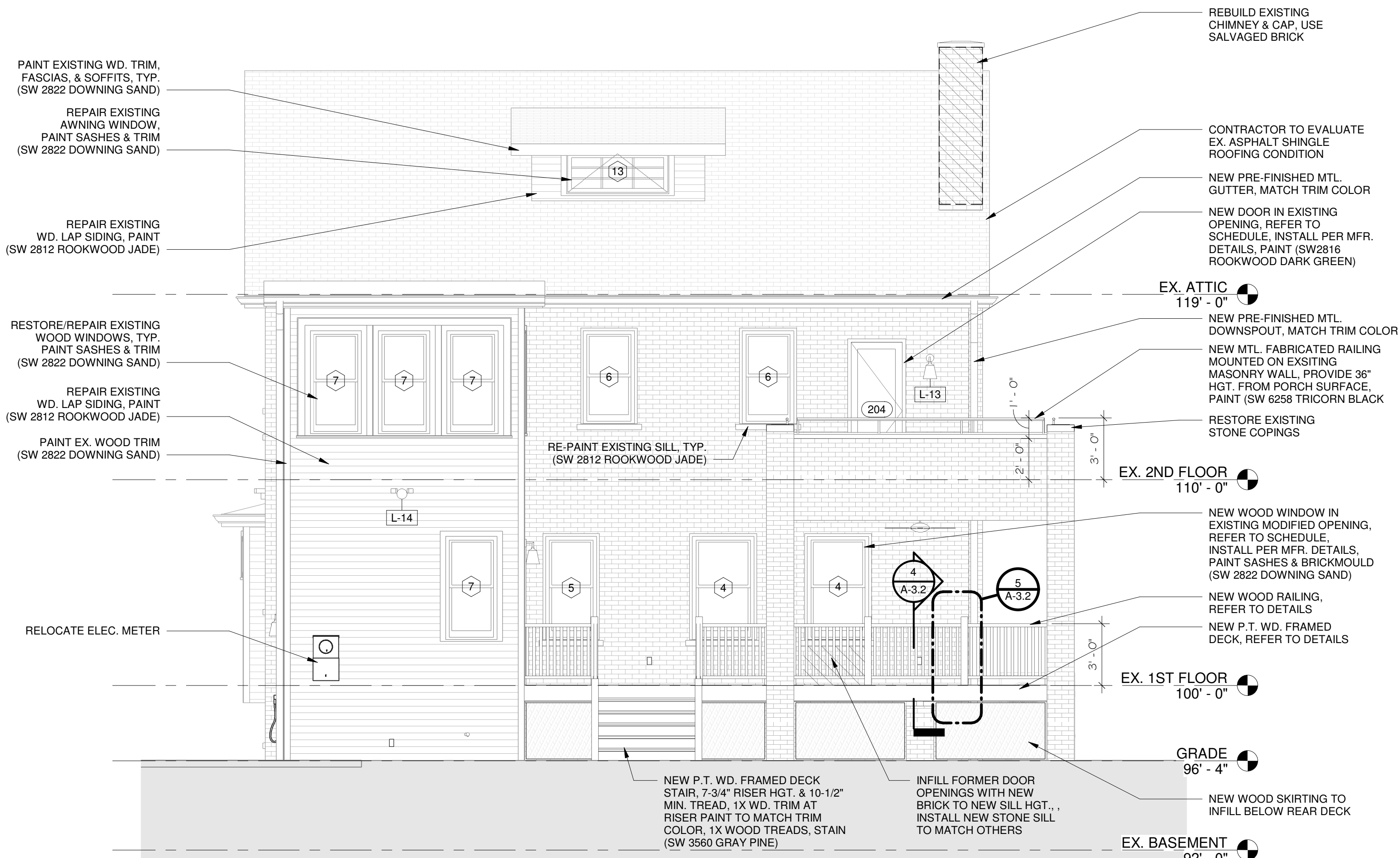
5 ENLARGED ELEVATION - RAILING
A-3.2 1 1/2\"/>



2 NORTH ELEVATION - PROPOSED
1/4\"/>



3 3D VIEW REAR



1 EAST ELEVATION - PROPOSED
1/4\"/>

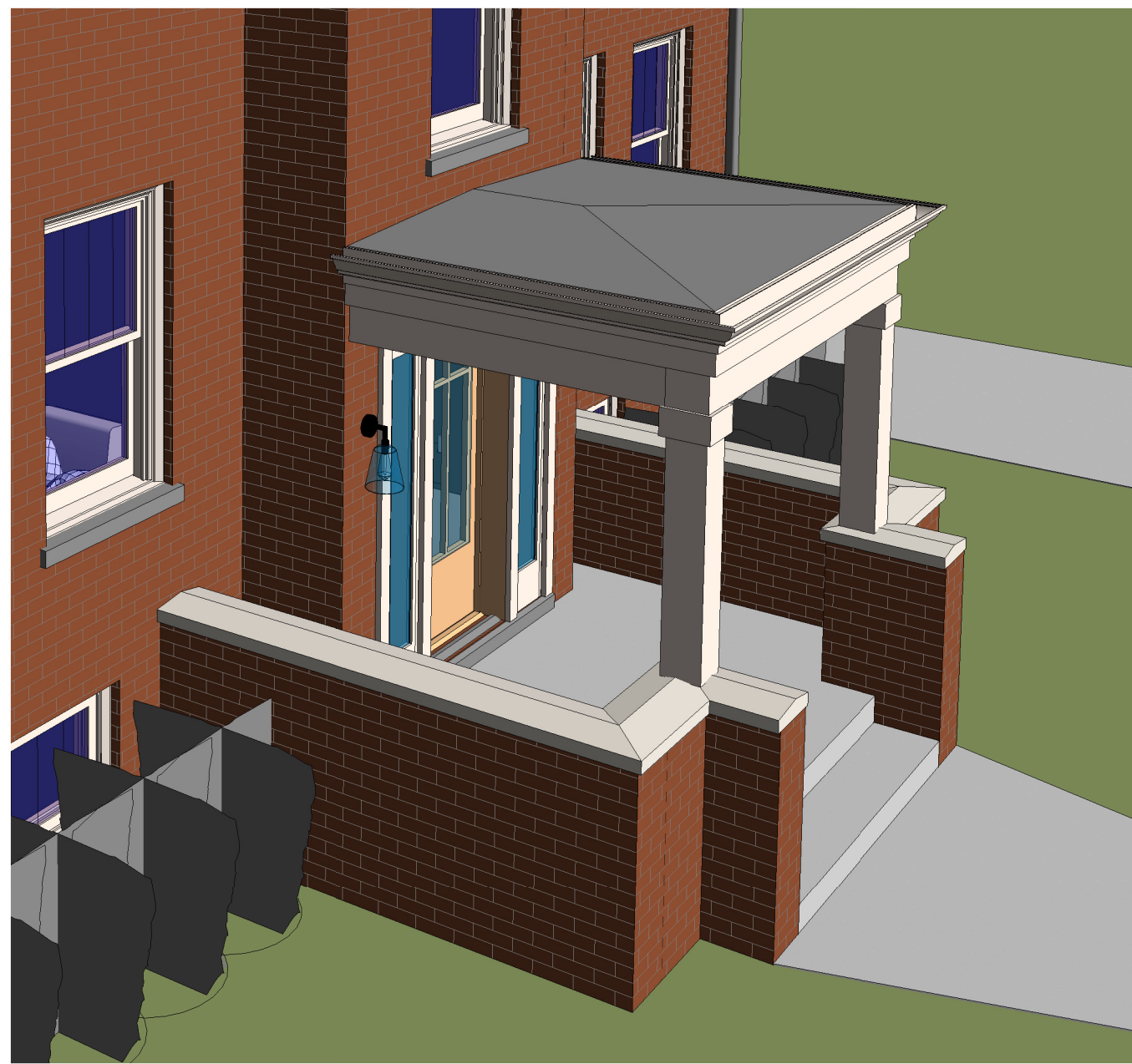
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Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

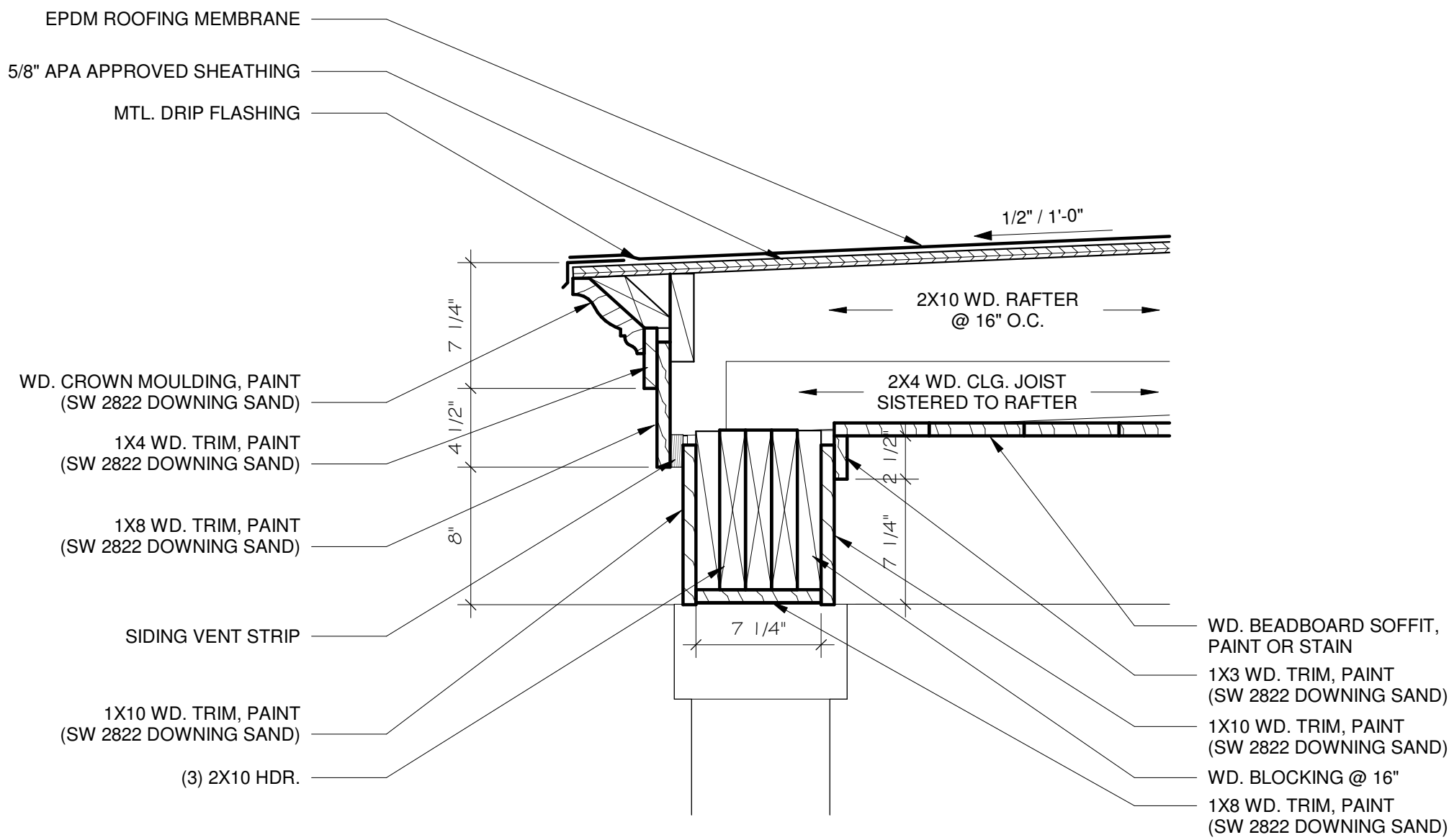
NOT FOR CONSTRUCTION

HISTORIC RENOVATION
PROJECT NUMBER: Z2009
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER: A-3.2



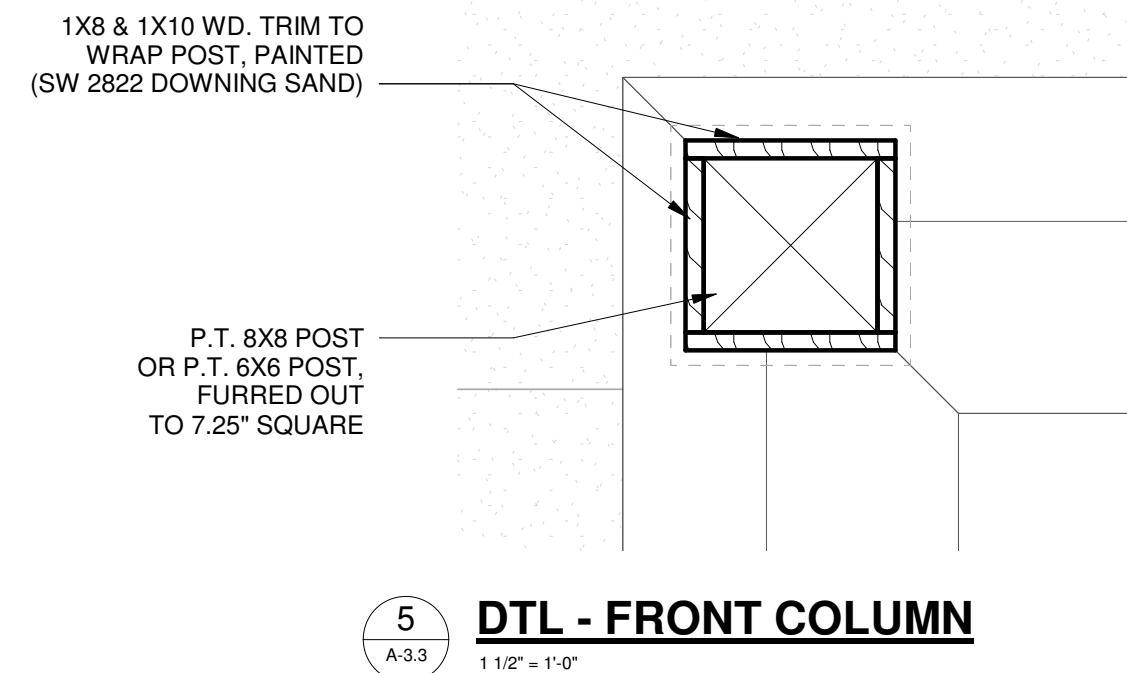
7 3D VIEW - FRONT PORCH - BIRDSEYE



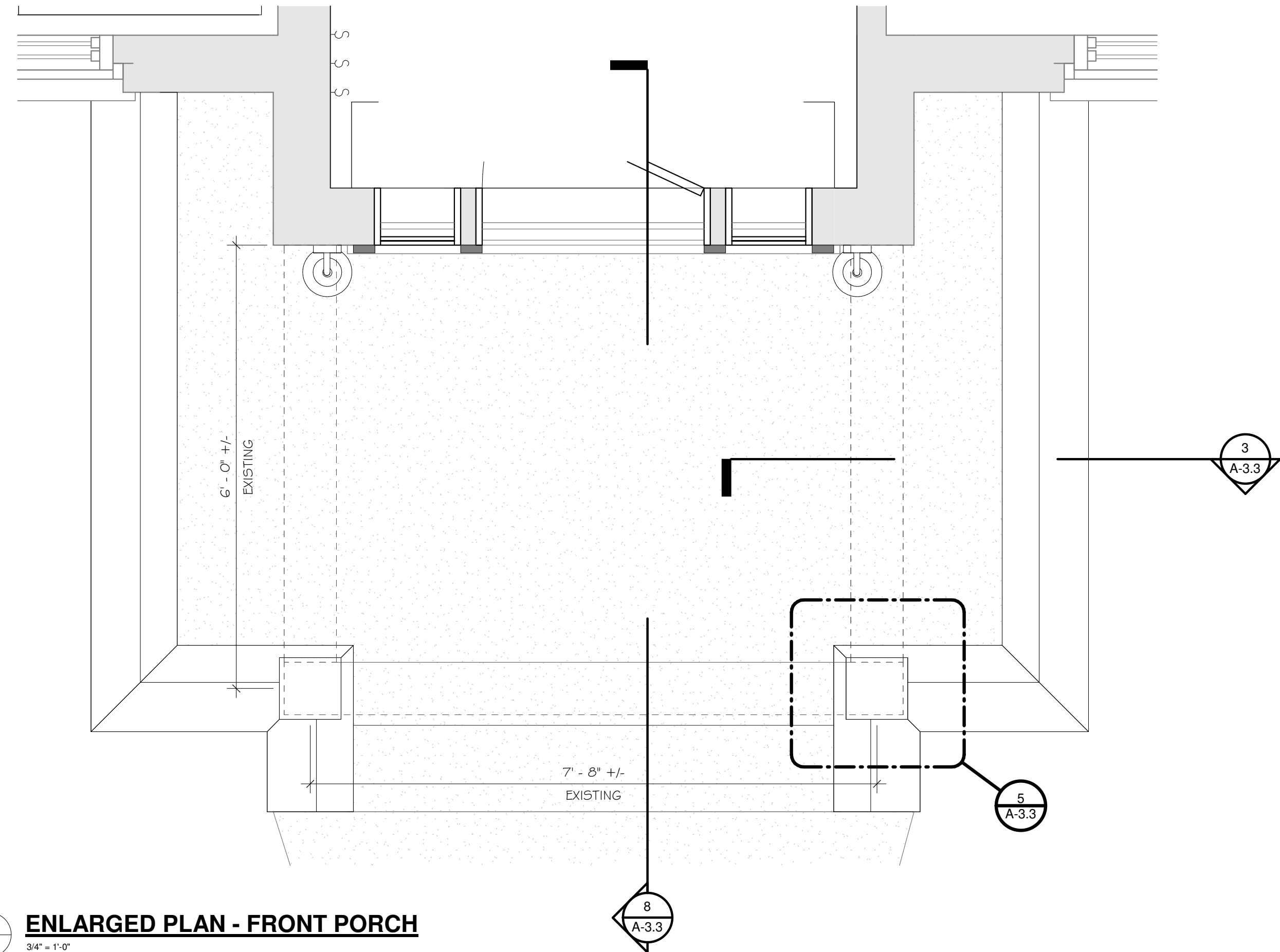
3 DTL - PORCH EAVE
1 1/2" = 1'-0"



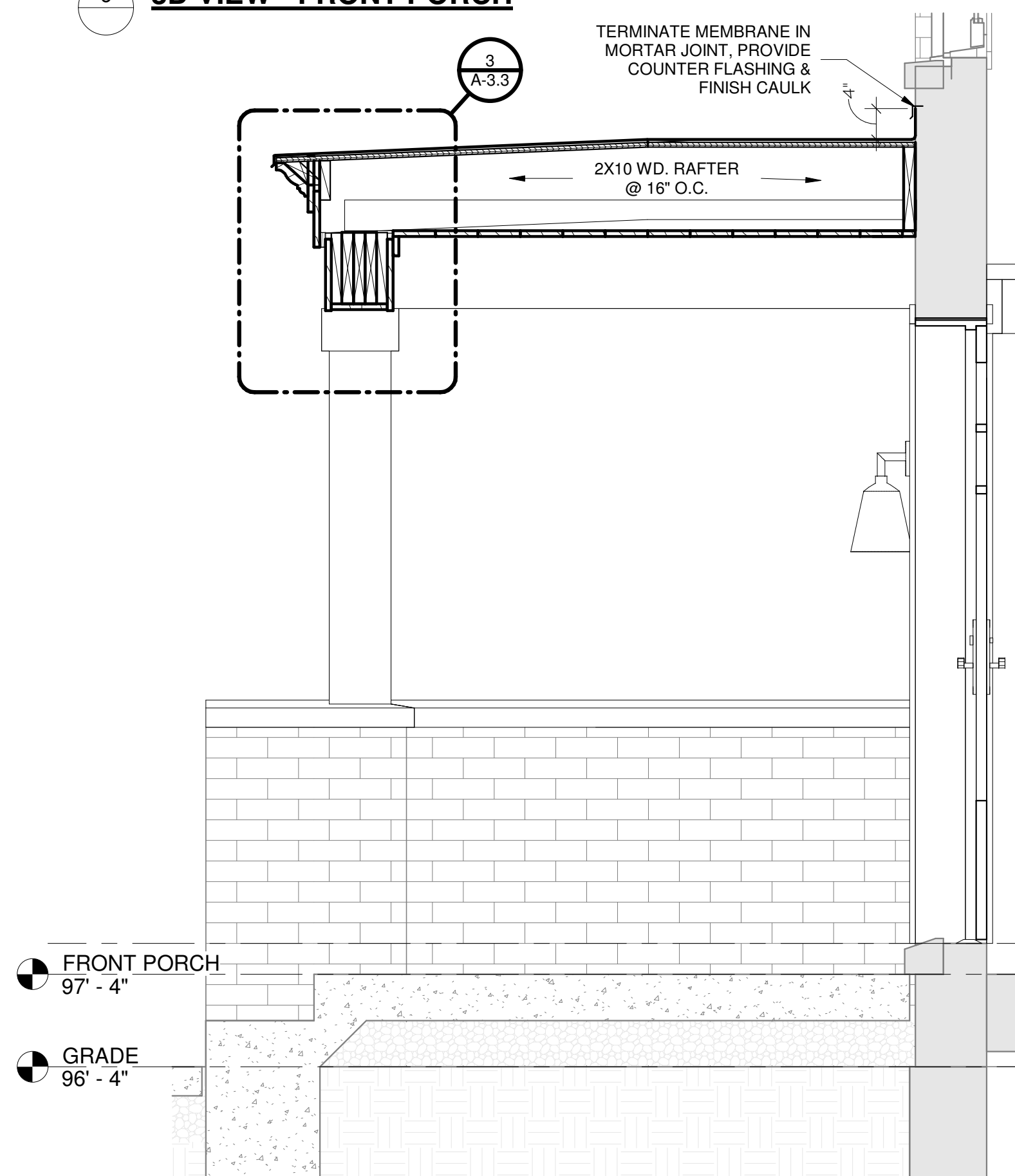
6 3D VIEW - FRONT PORCH



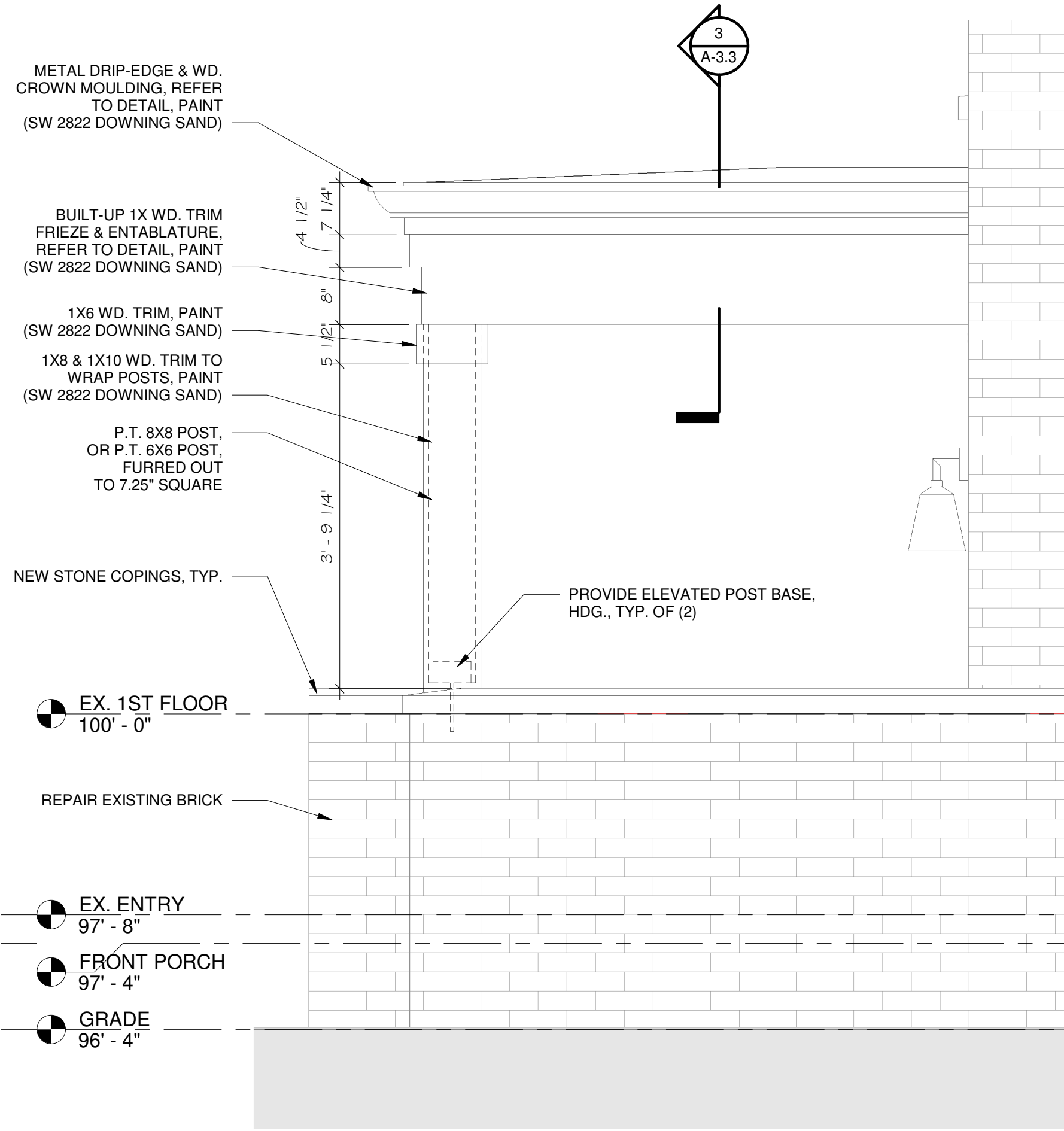
5 DTL - FRONT COLUMN
1 1/2" = 1'-0"



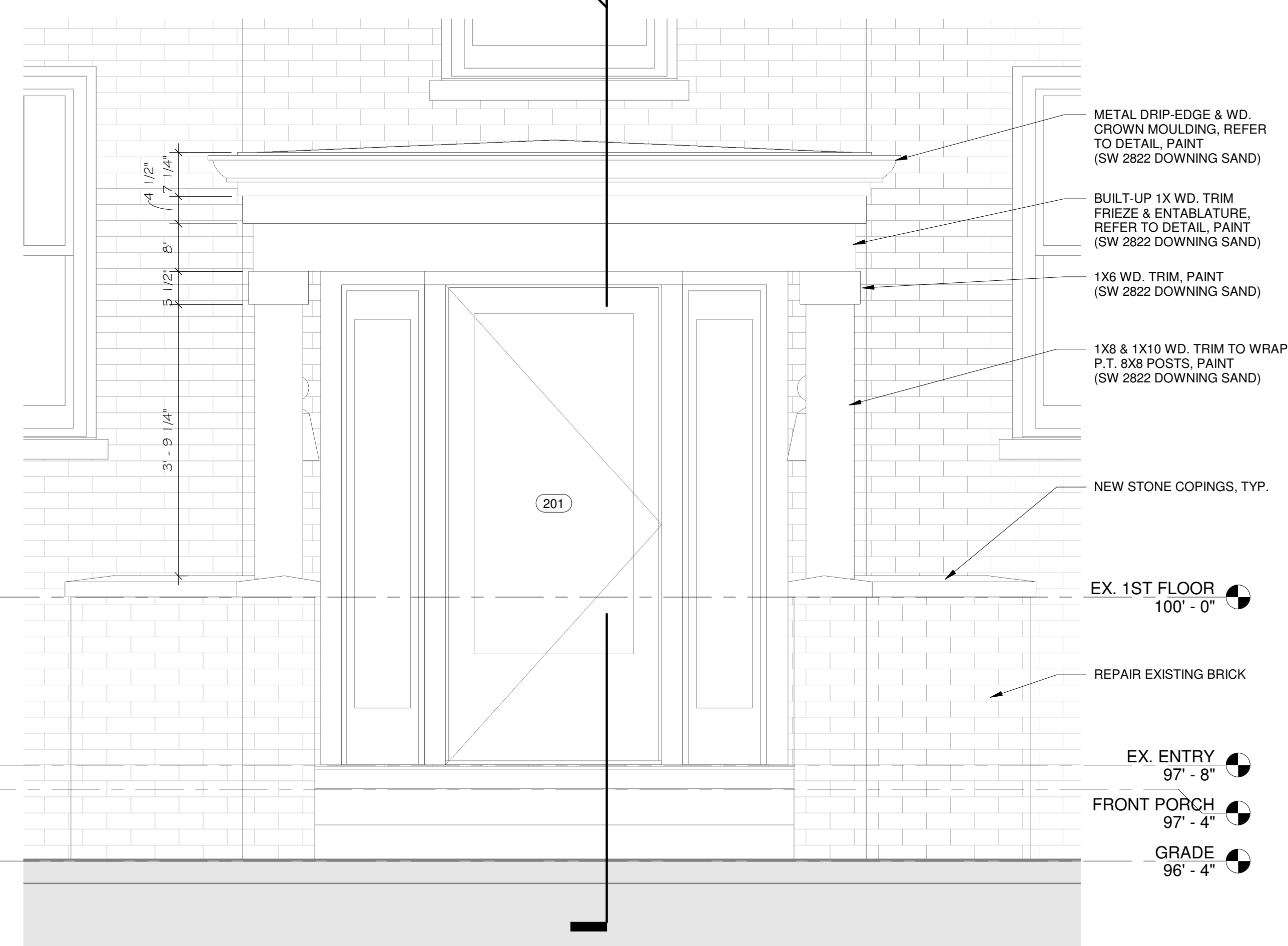
4 ENLARGED PLAN - FRONT PORCH
3/4" = 1'-0"



8 DTL - PORCH EAVE1
3/4" = 1'-0"



2 ENLARGED ELEVATION - FRONT PORCH - EAST
3/4" = 1'-0"



1 ENLARGED ELEVATION - FRONT PORCH - SOUTH
3/4" = 1'-0"

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Revision Schedule		
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2	HDC SET	08/15/2025

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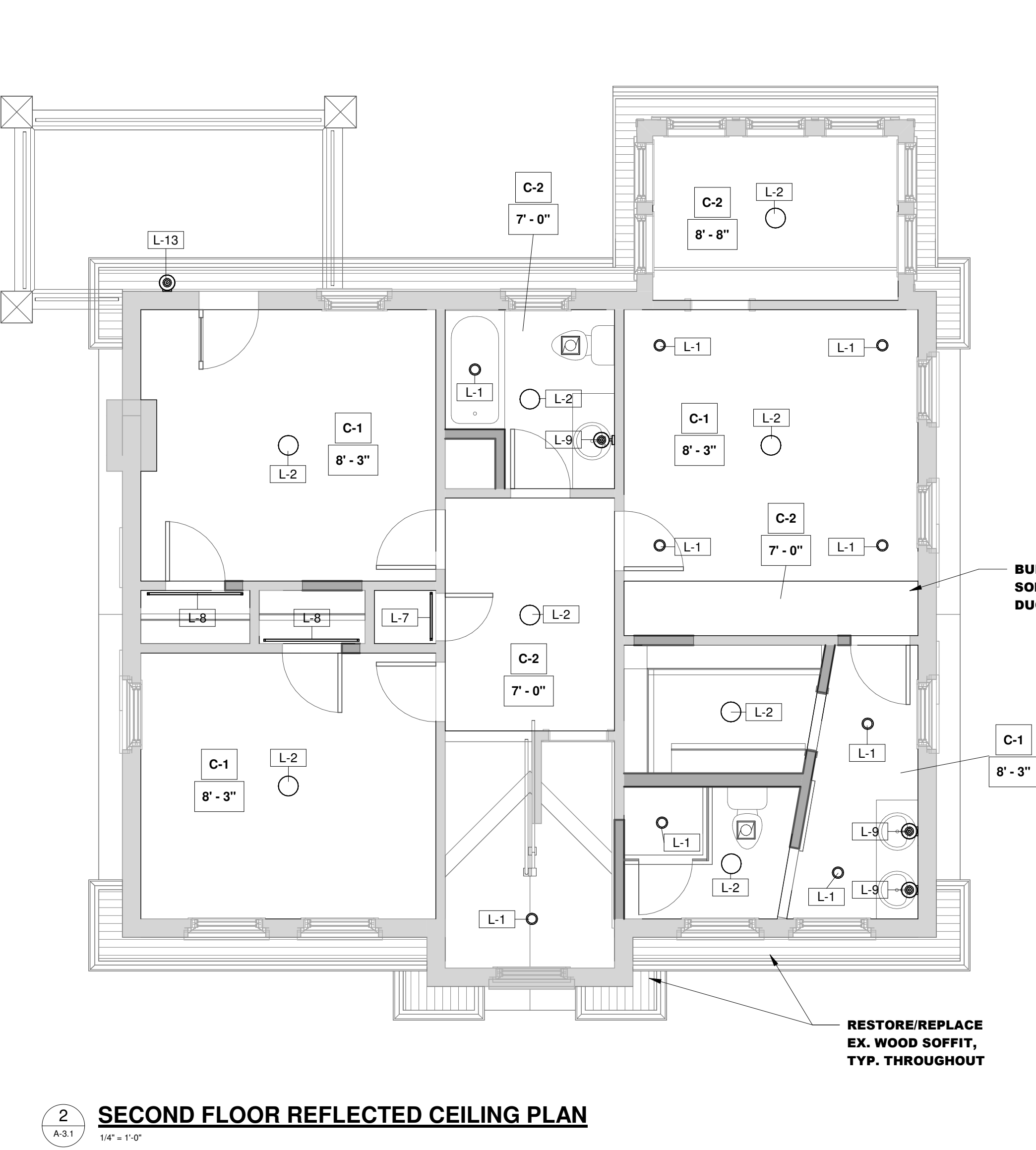
HISTORIC RENOVATION
PROJECT NUMBER: Z24098
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
ELEVATION DETAILS

DATE SEALED
A-3.3
SHEET NUMBER

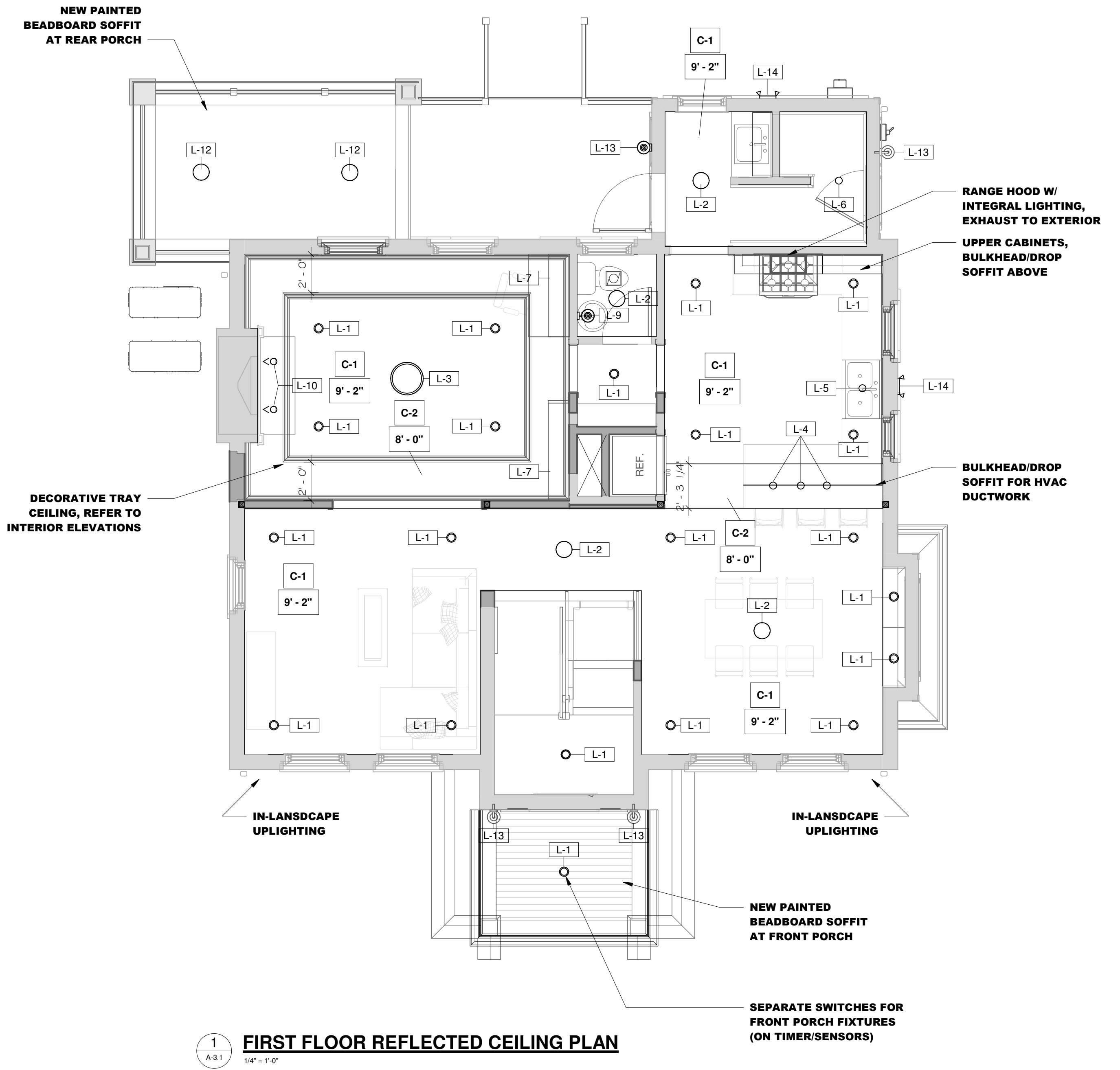
CEILING SCHEDULE			
Type Mark	Area	Description	Comments
C-1	2214 SF	1/2" GYP. BOARD ON EXISTING WOOD JOISTS	
C-2	479 SF	1/2" GYP. BOARD ON NEW 2X4 CEILING FRAMING / BULKHEAD	
Grand total		2693 SF	

LIGHTING FIXTURE SCHEDULE			
Type Mark	Count	Type	Comments
L-1	35	4" LED CAN LIGHT	IVO 4" OR EQ. WATERPROOF FIXTURE AT EXT./WET LOCATIONS
L-2	12	VINTAGE CEILING LIGHT	OWNER PROVIDED
L-3	1	DECORATIVE CEILING LIGHT	OWNER PROVIDED
L-4	3	SMALL DROP PENDANT	OWNER PROVIDED
L-5	1	DROP PENDANT - SINK	OWNER PROVIDED
L-6	1	PENDANT - REAR STAIR	OWNER PROVIDED
L-7	3	24" STRIP LIGHT	LITHONIA MNSL L24 OR EQ.
L-8	2	48" STRIP LIGHT	LITHONIA MNSL L48 OR EQ.
L-9	5	BATHROOM SCONCE	OWNER PROVIDED
L-10	2	4" DIRECTIONAL CAN LIGHT	IVO 4" WALL WASH OR EQ.
L-11	11	UTILITY CEILING LIGHT	JUNO SLIMFORM JSF OR EQ.
L-12	2	VINTAGE CEILING LIGHT - EXT	OWNER PROVIDED
L-13	5	EXTERIOR WALL SCONCE	BROMLEY SMALL OUTDOOR WALL-MOUNT LANTERN OR EQ., MUSEUM BLACK, ON TIMER / SENSOR
L-14	2	SECURITY LIGHT	LITHONIA HGX OR EQ., DARK BRONZE, ON TIMER / SENSOR
Grand total		85	

- LIGHTING NOTE:**
- ALL FINAL FIXTURE SELECTIONS BY OWNER.
 - PROVIDE DIMMER SWITCHES FOR ALL INTERIOR LIGHT FIXTURES, EXCEPT IN BATHROOMS.
 - PROVIDE POWER TO LANDSCAPE LIGHTING.



2
A-3.1
1/4" = 1'-0"
SECOND FLOOR REFLECTED CEILING PLAN



1
A-3.1
1/4" = 1'-0"
FIRST FLOOR REFLECTED CEILING PLAN

infuz

ARCHITECTS + INNOVATORS

Port Huron Office

208 Huron Ave., Suite 1

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HISTORIC RENOVATION

PROJECT NUMBER: Z24098

1724 SEYBURN ST

DETROIT, MI 48214

RYAN & LACEY ZAMPARDO

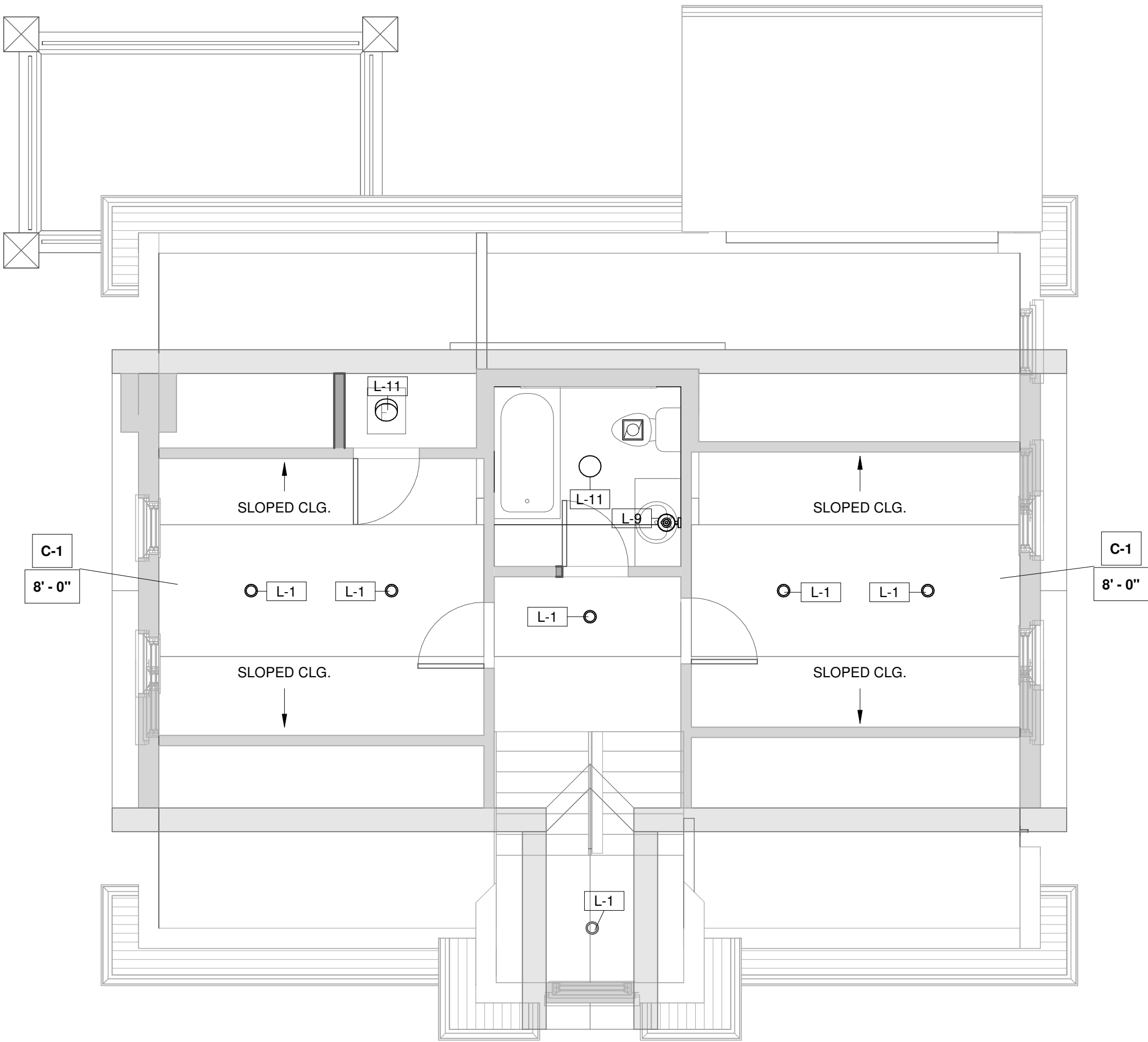
SHEET TITLE

REFLECTED CEILING PLANS

DATE SEALED

SHEET NUMBER

A-5.0



2 ATTIC - RCP - PROPOSED
1/4" = 1'-0"



1 FOUNDATION - RCP - PROPOSED
1/4" = 1'-0"

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Revision Schedule		
#	Description	Date
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2	HDC SET	08/15/2025

SEAL
NOT FOR CONSTRUCTION

DATE SEALED

HISTORIC RENOVATION
PROJECT NUMBER: Z24098
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
REFLECTED CEILING PLANS

SHEET NUMBER
A-5.1



HDC - Scope of Work

The following describes the proposed exterior work planned for the building and site, which includes:
Exterior scope: New wood windows in modified existing openings; Removal of (1) window & infill w/ new brick; New doors throughout; New front porch roof cover; new rear deck & railings at former elevated covered patio area; New exterior lighting; Replace low-slope roof areas at rear and side bay window.
Site Scope: Repair existing sitework as needed; New site-built wood fence w/ gates, New landscaping per owner.

Windows

New wood windows to be installed in modified existing openings, New brick infill up to new sill height where indicated. New wood windows will be built by the General Contractor.

* Repair/Restoration of original wood windows has been submitted under HDC2025-00443

Masonry Brick

One window on the side, first level, will be removed to allow for a beam replacement bearing in its location. This will be infilled w/ brick veneer to match the existing brick. New brick to be a blend of Interstate Bronzestone & Walnut.

* Masonry restoration, with this selection, has been submitted under HDC2025-00443

Sills

There are existing stone sills at windows and masonry copings. These have been painted over time to match the siding color. These will be restored and repainted.

Doors

There are (4) exterior doors, (3) are to remain, (1) former door location becomes a window and a new door location is proposed at the rear deck. The Front door is to be a reclaimed wood door with a lite, as selected by the Owner, sourced from ASWD. This door will be restored and stained. The other doors at the side and rear are to be fiberglass doors w/ lites as indicated. These doors are to be smooth and primed for paint. The door on the side is to be ¼ lite and the doors at the rear are to be full-lite

Front Porch

The existing small roof cover is to be replaced with a new larger roof cover as indicated in the drawings. This will have two posts (utilizing the extents of the existing masonry porch walls) supporting a wood framed low-slope roof. This will be trimmed out with wood trim boards and mouldings as indicated on Sheet A-3.3. There will be a beadboard soffit/ceiling with a can light.

Rear Deck

The first floor concrete slab of the rear masonry deck has failed and is to be removed. This will be replaced & enlarged with a new wood framed deck with railings and new stair as indicated on the drawings. The deck boards are to be 1x6 stained wood. The railings are wood and are to be painted. The area under the deck will have wood skirting w/ wood trim and infill. There will be a beadboard soffit/ceiling with a ceiling fan at the covered portion.

**Exterior Painting**

Siding/Sills:	SW 2812 Rookwood Jade
Doors:	SW 2816 Rookwood Dark Green
Window Sashes/Trim/Railings	SW 2822 Downing Sand
Metal Fabrications	SW 6258 Tricorn Black
Stain (Deck + Fence)	SW 3560 Gray Pine

Exterior Lighting

There are exterior wall sconces proposed at exterior doors. Additionally, there are two security lights on motion sensors at the side along the driveway and rear yard. See elevations and cut-sheets

Roofing

The existing asphalt shingle roof is relatively new and being evaluated by the General Contractor. If it is to be replaced, it will be replaced to match the existing asphalt shingles currently installed.

The roof at the rear bump out and the roof at the small bay window on the side are to receive a roof replacement. These low-slope roofs are to be replaced with EPDM, in black.

*Gutter replacement has been submitted under HDC2025-00443

Site Improvements

Repair existing sitework as indicated. Proposing a new 6 ft tall site-built cedar dog-ear wood fence w/ gates. There will be additional new landscaping per owner.

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INTERSTATE® BRICK

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Modular Solid 4 x 2¼ x 8

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Choose Your **Color** : Bronzestone

+

Choose Your **Texture** : Antique

-

Clear

Choose Your **Shape**

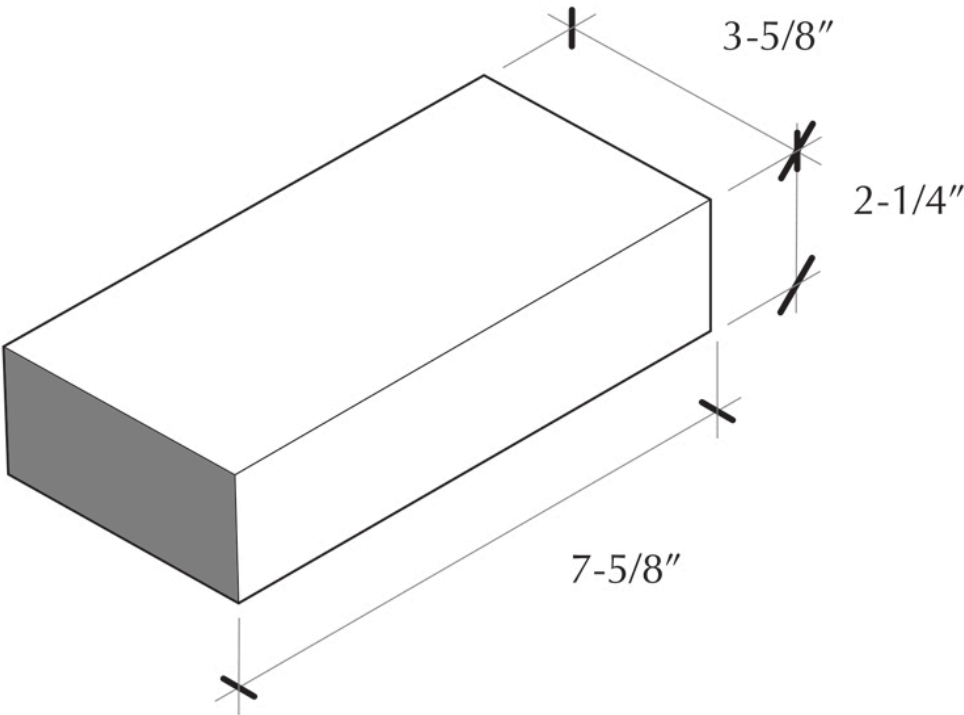
Click here to talk to one of our consultants to find exactly what you're looking for.

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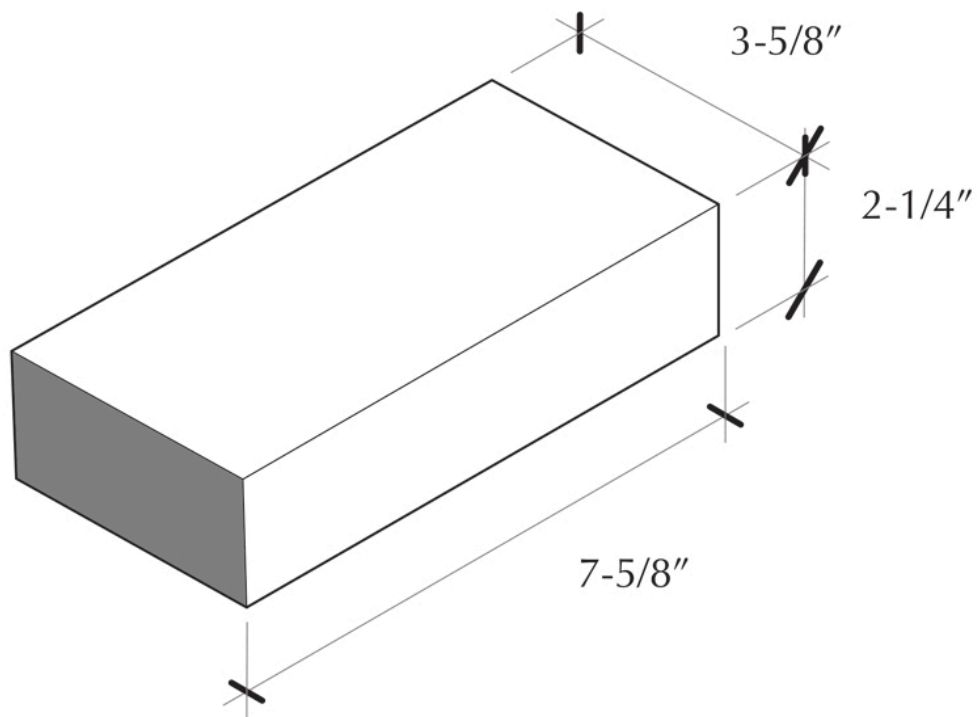
*Disclaimer: Images are for general color representation only – not size.
Clay brick is comprised of natural materials from the ground. As such,
each production run may vary from another and may have color
variance within itself.*



Synopsis

This brick size is the industry standard. It was designed to fit to a mason's hand grip. The unit is designed to turn corners and start a wall in running bond. 3 brick courses equals one brick laid in a soldier course (stacked vertically). This brick is the easiest to use when creating patterns in the wall. There are 6.85 brick per square foot.

Specs
Safety Data Sheet
Other Documents
Face Brick Dimensions, Weights, Coverage and Packaging >



Face Brick Inspiration

[View More Inspiration](#)



Additional Sizes



Norman 4 x 2¼ x 12



Utility 4 x 4 x 12



Emperor 4 x 2¼ x 16

[Browse More Face Brick Sizes](#)



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BROMLEY 2368MB
MUSEUM BLACK

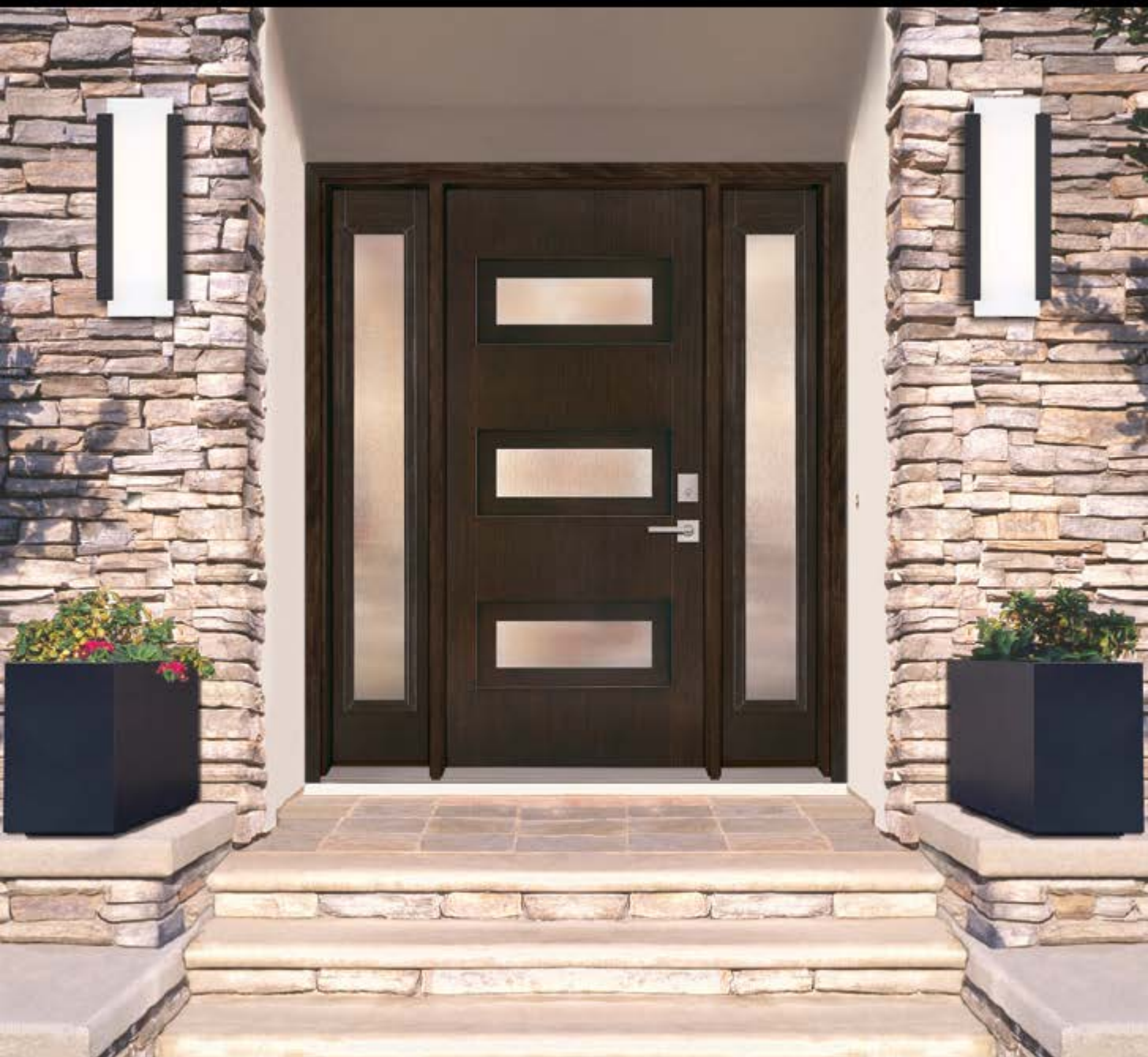
WIDTH:	8.0"
HEIGHT:	11.8"
WEIGHT:	3.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR
BACKPLATE WIDTH:	4.8"
BACKPLATE HEIGHT:	8.3"
SOCKET:	1-100W MED
EXTENSION:	9.3"
TTO:	7.5"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665236811

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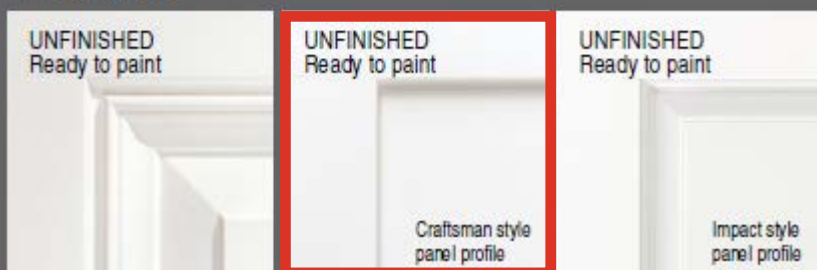
COTTAGE MAHOGANY WOODGRAIN



OAK WOODGRAIN



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Gray Grey 7075	Stormwind 7072	Sage Mist 6178	Spring Coral 6606
Elder Tree 2809	Burnt Cranberry 2801	Wine Red	Rich Cinnamon 7591
Timeless Black 6258	Black Coffee 6006	Rich Soil 7510	Space Blue 6244
Vast Ocean 6783			

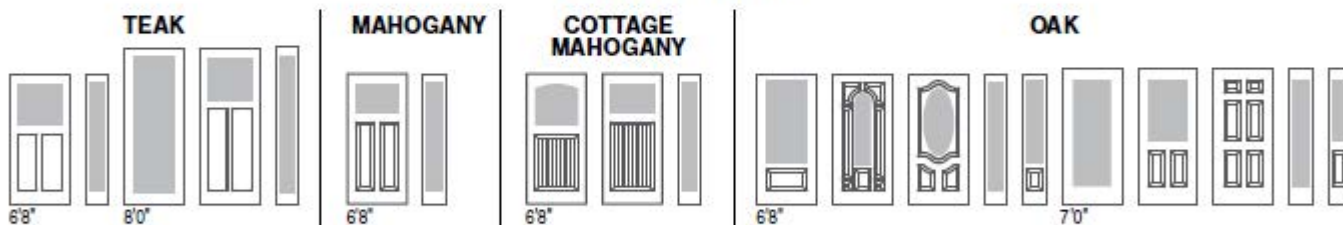
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- Two-color (interior and exterior) option available
- Touch up paint included with all special orders
- PVC jamb width options, see page 6-7



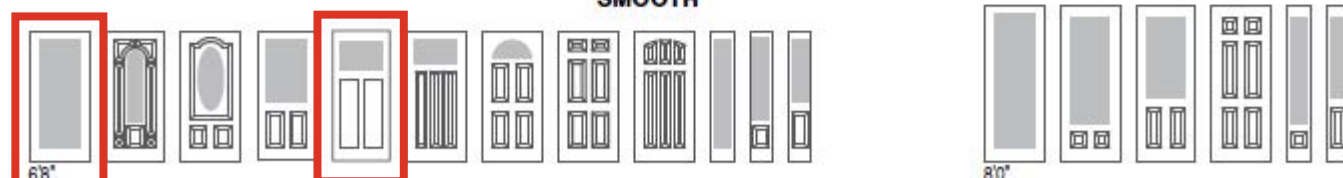
- Durable paint finish
- Two-color (interior and exterior) option available
- Touch up paint included with all special orders
- PVC jamb width options, see page 6-7



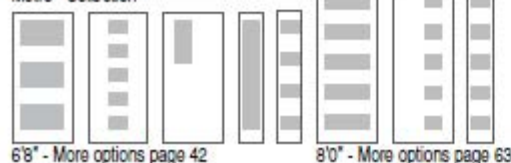
AVAILABLE STYLES



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Metro® Collection



6'8" - More options page 42

8'0" - More options page 63

ALSO AVAILABLE:

- Flush-glazed / Impact – pages 54-58
- Simulated Divided Lites (SDL) – pages 46-49
- PVC Transoms – page 6

Note: Colors shown are an approximate representation of the actual color.
Actual finished color may vary in tone/shade (darker or lighter) from what is shown in brochure.



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3/4 Lite



Half Lite



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Specifications

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- Zinc threshold & hinges

Additional Options

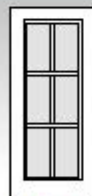
- Clear Low-E transoms

Visit featherriverdoors.com/switch for additional information on Rough Opening, Energy Efficiency, and Warranty details.

• Simulated Divided Lite (SDL) Examples



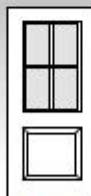
4-Lite
Horizontal
5-5/8"



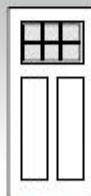
6-Lite
Colonial
1-1/8"



4-Lite
Colonial
2-1/4"



4-Lite
Colonial
1-1/8"



6-Lite
Colonial
1-1/8"

• Pair your door with Full Lite Sidelite(s)

Sidelite widths:
14, 12, 10



*Sidelite glass is non-operational: private glass only

- Select additional widths: 34", 32", 30"
- Brass or Patina threshold & hinges



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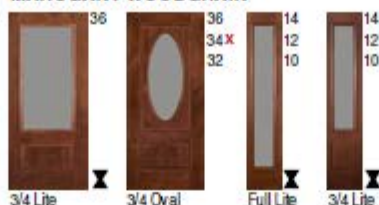
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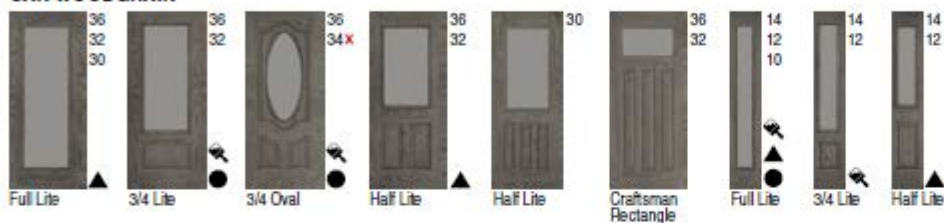
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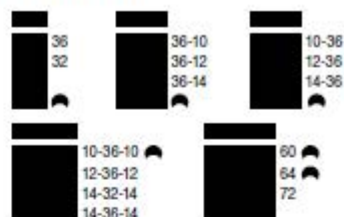


OAK WOODGRAIN



RECTANGULAR TRANSOMS

Height 12 & 14-3/4



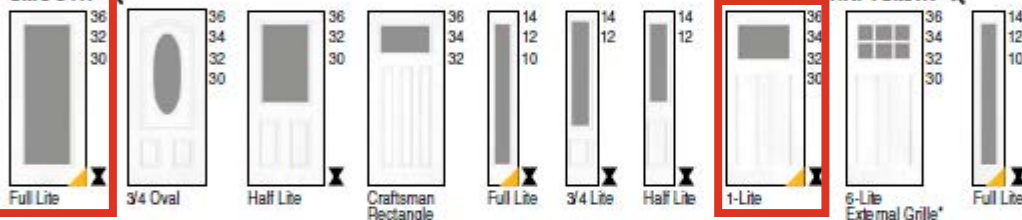
12 height only

ELLIPTICAL TRANSOMS

Height 14-3/4



SMOOTH



SMOOTH CRAFTSMAN

More Clear Glass options are available in our Metro™ Collection - See pages 42-43

*Glass is not Low-E

INTERNAL GRILLE (GBG) LOW-E

OAK WOODGRAIN



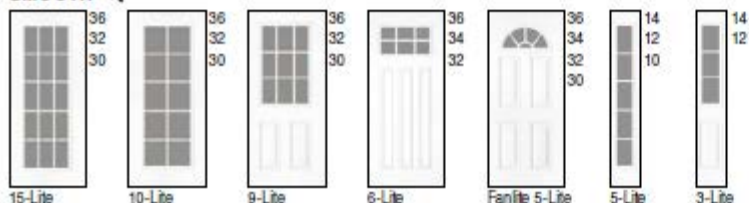
Contour Grille Only

ELLIPTICAL TRANSOMS

Height 14-3/4

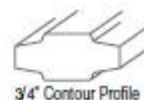


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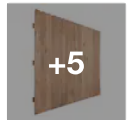
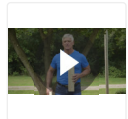
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STEPS TO BUILD A FENCE

1 DO YOUR HOMEWORK



- Check local ordinances
- Contact utility companies
- Communicate with neighbors

2 BUY MATERIALS



- Fence components and fasteners
- Cement and gravel
- Tools

3 LAY OUT YOUR FENCE



- Mark hole locations with stakes
- Run string line

4 DIG POST HOLES



- 2' or deeper depending on post height
- Backfill hole with gravel

5 SET POSTS



- Place post in hole
- Set with ready-mix concrete

6 ATTACH BACKER RAILS OR PANELS TO POSTS



- Use 18d to 20d nails or 3-1/2" to 4" screws

7 ATTACH PICKETS TO BACKER RAILS



- Use 8d to 10d nails or 1-1/4" to 1-3/4" screws

8 FINISH THE FENCE



- Apply protective finish

This is designed to be a project overview. Refer to the fence manufacturer's instructions for complete installation details.

11150

- [Return Policy](#).
- California residents [see Prop 65 WARNINGS](#)

Product Information

Internet # 303863981
Model # 318735
Store SKU # 559087

Specifications

^

Dimensions

Actual backer rail length (in.)	96 in	Actual backer rail thickness (in.)	1.5 in
Actual backer rail width (in.)	3.5 in	Actual panel height (in.)	72 in
Actual panel thickness (in.)	2.25 in	Actual panel width (in.)	96 in
Actual Picket Length (in.)	72 in	Actual picket thickness (in.)	0.625 in
Actual picket width (in.)	5.5 in	Nominal backer rail length (in.)	96.0 in

Nominal backer rail thickness (in.)	2 in	Nominal backer rail width (in.)	4 in
Nominal panel height (ft.)	6 ft	Nominal panel width (ft.)	8 ft
Nominal picket length (ft.)	6 ft	Nominal picket thickness (in.)	1 in
Nominal picket width (in.)	6 in		

Details

Color Family	Brown	Color/Finish	Cedar
Contact Type Allowed	Above Ground	Features	Paintable, Stainable
Fencing Installation Type	No Dig	Fencing Product Type	Wood Fence Panels
Includes	No Additional Items Included	Material	Wood
Nominal panel thickness (in.)	3 in	Number of pickets for panels	17
Number of rails for panels	3	Panel Assembly	Assembled Panel
Panel Design	Privacy	Panel Top Shape	Flat
Picket Top Style	Dog-Eared	Product Weight (lb.)	120 lb
Recommended Fastener	Nails	Structure Type	Ornamental, Permanent, Temporary

Warranty / Certifications

Manufacturer Warranty	See store for details
-----------------------	-----------------------

How can we improve our product information? [Provide feedback.](#)

Questions & Answers


44 Questions

Customer Reviews






3.9 out of 5       (106)

Customers Also Viewed


Best Seller








ProWood 6ft. x 8ft. Pine Pressure Treated Privacy Dog-Ear Flat Wood Fence Panel

     (4.1 / 1269)


\$74⁹⁸








ProWood 3-1/2 ft. x 8 ft. Western Red Cedar Privacy Flat Top Fence Panel Kit

     (3.7 / 146)


\$64³²
/package
Was \$66.49








Outdoor Essentials 6 ft. H x 8 ft. W Spruce Pine Fir Stockade Fence Panel

     (3.8 / 462)


\$64⁹⁸








Concord 5 ft. H x 3.2 ft. W Cedar Wood Slatted Panel Flat Top Privacy Fence Screen 1-Panel

     (4.5 / 125)

\$109⁹⁹




Zippity Outdoor Products Newberry Dig Free Wood Fence Kit, 48 in. by 32 in. (2-panels)






     (4.5 / 23)

\$121⁶⁷

Exclusive








Vigoro 37.1 in. H x 45.35 in. W Cedar Garden Fence Panel

     (4.3 / 110)

\$57⁹⁸

Sur Kit Flat Wood Fence Panel

     (4.3 / 110)

\$1⁹⁸

SW 2812
ROOKWOOD JADE

SIDING / SILLS

SW 2816
ROOKWOOD DARK GREEN

DOORS

SW 2822
DOWNING SAND

WINDOW SASHES / TRIM / DECK RAILINGS

SW 6258

TRICORN BLACK

METAL FABRICATION

SW 3560

GRAY PINE

DECK SURFACE / FENCE



HGX LED 2RH ALO SSWW2 120 PE DDB M2



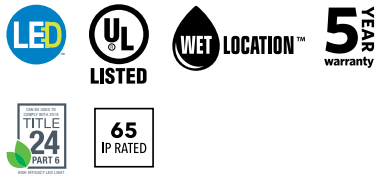
HGX LED 2RH ALO SSWW2 120 PIR DDB M2
*Wall mount only



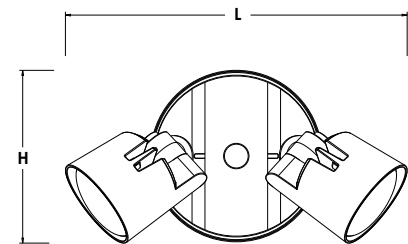
HGX LED 3RH ALO SSWW2 120 PE WH M2

HGX

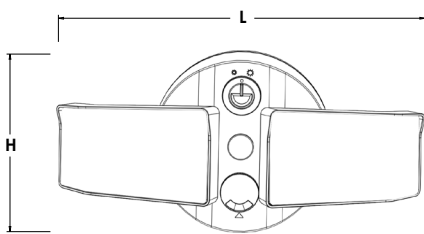
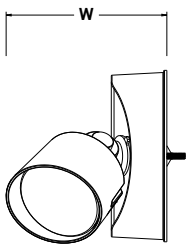
A complete security floodlighting solution



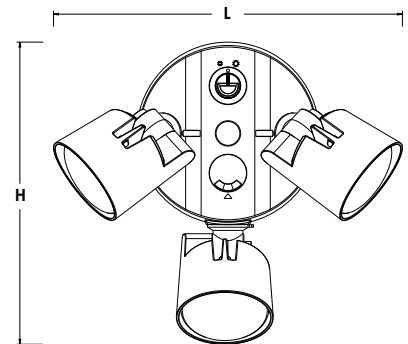
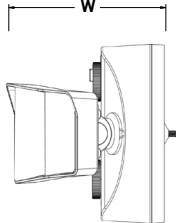
Luminaire	Length (L)	Width (W)	Height (H)	Lamp head dia (A)	Back plate dia (B)	Back plate thickness (C)	Weight
HGX 2RH	4.41" (11.2cm)	7.56" (19.2cm)	4.25" (10.8cm)	2.4" (6.1cm)	4.25" (10.8cm)	1.38" (3.5cm)	1.15 lbs (0.52 kg)
HGX 3RH	5.12" (13cm)	7.72" (19.6cm)	4.53" (11.5cm)	2.4" (6.1cm)	4.53" (11.51cm)	2.13" (5.4cm)	1.77 lbs (0.8kg)
HGX 2SH	4.53" (11.5cm)	7.56" (19.2cm)	4.33" (11cm)	2.40" (6.1cm)	4.33" (11cm)	1.54" (3.9cm)	1.31 lbs (0.6kg)
HGX 2RH PIR	4.96" (12.6cm)	7.52" (19.1cm)	4.53" (11.5cm)	2.40" (6.1cm)	4.53" (11.5cm)	1.89" (4.8cm)	1.37lbs (0.62 kg)
HGX 2RH ALO	4.53" (11.51cm)	7.56" (19.2cm)	4.33" (11cm)	2.40" (6.1cm)	4.33" (11cm)	1.54" (3.9cm)	1.31lbs (0.6kg)



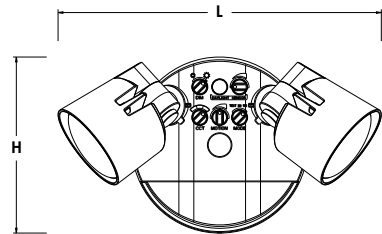
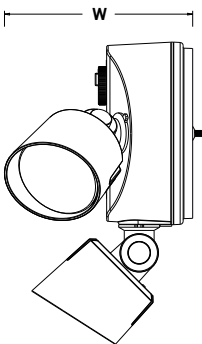
HGX 2RH & HGX 2RH ALO



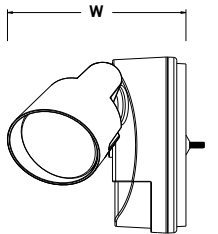
HGX 2SH



HGX 3RH



HGX 2RH PIR



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction
















The HomeGuard LED family of security flood lights, built with rugged die cast aluminum construction, are long lasting, energy efficient solutions for replacing incandescent PAR lamp fixtures. Mounted under an eave or on a wall, these luminaires provide reliable security lighting in residential and commercial applications (PIR unit is wall mount only).

The HGX family has six configurations both in bronze and white. Featuring a low cost version for switched circuits and fully featured products that include the following options: an integral photocell for that automatic dusk-to-dawn operation, adjustable lumen output, color temperature switchability, and a PIR motion sensor in a wall sconce SKU. With tool-less easy-to-aim lamps, HGX installs quickly, and delivers a lumen range from 1700 to 4100. The HGX family provide great flexibility and versatility.





Ordering Information


EXAMPLE: HGX LED 3RH ALO SWW2 120 PE DDB

Homeguard ordering nomenclature and stocked configurations			
Nomenclature	UPC	CI Code	Features
HGX LED 2RH 40K 120 DDB	00194995254156	*271FE9	
HGX LED 2RH 40K 120 WH	00194995254170	*271FEE	
HGX LED 2RH ALO 40K 120 PE DDB	00194995254200	*271FEF	 
HGX LED 2RH ALO 40K 120 PE WH	00194995254194	*271FEH	
HGX LED 2RH ALO SWW2 120 PE DDB	00194995254255	*271FEP	  
HGX LED 2RH ALO SWW2 120 PE WH	00194995254316	*271FEV	
HGX LED 2SH ALO SWW2 120 PE DDB	00194995255214	*271FJ3	  
HGX LED 2SH ALO SWW2 120 PE WH	00194995255207	*271FJ4	
HGX LED 3RH ALO SWW2 120 PE DDB	00194995255160	*271FHW	  
HGX LED 3RH ALO SWW2 120 PE WH	00194995255139	*271FJ0	
HGX LED 2RH ALO SWW2 120 PIR DDB*	00194995254330	*271FEX	   
HGX LED 2RH ALO SWW2 120 PIR WH*	00194995255092	*271FHR	

 Adjustable Lumen Output
ALO

 Dusk-to-Down Operation
PE

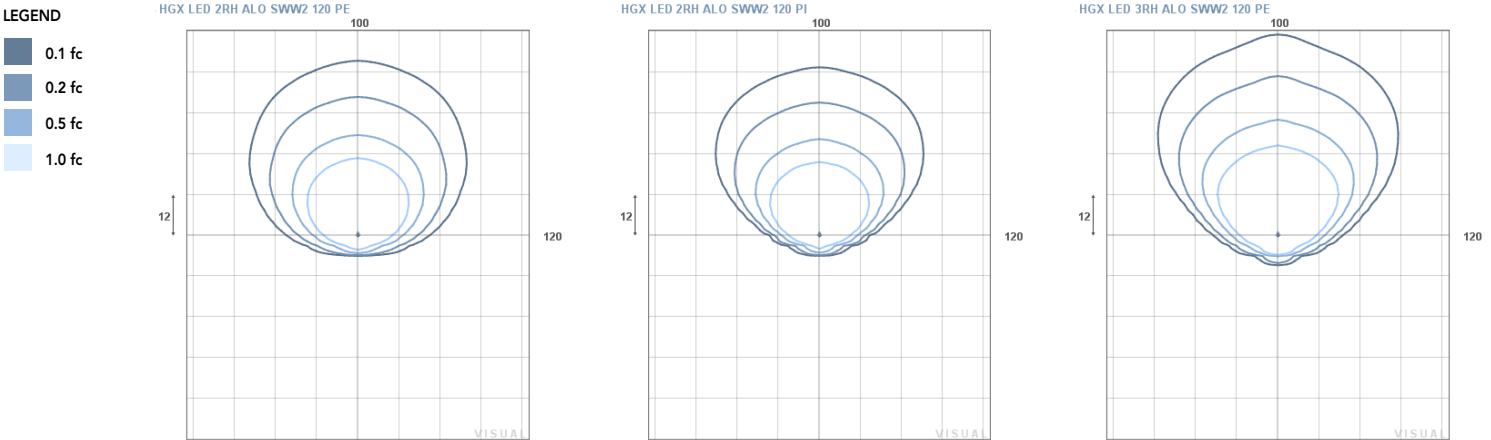
 Switchable CCT SWW2
(3000K/4000K/5000K)

 Motion Sensor Capable
PIR
















*PIR unit is wet location rated and is to be used for wall mount applications

Photometric Diagrams

Full photometric data report available within 2 weeks from request. Contact Acuity tech support.



HomeGuard LED Stocked Configurations

	Low			Medium			High			
Nomenclature	Lumens	Wattage	CRI	Lumens	Wattage	CRI	Lumens	Wattage	CRI	Options
HGX LED 2RH 40K 120 DDB	1750	15	80				2750	25	80	 
HGX LED 2RH 40K 120 WH										
HGX LED 2RH ALO 40K 120 PE DDB										
HGX LED 2RH ALO 40K 120 PE WH										
HGX LED 2RH ALO SWW2 120 PE DDB	1800	15	80				2750	25	80	  
HGX LED 2RH ALO SWW2 120 PE WH										
HGX LED 2SH ALO SWW2 120 PE DDB	1700	15	80				2700	25	80	  
HGX LED 2SH ALO SWW2 120 PE WH										
HGX LED 3RH ALO SWW2 120 PE DDB	1750	15	80	2750	25	80	4100	36	80	  
HGX LED 3RH ALO SWW2 120 PE WH										
HGX LED 2RH ALO SWW2 120 PIR DDB	2150	21	80				2600	26	80	   
HGX LED 2RH ALO SWW2 120 PIR WH										

 Adjustable Lumen Output

 Dusk-to-Dawn Operation

 Switchable CCT

 Motion Sensor Capable



Easy, tool-less aiming.



Integrated visors allow for visually pleasing illumination with minimal glare.



Modern design with user-friendly controls. Non-obtrusive motion sensor with elegant accent light.



Adjustable Light Output (ALO) and CCT color switching from warm, cool or daylight settings.

FEATURES & SPECIFICATIONS

INTENDED USE

HGX security floods are ideal for an energy efficient replacement for two lamp 200W incandescent security lights. The HGX LED provides over 50K hours of maintenance-free general illumination for outdoor applications. HGX with its 2RH/3RH/2SH head with PE options prevents daylight operation and saves on energy costs. Further with adjustable light output and color tuning technology built into HGX, it provides great flexibility for mounting and color selection. Ideal for entrances, walkways, corridors, yards, driveways and patios.

CONSTRUCTION

Cast-aluminum housing with dark bronze or white polyester powder paint for lasting durability. Photocell sensitivity is adjustable. LED lamp heads are thermally isolated from the driver that is located in the rear housing, promoting a long service life. Lenses are sealed to prolong service life. LEDs maintain 70% of light output at 50,000 hours of service life.

ELECTRICAL

HGX family comes in six configurations from low cost version which is on switched circuit to a fully featured product which has adjustable lumens, photocell, color and motion. The HGX is rated for outdoor installations. The 2 RH versions consume 25W and 3RH version consumes 36W power, 120V input 60 HZ driver. LED's with min. 80 CRI provide great quality of light and rendering. HGX with PIR option (motion sensor) has up to 180 degree motion detection angle, range of up to 40' at 18C/65 F and has three modes - test, 1 or five minutes on time after motion is detected. Motion sensitivity and daylight sensing is adjustable. Wall Sconce PIR unit is recommended for wall mount only.

ADJUSTABLE FEATURES

Adjustable light output - select HGX products include adjustable lumen output -2 settings on 2 head versions & 3 settings on 3 RH version. The lumens can be adjusted by rotation of dial. Use the same product to mount on various mounting heights by increasing or decreasing the light output. Color Tuning - Color temperature of the lamp heads can be switched with rotation of dial from warm to cool to daylight. Adjustable photocell - the sensitivity of the PE can be adjusted. The dial can be turned off to make the light turn on during day time, or have it only as dusk-to-dawn operation.

INSTALLATION

Mounts to a recessed junction box on wall or ceiling. Crossbar and hardware provided. Wet location listed for mounting 4 feet above ground. Tool-less adjustable heads allow for precise aiming.

LISTINGS

UL/cUL listed Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards. All units are IP65 except HGX PIR which is wet location. HGX is rated for use in ambient conditions ranging from -40° C to 40° C.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
© 2024 Acuity Brands Lighting, Inc. All rights reserved.

HGX LED
Rev. 11/06/24

36x84 Solid Door With Beveled Glass



RH Swing, includes letter slot, one pane is cracked

Price: \$100.00

Amount on hand: 1.00

Buy now (pickup)

If you'd like a quote to ship the item to you, please call us at 313-300-0046

Barcode: 505532784907





1
4/21/2025

GENERAL SITE NOTES:

THE DRAWINGS HEREIN ARE FOR INFORMATIONAL PURPOSES AND CONVEYANCE OF DESIGN INTENT. INFORMATION DEPICTED IS NOT INTENDED TO BE CONSTRUED AS LEGAL SURVEY OR ENGINEERED CIVIL. REFER TO SUBMITTALS BY PROFESSIONAL CONSULTANTS FOR WORK BEYOND THE SCOPE DEPICTED HEREIN.

1. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE A REGISTERED LAND SURVEYOR TIE OUT AND RESET ANY PROPERTY CORNERS OR SECTION CORNERS PLANNED TO BE DISTURBED BY CONSTRUCTION OF THIS PROJECT, AND SHALL HAVE A REGISTERED LAND SURVEYOR RE-ESTABLISH ANY PROPERTY CORNERS OR SECTION CORNERS INADVERTENTLY DISTURBED DURING CONSTRUCTION OF THIS PROJECT.
2. ALL STREET, SANITARY SEWER, STORM SEWER AND WATERLINE CONSTRUCTION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF EXECUTION OF THE CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISSDIG, CALL TWO BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
4. MAINTENANCE OF ONSITE DRAINAGE TO MINIMIZE ANY RUNOFF / EROSION DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SERVICE AND SCHEDULES.
6. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION.
7. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION.
8. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
9. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN UNDERGROUND UTILITIES.
10. THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER, WATER SERVICE OR ABANDONING AN EXISTING WATER SERVICE.
11. THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
12. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SCOPE.

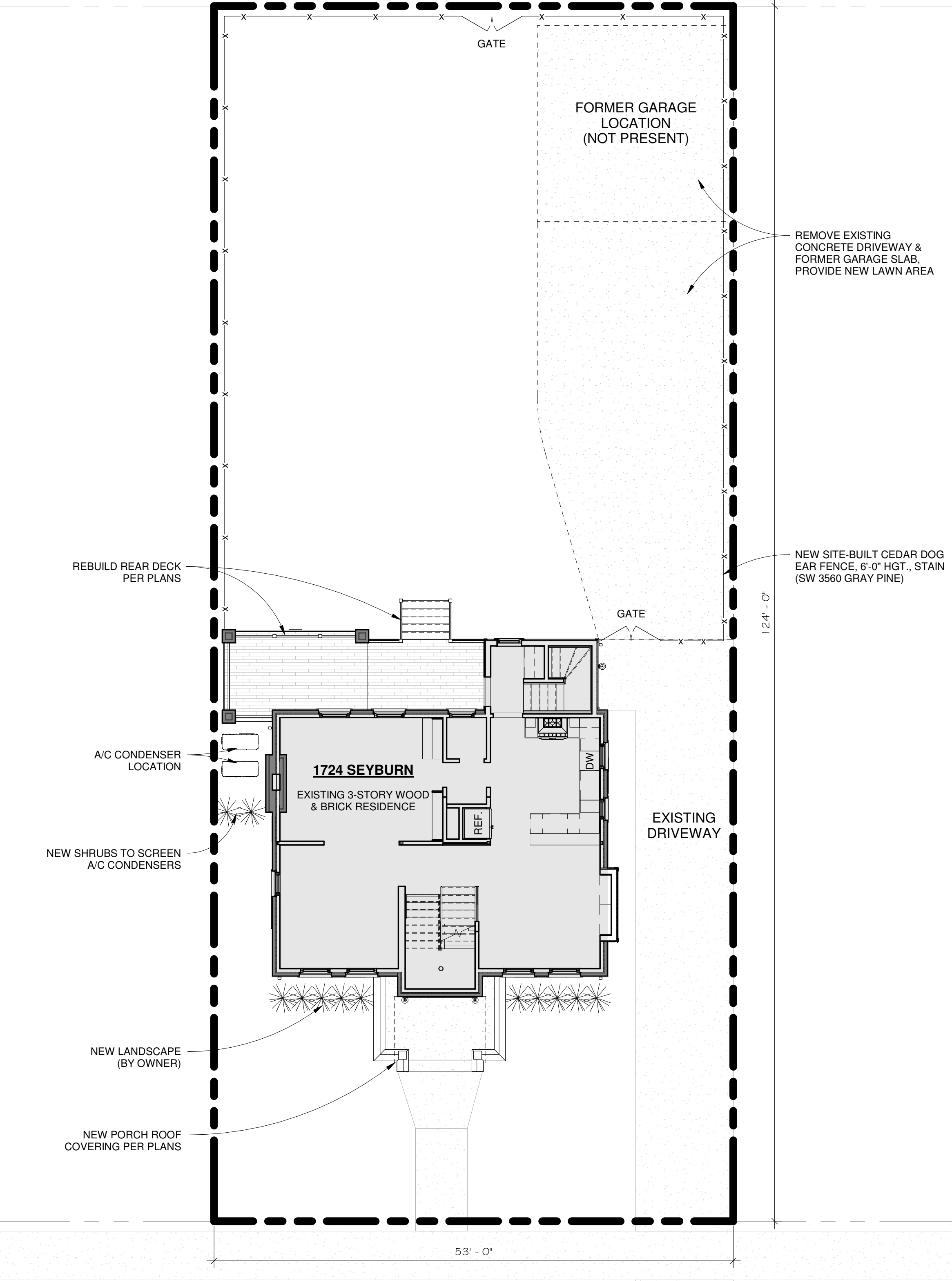
ZONING REQUIREMENTS

LOCAL AUTHORITY: CITY OF DETROIT
LOCAL ORDINANCE: DETROIT ZONING ORDINANCE (REVISION 31 JULY 2018)
ZONING CLASSIFICATION: R-2 RESIDENTIAL
USE CLASSIFICATION: SINGLE FAMILY DWELLING (SEC. 50-11-236 - SEC. 50-11-239)
REQUIRED SETBACKS: (SECT. 50-11-245)
EXISTING TO REMAIN (NO CHANGE)
MINIMUM LOT SIZE: (SECT. 50-13-45)
EXISTING TO REMAIN (NO CHANGE)
MAXIMUM HEIGHT: (SECT. 50-11-245)
EXISTING TO REMAIN (NO CHANGE)
LOT COVERAGE: (SECTS. 50-13-236 & 50-13-237)
EXISTING TO REMAIN (NO CHANGE)
REQUIRED PARKING: 1 SPACE PER DWELLING
TOTAL PARKING PROVIDED: 1 SPACES PROVIDED ON SITE

- NOTE:**
1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
 2. ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO.
 3. ALL LANDSCAPE SELECTIONS BY OWNER/CONTRACTOR.

SITE PLAN - PROPOSED

1/8" = 1'-0"



Email: infuztld@comcast.net
Web: infuzarchitects.com

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Revision Schedule		
#	Description	Date
1	Bid Set	01/20/2025
2	HDC SET	08/15/2025

NOT FOR CONSTRUCTION

DATE SEALED

HISTORIC RENOVATION
PROJECT NUMBER: Z2409
1724 SEYBURN ST
DETROIT, MI 48214
RYAN & LACEY ZAMPARDO
SHEET TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER

2CSP