

Woodward & Adams

31 East Adams Avenue Detroit MI 48226

PROJECT DESCRIPTION:

The Woodward and Adams project, located at 31 E. Adams Ave in downtown Detroit, is an adaptive reuse of the existing historic Church House at the Central United Methodist Church located. The building is a 6-story 52,750 GSF masonry elevator building with a basement. The proposed project will add 39 dwelling units of permanent supportive housing consisting of studios and 1 bedroom units. In addition this will include added amenity space, supportive services, a new elevator, trash room, upgraded MEP equipment, and future office space for; Noah at Central, the Central United Methodist Church, and its partner organizations. The scope of work is to include exterior repair and cleaning of the facade, removal of an existing exterior ramp, roof replacement, restoration of historic windows, and modification of select windows at the rear elevation with added skylights at the roof deck. The existing commercial retail space is to remain.

BUILDING AND SITE STANDARDS

SITE INFORMATION

- ZONE : B5
- LOT AREA : 20,801 sq ft
- HISTORIC DISTRICT : GRAND CIRCUS PARK LOCAL HISTORIC DISTRICT

BUILDING INFORMATION

- NUMBER OF DWELLING UNITS : 39
- BEDROOM COUNT DISTRIBUTION :
(30) STUDIO/1BA
(9) 1BR/1BA

BUILDING HEIGHT

- NO. STORIES : 6
- PER ZONING ORDINANCE: 86'-6"

BUILDING AREA

- GROSS FLOOR AREA PER ZONING ORDINANCE: 57,043

PARKING AND LOADING

- NUMBER OF OFF-STREET PARKING : N/A
- NUMBER OF BIKE PARKING : N/A
- NUMBER OF EV CHARGING STATIONS : N/A
- LOADING ZONE : YES - Existing Loading

LEGAL DESCRIPTION

LAND IN THE CITY OF DETROIT, WAYNE COUNTY, MI, DESCRIBED AS FOLLOWS:LOTS 1 THROUGH 9, INCLUSIVE, EXCEPT WOODWARD AVENUE, AS WIDENED, PLAT OF WILLIAMS PARK LOTS 1, 2, 3, AND 4, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 1, PAGE 39 OF PLATS, WAYNE COUNTY RECORDS.

PROJECT TEAM

OWNER / DEVELOPER
FULL CIRCLE COMMUNITIES
310 SOUTH PEORIA STREET #500
CHICAGO, IL 60607

PARTNER ORGANIZATION
NOAH AT CENTRAL
23 EAST ADAMS
DETROIT, MI 48226

ARCHITECT
LBBA LTD.
1625 W CARROLL AVENUE
CHICAGO, IL 60612

CONTRACTOR
O'BRIEN CONSTRUCTION
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD, MI 48302

CIVIL ENGINEER
PEA GROUP
45 W. GRAND RIVER AVENUE, SUITE 501
DETROIT, MI 48226

ZONING MATRIX

	Issue	Chapter/Article	Existing / Required	Proposed
Zoning Lot & Use	Zoning district		B5 Major Business District & Central Business District	Existing / No Change
	Overlay District	50-11-442	Downtown Overlay Area	
	Historic District		Grand Circus Park	
	By-right residential uses	50-9-134	N/A	Multiple-family dwelling having ground floor commercial or other space oriented to pedestrian traffic
	By-right retail, service, and commercial uses	50-9-136	Office, business, or professional; Retail	Office, business, or professional; Retail
Bulk & Intensity Standards	Front Setback	50-13-46	No limit	Existing / No Change
	Side Setback			
	Rear Setback			
	Max Building Height			
	Max Lot Coverage			
	Max FAR			
Parking & Loading	Off Street Parking	50-14-7	None required	None required
	Off Street Loading	50-14-111	No New Loading Required	Existing Loading to Remain - see note*
	Bicycle Parking		None required	N/A

*50-14-2(3) *Change of use.* Except as provided for in Subdivision F of this division, off-street parking and loading facilities shall be provided for any change of use that, based on the off-street parking schedules of Subdivisions B and C of this division or the off-street loading schedule of Subdivision D of this division, would result in a requirement for more parking or loading spaces than the former use. Additional parking or loading spaces shall be required only in proportion to the extent of the change, and not for the entire building or use.

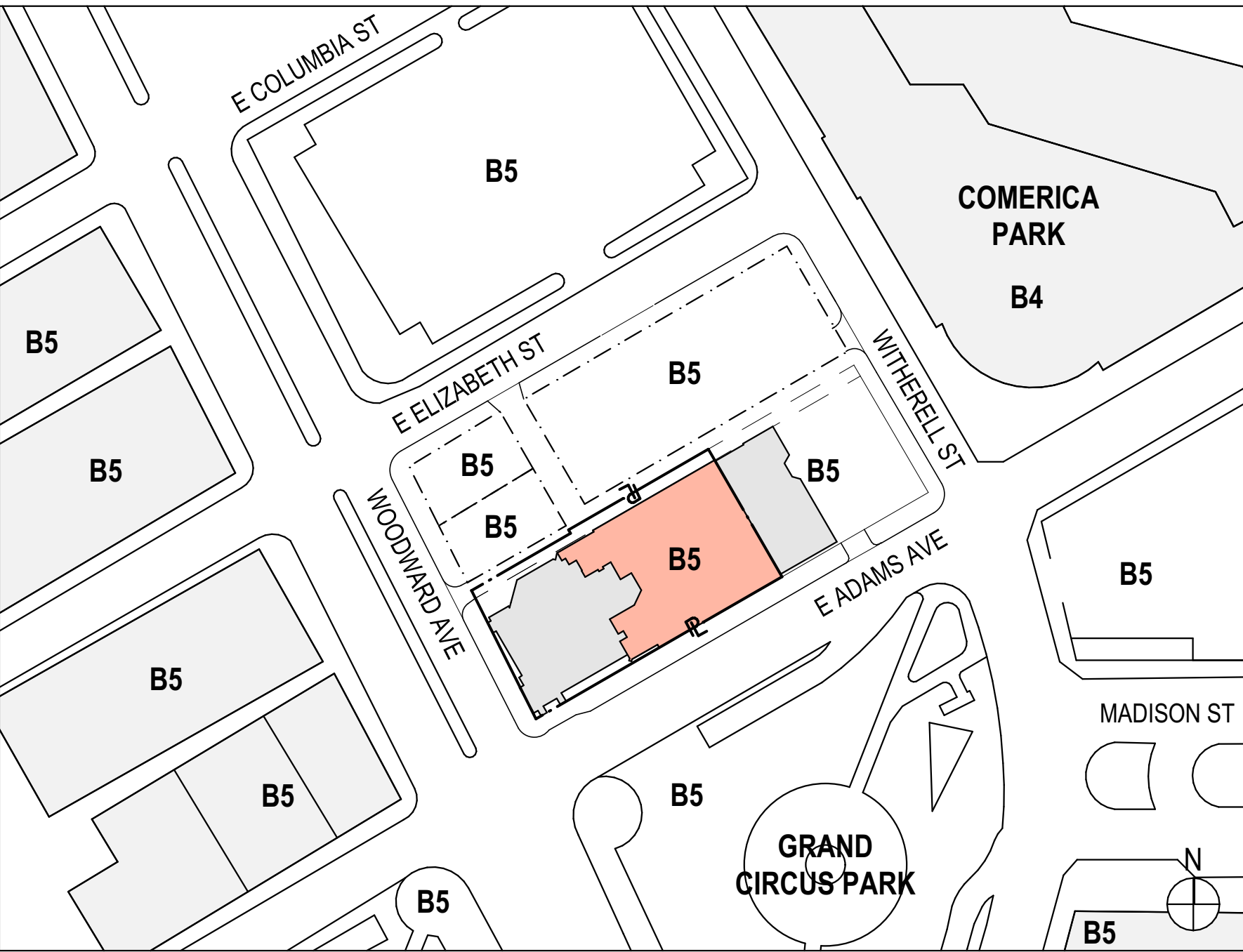
SHEET INDEX

		ISSUED FOR SITE PLAN REVIEW ONLY 08/08/2025
COVER / FRONT END		
A-000	COVER SHEET	X
CIVIL		
C-1	TOPOGRAPHIC SURVEY	X
C-3.0	SITE PLAN	X
PLANS		
A-103	BASEMENT PLAN	X
A-104	1ST FLOOR PLAN	X
A-106	2ND FLOOR PLAN	X
A-107	3RD FLOOR PLAN	X
A-108	4TH FLOOR PLAN	X
A-109	5TH FLOOR PLAN	X
A-110	6TH FLOOR PLAN	X
A-111	ROOF PLAN	X
ELEVATIONS		
A-201	BUILDING ELEVATIONS	X
A-202	BUILDING ELEVATIONS	X
A-203	BUILDING ELEVATIONS	X
A-204	BUILDING ELEVATIONS	X



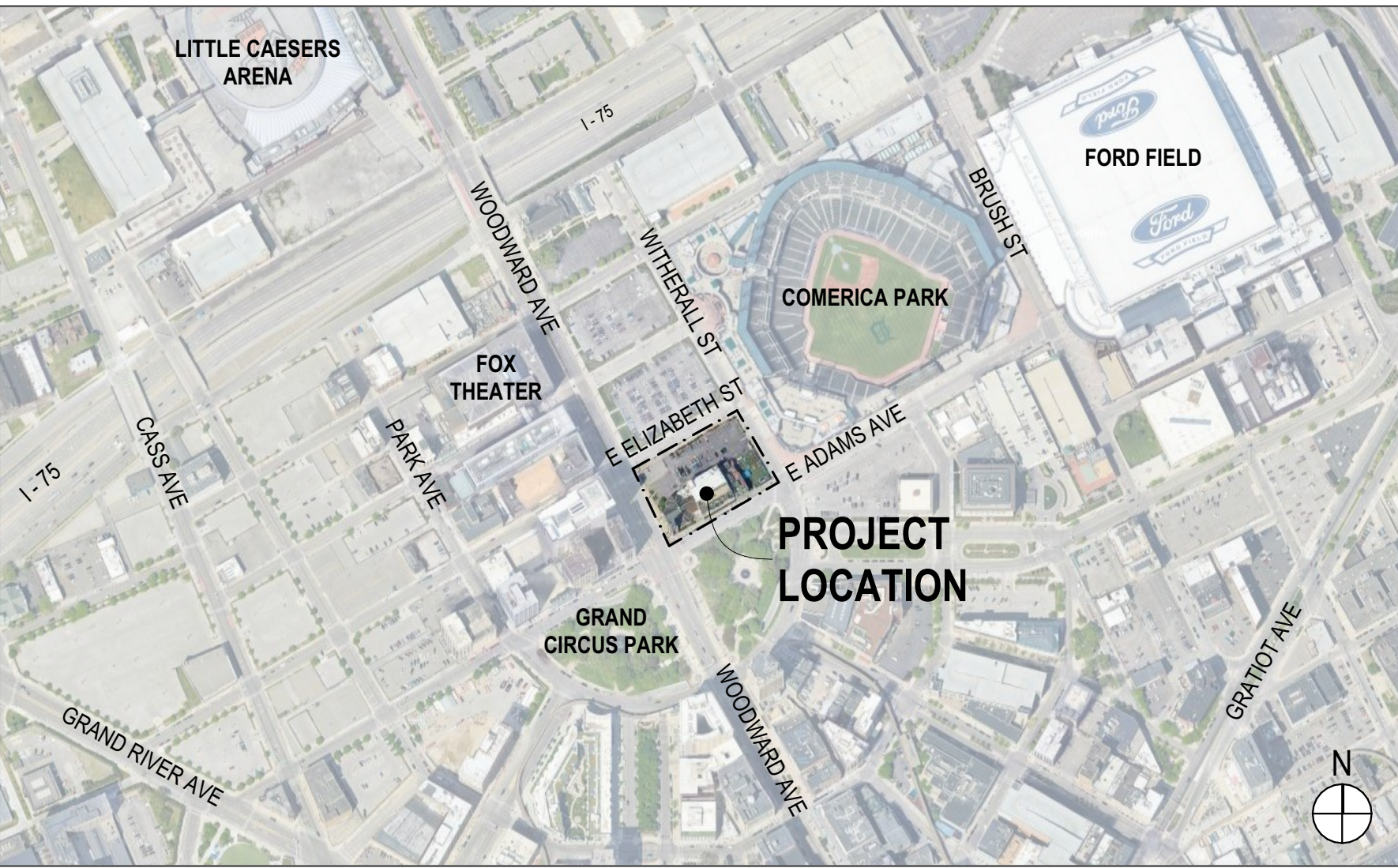
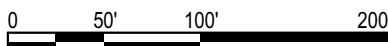
PROJECT PHOTO

NOT TO SCALE



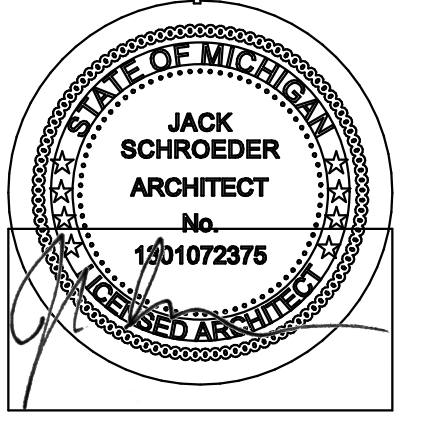
PROJECT ZONING MAP

SCALE: 1" =100'



PROJECT LOCATION MAP

SCALE: 1" =500'



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY, TO THE BEST OF MY KNOWLEDGE, WITH ALL THE BUILDING CODES AND ORDINANCES OF THE CITY OF DETROIT, MI.

08/08/2025

ISSUED FOR SITE PLAN REVIEW ONLY

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31 East Adams Avenue
Detroit, MI 48226

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COVER SHEET

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