

VICINITY MAP  
(NOT TO SCALE)

#### PARKING

NO MARKED PARKING ON SITE.

#### BASIS OF BEARING

NORTH 64°00'00" EAST, BEING THE NORTHERLY LINE OF KERCHEVAL AVENUE, AS PLATTED

#### BENCHMARK

**SITE BENCHMARK #1**  
ARROW ON HYDRANT ON NORTH SIDE OF KERCHEVAL AVE 45± WEST OF BALDWIN ST.  
ELEVATION = 605.56' (NAVD 88)

**SITE BENCHMARK #2**  
ARROW ON HYDRANT ON NORTHWEST CORNER OF KERCHEVAL AVE AND TOWNSEND ST.  
ELEVATION = 605.28' (NAVD 88)

#### SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS AND DRAWINGS PROVIDED BY VARIOUS UTILITY COMPANIES AND/OR MUNICIPAL AGENCIES. UNDERGROUND UTILITIES WHICH ARE LOCATED ON PRIVATE PROPERTY ARE TYPICALLY NOT SHOWN ON PLANS PROVIDED BY THE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

3. THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

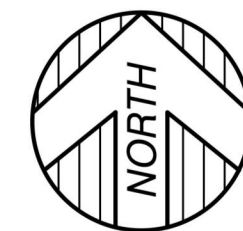
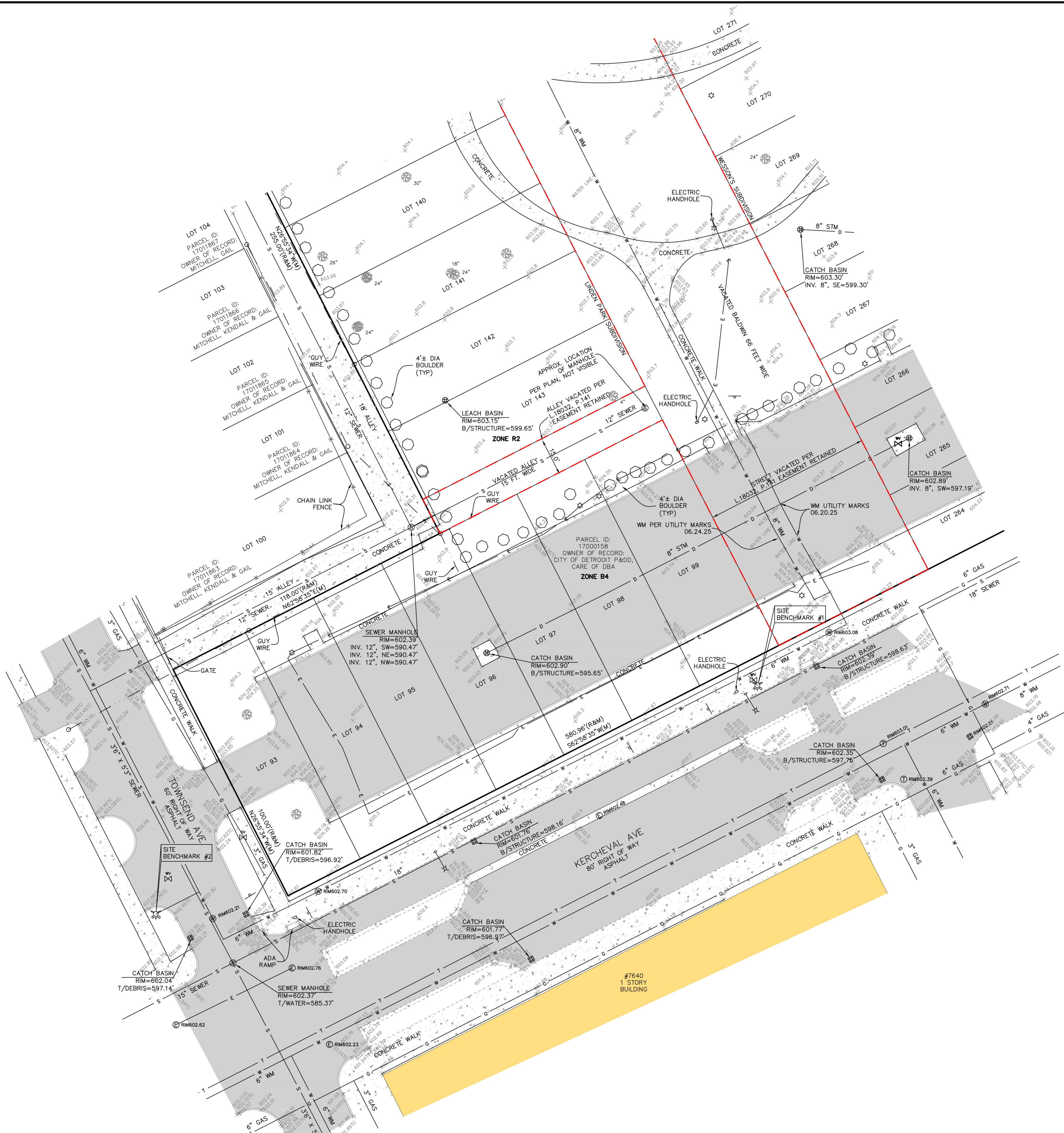
#### LEGEND

● (R&M)	SET 1/2" REBAR WITH CAP P.S. 47976
(R)	RECORD AND MEASURED DIMENSION
(M)	RECORD DIMENSION
0.00	MEASURED DIMENSION
⊙	GROUND ELEVATION
⊙	ELECTRIC MANHOLE
⊙	UTILITY POLE
⊙	GAS VALVE
⊙	LIGHT POLE WITH STREET LAMP
⊙	TELEPHONE MANHOLE
⊙	SEWER MANHOLE
⊙	ROUND CATCH BASIN
⊙	SQUARE CATCH BASIN
⊙	FIRE HYDRANT
⊙	WATER GATE MANHOLE
⊙	WATER VALVE
⊙	LIGHTPOST/LAMP POST
⊙	SINGLE POST SIGN
⊙	DECIDUOUS TREE (AS NOTED)
⊙	CONIFEROUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	CONCRETE CURB
---	RAISED CONCRETE
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	EDGE OF BRICK
---	FENCE (AS NOTED)
---	OVERHEAD UTILITY LINE
---	ELECTRIC LINE
---	GAS LINE
---	SEWER LINE
---	STORM LINE
---	WATER LINE
---	FLOOD LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	BUILDING AREA
---	ASPHALT
---	CONCRETE

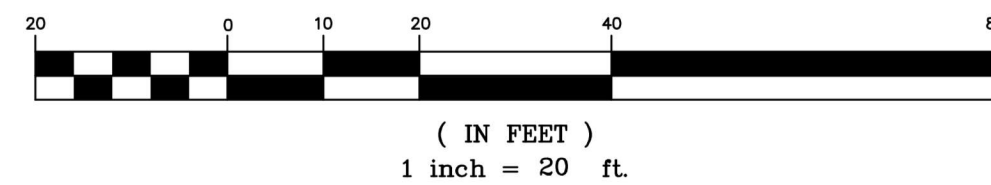
PRIOR TO CONSTRUCTION ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.



Know what's below.  
811 before you dig.



GRAPHIC SCALE



#### PARENT PARCEL PROPERTY DESCRIPTION

THE LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

LOTS 93 THROUGH 99; LOTS 136 THROUGH 143, TOGETHER WITH THE WEST 33 FEET OF VACATED BALDWIN AVENUE LYING ADJACENT THERETO, ALSO THE VACATED ALLEY, ALL IN LINDEN PARK SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 16 OF PLATS, PAGE 5, WAYNE COUNTY RECORDS. ALSO LOTS 264, THROUGH 275, THE SOUTH 25 FEET OF LOT 109, LOTS 110 THROUGH 120 AND THE EAST 33 FEET OF VACATED BALDWIN AVENUE LYING ADJACENT THERETO, ALSO THE WEST 28 FEET OF VACATED SEYBURN AVENUE LYING ADJACENT THERETO AND THE VACATED ALLEY ALL IN WESSON'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 16 OF PLATS, PAGE 91, WAYNE COUNTY RECORDS.

#### TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 706890, DATED APRIL 09, 2025, AND REJUSTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

2. RESERVATIONS FOR PUBLIC UTILITY EASEMENTS RECORDED IN LIBER 180332, PAGE 141. (AS SHOWN; SEE DOCUMENT FOR TERMS AND CONDITIONS)

#### ZONING REGULATIONS

R2 - TWO FAMILY RESIDENTIAL DISTRICT  
B4 - GENERAL BUSINESS DISTRICT

SETBACKS PER USE

NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF DETROIT WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

#### FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:

SPECIAL FLOOD HAZARD AREA (ZONE X): AREA OF MINIMAL FLOOD HAZARD

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26163C02B2F, DATED 10/21/2021, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

#### SURVEYOR'S CERTIFICATION

TO CINNAIRE TITLE SERVICES, LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ARRIVE COMMUNITY DEVELOPMENT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B1, 8, 9, 10, 11A, 11B, 13, 16, 17, 18 AND 19 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 05/08/25.

DATE OF PLAT OR MAP: 05/28/25

ANTHONY T. SYCKO, JR., P.S.  
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ALTA / NSPS LAND TITLE SURVEY  
PREPARED FOR: ARRIVE COMMUNITY DEVELOPMENT  
7737 KERCHEVAL AVENUE, DETROIT, MICHIGAN  
PART OF PRIVATE CLAIM 16, LYING BETWEEN  
KERCHEVAL AVE. AND WATERLOO ST.

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