



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00511

PROPERTY INFORMATION

ADDRESS(ES): 19545 shrewsbury rd. Detroit, MI

HISTORIC DISTRICT: Sherwood Forest

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|--|---|---|--------------------------------|
| <input type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Looking to update our front patio. The existing brick pavers are starting to crumble, and our patio walls are leaning. Request of to remove the brick pavers and replace with blue stone. At the same time, we will take down the walls and have the original stone cleaned and used to rebuild the walls.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner

NAME: James Dunn

COMPANY NAME: N/A

ADDRESS: 19545 Shrewsbury Rd

CITY: Detroit

STATE: MI

ZIP: 48221

PHONE: +1 (734) 634-7950

EMAIL: jamesdunn6@gmail.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that I am the legal owner and/or occupant of the subject property and that the information on this application is true and correct.

DocuSigned by:

James Dunn

N/A

James Dunn

08/03/2025

SIGNATURE

19545 Shrewsbury Rd

DATE

Detroit

MI

48221

+1 (734) 634-7950

jamesdunn6@gmail.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

Front Patio Issues are:

Pony walls leaning and breaking

Brick pavers cracking and crumbling

Foundation washing away

Steps falling apart



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

replace brick pavers with blue stone

rebuild foundation

rebuild walls with original stone and limestone caps.



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

removing existing patio and replace with blue stone and existing material



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

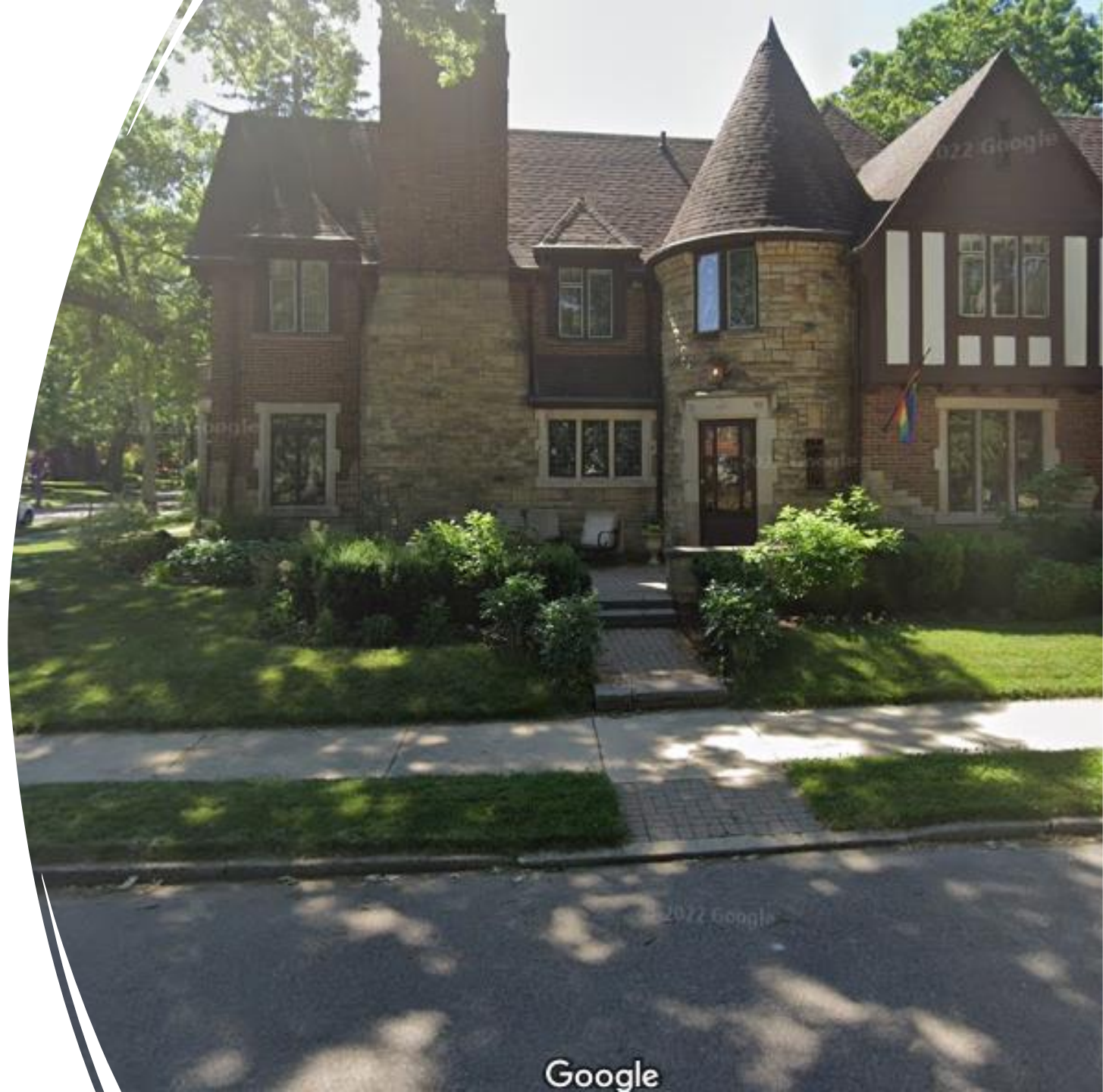


ADDITIONAL DETAILS

19545
Shrewsbury
Rd
Detroit, MI
48221

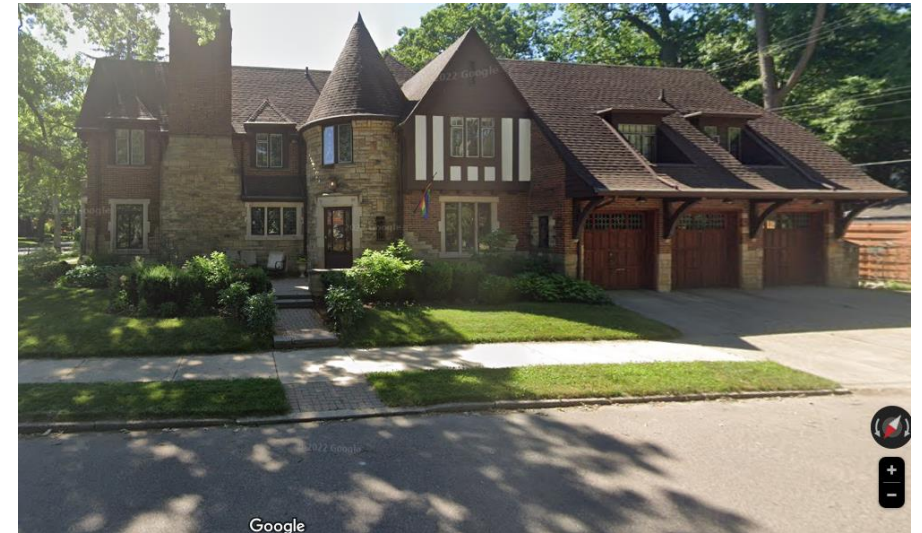
Request for Essential Restoration

Updating Deteriorating Porch
Materials with Period-Appropriate
Design



19545 Shrewsbury Rd: Property Overview

- Front porch off Chesterfield Rd
- Updated at some point with Brick pavers that run to road
- Request to remove brick pavers and replace with Blue Stone
- Take down walls and clean stone and limestone caps and have walls rebuilt with original material



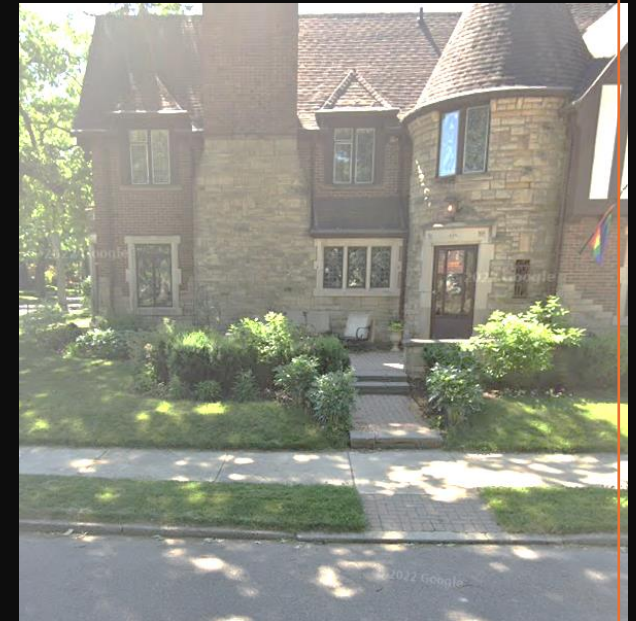
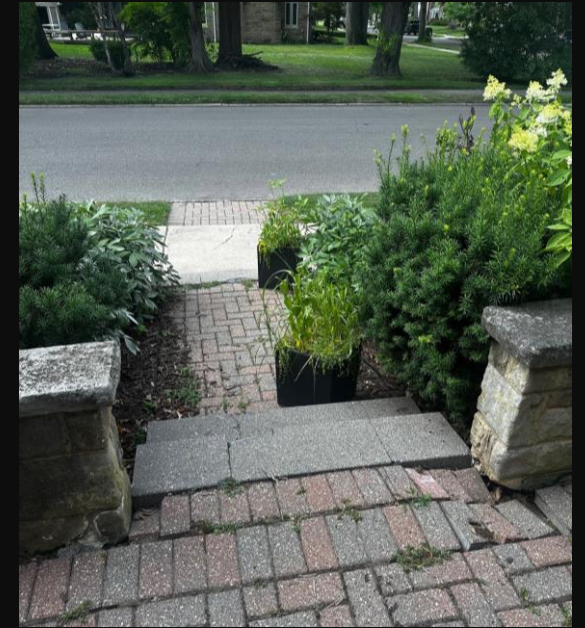
19545 Shrewsbury Rd: Current Porch Issues

- Pony walls leaning and breaking
- Brick pavers cracking and crumbling
- Foundation washing away
- Steps falling apart



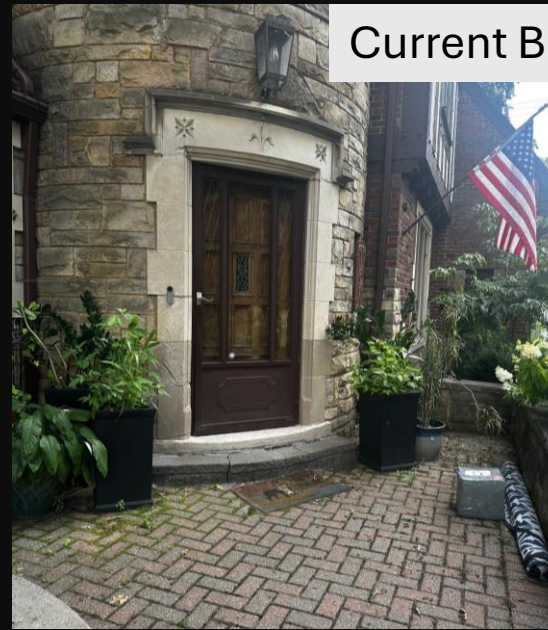
Wall Repair

- Remove limestone caps and all stone from wall, clean, and set aside for re-use
- Re-build stone wall using existing stone and footings
- Re-install existing limestone caps
- Drill 4 weep holes for drainage
- Install 1" PVC into weep holes
- Do all necessary grinding and tuck pointing on both sides of all walls surrounding front porch cap using type S mortar mixed with powdered dye and aggregate stone for proper aesthetics
- Return in 24-48 hours to acid wash

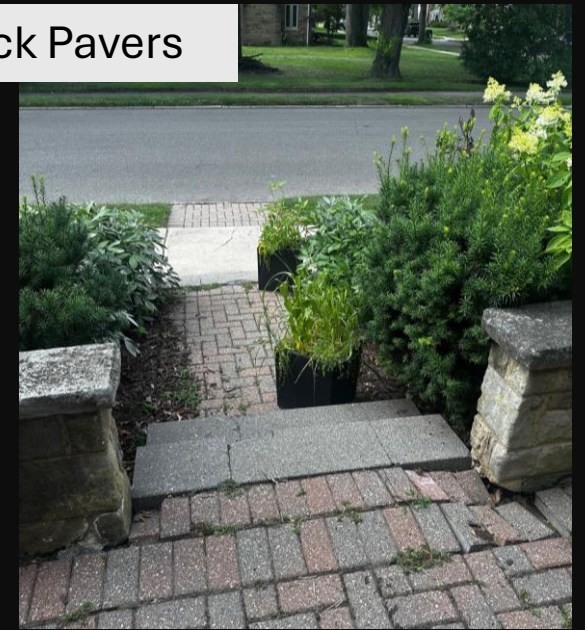


Patio Floor

- Remove iron grate to window well, set aside for re-use
- Demo & remove paver porch cap, paver steps, paver walkway, and paver section between sidewalk & street
- Install form boards where necessary
- Install re-rod along wall of home
- Pour new 4" thick concrete porch cap, walkway and section between sidewalk and street 4,000 PSI (original dimensions-rough finish for new bluestone installation)
- Purchase, cut, and install bluestone pieces on entire front porch cap, walkway, and section between sidewalk and street (in bed of mortar- type S mortar mixed with powdered and aggregate stone for proper aesthetics)
- Return in 24-48 hours to acid wash



Current Brick Pavers



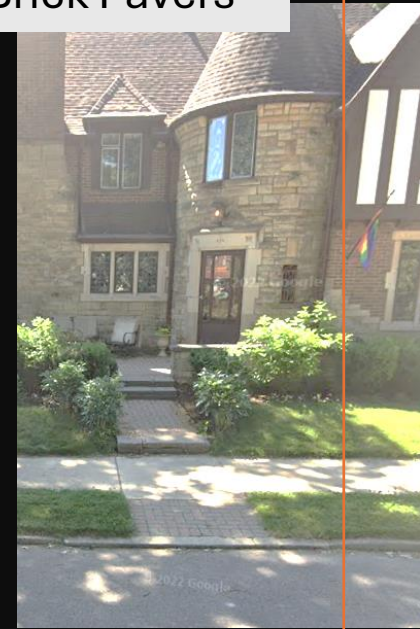
Proposed Blue Stone & Foundation



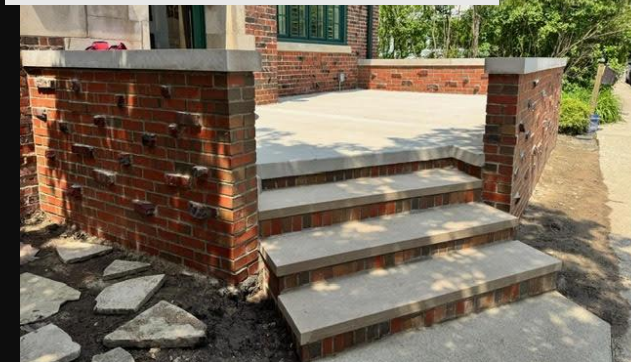
Patio Steps

- Install form boards for curved step going up to front door
- Pour 1 new concrete step going up to front door (Rough finish for bluestone installation)
- Purchase, cut, and install bluestone on concrete step going up to front door
- Install 2 new brick steps and risers on top of walkway. Bricks to match brick from home.
- Purchase, cut, and install 2 new limestone step caps, 2 ¼" thick with 13" tread
- Purchase, cut, and install 1 new limestone riser piece for end step of walkway
- Purchase, cut, and install 1 new limestone end step for above riser piece
- Parge interior of window well

Current Brick Pavers

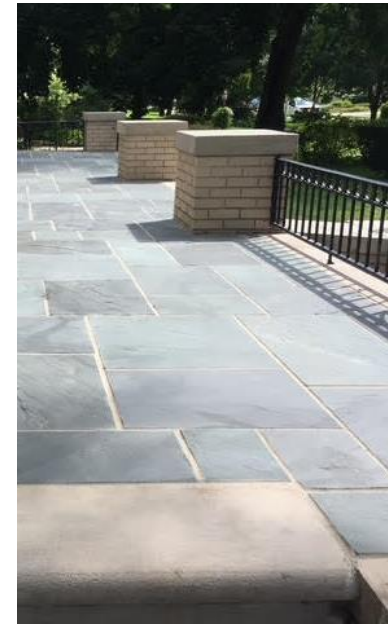
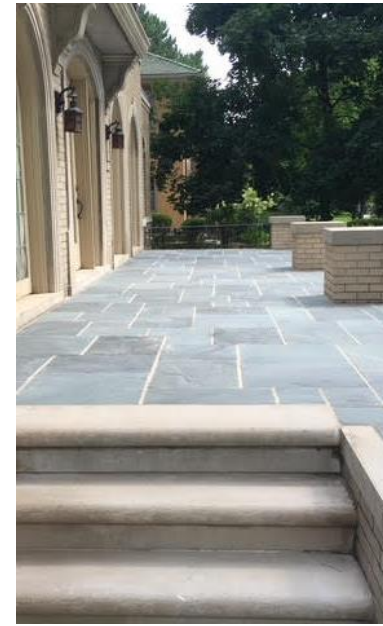
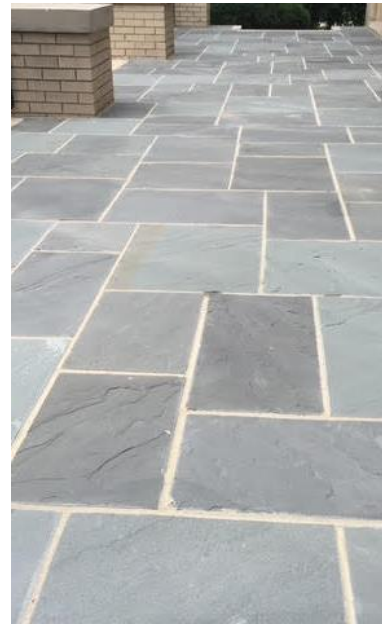


Proposed Brick for steps to match house



Proposed Blue Stone





Proposed new material:

- Bluestone for patio floor
- Brick for steps that match home
- Limestone step caps, 2 ¼" thick with 13" tread
- Patio foundation

Madison Maintenance LLC

Specializing in Tuck Pointing and all Masonry

1349 Devonshire
Grosse Pointe Park, MI 48230
Office: 313-885-8525
Cell: 313-402-7166

www.madisonmaintenance.com
madisonmasonry08@gmail.com

July 30, 2025

Mike Baker
19545 Shrewsbury
Detroit, MI 48221
231-499-2631
Mkbkr9@gmail.com

Madison Maintenance, a licensed (License # 2104193969) and insured contractor, does hereby provide a bid for the following: Work description-

Roughly 14' of L shaped wall on right side of front porch, if facing-\$8,500.00-

- Remove limestone caps, clean, and set aside for re-use
- Remove all stone from wall, clean, and set aside for re-use
- Re-build roughly 14' of L shaped stone wall using existing stone and footings
- Re-install existing limestone caps
- Drill 4 weep holes for drainage
- Install 1" PVC into weep holes
- Remove all job related debris
- Return in 24-48 hours to acid wash

Front porch and steps including walkway and section between sidewalk and street Option 2 (Bluestone)-\$27,500.00-

- Remove iron grate to window well and set aside for re-use
- Demo and remove paver porch cap, all paver steps, paver walkway, and paver section between sidewalk and street
- Demo and remove roughly 5-6' of stone wall on side of porch that faces Shrewsbury, clean, and set aside for re-use
- Prep area
- Measure and install form boards where necessary
- Install re-rod along wall of home
- Pour new 4" thick concrete porch cap, 6 bag mix- 4,000 PSI (original dimensions-rough finish for new bluestone installation)
- Pour new 4" thick concrete walkway and section between sidewalk and street (original dimensions-rough finish for new bluestone installation)
- Purchase, cut, and install bluestone pieces on entire front porch cap, walkway, and section between sidewalk and street (in bed of mortar- type S mortar mixed with powdered and aggregate stone for proper aesthetics)
- Purchase and deliver brick
- Measure and install form boards for curved step going up to front door
- Pour 1 new concrete step going up to front door (Rough finish for bluestone installation)
- Purchase, cut, and install bluestone on concrete step going up to front door
- Install 2 new brick steps and risers on top of walkway
- Purchase, cut, and install 2 new limestone step caps, 2 1/4" thick with 13" tread
- Purchase, cut, and install 1 new limestone riser piece for end step of walkway
- Purchase, cut, and install 1 new limestone end step for above riser piece
- Re-install roughly 5-6' of existing stone on side of wall facing Shrewsbury, using existing footings
- Do all necessary grinding and tuck pointing on both sides of all walls surrounding front porch cap using type S mortar mixed with powdered dye and aggregate stone for proper aesthetics
- Parge interior of window well
- Drill 3 weep holes on front wall for drainage
- Install 1" PVC into weep holes
- Remove all job related debris
- Return in 24-48 hours to acid wash

Mike
Baker



7/31/25

- Re-install existing iron window well grate

Quote: Including labor and materials
\$35,000.00 if all work is done together

Thank you for the opportunity to bid this project. We look forward to working with you.

Acceptance of estimate-The above prices, specifications and conditions are satisfactory and are hereby accepted. Madison Maintenance LLC is authorized to do the work as specified above. Payment will be made as follows: 1/3 down, balance due upon job completion. If job is over \$3,500.00 – It may be necessary to take payments throughout the job progress. Customer authorizes contractor to place a construction lien on property if contract is not paid in full. Final payment constitutes satisfaction with work performed.

Customer signature:  MIKE BAKER Date of acceptance: 7/31/25

Owner/Salesman's signature: _____ Date of acceptance: _____

Member of the Grosse Pointe Chamber of Commerce











