

## HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

Date: 06/25/2025 Application Number: HDC2025-00417

APPLICANT & PROPERTY INFORMATION

NAME: Landy Cass LLC

ADDRESS: 42 Watson St

CITY: Detroit

STATE: MI

ZIP: 48201

PROJECT ADDRESS: 3116 Park Ave

HISTORIC DISTRICT: Peterboro-Charlotte

#### REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is incomplete. Please provide the following:

- Site plan with dimensions of where the proposed fence and lighting locations and any associated gates (this can be hand drawn)
- Product information with the style, material, colorway, and height of the proposed fence (screenshot of product information is OK, but website links are not)
- Product information with the specific line, design, material, and colorway of the proposed lighting (screenshot of product information is OK, but website links are not)
- Photo(s) of the overall lot (we need to see the whole property/context, not close up photos, please)

This application will need to be reviewed by the Historic District Commission during one of its regularly scheduled public meetings as staff does not have authority to approve parking lots.

The next available meeting is scheduled for August 13th; for this case to be included on that agenda, we will need all outstanding info submitted by 5PM on Monday, July 21st.

APPLICANT RESPONSE	
Response Date: 07/09/2025	
Attached are files containing all of the requested information	

# Park-Charlotte Parking Lot

Detroit, Michigan

# 26 February 2025 Issued for Bid

SmithGroup Project Number: 14986

#### SHEET INDEX:

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#### PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF A PROPOSED COMMERCIAL PARKING LOT AT PARK AVENUE AND CHARLOTTE STREET. THE PROPOSED WORK INCLUDES AN ASPHALT LOT, BIORETENTION, LIGHTING, CONTROLLED ACCESS, AND LANDSCAPE SCREENING. THE PARKING LOT WILL CONSIST OF 17 SPACES, INCLUDING ONE VAN ACCESSIBLE SPACE.

THE EXISTING SITE IS VACANT WITH A LARGE AMOUNT OF FILL WHICH HAS BEEN PARTIALLY CLEARED. THE SITE CONSISTS OF FOUR PARCELS: 3121 PARK, 3111 PARK, 3138 PARK, AND 116 CHARLOTTE. THE PARCELS ARE ZONED R6 AND TOTAL 12,600 SQUARE FEET. THE SITE IS NOT LOCATED IN A HISTORIC DISTRICT, BUT IS ADJACENT TO THE PETERBORO-CHARLOTTE DISTRICT.

ADJACENT PROPERTIES TO THE EAST AND SOUTH ARE VACANT AND ZONED R6. THE PROPERTY TO THE NORTH IS ZONED R6 AND HAS A RESIDENTIAL BUILDING. THE PROPERTY ADJACENT TO THE WEST IS ZONED B4 AND IS A SURFACE PARKING LOT. SETBACKS FOR RESIDENTIAL SCREENING ARE SHOWN ON THE PLANS PER SEC. 50-14-342. THE PARKING LOT WILL BE SCREENED FROM ADJACENT RESIDENTIAL PROPERTIES WITH A 4-FOOT TALL OPAQUE WALL AND LANDSCAPE BEDS. ONE STREET TREE IS PROVIDED PER 30 LINEAR FEET OF LOT WIDTH ALONG CHARLOTTE AND PARK.

120 LINEAR FEET ALONG PARK = 4 STREET TREES 105 LINEAR FEET ALONG CHARLOTTE = 4 STREET TREES

ALL UNPAVED AREAS, INCLUDING BIORETENTION, ARE PLANTED WITH CONTAINER PLANTS AND MULCHED OR SEEDED AS LAWN.

THE TOTAL AREA OF SITE DISTURBANCE IS APPROXIMATELY ±15,233 SQUARE FEET (0.35 ACRES) WHICH INCLUDES SIDEWALK IMPROVEMENTS AND DRIVE APPROACH WITHIN THE CITY RIGHT-OF-WAY. THE PARKING LOT, DRIVE APPROACH, AND CONNECTOR WALKS ADD APPROXIMATELY 6,300 SQUARE FEET OF IMPERVIOUS AREA. THE BIORETENTION AREA IS SIZED TO DETAIN THE 2-YEAR STORM AND OUTLET INTO THE CITY STORM SYSTEM. IT IS DESIGNED TO DWSD STANDARDS AND WILL BE TIED TO THE CITY STORM SEWER.

## Prepared for:



500 Woodward Avenue Detroit, MI, 48226

**Professional Seals:** 

CIVIL ENGINEERING

ELECTRICAL ENGINEERING

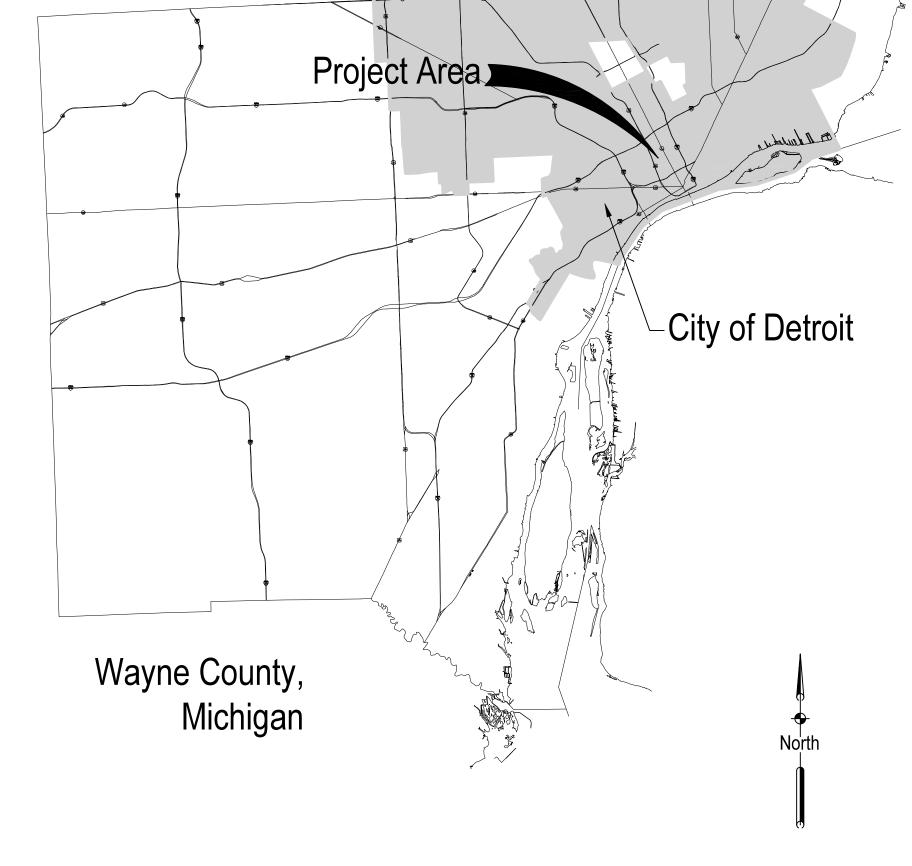
Prepared by:

DETROIT, MI 48226

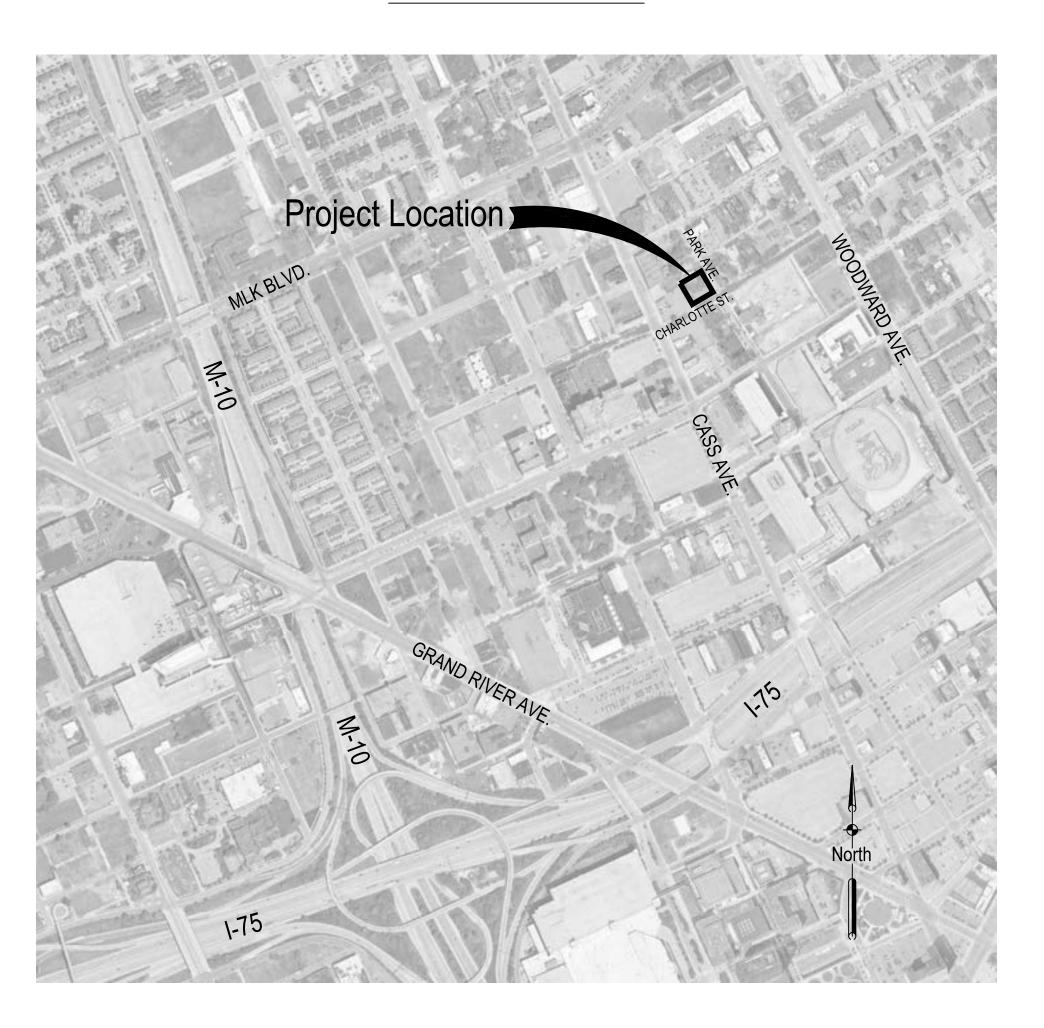
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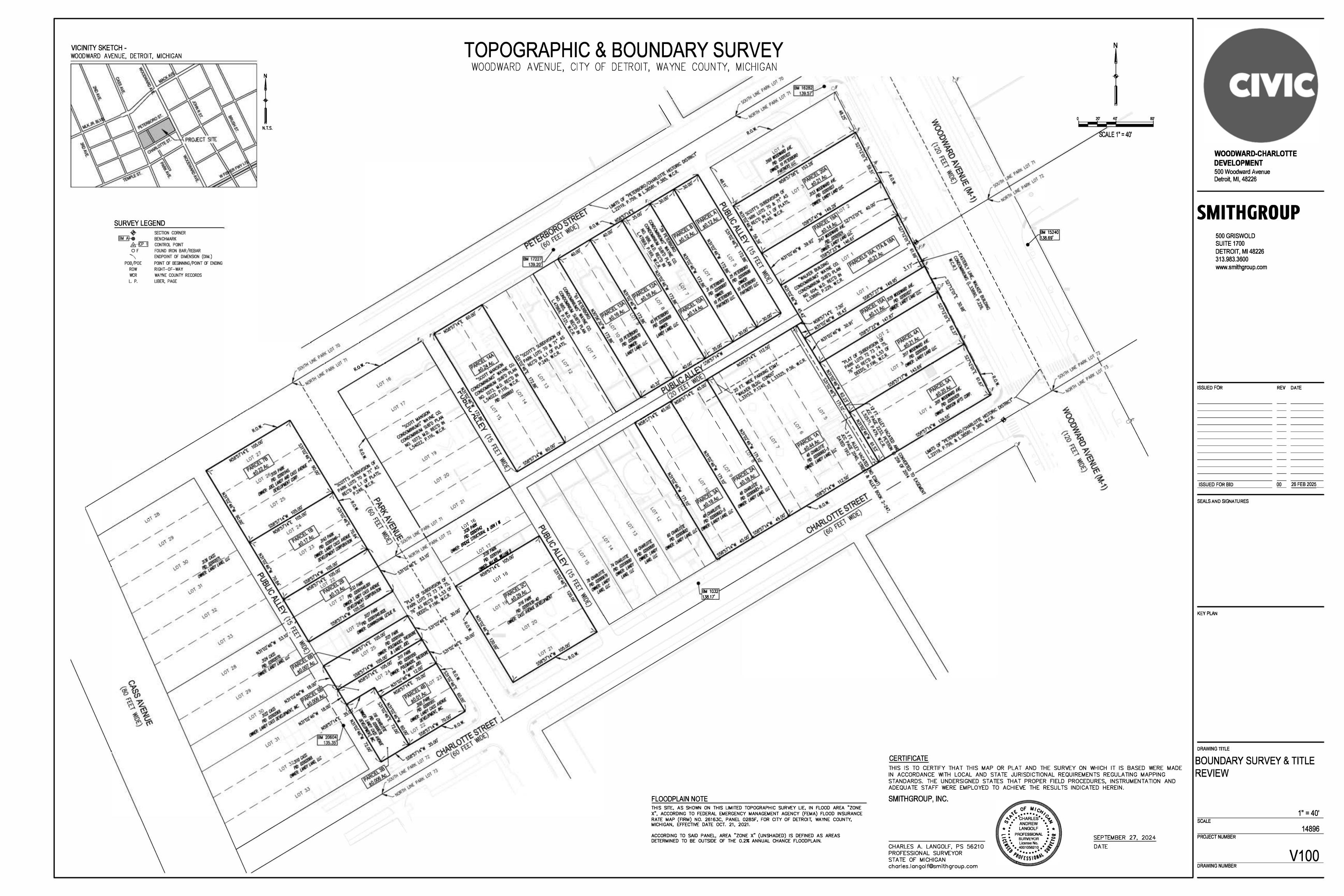
**SMITHGROUP** 



PROJECT VICINITY MAP



PROJECT LOCATION MAP



## **TOPOGRAPHIC & BOUNDARY SURVEY**

WOODWARD AVENUE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

#### LEGAL DESCRIPTIONS - TITLE COMMITMENT "A"

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 995916, EFFECTIVE DATE: JULY 19, 2023)

The land referred to herein below is situated in the City of Detroit, County of Wayne, State of Michigan, and is described as follows:

#### PARCEL\_1;

The East 1/2 of Lot 8, and all of Lots 5, 6 and 7, also a strip 3 feet wide of vacated public alley adjoining Lot 5 on the East, Block 72, of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76, according to the plat thereof as recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 2:

Lot 9 and the West 1/2 of Lot 8, Block 72, of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76, according to the plat thereof as recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

## PARCEL\_3:

Lot 10 and the East 1/2 of Lot 11, Block 72, of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76, according to the plat thereof as recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 4:

The South 33.22 feet of Lot 2 and the North 29.10 feet of Lot 3, EXCEPT Woodward Avenue, as widened, Block 72, of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76, according to the plat thereof as recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 5:

Lot 4 and the South 16.76 feet (16.26 feet, recorded) of Lot 3, EXCEPT that part taken for widening of Woodward Avenue, Block 72, of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76, according to the plat thereof as recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 10:

Units 1, 2 and 3 of 39 PETERBORO CONDOMINIUMS, a Condominium, according to the Master Deed recorded in Liber 47869, Page 169, Wayne County Records, as amended, and designated as Wayne County Condominium Subdivision Plan No. 986, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

#### PARCEL 12:

The West 25 feet of Lot 8, East 15 feet of Lot 9, Block 71, of SCOTT'S SUBDIVISION OF PARK LOTS 70 and 71, according to the plat thereof as recorded in Liber 1 of Plats, Page 249, Wayne County Records.

#### PARCEL 13:

The West 15 feet of Lot 9 and the East 25 feet of Lot 10, Block 71, of SCOTT'S SUBDIVISION OF PARK LOTS 70 and 71, according to the plat thereof as recorded in Liber 1 of Plats, Page 249, Wayne County Records.

#### PARCEL 14:

Units 1 through 27, both inclusive, SCOTT MANSION CONDOMINIUMS, a Condominium according to the Master Deed recorded in Liber 54022, Page 116, Wayne County Records, as amended, and designated as Wayne County Condominium Subdivision Plan No. 1073, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended

#### PARCEL 16:

Unit 10, WALKER BUILDING CONDOMINIUMS, a Condominium according to the Master Deed thereof recorded in Liber 33890, Page 229, Wayne County Records, as amended, and designated as Wayne County Condominium Subdivision Plan No. 604, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

#### PARCEL 17:

Unit 8, WALKER BUILDING CONDOMINIUMS, a Condominium according to the Master Deed thereof recorded in Liber 33890, Page 229, Wayne County Records, as amended, and designated as Wayne County Condominium Subdivision Plan No. 604, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

#### PARCEL 18:

Unit 9, WALKER BUILDING CONDOMINIUMS, a Condominium according to the Master Deed thereof recorded in Liber 33890, Page 229, Wayne County Records, as amended, and designated as Wayne County Condominium Subdivision Plan No. 604, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

#### PARCEL 19:

South 27.58 feet of Lot 2, and North 12.42 feet of Lot 1, EXCEPT Woodward Avenue as widened, Block 71 of SCOTT'S SUBDIVISION OF PARK LOTS 70 and 71, according to the plat thereof as recorded in Liber 1 of Plats, Page 249, Wayne County Records.

#### PARCEL 20:

The South 41.97 feet of Lot 3 and the North 17.5 feet of Lot 2, Block 71, EXCEPT Woodward Avenue as widened, of SCOTT'S SUBDIVISION OF PARK LOTS 70 and 71, according to the plat thereof as recorded in Liber 1 of Plats, Page 249, Wayne County Records.

#### LEGAL DESCRIPTIONS - TITLE COMMITMENT "B"

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 959199, EFFECTIVE DATE: FEBRUARY 1, 2022)

#### Land in the City of Detroit, Wayne County, MI, described as follows:

#### PARCEL\_1:

Lot(s) 24, 23 and the North 10 feet of Lot 22, Block 71 of SCOTT'S SUBDIVISION OF PARK LOTS 70 AND 71 according to the plat thereof recorded in Liber 1 of Plats, Page 249. Wayne County Records.

#### PARCEL\_2:

The South 22 feet of Lot(s) 22, Block 71 of SCOTT'S SUBDIVISION OF PARK LOTS 70 AND 71 according to the plat thereof recorded in Liber 1 of Plats, Page 249 of Wayne County Records, ALSO Lot 27, Block 72, PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76, as recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL\_3:

The West 35 feet of Lot(s) 22 and 23 and the West 35 feet of the South 12 feet of Lot 24, Block 72 of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76 according to the plat thereof recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 4:

The East 70 feet of Lot(s) 22 and 23, Block 72 of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76 according to the plat thereof recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 5:

Lot(s) 24, EXCEPT the West 35 feet of the South 12 feet, Park Lot 72 of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76 according to the plat thereof recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 6:

Lot(s) 25, Park Lot 72 of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75, 76 according to the plat thereof recorded in Liber 53 of Deeds, Page 196, Wayne County Records.

#### PARCEL 7:

Lot(s) 25, 26 and 27, Block 71 of SCOTT'S SUBDIVISION OF PARK LOTS 70 AND 71 according to the plat thereof recorded in Liber 1 of Plats, Page 249, Wayne County Records

#### LEGAL DESCRIPTIONS - TITLE COMMITMENT "C"

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 959201, EFFECTIVE DATE: JULY 05, 2022)

The land referred to herein below is situated in the City of Detroit, County of Wayne, State of Michigan, and is described as follows:

#### PARCEL 2;

Lots 18 to 21, inclusive, Block 72, of PLAT OF SUBDIVISION OF PARK LOTS 72, 73, 74, 75 and 76 according to the plat thereof recorded in Liber 53 of Deeds, Page 196 of Wayne County Records.

#### LEGAL DESCRIPTIONS - TITLE COMMITMENT "D"

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 959215, EFFECTIVE DATE: JULY 08, 2022)

The land referred to herein below is situated in the City of Detroit, County of Wayne, State of Michigan, and is described as follows:

Units 1 through 27, both inclusive, SCOTT MANSION CONDOMINIUMS, a Condominium according to the Master Deed recorded in Liber 54022, Page 116, Wayne County Records, as amended, and designated as Wayne County Condominium Subdivision Plan No. 1073, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

BENCHMARKS

SITE BENCHMARK #1032
TIP OF ARROW ON TOP OF FIRE HYDRANT. ±18.0'
NORTH OF C/L CHARLOTTE ST. ±4.0' SOUTH OF EDGE
OF CONCRETE WALK. ±10.6' NORTHEAST OF LIGHT

NORTHING = 310,258.53 EASTING = 13,477,332.72 ELEVATION = 138.17 FEET (COD)

SITE BENCHMARK #15240.

TIP OF ARROW ON TOP OF FIRE HYDRANT. ±3.3'

EAST OF EAST BACK/CURB LINE OF WOODWARD AVE.

±11.0' WEST OF WESTERLY FACE OF BUILDING. ±40.2'

SOUTH OF C/L WATSON ST.

SOUTH OF C/L WATSON ST. NORTHING = 310,621.22 EASTING = 13,477,685.43 ELEVATION = 138.69 (COD)

SITE BENCHMARK #20604
BENCHTIE IN THE EAST FACE OF A UTILITY POLE
ALONG THE SOUTH SIDE OF A PUBLIC ALLEY ±83.9'
NORTHWEST OF THE C/L OF CHARLOTTE STREET;
±41.1' NORTHWEST OF C.B. #20297;
NORTHING = 310,106.38
EASTING = 13,476,952.49

SITE\_BENCHMARK\_#16282

ELEVATION = 135.35 (COD)

TIP OF ARROW ON TOP OF FIRE HYDRANT. ±23.4' SOUTH OF C/L OF PETERBORO ST. ±7.1 NORTH OF EDGE OF CONCRETE WALK. ±7.8' EAST OF LIGHT POLE

NORTHING = 310,790.85 EASTING = 13,477,467.82 ELEVATION = 139.57 (COD)

SITE BENCHMARK #17227.

TIP OF ARROW ON TOP OF FIRE HYDRANT. ±24.3'

SOUTH OF C/L OF PETERBORO ST. ±0.6' NORTH OF EDGE OF CONCRETE WALK. ±18.9' WEST OF LIGHT

POLE.

NORTHING = 310,616.01

EASTING = 13,477,144.40

ELEVATION = 139.20 (COD)

CONTROL POINT TABLE

Point No.	Northing	Easting	Elevation	Description
1	310304.44	13477483.40	135.82	CP SCIB TRAV
2	310211.64	13477338.21	135.00	CP PK
3	310366.12	13477444.23	138.51	CP PK
4	310412.89	13477671.43	136.23	CP PK
5	310487.12	13477750.60	136.90	CP PK
53	310310.18	13477034.97	135.33	CP MAG NAIL
54	310206.10	13477195.19	135.41	CP SG CAP REBAR
55	310209.31	13477220.77	135.04	CP SG CAP REBAR
56	310337.94	13477140.56	136.65	CP SG CAP REBAR
57	310481.96	13477140.86	139.17	CP MAG NAIL
58	310567.46	13477017.49	135.88	CP SG CAP REBAR
59	310095.28	13477003.42	139.76	CP SG CAP REBAR
60	310192.52	13477299.06	134.80	CP SG CAP REBAR
61	310211.19	13476888.38	135.71	CP MAG NAIL
62	310556.47	13477119.77	616.61	CP SG CAP REBAR

#### NOTES

- 1. HORIZONTAL DATUM IS ACCORDING TO MICHIGAN STATE PLANE GRID COORDINATES, SOUTH ZONE (2113), GEOID 2018, INTERNATIONAL FEET AS LINEAR UNIT OF MEASURE.
- VERTICAL DATUM IS ACCORDING TO THE CITY OF DETROIT (COD) VERTICAL DATUM, WITH BENCHMARKS LISTED HEREON. VERTICAL DATUM ADJUSTED FROM NAVD88 AND REFERENCED COD BENCHMARK. CONVERSION FACTOR (NAVD88-479.25)=COD.
- 3. SMITHGROUP PERFORMED A TOPOGRAPHIC SURVEY UTILIZING DATA COLLECTED WITH GLOBAL POSITIONING RECEIVERS REFERENCING THE MICHIGAN CONTINUOUSLY OPERATING REFERENCE NETWORK FOR SITE CONTROL.
- PARCELS A AND B AS SHOWN HEREON (25 & 31 PETERBORO) ARE LACKING TITLE WORK AT THE TIME OF THIS SURVEY. SURVEY WILL BE REVISED UPON RECEIPT OF TITLE WORK.
- MISS-DIG DESIGN TICKET #2024040503322 WAS ISSUED FOR THIS PROJECT AS OF THE DATE OF THIS SURVEY, RECORD UTILITY MAPS WERE RECEIVED OR OTHERWISE OBTAINED FROM THE FOLLOWING UTILITY OWNERS:

AT&T TELEPHONE. COMCAST CABLE. CROWN CASTLE FIBER OPTICS. DETROIT

- CITY POTABLE WATER & SEWERAGE, DETROIT THERMAL LLC., DTE ENERGY ELECTRIC, DTE ENERGY GAS, EVERSTREAM FIBER OPTICS, EXTENET SYSTEMS INC., GREAT LAKES WATER AUTHORITY, INTERNATIONAL TRANSMISSION COMPANY.
- AT THE DATE OF SURVEY, RECORD UTILITY MAPS HAVE NOT BEEN RECEIVED FROM THE FOLLOWING UTILITY OWNERS:

6. UNDERGROUND UTILITY LOCATIONS WERE DERIVED FROM ACTUAL MEASUREMENTS ON

- 123 NET INC., DETROIT PUBLIC LIGHTING ELECTRIC, M-1 RAIL ELECTRIC, M-1 RAIL FIBER OPTICS, MERIT NETWORK, INC. FIBER OPTICS, NEXTEL COMMUNICATIONS FIBER OPTICS.
- VISIBLE UTILITIES, MISS DIG FLAGS/MARKINGS, AND/OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS, NOR SHOULD THEY IT BE ASSUMED THAT THEY ARE THE ONLY UNDERGROUND UTILITIES IN THE AREA.

  7. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED AND ARE NOT
- AFFECT THE USE AND OR DEVELOPMENT OF THIS SITE.

  8. ADDITIONAL SPOT ELEVATIONS MAY BE CONTAINED IN THE PROJECT DATABASE, AND ALTHOUGH NOT APPEARING IN THE RECORD PLAN DOCUMENT DUE TO SCALE AND VISIBILITY, WERE UTILIZED IN THE DIGITAL TERRAIN MODEL FOR CREATION OF THE ONE—FOOT CONTOURS. THE ADDITIONAL SPOT ELEVATION DATA IS AVAILABLE FOR FUTURE DESIGN ANALYSIS, BEING LOCATED ON A FROZEN LAYER WITHIN THE PROJECT

CONSIDERED A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY

FLOODPLAIN NOTE

THIS SITE, AS SHOWN ON THIS LIMITED TOPOGRAPHIC SURVEY LIE, IN FLOOD AREA "ZONE X", ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 26163C, PANEL 0285F, FOR CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, EFFECTIVE DATE OCT. 21, 2021.

ACCORDING TO SAID PANEL, AREA "ZONE X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.



WOODWARD-CHARLOTTE
DEVELOPMENT
500 Woodward Avenue
Detroit, MI, 48226

## **SMITHGROUP**

500 GRISWOLD SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroup.com

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SEALS AND SIGNATURES		

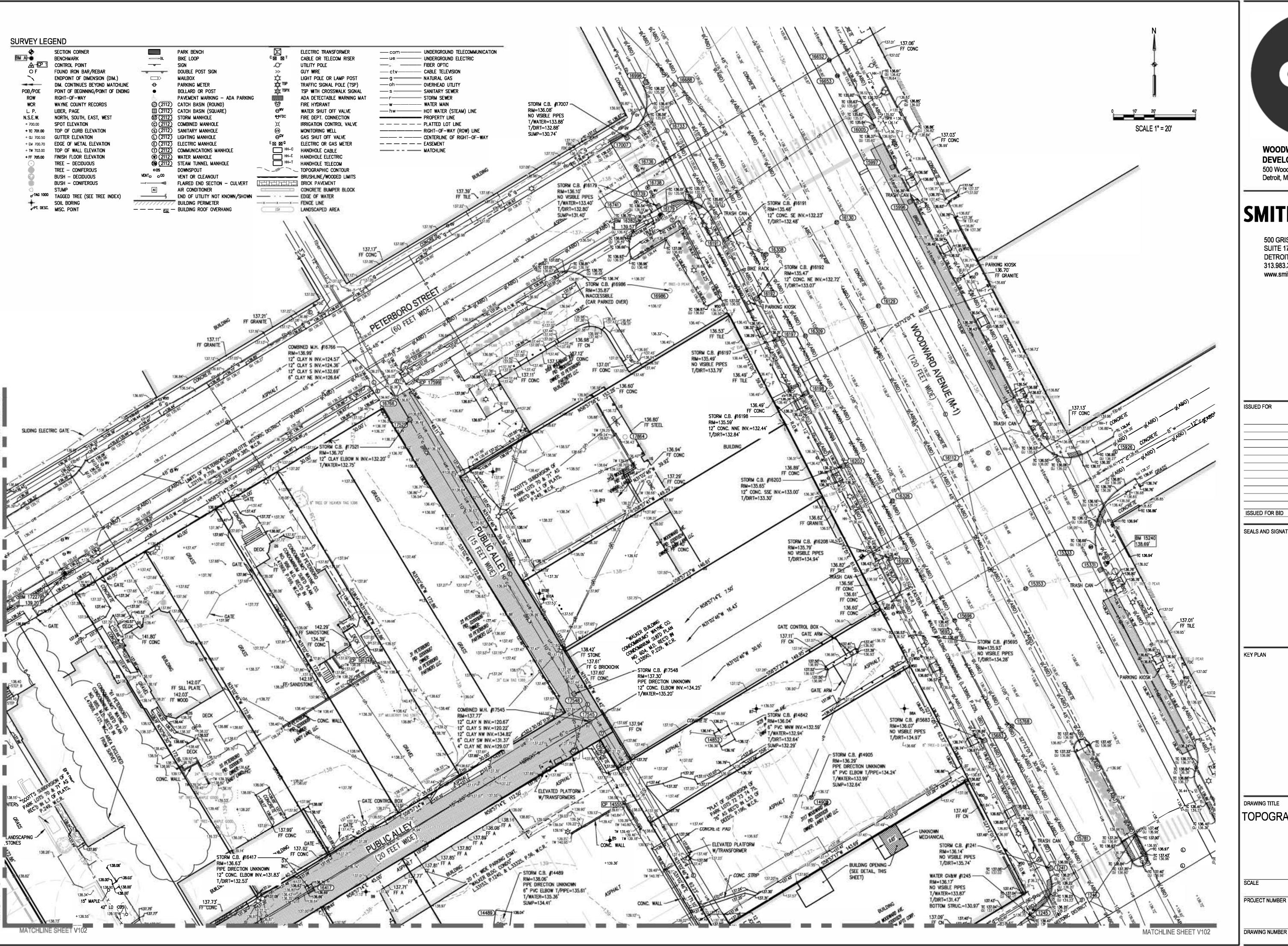
KEY PLAN

DRAWING TITLE

BOUNDARY SURVEY & TITLE REVIEW

N/A
SCALE
14896
PROJECT NUMBER

V100.





WOODWARD-CHARLOTTE
DEVELOPMENT
500 Woodward Avenue
Detroit, MI, 48226

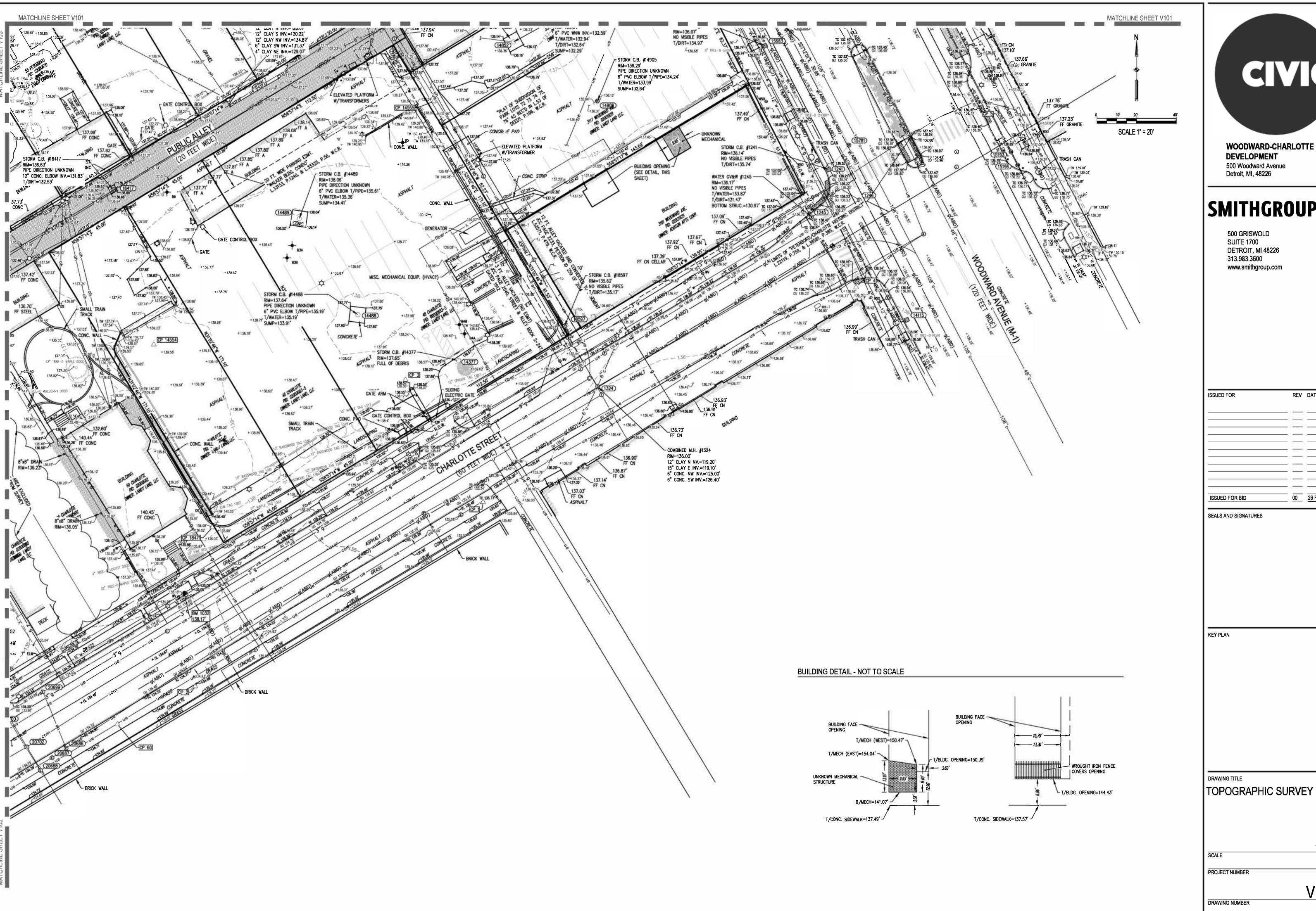
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ALS AND SIGNATURES		

DRAWING TITLE
TOPOGRAPHIC SURVEY

1" = 20'
SCALE
14896
PROJECT NUMBER
V101





**WOODWARD-CHARLOTTE** 500 Woodward Avenue

## **SMITHGROUP**

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1" = 20' 14896 V102





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1" = 20' 14896





**WOODWARD-CHARLOTTE DEVELOPMENT** 500 Woodward Avenue Detroit, MI, 48226

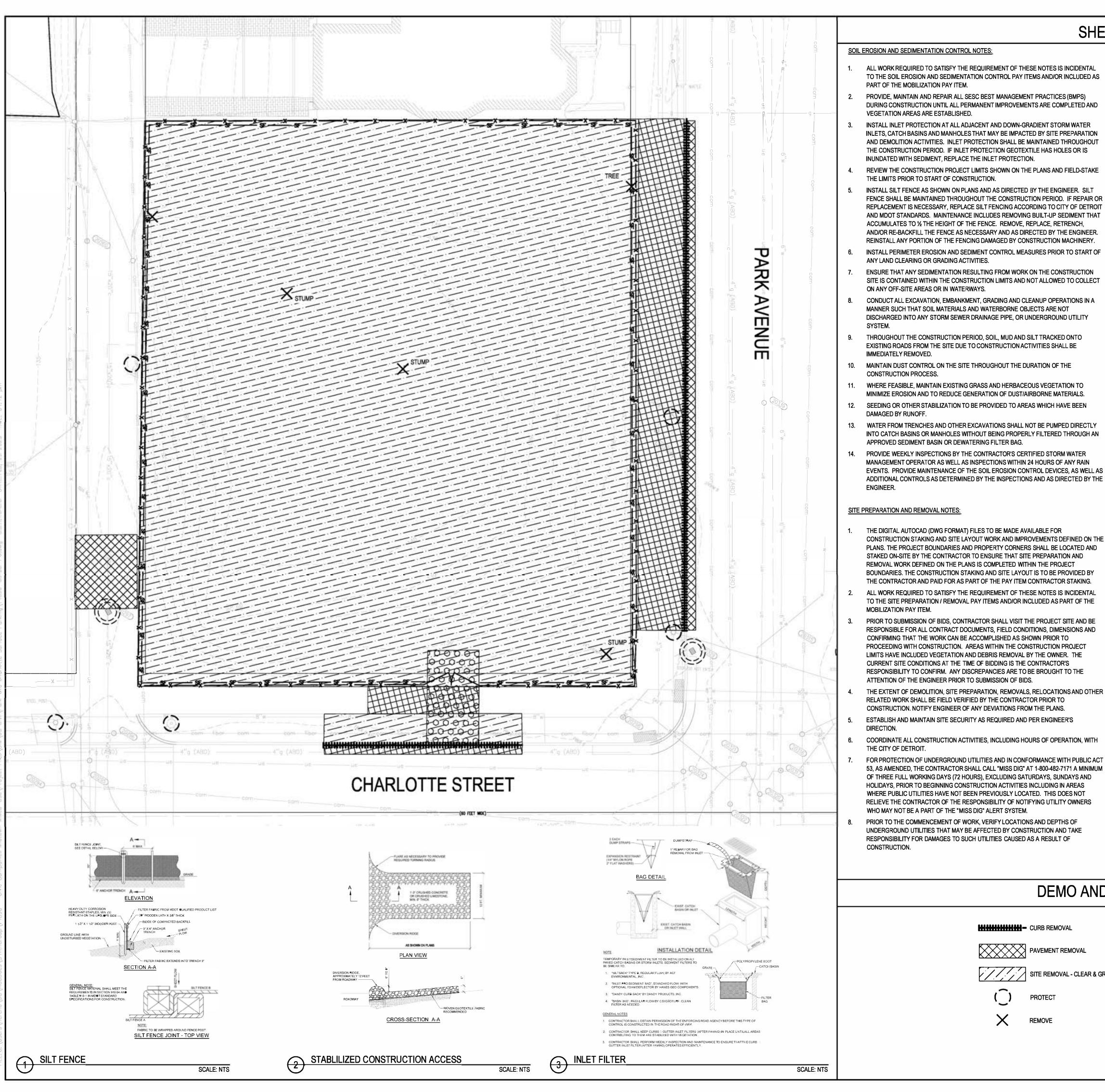
## **SMITHGROUP**

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DRAWING TITLE TOPOGRAPHIC SURVEY

1" = 20' 14896 PROJECT NUMBER V104



#### SHEET NOTES

#### SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL WORK REQUIRED TO SATISFY THE REQUIREMENT OF THESE NOTES IS INCIDENTAL TO THE SOIL EROSION AND SEDIMENTATION CONTROL PAY ITEMS AND/OR INCLUDED AS PART OF THE MOBILIZATION PAY ITEM.
- PROVIDE, MAINTAIN AND REPAIR ALL SESC BEST MANAGEMENT PRACTICES (BMPS) DURING CONSTRUCTION UNTIL ALL PERMANENT IMPROVEMENTS ARE COMPLETED AND VEGETATION AREAS ARE ESTABLISHED.
- INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWN-GRADIENT STORM WATER INLETS, CATCH BASINS AND MANHOLES THAT MAY BE IMPACTED BY SITE PREPARATION AND DEMOLITION ACTIVITIES. INLET PROTECTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF INLET PROTECTION GEOTEXTILE HAS HOLES OR IS INUNDATED WITH SEDIMENT, REPLACE THE INLET PROTECTION.
- REVIEW THE CONSTRUCTION PROJECT LIMITS SHOWN ON THE PLANS AND FIELD-STAKE THE LIMITS PRIOR TO START OF CONSTRUCTION.
- INSTALL SILT FENCE AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF REPAIR OR REPLACEMENT IS NECESSARY, REPLACE SILT FENCING ACCORDING TO CITY OF DETROIT AND MDOT STANDARDS. MAINTENANCE INCLUDES REMOVING BUILT-UP SEDIMENT THAT ACCUMULATES TO ½ THE HEIGHT OF THE FENCE. REMOVE, REPLACE, RETRENCH, AND/OR RE-BACKFILL THE FENCE AS NECESSARY AND AS DIRECTED BY THE ENGINEER. REINSTALL ANY PORTION OF THE FENCING DAMAGED BY CONSTRUCTION MACHINERY.
- 6. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO START OF ANY LAND CLEARING OR GRADING ACTIVITIES. ENSURE THAT ANY SEDIMENTATION RESULTING FROM WORK ON THE CONSTRUCTION
- SITE IS CONTAINED WITHIN THE CONSTRUCTION LIMITS AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
- CONDUCT ALL EXCAVATION, EMBANKMENT, GRADING AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SOIL MATERIALS AND WATERBORNE OBJECTS ARE NOT DISCHARGED INTO ANY STORM SEWER DRAINAGE PIPE, OR UNDERGROUND UTILITY
- 9. THROUGHOUT THE CONSTRUCTION PERIOD, SOIL, MUD AND SILT TRACKED ONTO EXISTING ROADS FROM THE SITE DUE TO CONSTRUCTION ACTIVITIES SHALL BE IMMEDIATELY REMOVED.
- 10. MAINTAIN DUST CONTROL ON THE SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION PROCESS.
- WHERE FEASIBLE, MAINTAIN EXISTING GRASS AND HERBACEOUS VEGETATION TO MINIMIZE EROSION AND TO REDUCE GENERATION OF DUST/AIRBORNE MATERIALS.
- 12. SEEDING OR OTHER STABILIZATION TO BE PROVIDED TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
- WATER FROM TRENCHES AND OTHER EXCAVATIONS SHALL NOT BE PUMPED DIRECTLY INTO CATCH BASINS OR MANHOLES WITHOUT BEING PROPERLY FILTERED THROUGH AN APPROVED SEDIMENT BASIN OR DEWATERING FILTER BAG.
- 14. PROVIDE WEEKLY INSPECTIONS BY THE CONTRACTOR'S CERTIFIED STORM WATER MANAGEMENT OPERATOR AS WELL AS INSPECTIONS WITHIN 24 HOURS OF ANY RAIN EVENTS. PROVIDE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS ADDITIONAL CONTROLS AS DETERMINED BY THE INSPECTIONS AND AS DIRECTED BY THE ENGINEER.

#### SITE PREPARATION AND REMOVAL NOTES:

- THE DIGITAL AUTOCAD (DWG FORMAT) FILES TO BE MADE AVAILABLE FOR CONSTRUCTION STAKING AND SITE LAYOUT WORK AND IMPROVEMENTS DEFINED ON THE PLANS. THE PROJECT BOUNDARIES AND PROPERTY CORNERS SHALL BE LOCATED AND STAKED ON-SITE BY THE CONTRACTOR TO ENSURE THAT SITE PREPARATION AND REMOVAL WORK DEFINED ON THE PLANS IS COMPLETED WITHIN THE PROJECT BOUNDARIES. THE CONSTRUCTION STAKING AND SITE LAYOUT IS TO BE PROVIDED BY THE CONTRACTOR AND PAID FOR AS PART OF THE PAY ITEM CONTRACTOR STAKING.
- ALL WORK REQUIRED TO SATISFY THE REQUIREMENT OF THESE NOTES IS INCIDENTAL TO THE SITE PREPARATION / REMOVAL PAY ITEMS AND/OR INCLUDED AS PART OF THE MOBILIZATION PAY ITEM.
- PRIOR TO SUBMISSION OF BIDS, CONTRACTOR SHALL VISIT THE PROJECT SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS AND CONFIRMING THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. AREAS WITHIN THE CONSTRUCTION PROJECT LIMITS HAVE INCLUDED VEGETATION AND DEBRIS REMOVAL BY THE OWNER. THE CURRENT SITE CONDITIONS AT THE TIME OF BIDDING IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF BIDS.
- RELATED WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DEVIATIONS FROM THE PLANS. ESTABLISH AND MAINTAIN SITE SECURITY AS REQUIRED AND PER ENGINEER'S
- DIRECTION.
- COORDINATE ALL CONSTRUCTION ACTIVITIES, INCLUDING HOURS OF OPERATION, WITH THE CITY OF DETROIT.
- FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, AS AMENDED, THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS (72 HOURS), EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES INCLUDING IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.

- 9. ALL EXISTING SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED AS PART OF THE PROJECT WITHIN AND ADJACENT TO THE CONSTRUCTION LIMITS SHALL BE PROTECTED AT ALL TIMES FOR THE PROPER EXECUTION OF THE WORK. CAUTION SHALL BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING AROUND OR NEAR UTILITIES.
- 10. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF WORK, SHALL BE REMOVED AND PROPERLY CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF WORK AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
- FIBER OPTIC, COMMUNICATION AND HIGH VOLTAGE UNDERGROUND ELECTRICAL LINES ARE LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS AND MAY HAVE VERY SHALLOW BURIAL DEPTHS. PRIOR TO PROCEEDING WITH CONSTRUCTION THE CONTRACTOR SHALL CONFIRM LOCATIONS AND DEPTHS OF THE UTILITY LINES. EXTREME CAUTION SHALL BE TAKEN WHILE CONDUCTING CONSTRUCTION ACTIVITIES AND ALL NECESSARY MEANS SHALL BE UNDERTAKEN TO PROTECT AND ENSURE THAT DAMAGE TO THE LINES DOES NOT OCCUR. CONTACT UTILITY PROVIDER(S) PRIOR TO PROCEEDING WITH WORK NEAR THE UTILITY LINES. REFER TO SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS.
- TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC. DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS PER CITY OF DETROIT REQUIREMENTS AT NO ADDITIONAL COST.
- SECURE NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE OR IMMEDIATELY ADJACENT TO WORK AREAS PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, AND ORDINANCES. REFER TO THE SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- 15. CONSTRUCTION WORK TO BE COMPLETED PER MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND CITY OF DETROIT STANDARDS AND REQUIREMENTS. MDOT AND CITY OF DETROIT STANDARD DETAILS SHALL BE FOLLOWED AS APPLICABLE.
- 16. DISPOSE OF ELEMENTS DESIGNATED FOR REMOVAL OFF-SITE IN A LEGAL MANNER. PROVIDE RECEIPTS, WEIGHT TICKETS AND LETTERS DOCUMENTING DISPOSAL OF MATERIALS AT A LICENSED LANDFILL APPROPRIATE FOR THE MATERIALS BEING DISPOSED TO THE ENGINEER AND OWNER.
- ANY MISCELLANEOUS LITTER AND DEBRIS INCLUDING SUCH ITEMS BUT NOT LIMITED TO: FOUNDATION AND ATTACHMENTS, TREE STUMPS AND ROOT STRUCTURES, PAVEMENT BASE MATERIAL, ABANDONED FENCES, ABANDONED PIPES, CONSTRUCTION DEBRIS, TRASH, ETC. IDENTIFIED ON THE PLANS AND ENCOUNTERED WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND DISPOSED OF LEGALLY OFF-SITE BY THE CONTRACTOR.
- CONTRACTOR SHALL KEEP PROJECT CONSTRUCTION AREAS CLEAN & HAZARD FREE. REMOVE & DISPOSE OF OFF-SITE ALL SOIL, DEBRIS, RUBBISH, STUMPS, VEGETATIVE MATERIALS, WOOD CHIPS AND ROCK THAT IS NOT IDENTIFIED ON THE CONSTRUCTION PLANS TO REMAIN. LEAVE THE CONSTRUCTION AREAS IN A CLEAN CONDITION AND FREE OF HAZARDS AT THE END OF EVERY WORK DAY.
- CONTRACTOR TO FLAG AND CONFIRM WITH ENGINEER ALL TREES EQUAL TO OR GREATER THAN 18 INCHES IN CALIPER FOR REMOVAL PRIOR TO PROCEEDING. CONTRACTOR SHALL PROVIDE PROPER TREE PROTECTION FOR ALL TREES TO REMAIN. CONTRACTOR TO PROVIDE AND MAINTAIN TREE PROTECTION AS REQUIRED AND DIRECTED BY THE ENGINEER.
- 20. NOTIFY THE ENGINEER FOR DIRECTION ON HOW TO PROCEED FOR ANY MATERIALS THAT ARE NOT CLEAR IF THEY SHOULD BE REMOVED, SALVAGED OR LEFT IN-PLACE.
- MARK SAW CUT LINES FOR APPROVAL BY ENGINEER PRIOR TO PROCEEDING WITH REMOVAL ACTIVITIES. COORDINATE SAW CUT LOCATIONS WITH JOINTS IN CONCRETE SUB-BASE. IF SAW CUT IS WITHIN 3 FT. OF A JOINT EXPAND REMOVAL LIMITS AND SAW CUT TO JOINT. CLEAN CONSISTENT SAW CUTS TO BE PROVIDED AT PAVEMENT EDGES, FULL DEPTH. RAVELED, BROKEN AND IRREGULAR SAW CUT EDGE(S) SHALL BE RE-SAW CUT PRIOR TO PROCEEDING WITH INSTALLATION OF NEW PAVEMENT AT NO ADDITIONAL COST. ADDITIONAL PAVEMENT REPLACEMENT THAT IS REQUIRED AS THE RESULT OF ADDITIONAL SAW CUTS WILL BE PROVIDED AT NO ADDITIONAL COST.
- MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. PROVIDE TEMPORARY ACCESS PATHS, FENCING, SIGNAGE AND ALL NECESSARY ITEMS TO ENSURE A SAFE AND CLEARLY DEFINED ACCESS PATH AND SHALL BE PROVIDED AS PART OF THE REMOVAL AND SITE PREPARATION PAY ITEMS.
- 23. ALL CONSTRUCTION STAGING, MATERIALS STORAGE, CONSTRUCTION WASHING STATIONS, PROJECT MOCK-UP AREAS AND ALL ASSOCIATED NEEDS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL LABOR, MATERIALS AND EQUIPMENT ASSOCIATED WITH THESE ITEMS SHALL BE PROVED AS PART OF THE REMOVAL PAY ITEMS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM ENGINEER FOR ALL CONSTRUCTION ACCESS POINTS. THE USE OF ADJACENT ROW AND/OR PRIVATE PROPERTY WILL NOT BE PERMITTED FOR MATERIAL STAGING, STOCK PILING AND CONTRACTOR PARKING WITHOUT PRIOR WRITTEN CONSENT.
- 24. EXISTING SURVEY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS. IN THE EVENT EXISTING MONUMENTS ARE DISTURBED DURING CONSTRUCTION, THE MONUMENTS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION AND PER CITY OF DETROIT SURVEY BUREAU REQUIREMNTS AT NO ADDITIONAL COST. NOTIFY CITY OF DETROIT SURVEY BUREAU OF ANY DISTURBED OR RESET MONUMENTS.
- COORDINATE WORK OF SUBCONTRACTORS AND OTHER CONTRACTORS AS APPLICABLE TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF WORK.



PARK-CHARLOTTE **PARKING LOT** 500 Woodward Avenue Detroit, MI, 48226

## **SMITHGROUP**

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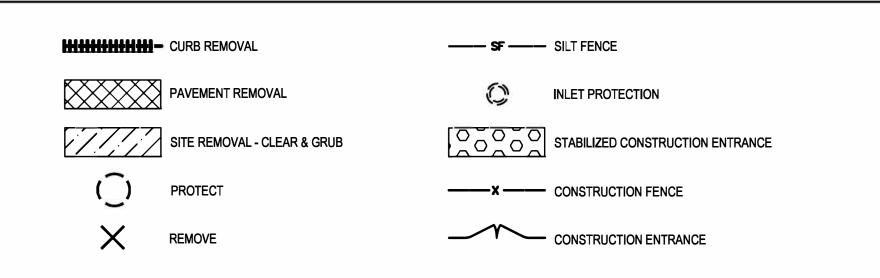
KEY PLAN

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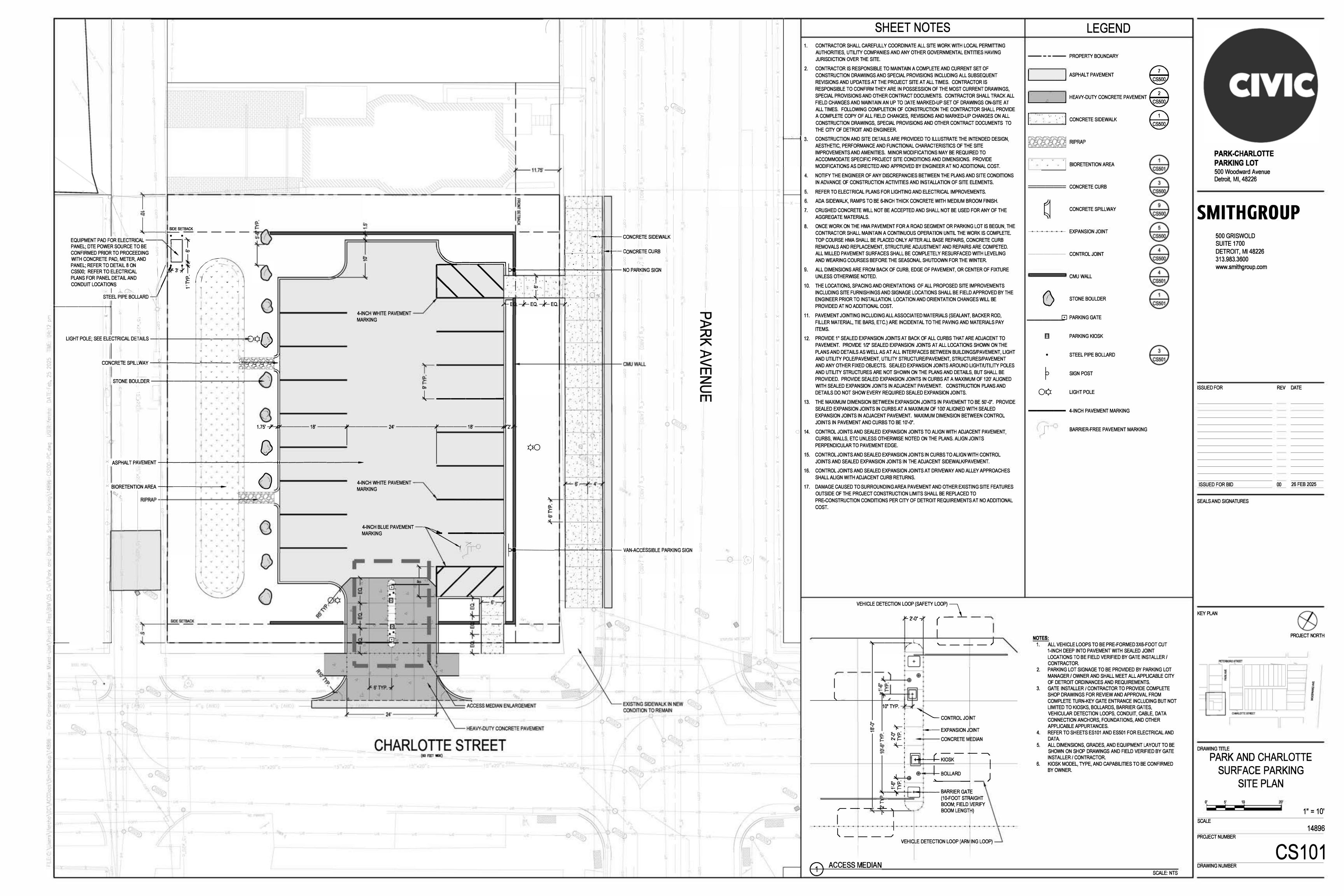


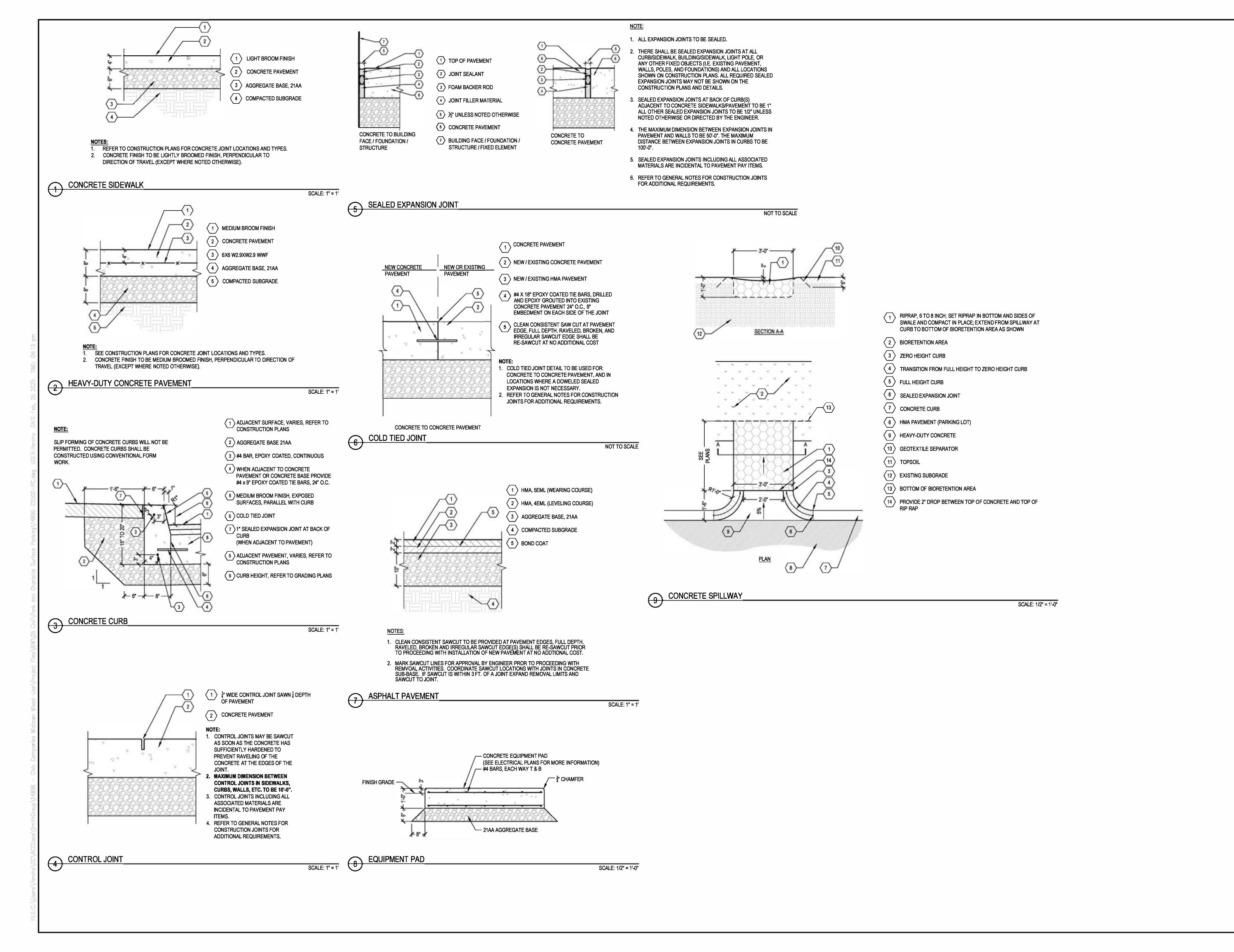
## DEMO AND SESC LEGEND



PARK AND CHARLOTTE SURFACE PARKING DEMO AND SESC PLAN

PROJECT NUMBER







PARK-CHARLOTTE
PARKING LOT
500 Woodward Avenue
Detroit, MI, 48226

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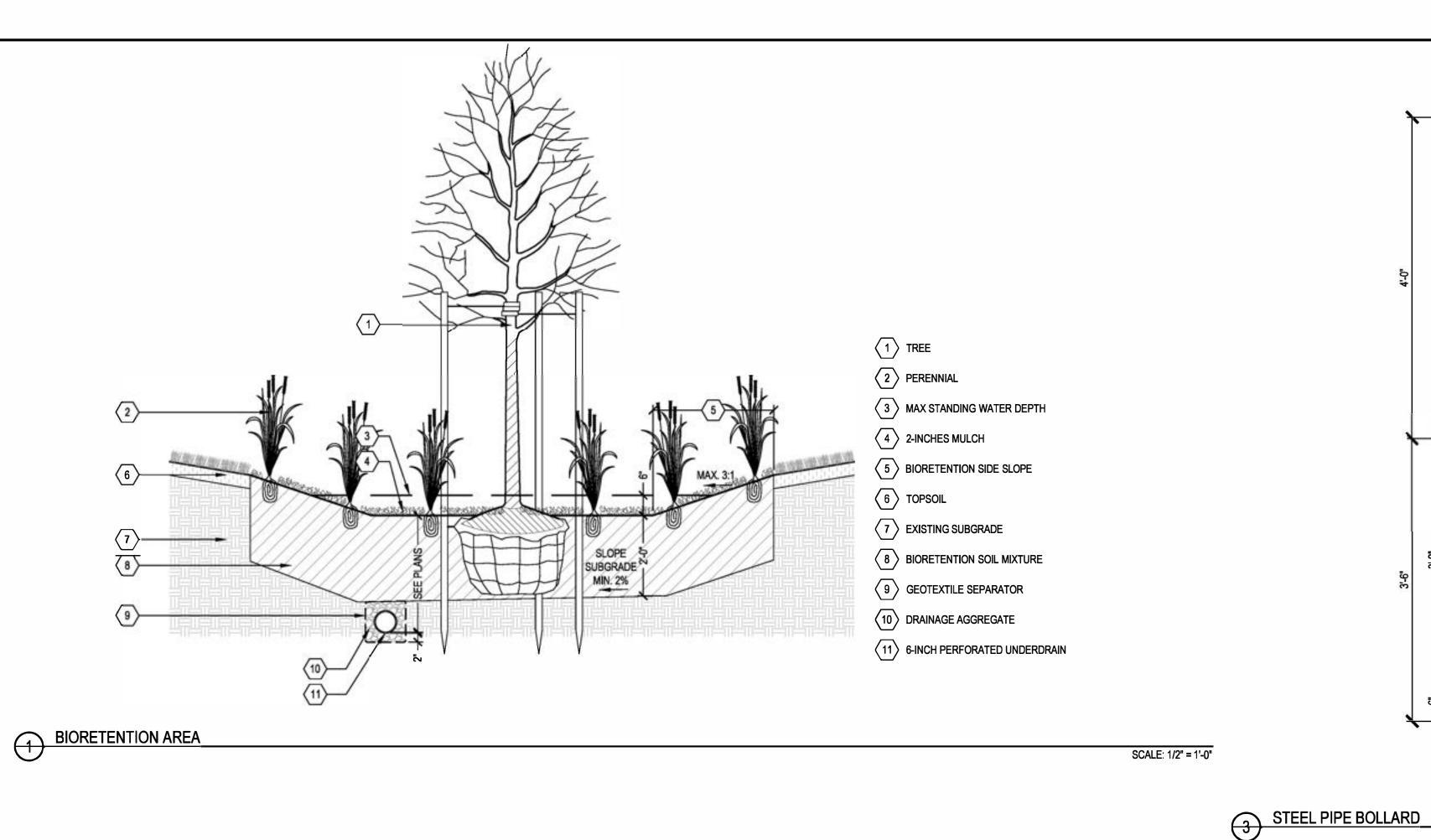
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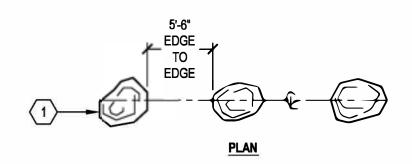
KEY PLAN

PARK AND CHARLOTTE
SURFACE PARKING
DETAILS

AS SHOWN
SCALE
14896
PROJECT NUMBER



(1) ROUND CONCRETE AT TOP 6" O.D., SCHEDULE 40 HOT DIPPED GALVANIZED STEEL PIPE FILLED WITH CONCRETE, PRIMED WITH ZINC RICH PRIMER 3 PAINT BOLLARD SLOPE CONCRETE TO DRAIN @ ¼" PER 1'-0" 5 FINISH GRADE 1. FINISH AND COLOR TO BE APPROVED BY ENGINEER 2. REFER TO CONSTRUCTION PLANS FOR LOCATIONS. FIELD VERIFY WITH ENGINEER PRIOR TO INSTALLATION.



--- 3 - 4' WIDE ------

**ELEVATION / SECTION** 

4 EXISTING SUBGRADE; COMPACT TO 85-95% PROCTOR BELOW STONE BOULDER

1. STONE BOULDER SHALL BE A NATURAL QUARRIED STONE, HIGHLY RESISTANT TO WEATHERING AND DISINTEGRATION UNDER FREEZING AND THAWING, AS WELL AS WET AND DRY CONDITIONS. THE STONE SHALL BE DURABLE, SOUND, FREE FROM DETRIMENTAL CRACKS, SEAMS AND OTHER DEFECTS WHICH TEND TO INCREASE DETERIORATION FROM NATURAL CAUSES OR CAUSE BREAKAGE IN HANDLING AND/OR

(1) STONE BOULDER

2 FINISH GRADE

2. CONFIRM DESIRED COLOR(S) AND TYPE OF STONE WITH OWNER PRIOR TO INDENTIFYING SUPPLIER AND PROVIDING REQUIRED MATERIAL SUBMITTALS.

3. SUBMIT REPRESENTATIVE DIGITAL PHOTOS OF THE STONE FOR REVIEW AND APPROVAL. PHOTOS MUST DEPICT THE FULL RANGE OF COLORS, SIZES, TEXTURES, SHAPES, QUALITY AND OVERALL APPEARANCE. INCLUDE A SCALE ROD OR OTHER MEASURING DEVICES PLACED ON OR NEXT TO THE STONE TO SHOW SCALE. PROVIDE REQUIRED NUMBER OF PHOTOS TO FULLY REFLECT THE ENTIRE RANGE OF CONDITIONS

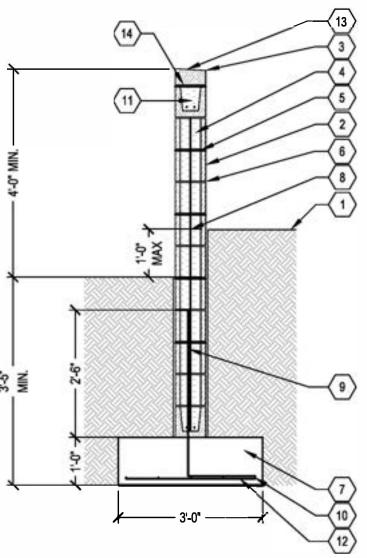
4. FLAT SURFACE SIDE OF STONE BOULDER TO BE PLACED ON THE GROUND; SET BOTTOM OF BOULDER 4 - 6" BELOW FINISH GRADE AS SHOWN.

5. STONE BOULDER TO BE 3 - 4' TALL AND WIDE.

6. SEE CONSTRUCTION PLANS FOR STONE BOULDER LOCATIONS. CONFIRM LOCATIONS, SPACING, AND ORIENTATION ON-SITE WITH ENGINEER PRIOR TO INSTALLATION. MINOR ADJUSTMENTS TO LOCATION SHALL BE COMPLETED AT NO ADDITIONAL COST.

STONE BOULDER\_

SCALE: 1/2" = 1'-0"



FOUNDATION AND CONCRETE NOTES:

1. RETAINING WALLS AND FOOTINGS ARE DESIGNED BASED ON THE FOLLOWING:

1.1. NET ALLOWABLE SOIL BEARING CAPACITY: 2000 PSF 1.2. ACTIVE EQUIVALENT FLUID PRESSURE: 100PCF

1.3. COEFFICIENT FOR FRICTION: 0.35 2. CONCRETE FOOTINGS SHALL BE NORMAL WEIGHT AND DEVELOP A 28-DAY COMPRESSIVE

CONCRETE SHALL BE 6% AIR ENTRAINED AND WATER/CEMENT RATIO SHALL BE LIMITED TO A MAXIMUM OF 0.45.

#### MASONRY NOTES:

1. MASONRY CONSTRUCTION SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI-530/ASCE 5 AND SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE 6

2. ALL REINFORCED CONCRETE MASONRY SHALL BE INSPECTED PER SPECIFICATIONS AND SPECIAL INSPECTIONS REQUIREMENTS IDENTIFIED ON THE DRAWINGS.

HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 MEDIUM WEIGHT, TYPE I, MOISTURE CONTROLLED UNITS, UNLESS OTHERWISE NOTED. 4. FOR GROUTED AND/OR REINFORCED MASONRY WALLS, USE MASONRY UNITS WITH CORES

THAT ALIGN VERTICALLY TO PROVIDE CONTINUOUS UNOBSTRUCTED CELLS FOR GROUTING AND PLACING REINFORCING STEEL. DOWELS IN FOUNDATIONS SHALL BE SET TO ALIGN WITH CORES CONTAINING REINFORCING STEEL.

5. THE MINIMUM DESIGN COMPRESSIVE STRENGTH OF MASONRY (fm) SHALL BE 2000 PSI

DETERMINED FROM THE UNIT STRENGTH METHOD. MORTAR SHALL BE PORTLAND CEMENT MORTAR IN ACCORDANCE WITH ASTM C270 TYPE S. MORTAR FOR ABOVE GRADE APPLICATIONS SHALL HAVE COMPRESSIVE STRENGTH AT 28-DAYS OF 1900 PSI MIN. MORTAR FOR BELOW GRADE APPLICATIONS SHALL HAVE COMPRESSIVE STRENGTH AT 28-DAYS OF 2500 PSI MIN.

GROUT FOR CONCRETE MASONRY SHALL BE FINE GROUT IN ACCORDANCE WITH ASTM C476. GROUT STRENGTH SHALL BE fc=3000 PSI MIN AT 28 DAYS. GROUT SHALL BE PLACED IN LIFTS OF 4'-0" OR LESS. TEST GROUT COMPRESSIVE STRENGTH BY ASTM C1019.

1 REFER TO CONSTRUCTION PLANS FOR GRADE CONDITIONS

SCALE: 1" = 1'-0"

2 CMU BLOCK WALL W/ WATER REPELLENT ADMIXTURE. REFER MASONRY NOTES BELOW FOR DETAILS.

4 GROUT WITH WATER REPELLENT ADMIXTURE

 $\langle$  3  $\rangle$  4" SOLID CMU CAP, SLOPPED AWAY FROM PARKING LOT

5 CMU LADDER REINFORCEMENT (EVERY 2 COURSES)

 $\langle 6 \rangle_{8}^{3}$  MORTAR JOINT (CONCAVE)

⟨ 7 ⟩ CAST-IN-PLACE REINFORCED CONCRETE FOUNDATION 1'-6" WIDE

( 8 ) #5 AT 16" O.C. GROUTED

(9) #5 VERT DOWEL INTO FOOTING TO MATCH VERT REIN

(11) CMU BOND BEAM - GROUT SOLID WITH (2) #5 CONT. HORIZ. REINFORCEMENT

(12) #5 @ 12" OC

 $\langle 13 \rangle$  TOP OF WALL ELEVATION: 139.25

(14) PIN CMU CAP TO BOND BEAM

OTHERWISE NOTED.

8. GROUT AND MASONRY MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY.

9. REINFORCEMENT SHALL BE ASTM A615, GRADE 60. 10. VERTICAL REINFORCING BARS SHALL BE CENTERED IN CELLS UNLESS OTHERWISE NOTED. ALL REINFORCING BARS IN MASONRY SHALL BE FULLY GROUTED FOR THEIR ENTIRE

11. FACE BARS SHALL BE PLACED 1" CLEAR OF FACE SHELL, WHERE (2) BARS ARE REQUIRED IN NOMINAL 8" MASONRY OR SMALLER, PLACE ONE BAR IN EACH OF TWO ADJACENT CELLS.

12. ALL REINFORCING SHALL HAVE A MINIMUM COVERAGE OF 3/4" OF GROUT.

13. CELLS CONTAINING BOLTS SHALL HAVE A MINIMUM OF 1/2" GROUT COVERAGE BETWEEN THE BOLT AND MASONRY AT BLOCK FACE.

14. LAP SPLICE LENGTH FOR REINFORCING BARS IN CONCRETE MASONRY WALLS AS

INDICATED. STAGGER ALL HORIZONTAL REINFORCING BAR SPLICES.

15. ALL MASONRY BELOW GRADE SHALL BE FULLY GROUTED. 16. HORIZONTAL BOND BEAM AND VERTICAL REINFORCING SHALL BE CONTINUOUS UNLESS

17. BOND BEAMS SHALL BE PROVIDED AT THE BOTTOM AND TOP COURSE OF MASONRY WALLS. 18. BOND BEAMS SHALL BE FULLY GROUTED.

19. ALL MASONRY SHALL HAVE 9 GAGE HORIZONTAL WIRE LADDER-TYPE REINFORCING EVERY OTHER COURSE UNLESS NOTED OTHERWISE. REINFORCING SHALL HAVE PREFABRICATED CORNERS AND PREFABRICATED TEES AT WALL INTERSECTIONS.

20. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF CONDUIT, PIPING, DUCTWORK AND OPENINGS IN MASONRY WALLS. PROVIDE ADDITIONAL REINFORCING AT OPENINGS OR SLEEVES AS INDICATED, DO NOT CUT REINFORCING.

21. NO PIPES OR DUCTS SHALL BE EMBEDDED IN MASONRY UNLESS NOTED OR DETAILED ON DRAWINGS. CORING OPENINGS IN GROUTED MASONRY IS NOT PERMITTED. 22. WHERE SLEEVES ARE REQUIRED, INSTALL SLEEVES BEFORE GROUTING. DO NOT CUT ANY

REINFORCING WHICH MAY INTERFERE WITH SLEEVE PLACEMENT.

23. NOTIFY THE ENGINEER OF RECORD IN ADVANCE OF CONDITIONS NOT SHOWN ON THE

24. CMU BLOCK WALL TO BE CONSTRUCTED WITH A RUNNING BOND PATTERN. 25. CMU BLOCK TO BE DOUBLE SIDED SPLIT FACE UNITS. COLOR AND FINISH TO BE SELECTED

26. PROVIDE HALF BLOCKS AT CORNERS AND AT TERMINATION POINTS OF THE WALL TO ENSURE A CONSISTENT SPLIT FACE FINISH ON ALL EXPOSED VERTICAL FACES.

SCALE: 1/2" = 1'-0"

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**PARK-CHARLOTTE PARKING LOT** 500 Woodward Avenue Detroit, MI, 48226

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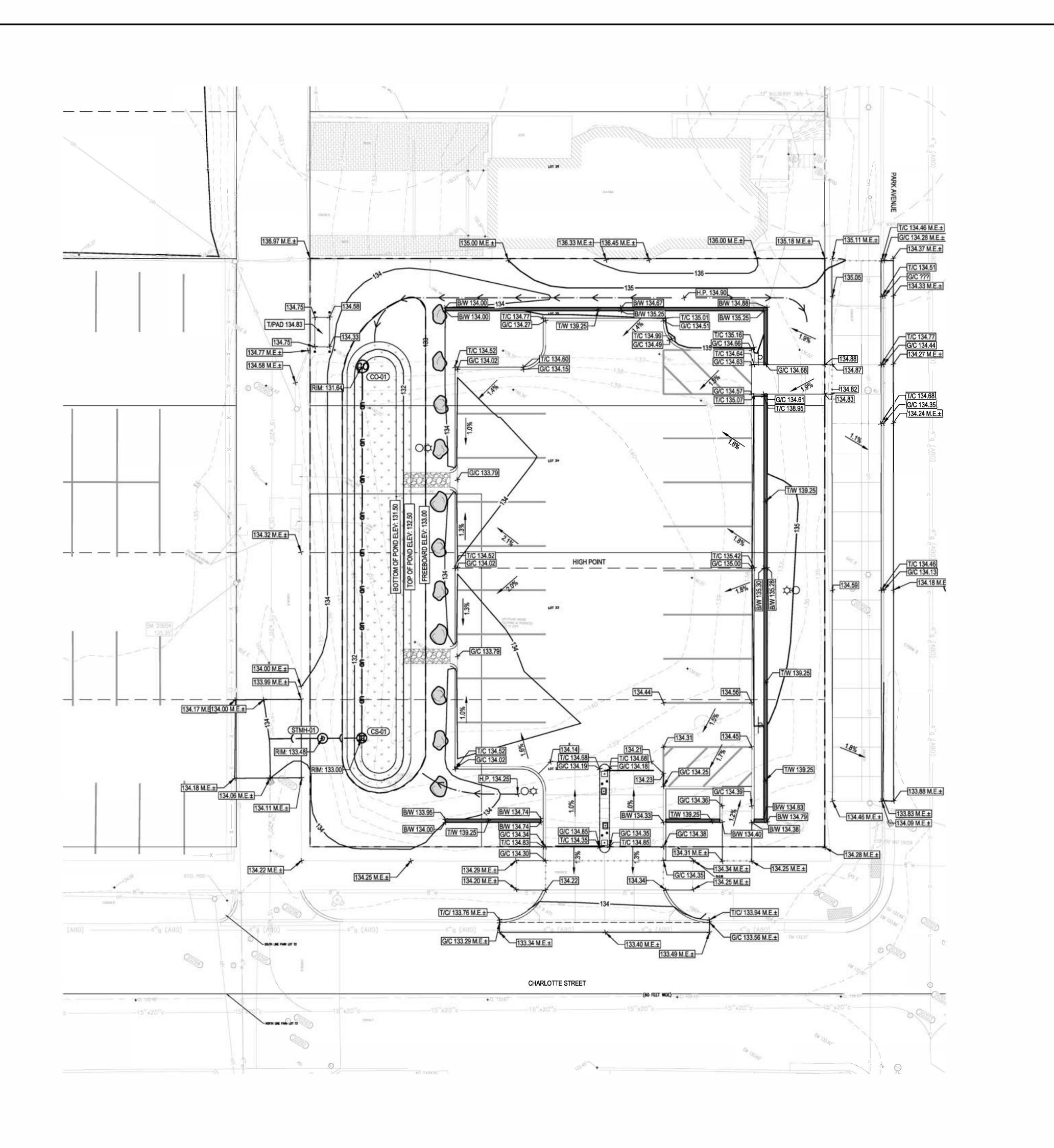
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KEY PLAN

PARK AND CHARLOTTE SURFACE PARKING **DETAILS** 

**AS SHOWN** SCALE PROJECT NUMBER



## LEGEND

2.5% DRAINAGE SLOPE

861.50 PROPOSED SPOT ELEVATION

861.50 M.E. APPROX. SPOT ELEVATION: MATCH EXISTING GRADE

RIM 861.50 STRUCTURE RIM ELEVATION

T/C 861.50

TOP OF CURB ELEVATION

G/C 861.50

GUTTER OF CURB ELEVATION

E/P 861.50

EDGE OF PAVEMENT ELEVATION

T/G 861.50

TOP OF GUTTER ELEVATION

HP 861.50

HIGH POINT ELEVATION

LP 861.50

LOW POINT ELEVATION

T/G 861.50

TOP OF GUTTER ELEVATION

## SHEET NOTES

- I) ENSURE ALL PAVED SURFACES ARE SLOPED FOR POSITIVE DRAINAGE TO NEAREST INLET/SPILLWAY WITHOUT STANDING OR PONDING WATER AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.
- 2) NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN THE SURVEY GRADES AND THE ACTUAL SITE ELEVATIONS.

  3) PROVIDE MINIMUM CROSS-SLOPES OF 0.5% AND MAXIMUM CROSS-SLOPES OF 2.0% ON SIDEWALKS AND PAVER AREAS (INCLUSIVE OF ALL TOLERANCES).
- 4) GRADE ALL PAVEMENT SURFACES UNIFORMLY BETWEEN SPOT ELEVATIONS NOTED ON THE PLANS. (EXCEPT WHERE NOTED OTHERWISE)
- SPOT ELEVATIONS NOTED FOR ADA SIDEWALK RAMPS ARE REFERENCE POINTS ONLY. THE ADA SIDEWALK RAMPS TO BE FIELD VERIFIED AND SHALL BE IN ACCORDANCE WITH MDOT CURB RAMP AND DETECTABLE WARNING DETAILS R-28-K (LATEST EDITION). GRADE LONGITUDINAL GUTTER SLOPES UNIFORMLY BETWEEN SPOT ELEVATIONS AND AS ILLUSTRATED WITH DRAINAGE ARROWS ON THE PLANS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE MODIFIED AS DIRECTED BY THE ENGINEER AND APPROVED. REFERENCE CURB TRANSITIONS NOTED ON GRADING PLANS AT SIDEWALK, TRANSITION TO EXISTING ROADWAYS ADA RAMPS AND ADJACENT TO DRIVEWAY/ALLEY APPROACHES. CURB TRANSITIONS SHALL BE MADE UNIFORMLY WITHOUT ABRUPT CHANGES OR IRREGULARITIES. ENSURE THAT THE TOP OF CURB ELEVATION IS THE SAME AT INTERSECTIONS WITH DIFFERENT CURB TYPES AND EXISTING CURBS
- 8) VERIFY ALL EXISTING SPOT ELEVATIONS ALONG LIMITS OF EXISTING AND NEW PAVEMENT WHERE THE GRADING PLANS NOTE MEET EXISTING (M.E.). NOTIFY THE ENGINEER OF ANY INCONSISTENCIES, DRAINAGE ISSUES, OR SLOPE DISCREPANCIES.
- DRAINAGE ISSUES, OR SLOPE DISCREPANCIES.
  FINISH GRADES SHOWN ARE FINAL SURFACE GRADES AFTER
  COMPLETION OF ALL SURFACE IMPROVEMENTS AND PLACEMENT OF
- 10) GRADE AREAS AT THE PROJECT CONSTRUCTION LIMITS TO MATCH GRADES OF THE ADJACENT PROPERTIES. MEET EXISTING GRADE WITHIN THE ROADWAY AND PAVED AREAS AT THE SAW CUT LINE.
- UTILITY ADJUSTMENTS REQUIRED TO COMPLETE THE PROJECT ARE
  TO BE COORDINATED BY THE CONTRACTOR WITH THE INDIVIDUAL
  UTILITY PROVIDERS. REVIEW, PERMIT, AND INSPECTION FEES
  REQUIRED TO PERFORM THE UTILITY WORK SHALL BE COORDINATED
  BY THE CONTRACTOR AND SHALL BE INCLUDED IN THE BID.
   EXISTING UTILITY STRUCTURES WITHIN PROJECT LIMITS ARE TO BE
- ADJUSTED TO FINISHED GRADE. REPORT IN WRITING TO ENGINEER WHERE PROPOSED CURB CONFLICTS WITH EXISTING UTILITY STRUCTURE, PROCEED ONLY AS DIRECTED BY ENGINEER.

  13) THE WORK SHALL BE PERFORMED IN COMPLETE CONFORMANCE
  - STRUCTURE, PROCEED ONLY AS DIRECTED BY ENGINEER.

    THE WORK SHALL BE PERFORMED IN COMPLETE CONFORMANCE
    WITH THE CURRENT CITY OF DETROIT STANDARD SPECIFICATIONS
    AND DETAILS UNLESS OTHERWISE NOTED.



PARK-CHARLOTTE
PARKING LOT
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Detroit, MI, 48226

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REV DATE

DATE

DATE

DATE

KEY PLAN

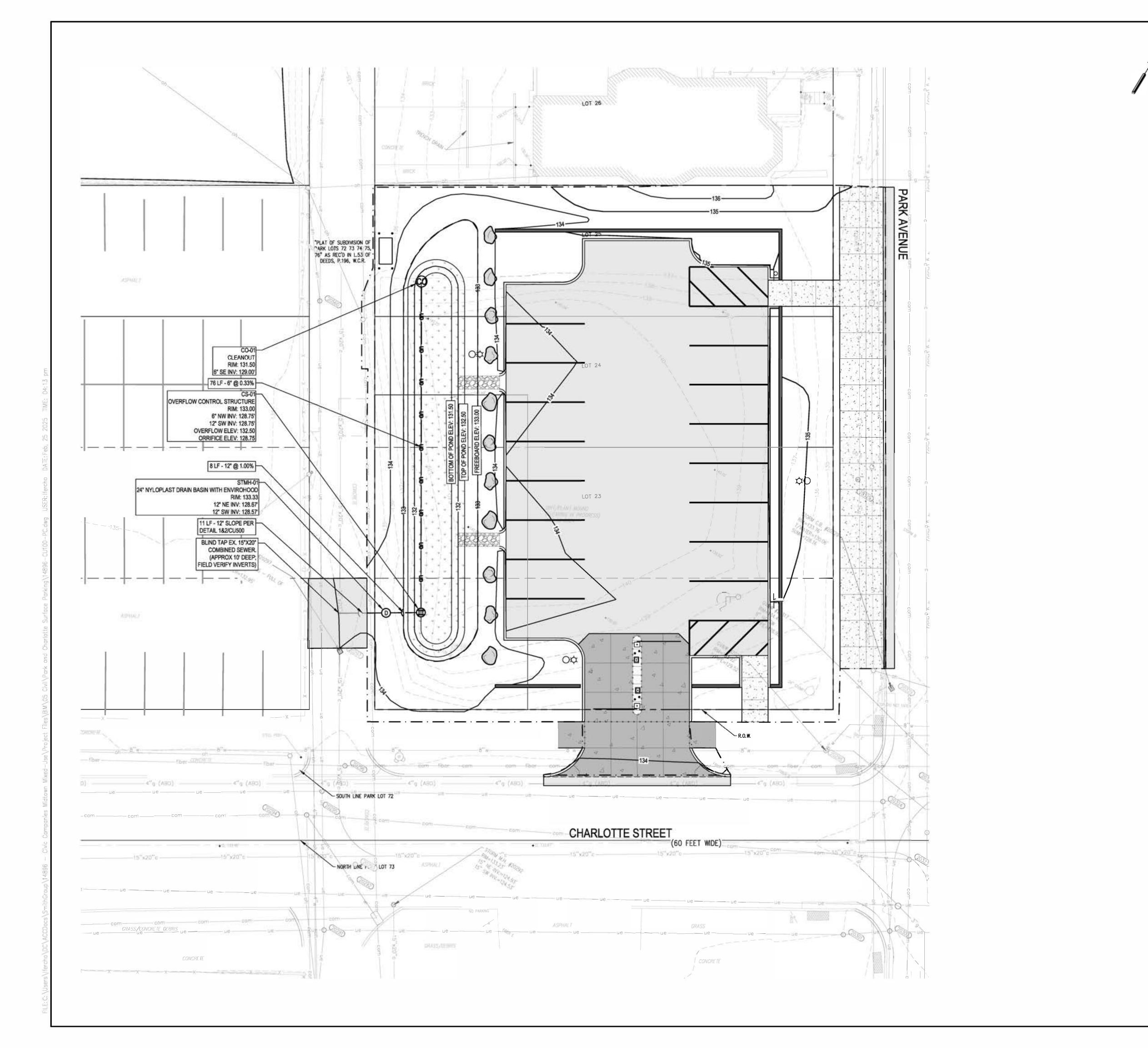
SEALS AND SIGNATURES





PARK AND CHARLOTTE
SURFACE PARKING
GRADING PLAN

1" = 10'
SCALE
14896
PROJECT NUMBER



## LEGEND

———— WATER MAIN

——E —— ELECTRICAL LINE UNDERGROUND

———T ——— TELECOM LINE UNDERGROUND

—— FIRE —— FIRE WATER LINE

D STORM MANHOLE

STORM CURB INLET

STORM WATER QUALITY STRUCTURE

S STORM CONTROL STRUCTURE

# PARK-CHARLOTTE PARKING LOT 500 Woodward Avenue

Detroit, MI, 48226

## SHEET NOTES

- STORM SEWER WORK INDICATED ON THESE DRAWINGS SHALL REQUIRE A DETROIT WATER AND SEWERAGE DEPARTMENT (DWSD) PERMIT TO BE OBTAINED BY THE CONTRACTOR. NOTIFY AND COORDINATE WITH PERMIT INSPECTOR A MINIMUM OF 48 HOURS PRIOR TO THE INITIATION OF STORM SEWER CONSTRUCTION WORK. VERIFY EXISTING UTILITY LINE AND STRUCTURE LOCATIONS AND DEPTHS IN THE FIELD. REPORT DISCREPANCIES BETWEEN FIELD
- CONDITIONS AND SURVEY TO THE ENGINEER.

  NOTIFY OWNER AND ENGINEER AT LEAST FIVE (5) BUSINESS DAYS IN

  ADVANCE OF ANY UTILITY SERVICE INTERRUPTIONS TO COORDINATE

  WITH IMPACTED PROPERTY OWNERS, MINIMIZE SERVICE SHUTDOWN

  AND SCHEDULE WITH OWNER DURING NON-PEAK HOURS..
- AND SCHEDULE WITH OWNER DURING NON-PEAK HOURS..
  EXISTING UTILITY STRUCTURES WITHIN PROJECT LIMITS ARE TO BE
  ADJUSTED TO FINISHED GRADE UNLESS NOTED OTHERWISE.
- 5) UTILITY ADJUSTMENTS REQUIRED TO COMPLETE THE PROJECT ARE TO BE COORDINATED BY THE CONTRACTOR WITH THE INDIVIDUAL UTILITY PROVIDERS. REVIEW, PERMIT, AND INSPECTION FEES REQUIRED TO PERFORM THE UTILITY WORK SHALL BE COORDINATED BY THE CONTRACTOR AND SHALL BE INCLUDED IN THE BID.
- EXISTING UTILITY STRUCTURES WITHIN PROJECT LIMITS ARE TO BE ADJUSTED TO FINISHED GRADE. REPORT IN WRITING TO ENGINEER WHERE PROPOSED CURB CONFLICTS WITH EXISTING UTILITY STRUCTURE, PROCEED ONLY AS DIRECTED BY ENGINEER.

  PIPE CONNECTORS AT MANHOLES TO BE IN ACCORDANCE WITH ASTM C923, OR PER PIPE MANUFACTURER'S AND DWSD
- SPECIFICATIONS.
  FOR ALL DIRECT TAPS TO EXISTING STRUCTURES, FIELD CORE DRILL
  EXISTING STRUCTURE TO ACCOMMODATE PROPOSED PIPE SIZE.
- GROUT PIPE OPENING TO BE WATERTIGHT.

  9) ALL MANHOLE AND CATCH BASIN COVERS SHALL BE BOLTED DOWN PER DWSD STANDARDS.
- PROVIDE MINIMUM 18" VERTICAL SEPARATION BETWEEN EXISTING
   AND PROPOSED WATER LINES AND SANITARY OR STORM SEWERS,

MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.

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SEALS AND SIGNATURES

ISSUED FOR BID

PROJECT NORTH

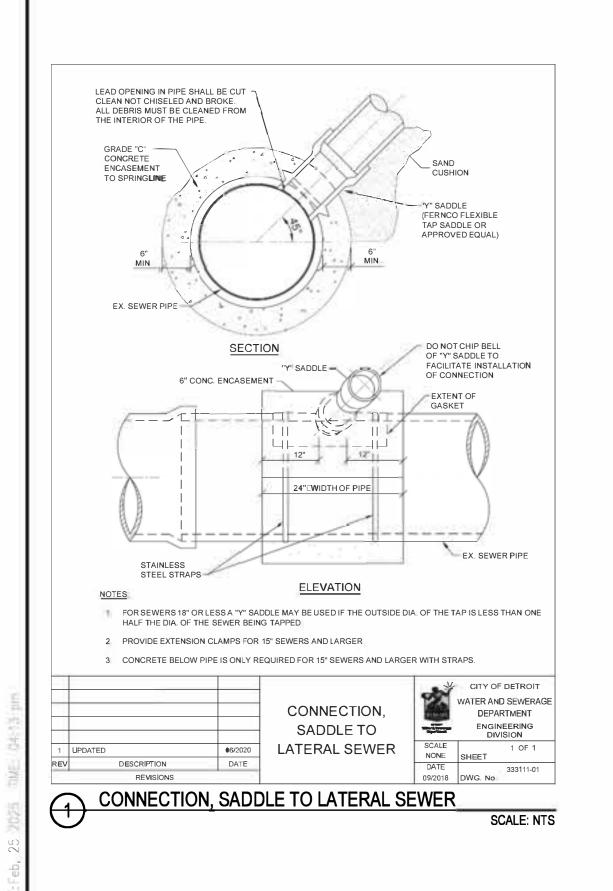
00 26 FEB 2025

PARK AND CHARLOTTE
SURFACE PARKING
UTILITY PLAN

SCALE: 1" = 10'

PROJECT NUMBER

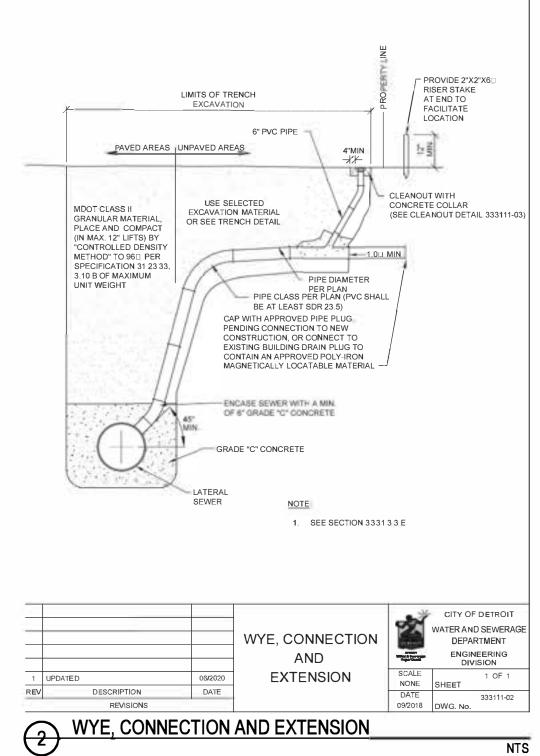
CU100

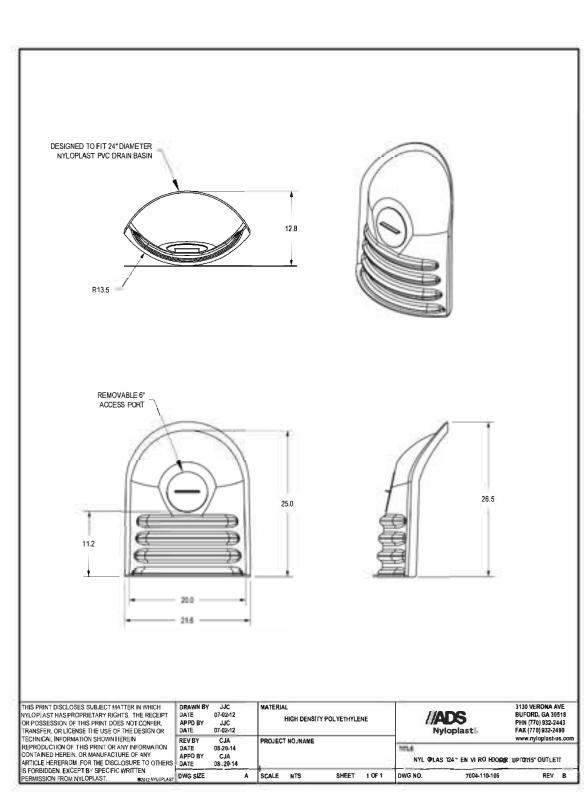


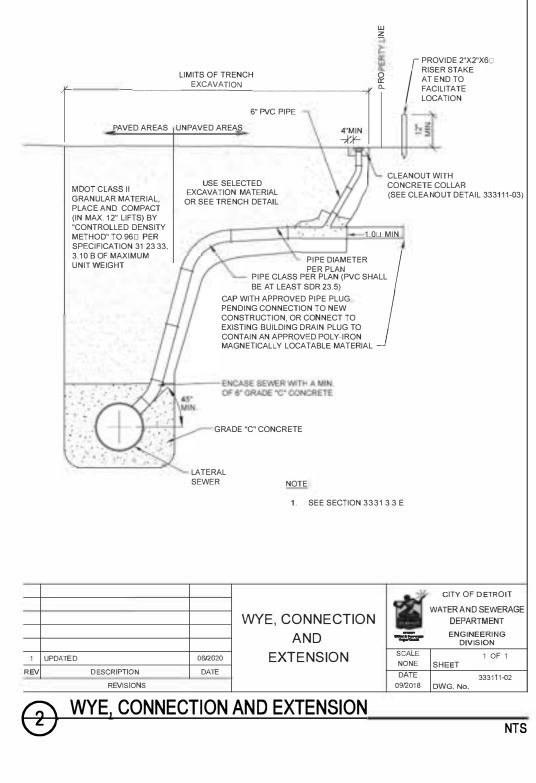
24" NYLOPLAST -STANDARD GRATE

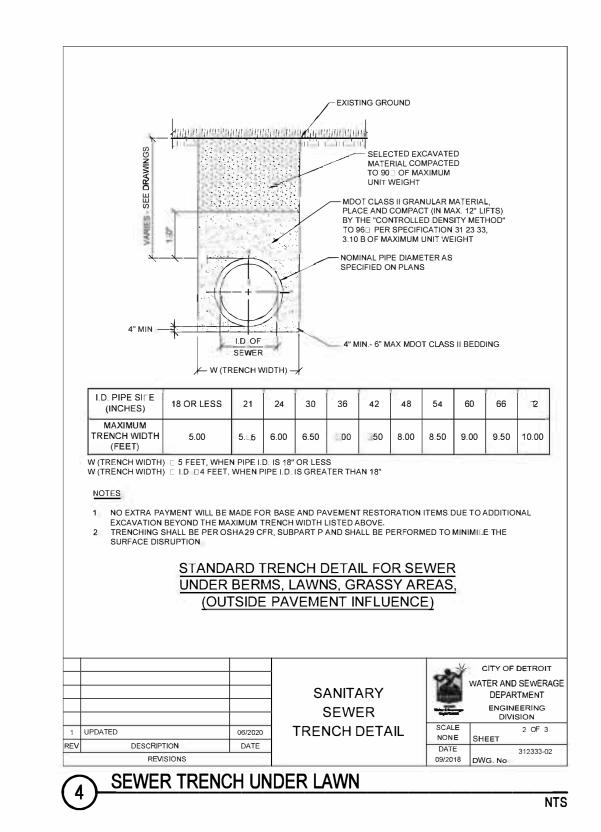
12" STANDPIPE —

24" NYLOPLAST WATER — CONTROL STRUCTURE









MDOT CLASS II GRANULAR MATERIAL PLACE AND COMPACT (IN MAX. 12" LIFTS) BY THE "CONTROLLED DENSITY METHOD" TO 96 PER SECTION 31 23 33, 3.10 B OF

SPECIFIED ON PLANS

4" MIN.- 6" MAX MDOT CLASS II BEDDING

CITY OF DETROIT
WATER AND SEWERAGE
DEPARTMENT

NONE SHEET

DATE

312333-01

SCALE

WATER AND SEWERAGE

ENGINEERING DIVISION

1 OF 3

MAXIMUM UNIT WEIGHT

18 OR LESS | 21 | 24 | 30 | 36 | 42 | 48 | 54 | 60 | 66

TRENCH WIDTH 5.00 5.L6 6.00 6.50 L00 C.50 8.00 8.50 9.00 9.50 10.00

NO EXTRA PAYMENT WILL BE MADE FOR BASE AND PAVEMENT RESTORATION ITEMS DUE TO ADDITIONAL

3. TRENCHING SHALL BE PER OSHA 29 CFR, SUBPART P AND SHALL BE PERFORMED TO MINIMICE THE SURFACE DISRUPTION

STANDARD TRENCH DETAIL FOR SEWER

CURBS, GRAVEL ROADS AND ALLEYS

SANITARY

SEWER

TRENCH DETAIL

UNDER ROAD BED, PARKING LOTS, SIDEWALKS, DRIVEWAYS,

W (TRENCH WIDTH) 5 FEET, WHEN PIPE I.D. IS 18" OR LESS
W (TRENCH WIDTH) 1.D. 14 FEET, WHEN PIPE I.D. IS GREATER THAN 18"

I.D. PIPE SI□E (INCHES)

MAXIMUM

W (TRENCH WIDTH)

EXCAVATION BEYOND THE MAXIMUM TRENCH WIDTH LISTED ABOVE
REFER TO PAVEMENT RESTORATION DETAILS FOR BASE AND PAVEMENT WIDTH

SEWER TRENCH UNDER PAVEMENT



**PARK-CHARLOTTE PARKING LOT** 500 Woodward Avenue Detroit, MI, 48226

## **SMITHGROUP**

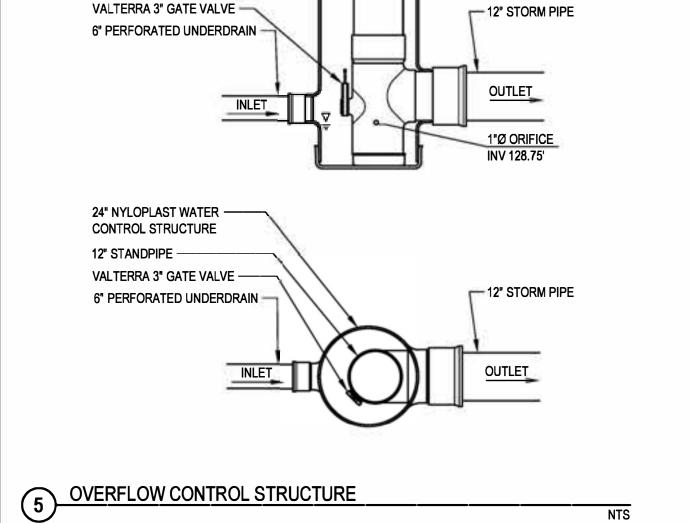
500 GRISWOLD **SUITE 1700** DETROIT, MI 48226 313.983.3600 www.smithgroup.com

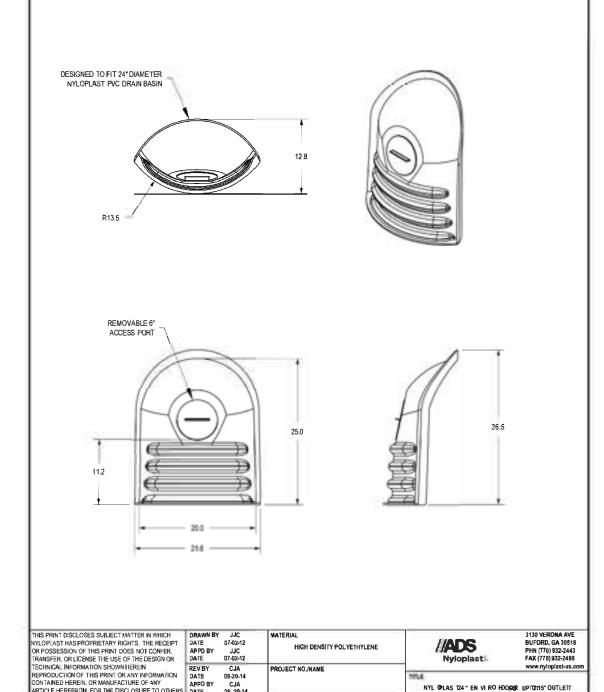
ISSUED FOR BID	00	26 FEB 2025
SEALS AND SIGNATURES		

KEY PLAN

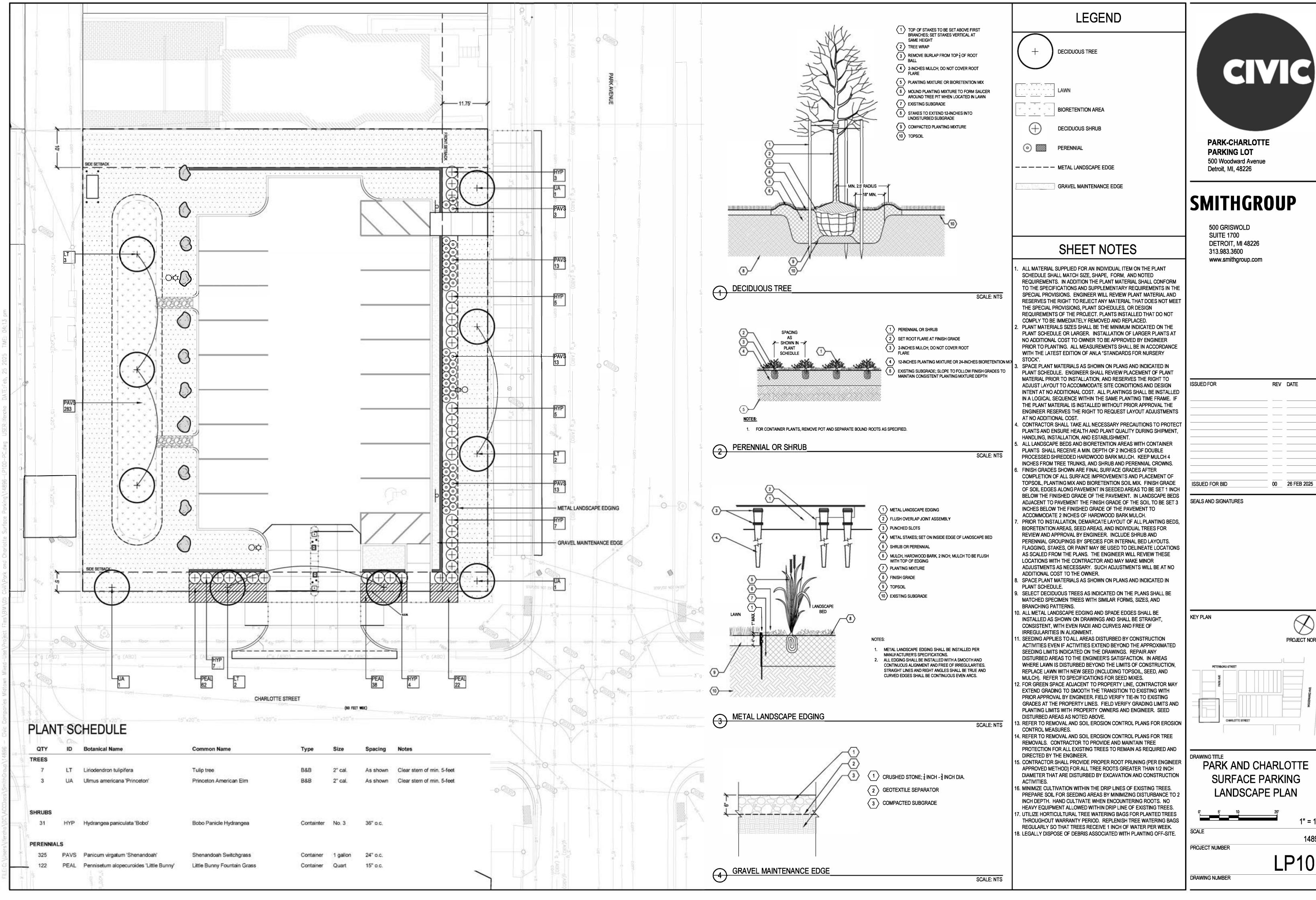
PARK AND CHARLOTTE SURFACE PARKING UTILITY DETAILS

AS SHOWN PROJECT NUMBER CU500 DRAWING NUMBER





(6) NYLOPLAST ENIVORHOOD





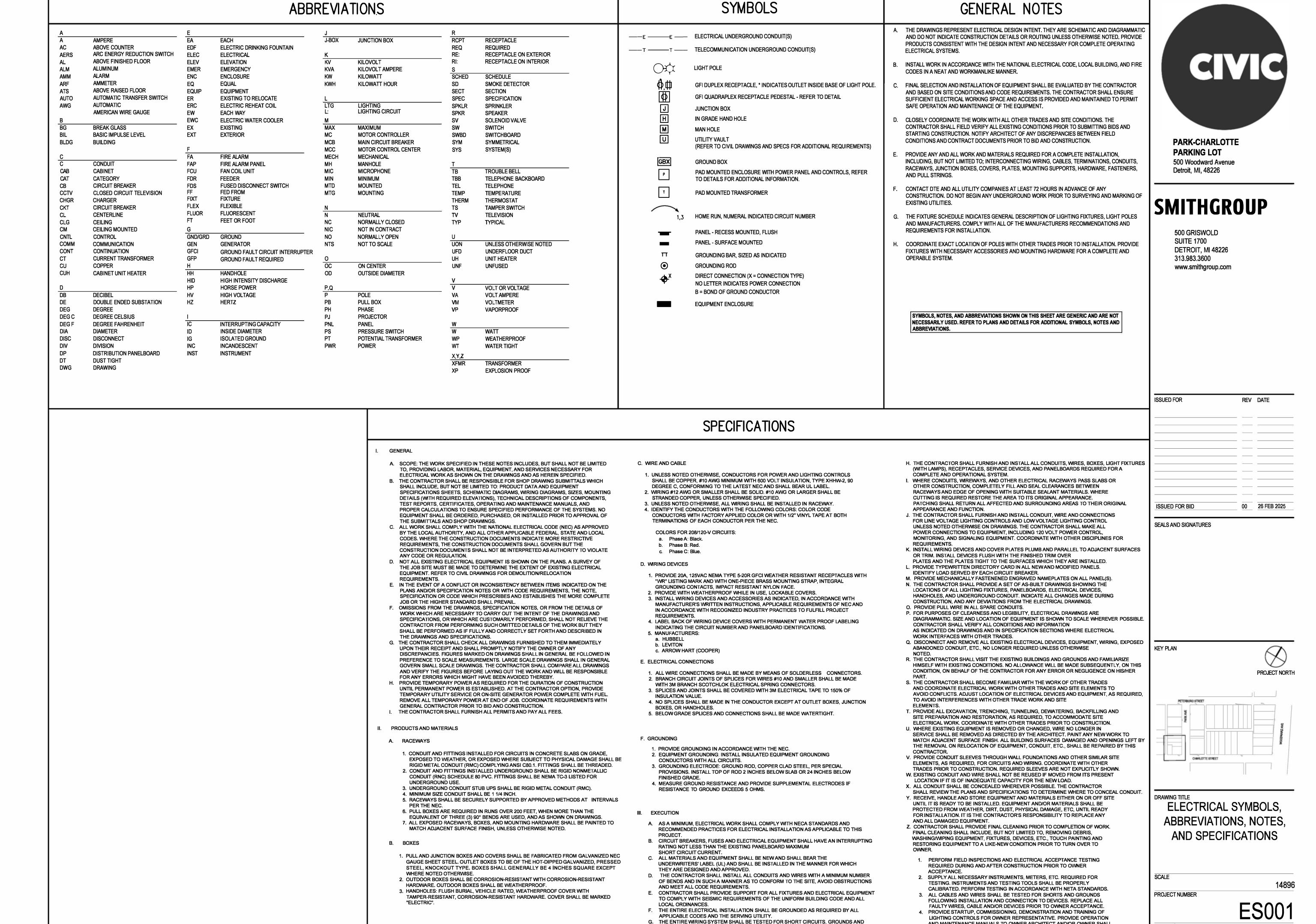
REV DATE





PARK AND CHARLOTTE SURFACE PARKING

0' 5'	10	20'
		1" = 10
SCALE		1489
PROJECT NUMBE	R	
		I P10



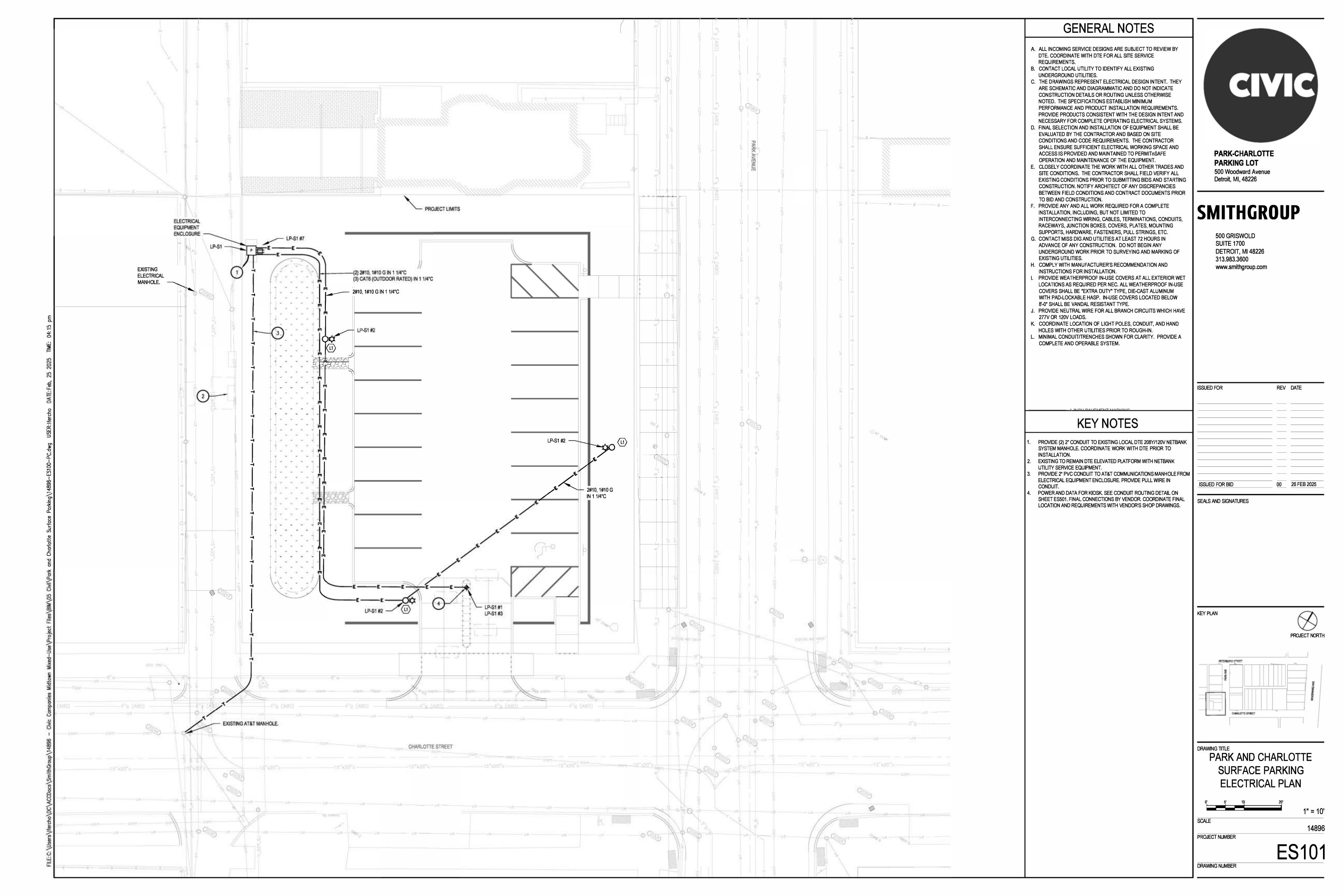
INSULATION RESISTANCE BETWEEN CONDUCTORS AND TO GROUND. PRIOR TO

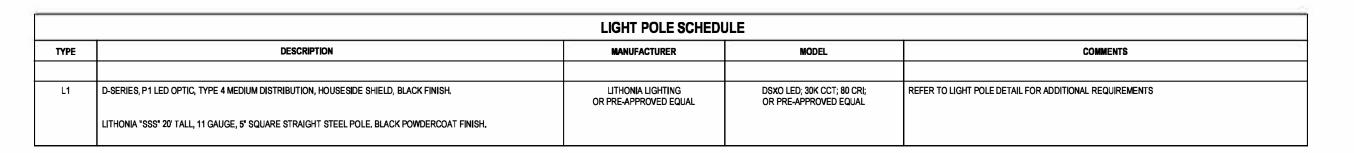
H. FINAL ACCEPTANCE BY OWNER.

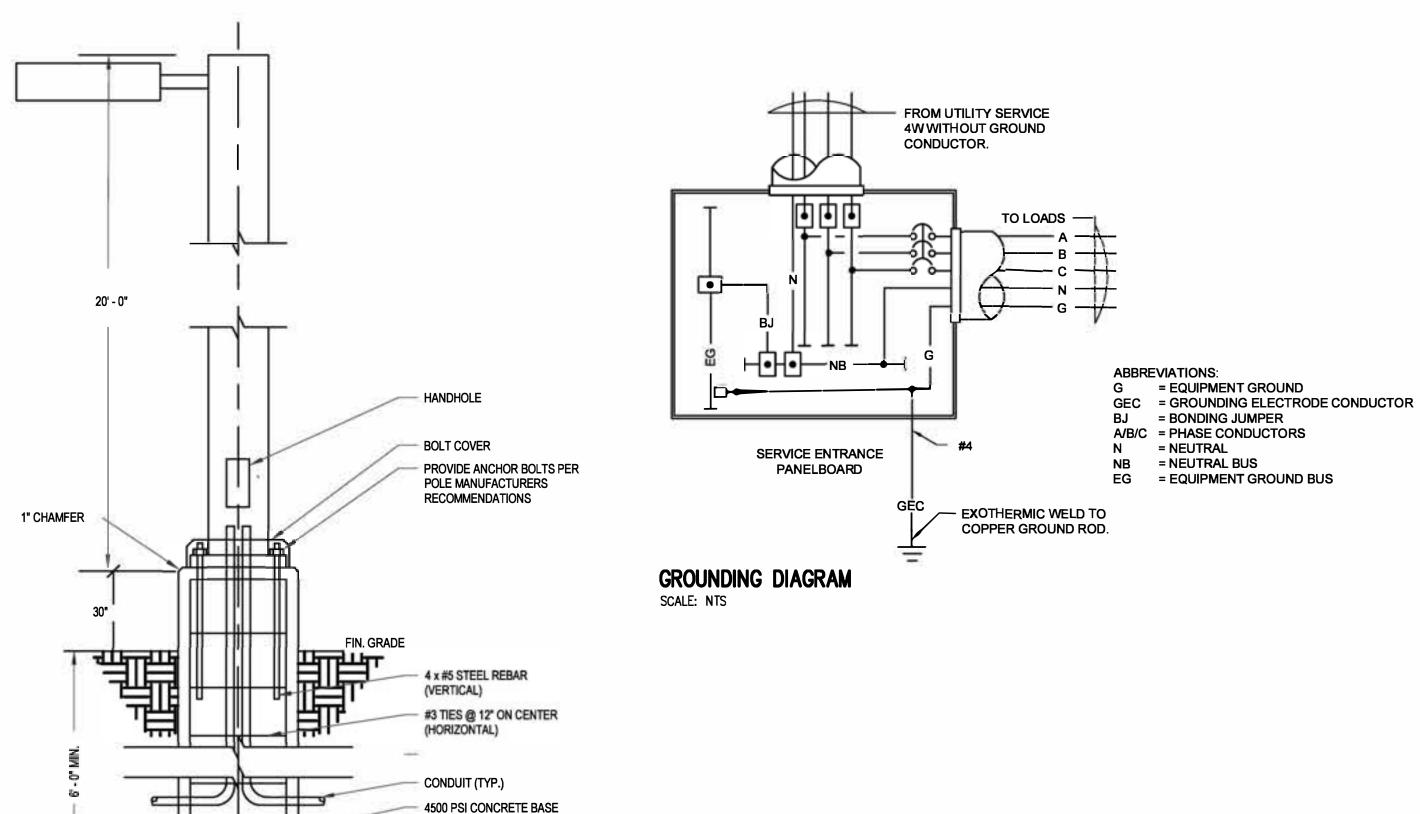
DRAWING NUMBER

AND MAINTENANCE MANUALS TO OWNER.ARCHITECT AND/OR OWNER SHALL

HAVE THE OPTION TO WITNESS TESTING UPON REQUEST.





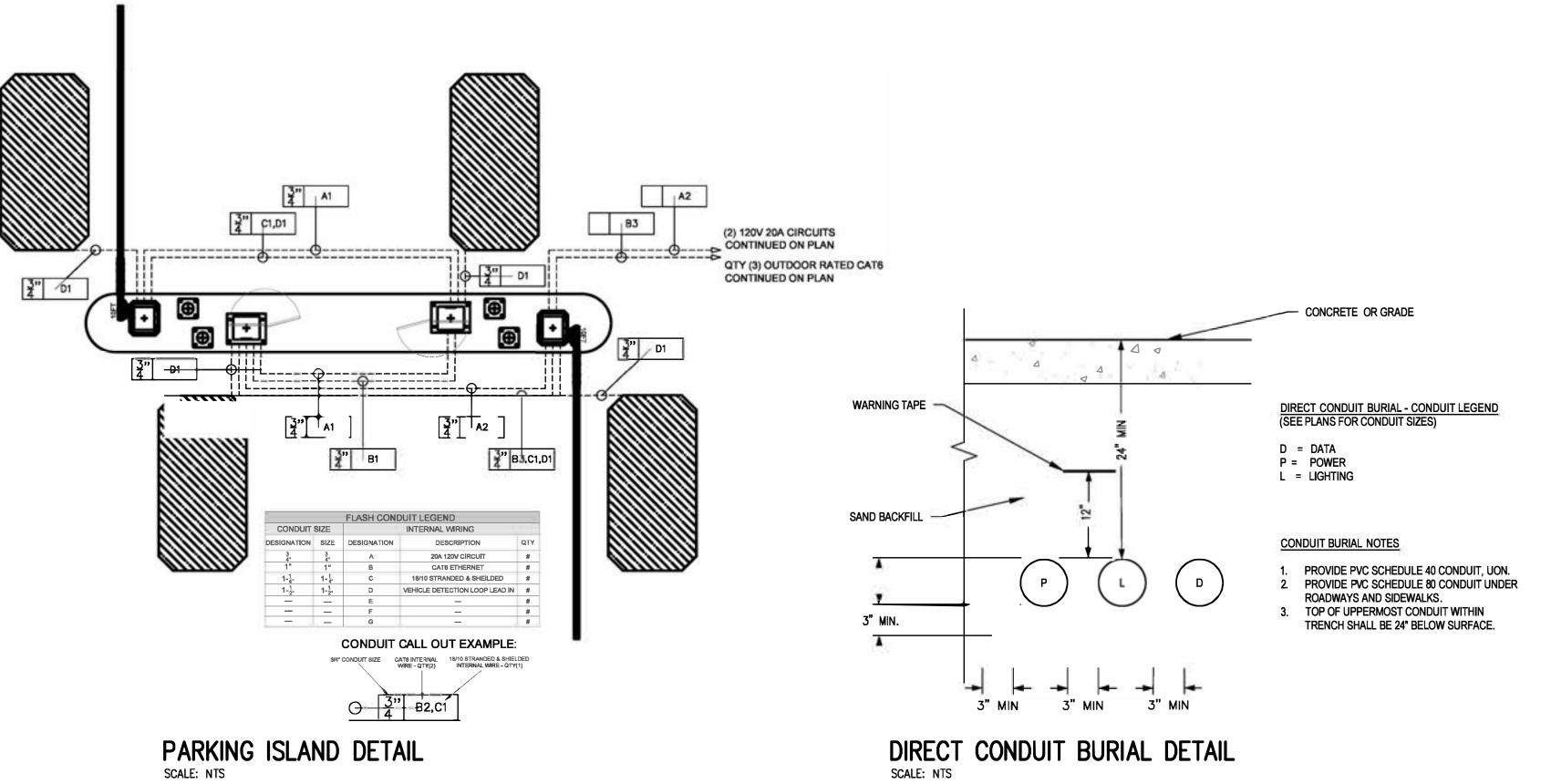


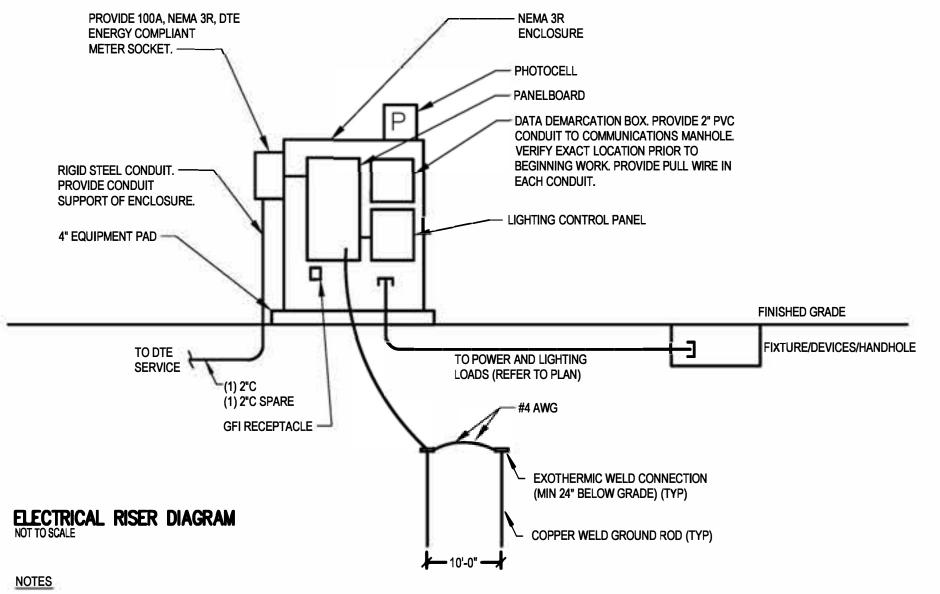
WITH REINFORCING STEEL

CAGE

## LIGHT POLE DETAIL

3" (TYP)



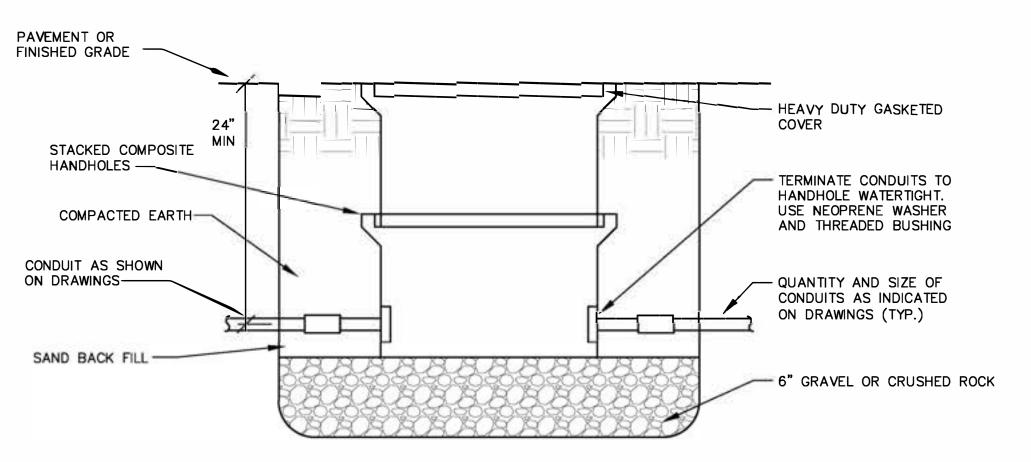


1. COORDINATE WORK WITH UTILITY PRIOR TO INSTALLATION.

2. PROVIDE WEATHERPROOF OUTDOOR ENCLOSURE. PROVIDE THE FOLLOWING FEATURES: - NEMA 3R - 208V, 3 PHASE, 200A, MCB PANELBOARD, - LIGHTING CONTROL ENCLOSURE WITH: - ASTRONOMICAL DIGITAL TIME CLOCK WITH: - DAY/WEEK/SEASON PROGRAMMING AND PHOTOCELL INTEGRATION - INTEGRAL HEATER - TERMINAL CABINET

#### 3. PROVIDE DEFAULT GREY COLOR ENCLOSURES.

Panel Designation	on: LP-S	31					Main:	10	00A B	REAKER			P-P V	/oltage:	208
Panel Location	on: PARK A	NDCHA	RLOTTE			Bu	ssing	10	00A				P-N V	/oltage:	120
Fed Fro	m: DTE UNI	DERGRO	und ser	VICE	Gı	ounc	Bus:	ST	AND	ARD				Phase:	3
Feeder Siz	ze: 100A					Mou	nting:	SL	JRFA	CE				Wire:	4
						Ne	utral:	10	00%		Mi	n SC Inte	errupting	Rating:	65KA
Remarks	Light Load	Recept Load	Cont Load	nonC Load	OC Prot	СКТ	L L 1 2	L 3	СКТ	OC Prot	nonC Load	Cont Load	Recept Load	Light Load	Remarks
KIOSK GATE POWER			180		20	1	Х	T	2	20	-			90	PARKING LOT LIGHTING
KIOSK GATE POWER			180		20	3	X		4	20					Spare
DATA DEMARC ENCLOSURE			300		20	5		X	6	20					Spare
ENCLOSURE RECEPTACLE		180	ľ		20	7	Х		8	20					Spare
LIGHTING CONTROL ENCLOSURE			150		20	9	X	Т	10	20					Spare
LIGHTING ENCLOSURE HEATER			1000		20	11	X		12	20					Spare
DATA ENCLOSURE HEATER			1000		20	13	3	X	14	20	Jan 1			W - 5	Spare
Spare					20	15	X	П	16	20					Spare
Spare			1 2		20	17	X		18	20					Spare
Space						19	Х	Г	20						Space
Space						21	1	X	22		ll.				Space
Space						23	X	Т	24						Space
Space					•										2
		Connect	ed Load				Demo	and	1			Demai	nd Load		
Load Description	L1	L2	L3	Total			Fac	tor			L1	L2	L3	Total	
Lighting or Continous Load (Volt-Amps)	90	90	0	180			1.0	0			90	0	0	90	
180VA Receptacle Load (Volt-Amps)	0	0	180	180		1.00	(First	104	(VA)		0	0	180	180	
	An	nount ove	er 10kVA	0		0.5	0 (> 1	0k	VA)		0	0	0	0	
Continuous Load (Volt-Amps)	1630	0	1180	2810							1630	0	1180	2810	
Non-Continuous Load (Volt-Amps)	0	0	0	0							0		•	0	
Total Load (kVA)	1.72	0.09	1.36	3.17	125%	of Lig	ht/Co	nte	and R	ecept	1.72	0.00	1.36	3.08	
Total Ampacity (Amps)	14.3	0.8	11.3	15.2	•	,	•		other		14.3	0.0	11.3	14.8	
Minimum Feeder Sizing (Amps)	17.9	0.8	14.2	18.9	<	per N	EC Ar	icle	215.:	2>	17.9	0.0	14.2	18.5	



HAND HOLE SCALE: NTS

1. PROVIDE STACKED HAND HOLES TO DEPTH NECESSARY FOR SIDE ENTRY. 2. PROVIDE VEHICLE RATED HAND HOLES.

SIZE PER NEC.

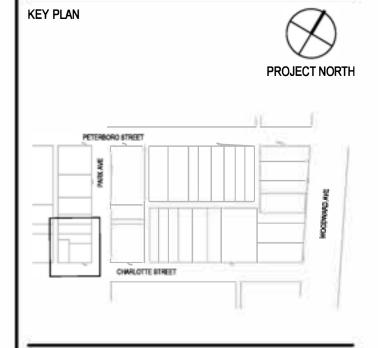


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ISSUED FOR REV DATE 00 26 FEB 2025 ISSUED FOR BID SEALS AND SIGNATURES



DRAWING TITLE ELECTRICAL DIAGRAMS, DETAILS, AND SCHEDULES

SCALE PROJECT NUMBER ES501

