



City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

Date: 08/18/25

Application Number: HDC2025-00433

APPLICANT & PROPERTY INFORMATION

NAME: Mohammed Sadiqually		COMPANY NAME: Ilmara, Inc	
ADDRESS: 45 North Dean St.	CITY: Englewood	STATE: NJ	ZIP: 07631
PROJECT ADDRESS: 467 West Alexandrine			
HISTORIC DISTRICT: Willis-Selden			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not complete. Please provide the following:

- Window schedule, which includes...
 - Descriptions of the existing windows material, operation, and lite configuration
 - New windows design, material, operation, lite configuration, dimensions, and color with visuals
- Photos of the exterior elevations of the house with labels to coordinate with the window schedule
- Clarify if the window's frames, trim, sills, lintels, mullions, and/or brick mould will be kept in place, removed, or covered, and how
- Photos of the front and back of the property (not building), to show what is existing for the landscaping/parking

Please note:

- This application will need to be reviewed by the Historic District Commission during one of its regularly scheduled public meetings. The next available meeting is scheduled for September 10th; for this case to be included on that agenda, we will need all outstanding info submitted by 5PM on Monday, August 18th.
- The Commission regularly does not approve the replacement of historic wood windows as the removal/replacement will alter the appearance and historic character of the building. The Commissioners like to see physical evidence that the windows cannot be restored rather than replaced.

Thank you!

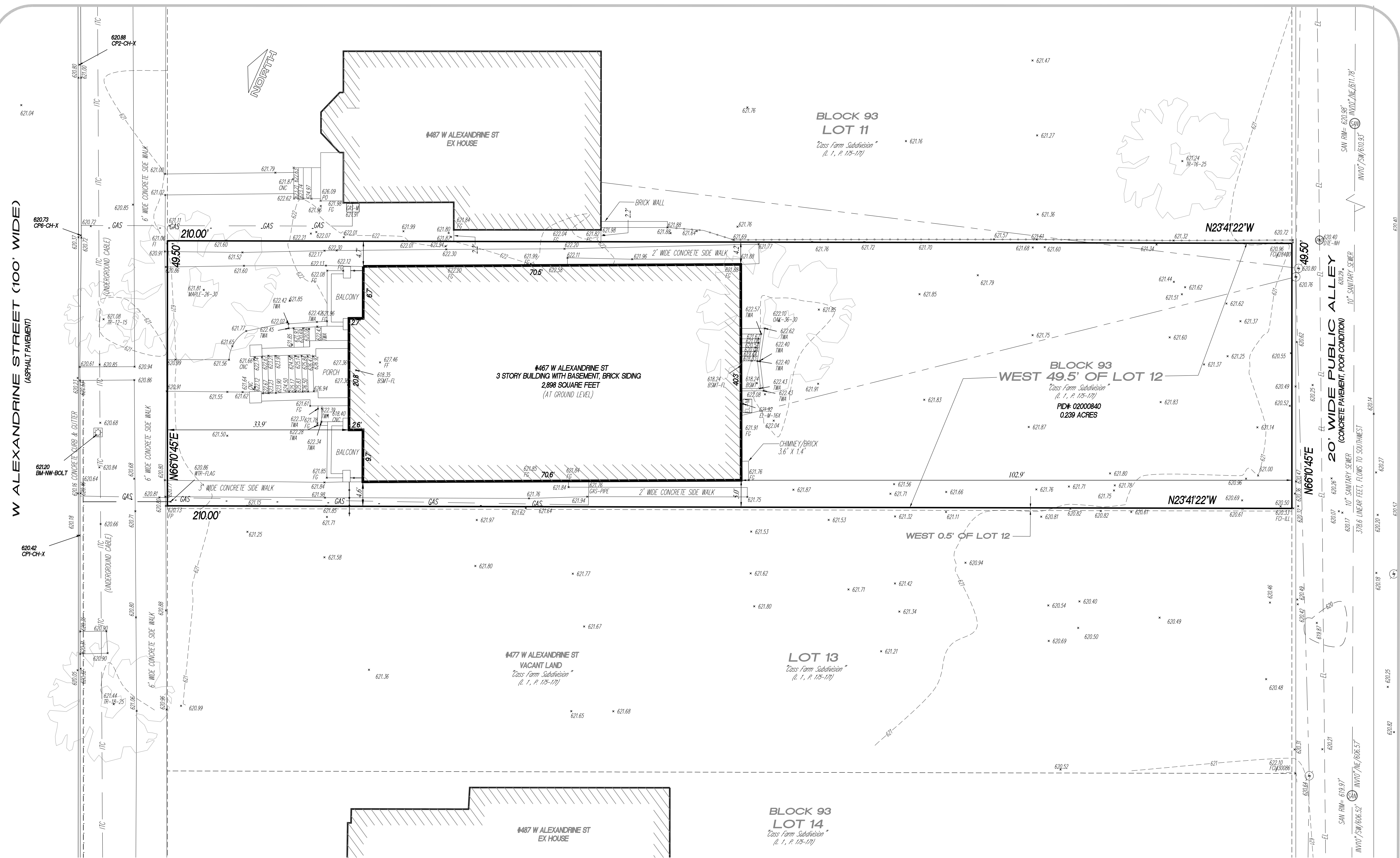
APPLICANT RESPONSE

Response Date: 08/18/2025



Please see the attached file which we believe addresses the requirements requested.

TOPOGRAPHIC SURVEY



LAND AREA
10,395 ± SQUARE FEET
0.239 ± ACRES

BEARINGS ORIGIN
TRUE NORTH

BENCH MARK INFORMATION
Site Bench Mark No. 1:
Top of NW Bolt of a Light Pole in front of the the subject property.
EL=621.20' (NAVD88).

FLOOD NOTE
Subject property as depicted herein,
DOES NOT LIE in a Special Flood
Hazard Area (SFHA), according to Flood
Insurance Rate Map (FIRM) No. 260222,
Panel No. 0280, Suffix "E", being
effective as of February 2, 2012.

LEGEND

②	= UTILITY POLE	CP	= CONTROL POINT
—	= OVER HEAD WIRE	CH "X"	= CHISELED "X" IN CONCRETE
—	= PRIVACY FENCE	EX	= EXISTING
⊙	= EX. SANITARY M.H.	INV	= INVERT
GAS-M	= GAS METER	⊠	= LIGHT POLE
EL-M	= ELECTRIC METER	ILL	= ILLEGIBLE
PLD	= EX. DETROIT PUBLIC LIGHT MH (OTE MH)	TWA	= TOP OF WALL
EL	= ELEVATION	WTR FLAG	= WATER FLAG
FF	= FINISH FLOOR	PO	= PORCH
BSMT FL	= BASEMENT FLOOR	CNC	= CONCRETE
FG	= FINISH GRADE	EX	= EXISTING
P.I.D.	= PARCEL IDENTIFICATION NUMBER	ST	= STREET
TR-8-8	= TREE-8" TRUNK-8FT SPREAD		
T./R.	= TOWN/RANGE		
L./P.	= LIBER/PAGE		
FP	= FOUND PIPE		
FI/FCI	= FOUND IRON/CAPPED IRON		
BM	= BENCH MARK		
NAVD88	= NORTH AMERICAN VERTICAL DATUM AS OF 1988		



GENERAL NOTES

—Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.

—Client/contractor shall obtain all pertinent permits when connecting to public utilities and comply to City's requirements.

—All measurements as shown herein are existing.

—All symbols as shown herein are not to scale.

—All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)

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LEGAL DESCRIPTION

#467 W Alexandrine Street, Detroit, MI, 48201
Part of the Cass Farm Subdivision, Town 2 South, Range 12 East, City of Detroit, Wayne County, Michigan, being more particularly described as follows:
The WEST 49.5 feet of LOT 12, BLOCK 93 of "Cass Farm Subdivision", as being recorded in Liber 1 of Plats, on Page 175-177, Wayne County Records.
Containing: 10,395 Square Feet---0.239 Acres, more or less. Parcel Identification Number:# 02000840.
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Note: Since our survey DOES NOT include a Title Search there could be easements and/or encumbrances upon the subject property that are not shown at this time.

Mende Bezanovski, P.S.#4001049430
State of Michigan

MISSDIG TICKET NO.: 2025042201909

811 Know what's below. Call before you dig.

0' 10' 20' 40'

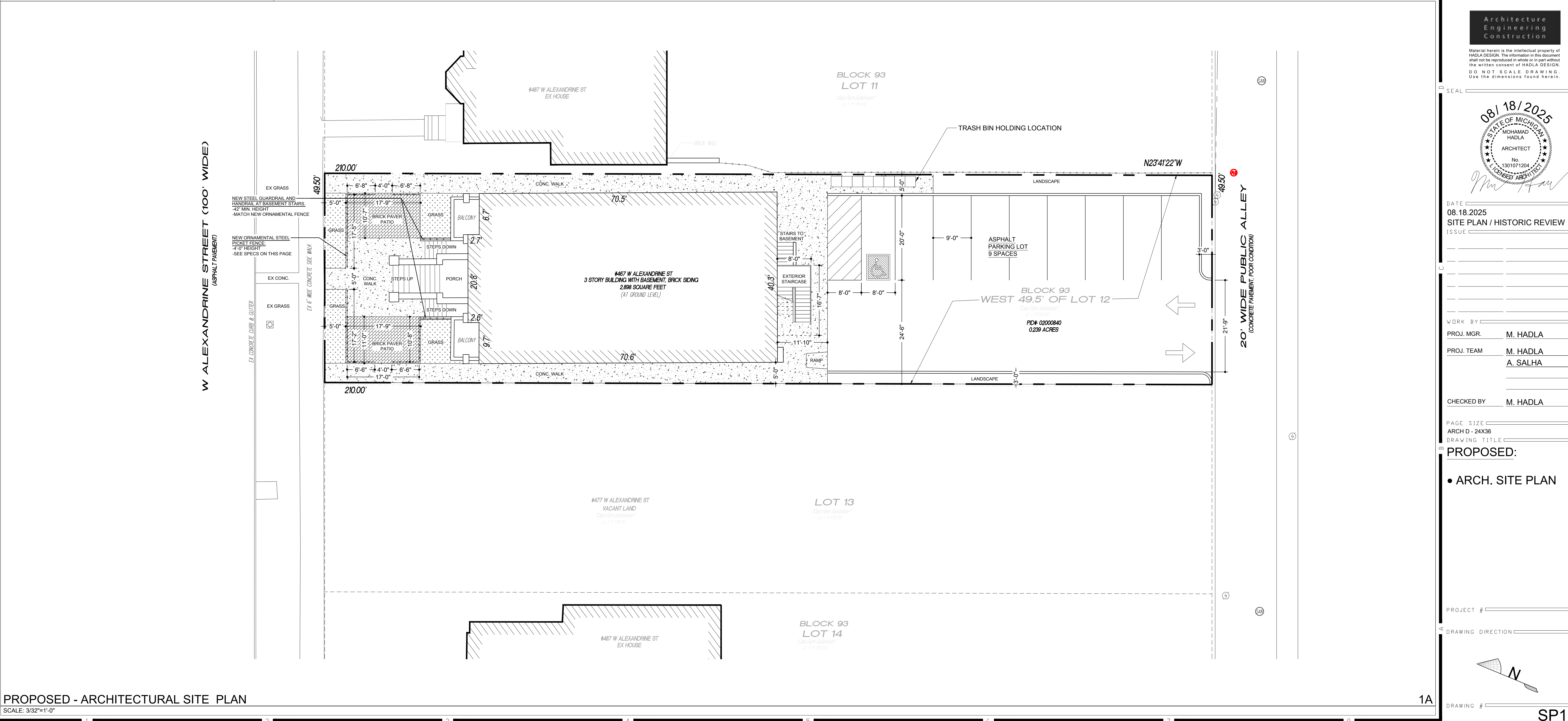
SCALE: 1" = 20' PAGE: 1 OF 1
JOB NUMBER: 2025-04-16-150-MH DRAWN: MB
FIELD: MB CHECKED: MB
REVISIONS: DATE: 05-03-2025
CLIENT: HADLA DESIGN ARCHITECTS
ADDRESS: 467 W Alexandrine Street
Detroit, MI, 48201 TEL: (313)-492-5347 FAX: (313)-908-7645

AB-SB LAND SURVEY, P.C.
36636 North Pointe Dr. New Baltimore, MI 48047
TEL (586) 822-4964, FAX: (586) 591-5930
info@ab-sb-landsurvey.com;
www.ab-sb-landsurvey.com



ICC Swimming Pool Code Approved Heights
Standard Picket Spacing: 54in Flush Bottom, 60in, 72in
Double Picket Spacing: 48in, 54in, 60in, 72in
Check local codes before purchasing.

Picket & Rail Materials: 6063-T5 Aluminum
Coating: AAMA 2604 Approved Polyester Powder Coat
Pickets: 5/8in Sq. x 0.050in Wall | Rails: 1in Sq. x 0.055in Wall
Screws: 410 Hardened Stainless Steel With Cr6 Plating
Panels can rack 20in over the 6ft span for installations on hills.



SITE PLAN / LANDSCAPE PLAN NOTES

- SEE ATTACHED SURVEY PLAN FOR THE EXACT SIZE AND/OR LOCATION OF THE PROPERTY LINES AND THE EXACT BUILDING LOCATION.
- ALL DIMENSIONS ON THIS SITE PLAN MUST BE VERIFIED IN ORDER TO BE DEEMED ACCURATE.
- ALL CONDITIONS SHOWN ON THE SITE PLAN ARE NEW UNLESS SPECIFICALLY LABELED AS "EX" OR "EXIST." FOR EXISTING.
- BLACK DIAMOND EDGING OR STEEL AROUND ALL PROPOSED LANDSCAPING BEDS WHERE NO CURB IS PROPOSED.
- MULCH TO BE ADDED THROUGHOUT ALL THE PROPOSED LANDSCAPING BEDS. MULCH TO BE ORGANIC, DOUBLE OR TRIPLE SHREDDED NATURAL HARDWOOD, FOR OPTIMUM HEALTH OF THE PLANT, KEEP THE MULCH A MIN. OF 3" AWAY FROM THE TRUNKS OF TREES AND SHRUBS. SPREAD MULCH EVENLY AND AVOID "MULCH VOLCANOES". 3-4" DEPTH IS RECOMMENDED TO PREVENT WEED GROWTH.

PROJECT/DOWNER
**ALEXANDRINE
MIXED USE**

ADDRESS
**467 W ALEXANDRINE ST,
DETROIT, MI 48201**

COMMISSION
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RENOVATION**



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SEAL



DATE
08.18.2025
SITE PLAN / HISTORIC REVIEW
ISSUE

WORK BY
PROJ. MGR. **M. HADLA**
PROJ. TEAM **M. HADLA
A. SALHA**

CHECKED BY **M. HADLA**

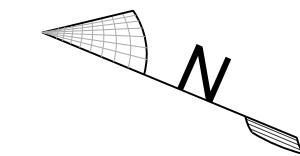
PAGE SIZE
ARCH D - 24X36
DRAWING TITLE

PROPOSED:

- ARCH. SITE PLAN

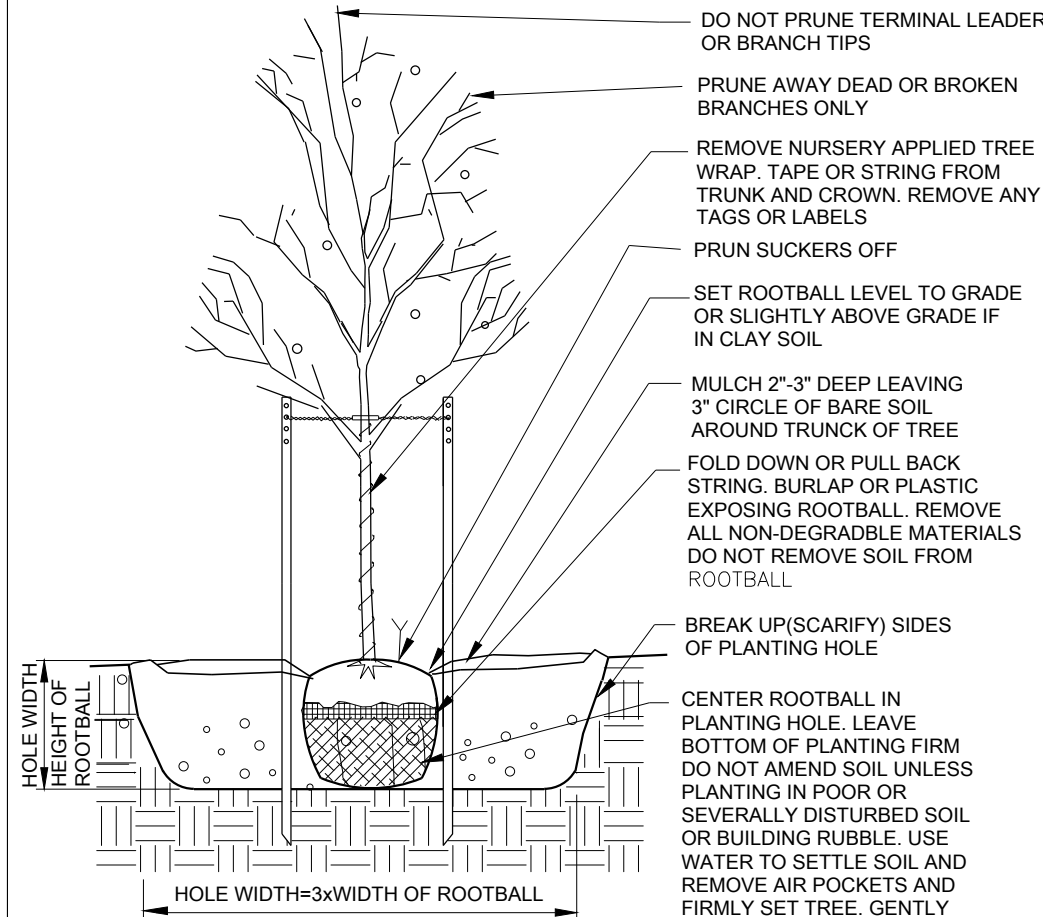
PROJECT #

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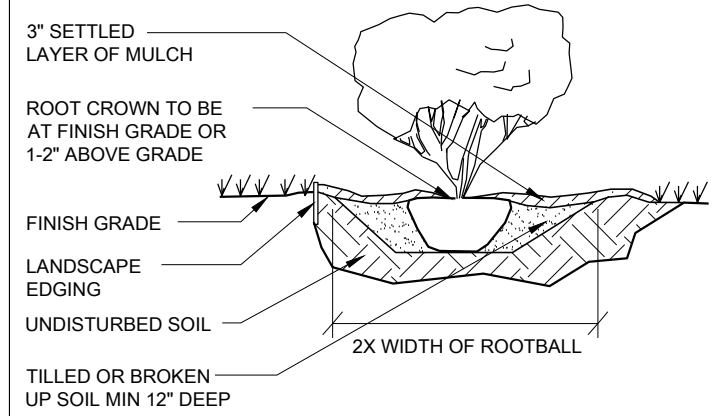


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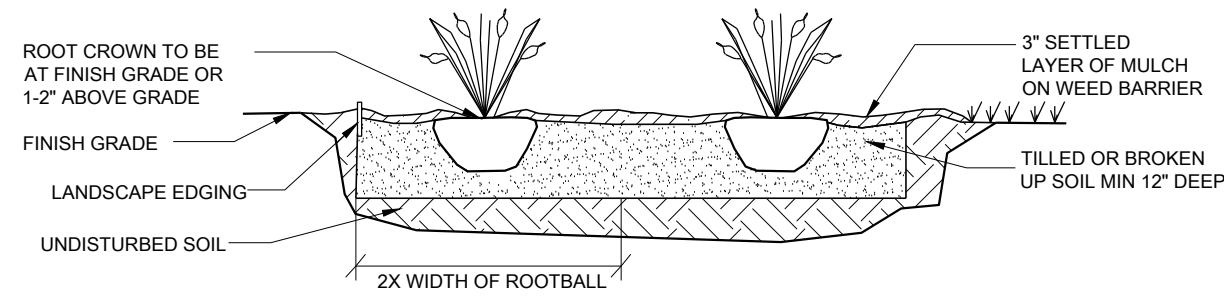
SYMBOL	COUNT	NAME	REMARK
	—	EX. TREE	
	1	AMELANCHIER LAEVIS (CUMULUS ALLEGHENY SERVICEBERRY)	• SEE PLAN FOR SPACING • 2" CAL. B&B
	57	HEMEROCALLIS X 'STELLA DE ORO' (DAYLILY)	• 24" SPACING • 1 GALLON BASE
	7	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA' (ANDORRA COMPACT JUNIPER)	• SEE PLAN FOR SPACING • 2 GALLON BASE • MATURES TO 12"-20" TALL X 36"-48" WIDE
	8	HYDRANGEA MACROPHYLLA 'MONMAR' (BLUE ENCHANTRESS HYDRANGEA)	• SEE PLAN FOR SPACING • 2 GALLON BASE • MATURES TO 36"-60" TALL X 36"-60" WIDE



DECIDUOUS TREE PLANTING DETAIL 7E

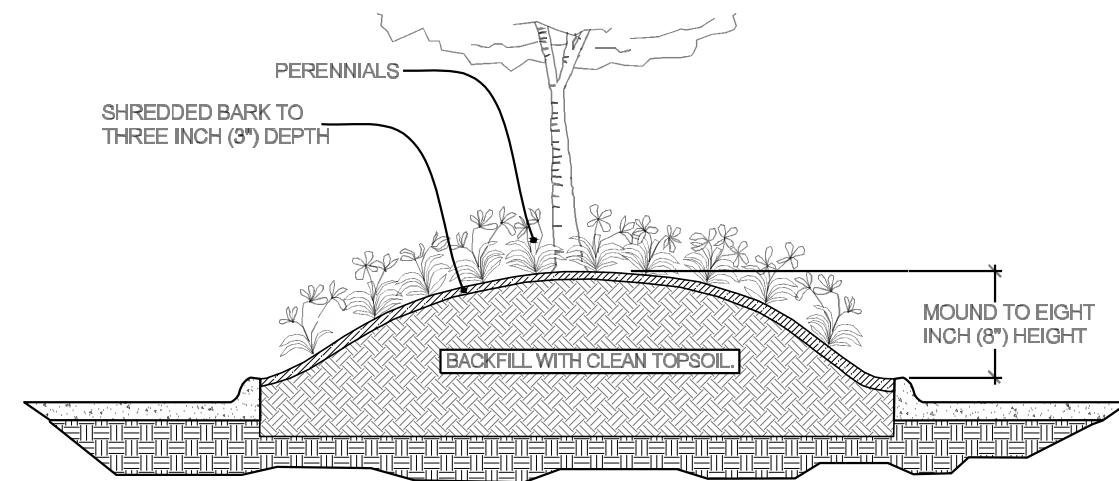


SHRUB PLANTING DETAIL8E



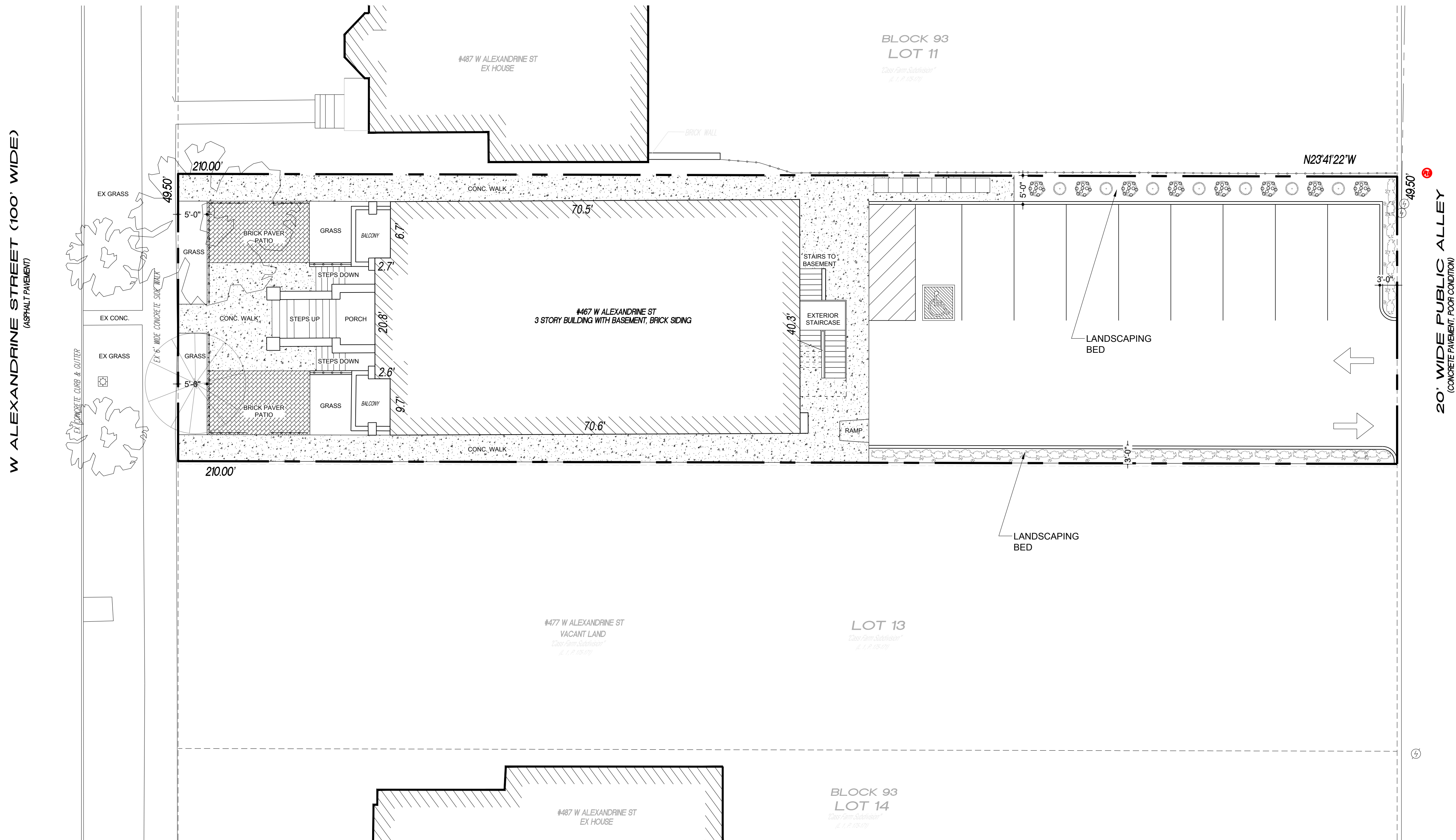
PERENNIAL PLANTING DETAIL

SCALE: N.T.S.



PARKING LOT ISLAND DETAIL

SCALE: N.T.S.



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PROJECT/OWNER:

ADDRESS
467 W ALEXANDRINE ST,
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SITE PLAN / HISTORIC REVIEW

ISSUE

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PROJ. TEAM M. HADLA

A. SALHA

CHECKED BY M. HADLA

PAGE SIZE:

ARCH D - 24X36

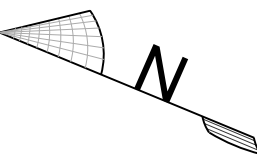
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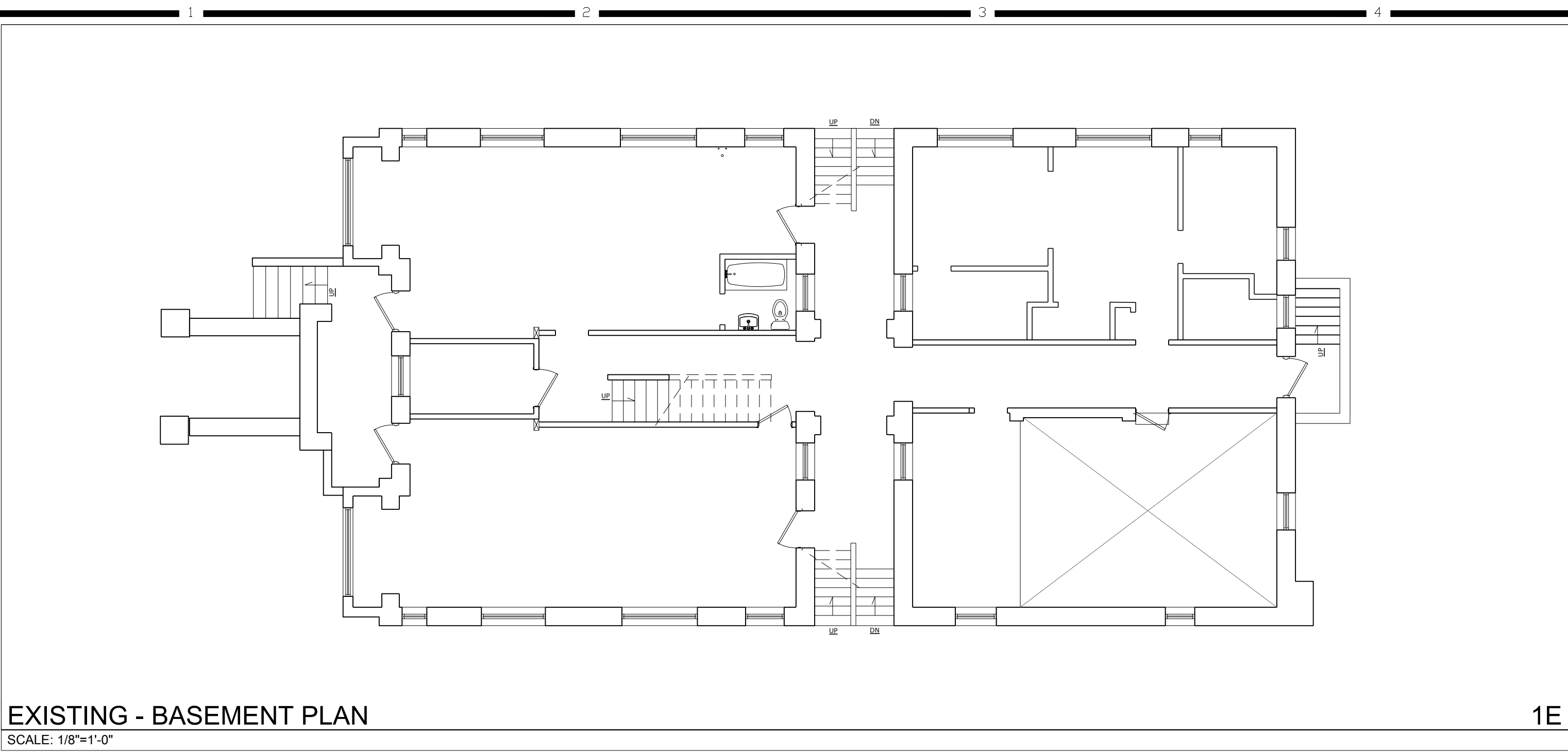
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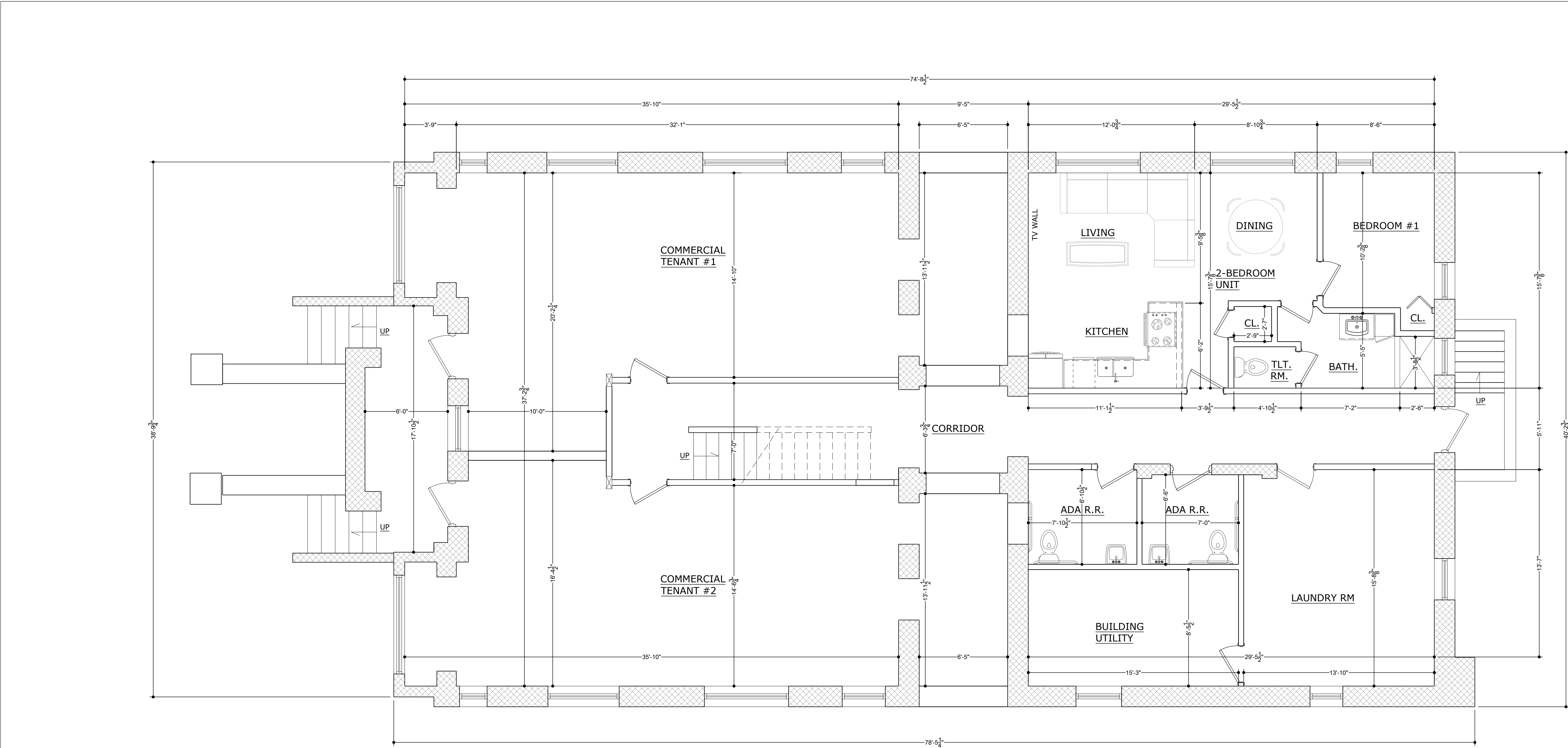
SCALE: 3/32"=1'-0'



EXISTING - BASEMENT PLAN

SCALE: 1/8"=1'-0"

1E



PROPOSED - BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

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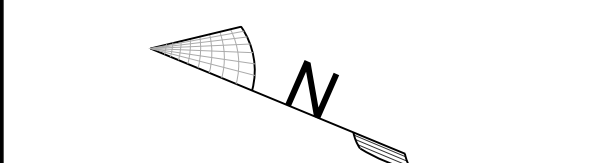
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DRAWING TITLE

EXISTING:
• BASEMENT FLOOR
PLAN

PROPOSED:
• BASEMENT FLOOR
PLAN

PROJECT #

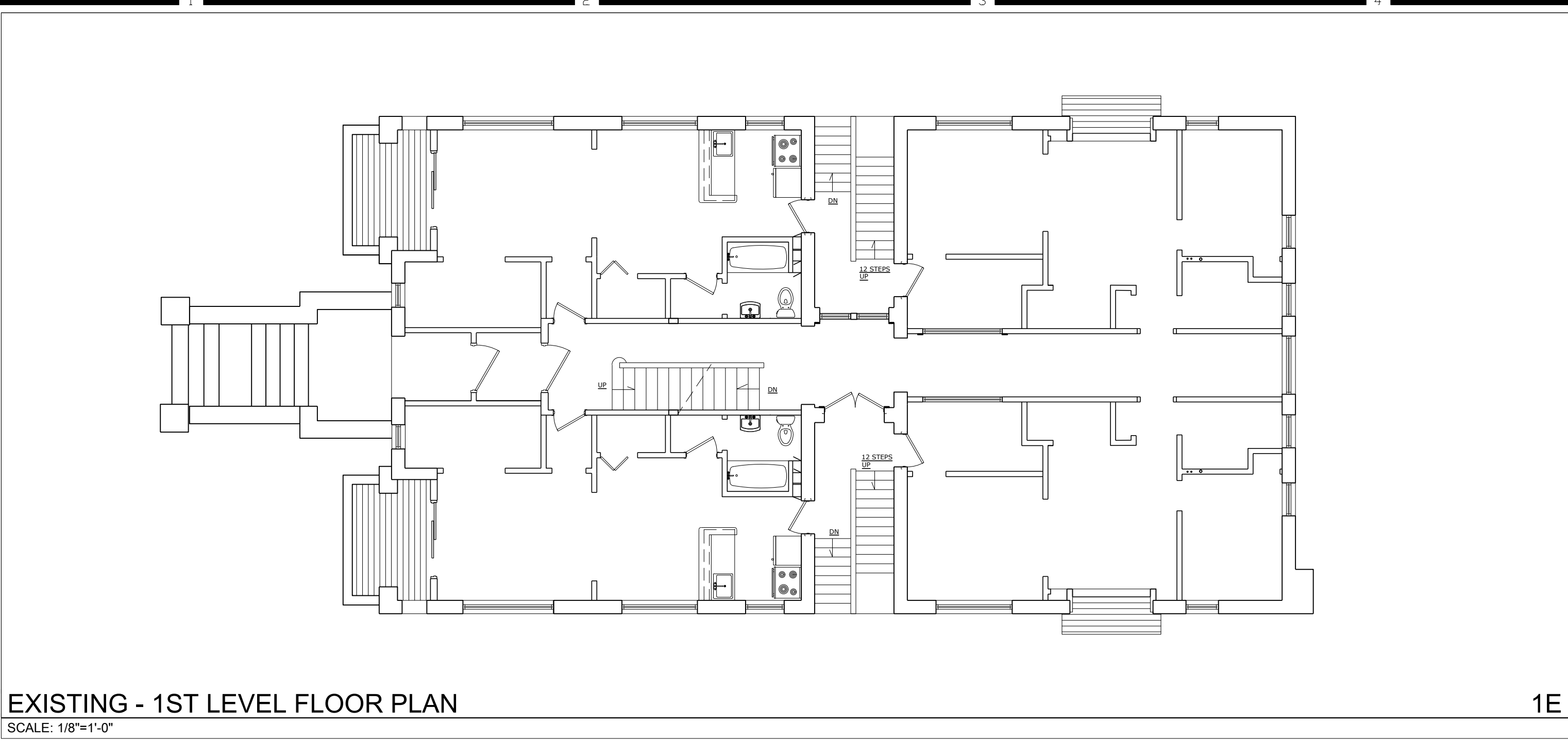
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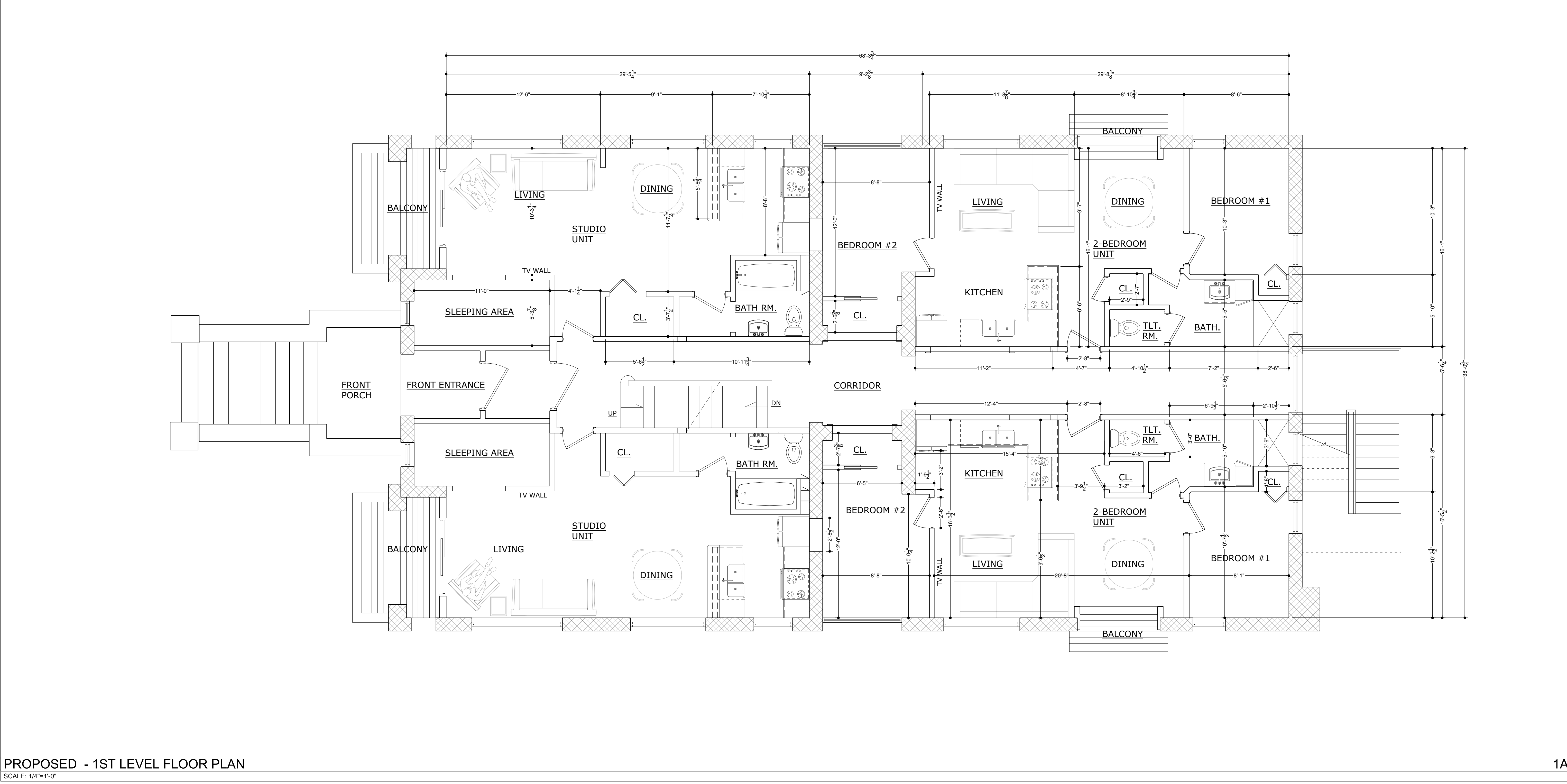
A101



EXISTING - 1ST LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"

1E



PROPOSED - 1ST LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

1A

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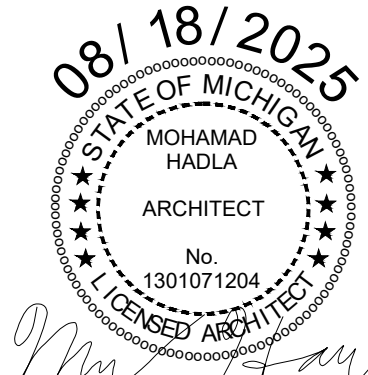
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A. SALHA

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ARCH D - 24X36

DRAWING TITLE

EXISTING:

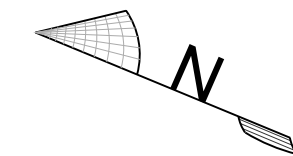
• 1ST LEVEL FLOOR
PLAN

PROPOSED:

• 1ST LEVEL FLOOR
PLAN

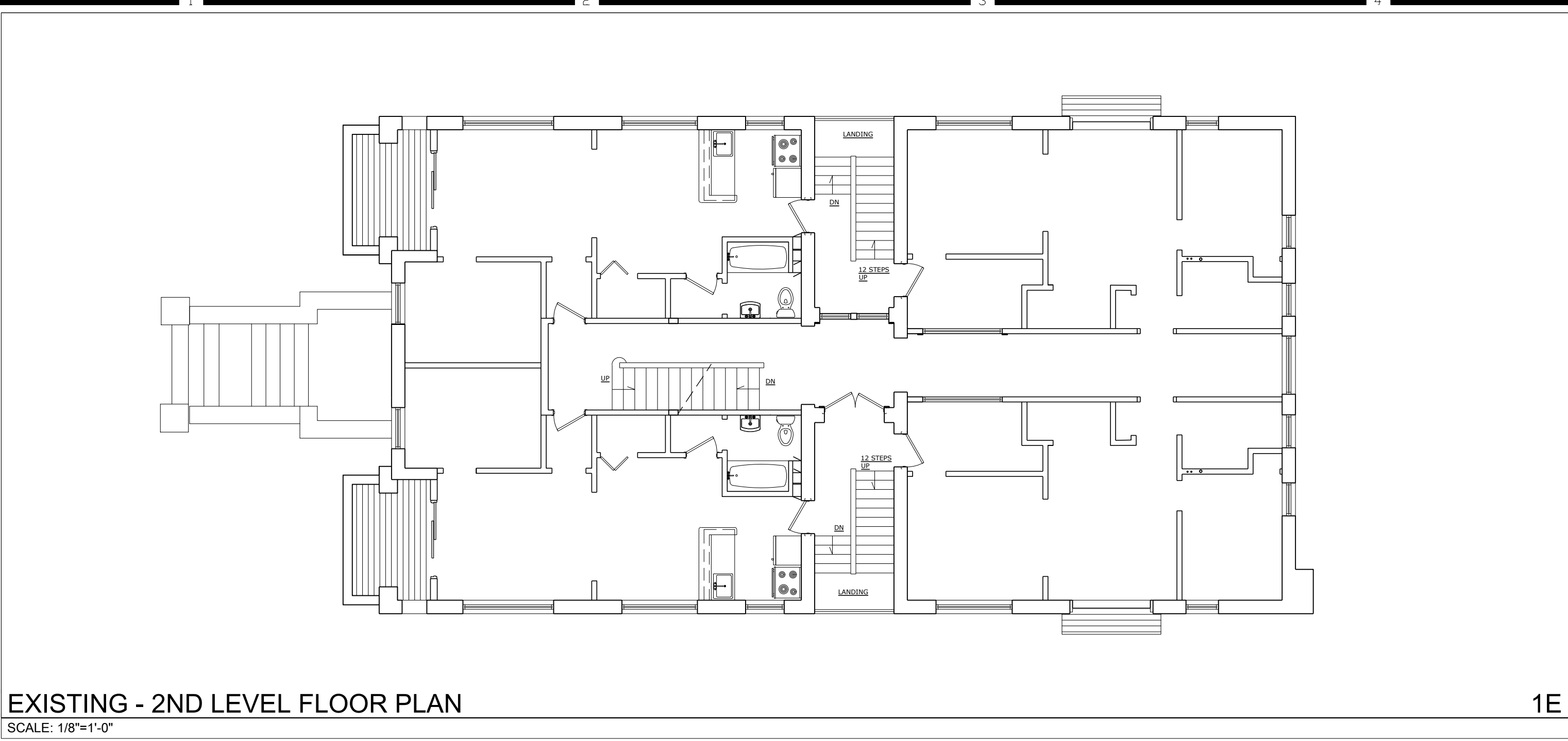
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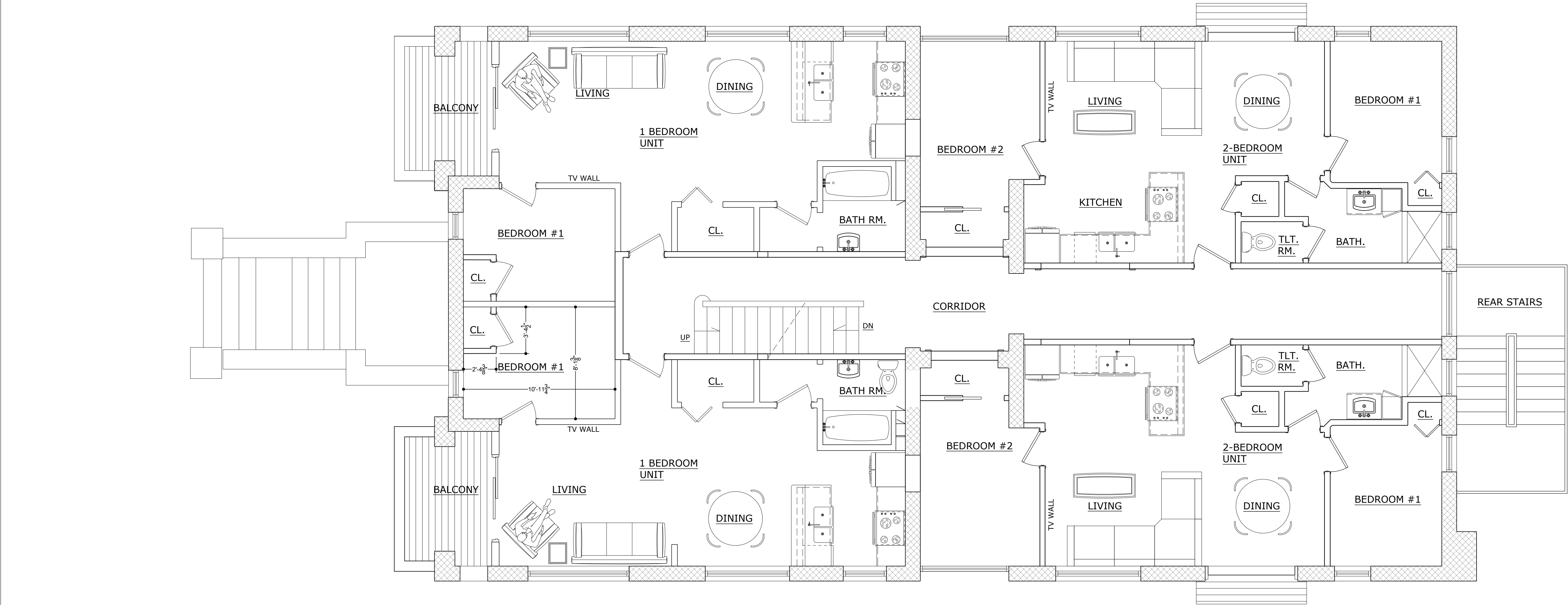
A102



EXISTING - 2ND LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"

1E



PROPOSED - 2ND & 3RD LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

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EXISTING:

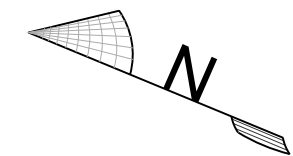
- 2ND & 3RD LEVEL
FLOOR PLAN

PROPOSED:

- 2ND & 3RD LEVEL
FLOOR PLAN

PROJECT #

DRAWING DIRECTION



DRAWING #

1A

A103



PROPOSED - FRONT / NORTH ELEVATION
N.T.S.



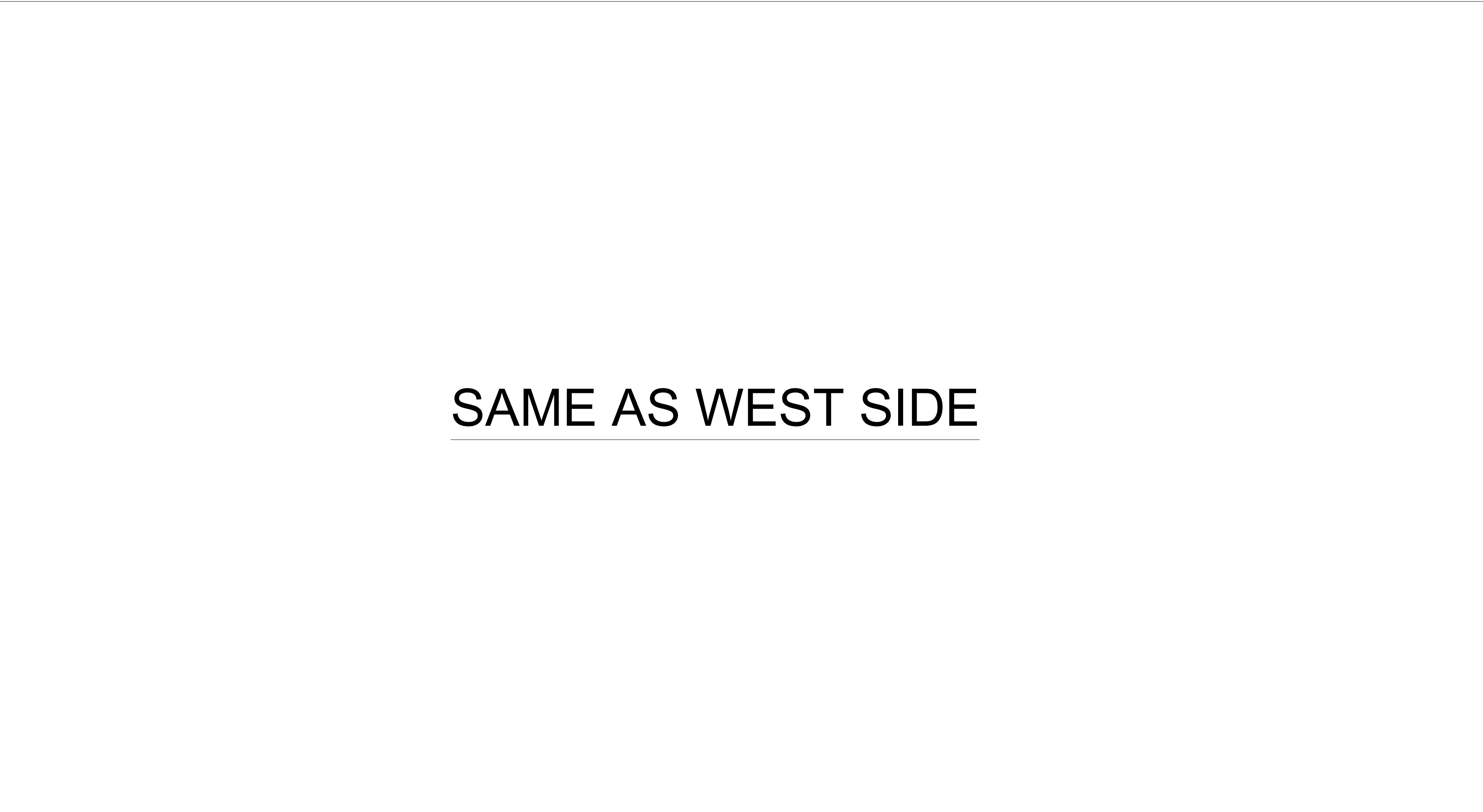
PROPOSED - SIDE / WEST ELEVATION
N.T.S.



PROPOSED - REAR / SOUTH ELEVATION
N.T.S.



PROPOSED - SIDE / EAST ELEVATION
N.T.S.



SAME AS WEST SIDE

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08/18/2025
SITE OF MICHIGAN
MOHAMAD
HADLA
ARCHITECT
No.
1301071204
LICENSED ARCHITECT

M. Hadla

DATE

08.18.2025

SITE PLAN / HISTORIC REVIEW

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EXISTING:

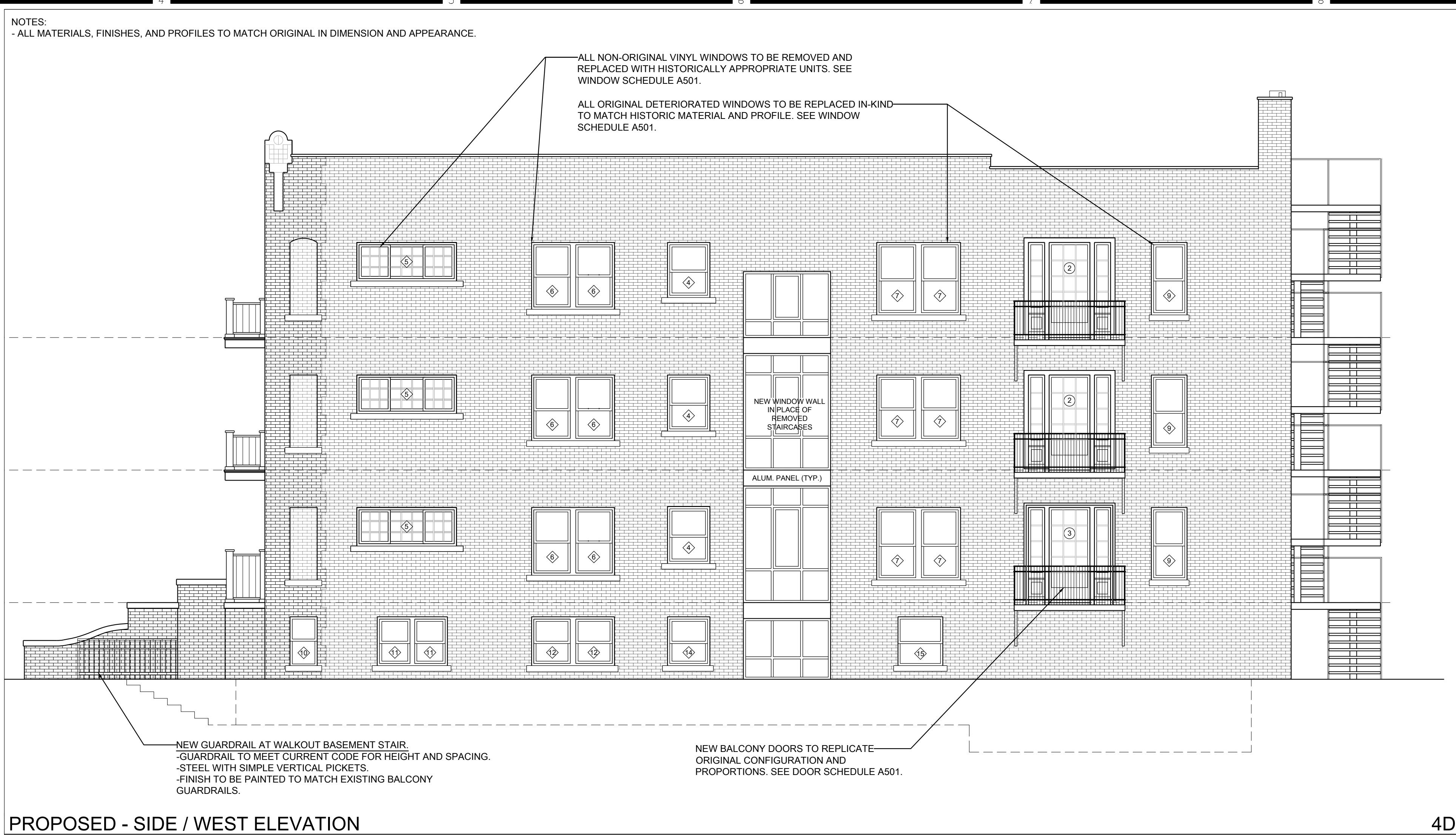
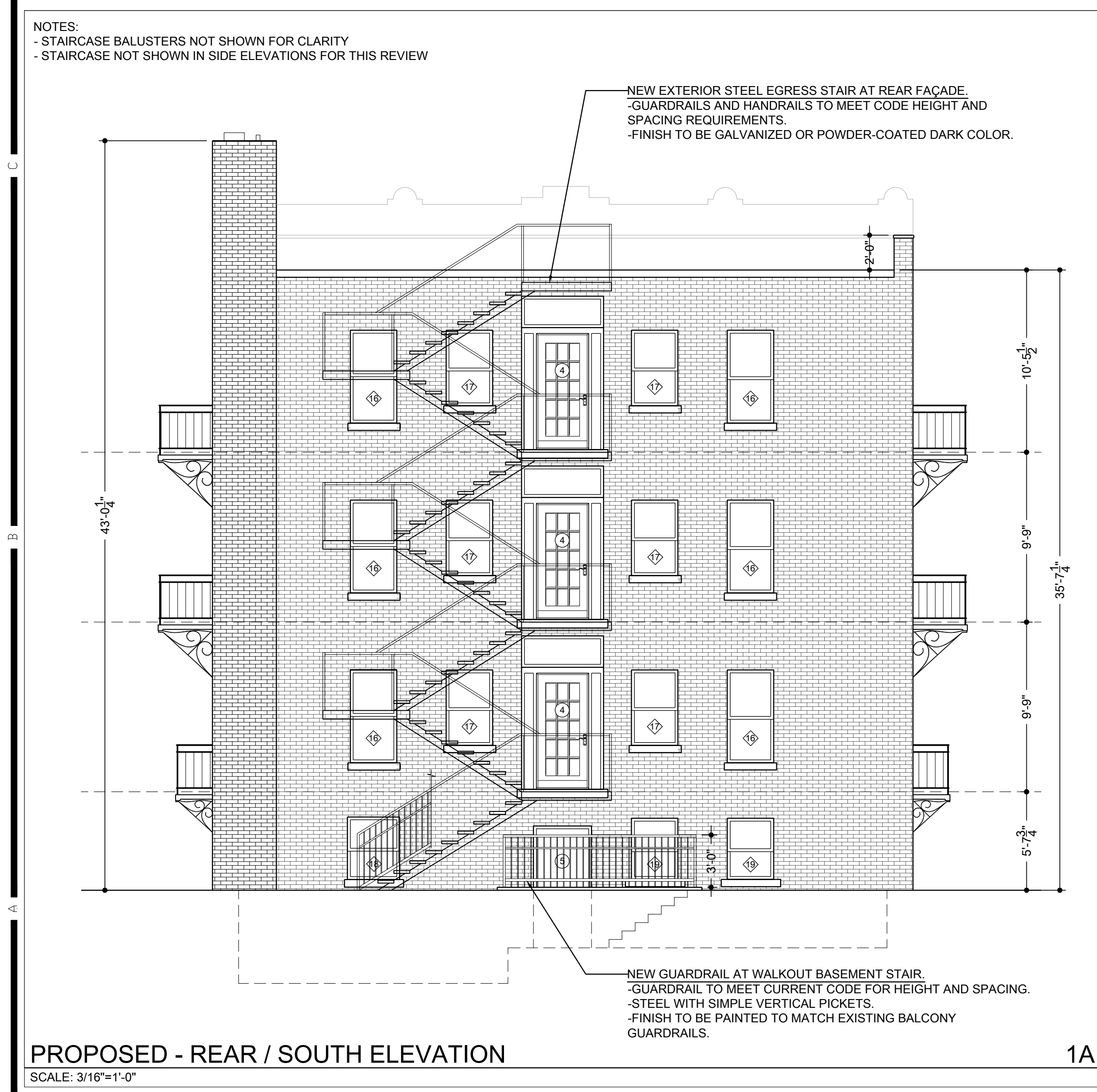
ELEVATIONS
(PHOTOS)

PROJECT #

DRAWING DIRECTION

DRAWING #

A201



PROJECT/DOWNER

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ADDRESS

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08/18/2025

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08.18.2025

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PROJ. TEAM M. HADLA
A. SALHA

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PAGE SIZE

ARCH D - 24X36

DRAWING TITLE

PROPOSED:

• ELEVATIONS

PROJECT #

DRAWING DIRECTION

DRAWING #

A202



PROJECT/DOWNER

**ALEXANDRINE
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ADDRESS

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PROPOSED:

- 3D CONCEPTUAL
COLOR RENDERINGS

PROJECT #

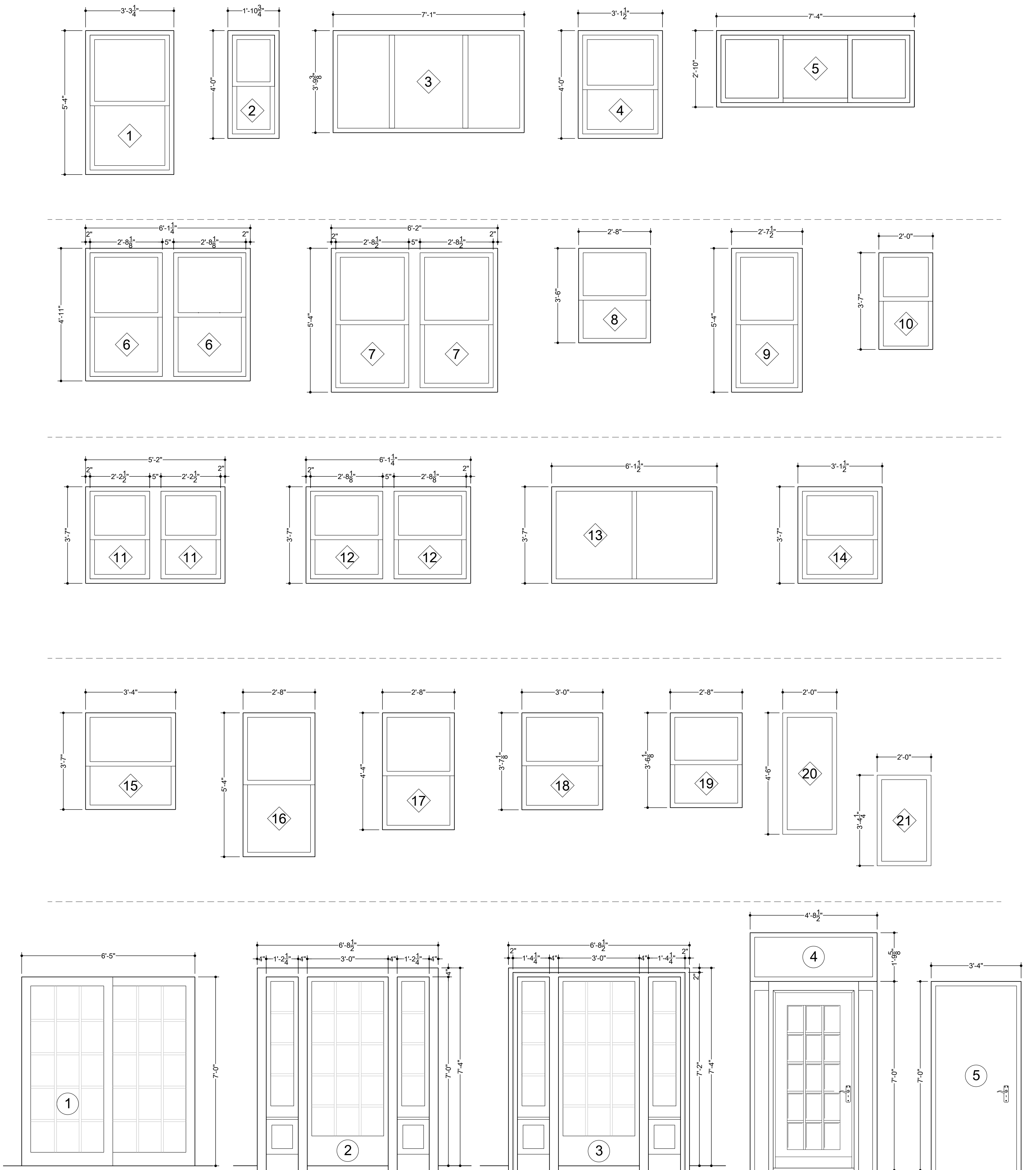
DRAWING DIRECTION

DRAWING #

WINDOW SCHEDULE

#	COUNT	WINDOW		FRAME	REMARKS
		W	H	MATL.	
1	4	SEE ELEVATIONS		FIBERGLASS	
2	2	SEE ELEVATIONS		FIBERGLASS	
3	2	SEE ELEVATIONS		FIBERGLASS	
4	6	SEE ELEVATIONS		FIBERGLASS	
5	6	SEE ELEVATIONS		FIBERGLASS	
6	6	SEE ELEVATIONS		FIBERGLASS	
7	12	SEE ELEVATIONS		FIBERGLASS	
8	1	SEE ELEVATIONS		FIBERGLASS	
9	6	SEE ELEVATIONS		FIBERGLASS	
10	2	SEE ELEVATIONS		FIBERGLASS	
11	4	SEE ELEVATIONS		FIBERGLASS	
12	4	SEE ELEVATIONS		FIBERGLASS	
13	2	SEE ELEVATIONS		FIBERGLASS	
14	2	SEE ELEVATIONS		FIBERGLASS	
15	1	SEE ELEVATIONS		FIBERGLASS	
16	6	SEE ELEVATIONS		FIBERGLASS	
17	6	SEE ELEVATIONS		FIBERGLASS	
18	1	SEE ELEVATIONS		FIBERGLASS	
19	2	SEE ELEVATIONS		FIBERGLASS	
20	2	SEE ELEVATIONS		ALUM. MULLION FRAME	
21	1	SEE ELEVATIONS		ALUM. MULLION FRAME	

NOTES: SEE PAGE A506 FOR COLOR OF WINDOWS



WINDOW ELEVATIONS
SCALE: 1/2"=1'-0"

PROJECT/DOWNER
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SEAL



DATE
08.18.2025
SITE PLAN / HISTORIC REVIEW
ISSUE

WORK BY
PROJ. MGR. M. HADLA
PROJ. TEAM M. HADLA
A. SALHA

CHECKED BY M. HADLA

PAGE SIZE
ARCH D - 24X36
DRAWING TITLE

PROPOSED:

- WINDOW SCHEDULE

PROJECT #

DRAWING DIRECTION

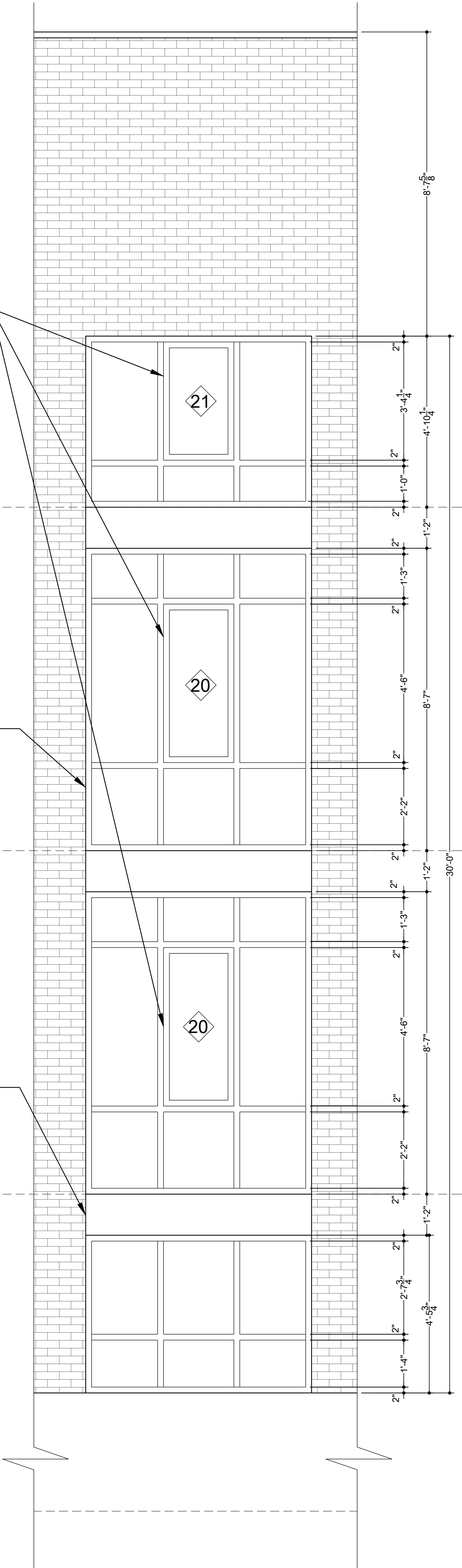
DRAWING #



NEW OPERABLE CASEMENT PANEL WITHIN
MULLION-FRAMED GLAZED INFILL WALL.
ALUMINUM FRAME TO MATCH ADJACENT
FIXED PANELS. CLEAR INSULATED SAFETY
GLASS. OPENING TO PROVIDE
CODE-COMPLIANT EGRESS

NEW MULLION-FRAMED GLAZED INFILL
WALL WITHIN EXISTING RECESSED STAIR
OPENING. ASSEMBLY TO INCLUDE FIXED
GLAZING PANELS, OPERABLE CASEMENT
PANELS FOR CODE-COMPLIANT EGRESS.

OPAQUE ALUMINUM SPANDREL PANEL—
WITHIN MULLION-FRAMED GLAZED INFILL
WALL. FINISH TO MATCH WINDOW FRAMING.
LOCATED AT FLOOR/JOIST LINE TO ALIGN
WITH INTERIOR STRUCTURE.



NEW WINDOW ASSEMBLY DETAIL

SCALE: 1/2"=1'-0"

6A

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PROPOSED:

• WINDOW SCHEDULE

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A502



ALL PREVIOUSLY REPLACED NON-ORIGINAL WINDOWS TO BE REMOVED AND REPLACED WITH NEW UNITS REPLICATING THE ORIGINAL HISTORIC WINDOW CONFIGURATION, MATERIAL, PROFILE, AND MUNTIN PATTERN, AS DOCUMENTED IN EXISTING CONDITIONS PHOTOS. SEE WINDOW SCHEDULE FOR REFERENCE.

REPAIR EXISTING BALCONY GUARDRAILS IN PLACE. REPLACE ANY DETERIORATED COMPONENTS IN-KIND TO MATCH EXISTING DESIGN, DIMENSIONS, SPACING, AND MATERIAL. FINISH TO MATCH ORIGINAL.



ALL PREVIOUSLY REPLACED NON-ORIGINAL WINDOWS TO BE REMOVED AND REPLACED WITH NEW UNITS REPLICATING THE ORIGINAL HISTORIC WINDOW CONFIGURATION, MATERIAL, PROFILE, AS DOCUMENTED IN EXISTING CONDITIONS PHOTOS. SEE WINDOW SCHEDULE FOR REFERENCE.

EXISTING FRONT DOOR TO REMAIN AND BE RESTORED.

REMOVE EXISTING DETERIORATED ORIGINAL BASEMENT WINDOWS. INSTALL NEW UNITS REPLICATING THE ORIGINAL HISTORIC CONFIGURATION, MATERIAL, PROFILE, AS DOCUMENTED IN EXISTING CONDITIONS PHOTOGRAPHS. SEE WINDOW SCHEDULE FOR REFERENCE.

RETAIN AND REPAIR EXISTING LIMESTONE SILLS. CLEAN USING LOW-PRESSURE WATER AND NON-ACIDIC MASONRY CLEANER. REPOINT USING MORTAR TO MATCH ORIGINAL IN COLOR, COMPOSITION, AND TOOLING. REPLACE DAMAGED BRICKS IN-KIND. DO NOT SANDBLAST OR USE ABRASIVE CLEANING METHODS.

CLEAN EXISTING BRICK WITH LOW-PRESSURE WATER AND NON-ACIDIC MASONRY CLEANER. REPOINT USING MORTAR TO MATCH ORIGINAL IN COLOR, COMPOSITION, AND TOOLING. REPLACE DAMAGED BRICKS IN-KIND. DO NOT SANDBLAST OR USE ABRASIVE CLEANING METHODS.



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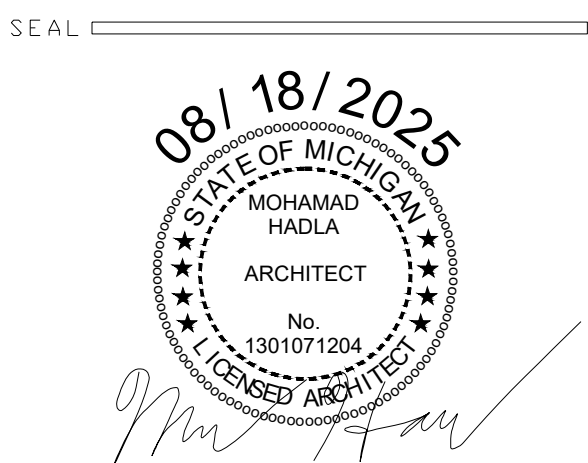
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DRAWING TITLE
EXISTING:

• FRONT NORTH &
SIDE EAST FAÇADE
KEY SHEET

PROJECT #
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DRAWING #
A503

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EXISTING:

- REAR SOUTH & SIDE
WEST FAÇADE KEY
SHEET

PROJECT #

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DRAWING #

REMOVE EXISTING NON-ORIGINAL ALUMINUM WINDOWS AND REPLACE
WITH NEW UNITS MATCHING THE ORIGINAL HISTORIC CONFIGURATION,
MATERIAL AND PROFILE. SEE WINDOW SCHEDULE FOR REFERENCE.

CLEAN EXISTING BRICK WITH LOW-PRESSURE WATER AND NON-ACIDIC
MASONRY CLEANER. REPOINT USING MORTAR TO MATCH ORIGINAL IN
COLOR, COMPOSITION, AND TOOLING. REPLACE DAMAGED BRICKS
IN-KIND. DO NOT SANDBLAST OR USE ABRASIVE CLEANING METHODS.

REMOVE SEVERELY DETERIORATED ORIGINAL WOOD WINDOWS AND—
REPLACE IN-KIND WITH NEW UNITS MATCHING THE ORIGINAL HISTORIC
MATERIAL, PROFILE, AND GLAZING CONFIGURATION. SEE WINDOW
SCHEDULE FOR REFERENCE.

SEE SHEET A505 FOR
EXISTING CONDITION
PHOTOS

INFILL EXISTING RECESSED STAIR
WITH MULLION-FRAMED GLAZED
WALL ASSEMBLY. SEE DETAIL ON
SHEET A502.





REMOVE DETERIORATED BALCONY DOORS AND REPLACE WITH NEW UNITS REPLICATING THE ORIGINAL HISTORIC CONFIGURATION, MATERIAL, PROFILE, AND MUNTIN PATTERN, AS DOCUMENTED IN EXISTING CONDITIONS PHOTOGRAPHS. SEE DOOR SCHEDULE FOR REFERENCE.

REMOVE SEVERELY DETERIORATED ORIGINAL WOOD WINDOWS AND REPLACE IN-KIND WITH NEW UNITS MATCHING THE ORIGINAL HISTORIC MATERIAL, AND GLAZING CONFIGURATION. SEE WINDOW SCHEDULE FOR REFERENCE.

REMOVE DETERIORATED BALCONY GUARDRAILS AND INSTALL NEW GUARDRAILS REPLICATING THE ORIGINAL HISTORIC DESIGN, SPACING, AND PROFILE. MODIFY ONLY AS REQUIRED FOR CODE COMPLIANCE WHILE PRESERVING HISTORIC APPEARANCE.

REMOVE DETERIORATED BALCONY SUPPORT BRACKETS AND REPLACE IN-KIND WITH NEW STEEL BRACKETS REPLICATING ORIGINAL DIMENSIONS, ORNAMENTAL SCROLL PATTERN, AND CONNECTION DETAILS. ALL NEW BRACKETS TO BE PRIMED AND PAINTED WITH CORROSION-RESISTANT COATING; INSTALLATION TO MATCH ORIGINAL ATTACHMENT LOCATIONS.

RETAIN EXISTING SIDE AND TOP PANELS IN GOOD CONDITION. REMOVE DETERIORATED BALCONY DOORS AND REPLACE WITH NEW UNITS MATCHING HISTORIC CONFIGURATION, MATERIAL, PROFILE, AND MUNTIN PATTERN. SEE DOOR SCHEDULE FOR REFERENCE.



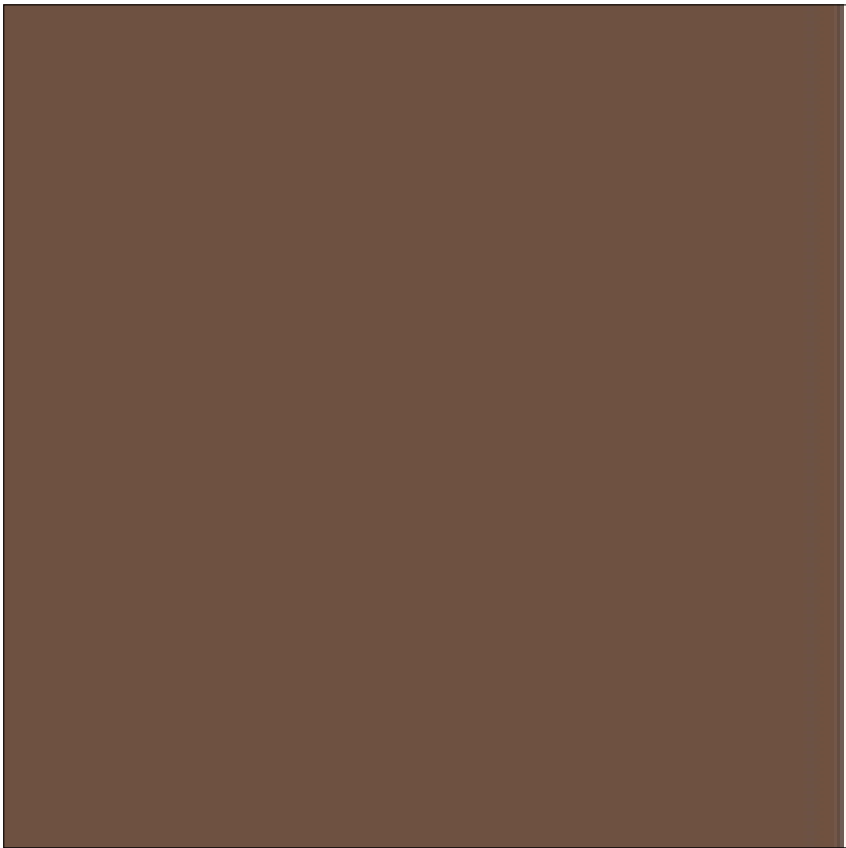
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SW 2837 AURORA BROWN
SHERWIN WILLIAMS
(FIBERGLASS AND ALUMINUM WINDOWS
TO MATCH THIS COLOR AS CLOSELY AS
POSSIBLE)



ALTERNATIVE
SW 2807 ROOKWOOD MEDIUM BROWN
SHERWIN WILLIAMS

WINDOW AND DOOR FRAMES :
- PAINTED TO MATCH HISTORIC WOOD TRIM COLOR.
- COLOR: SW 2837 AURORA BROWN

RETAIN EXISTING HISTORIC WOOD MAIN FRONT ENTRY DOOR AND FRAME. REPAIR
DETERIORATED AREAS WITH WOOD FILLER OR IN-KIND REPLACEMENT OF DAMAGED
MEMBERS. REFINISH WITH PAINT COLOR TO MATCH HISTORIC BROWN
(SHERWIN-WILLIAMS SW 2837 AURORA BROWN, OR APPROVED EQUAL)

REPLACE ALL NON-ORIGINAL AND DETERIORATED WINDOWS WITH NEW HISTORICALLY
APPROPRIATE UNITS MATCHING ORIGINAL MATERIAL, PROFILE, AND MUNTIN PATTERN.
FINISH COLOR TO MATCH EXISTING HISTORIC BROWN (SHERWIN-WILLIAMS SW 2837
AURORA BROWN, OR APPROVED EQUAL). SEE WINDOW SCHEDULE A501.



HISTORIC MORTAR COLOR :
- MORTAR TO BE LIME-BASED WITH SAND AGGREGATE.
- FINAL TOOLING TO MATCH ORIGINAL CONCAVE JOINT.



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