



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

## APPLICATION ID

HDC2025-00388

## PROPERTY INFORMATION

**ADDRESS(ES):** 141 W Boston Blvd

**HISTORIC DISTRICT:** Boston-Edison

## SCOPE OF WORK: (Check ALL that apply)

- |  |  |  |  |   |                                |
|--|--|--|--|---|--------------------------------|
| <input type="checkbox"/> Windows/<br>Doors | <input checked="" type="checkbox"/> Walls/<br>Siding | <input type="checkbox"/> Painting        | <input checked="" type="checkbox"/> Roof/Gutters/<br>Chimney | <input type="checkbox"/> Porch/Deck/Balcony   | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition        | <input type="checkbox"/> Signage                     | <input type="checkbox"/> New<br>Building | <input type="checkbox"/> Addition                            | <input type="checkbox"/> Site Improvements<br>(landscape, trees, fences,<br>patios, etc.) |                                |

## BRIEF PROJECT DESCRIPTION:

To completely replace our deteriorated tile roof with an extremely high quality asphalt shingle (or tile roof if affordable) that resembles the original roof as closely as possible. To replace the siding on the dormers with either cedar, composite material or tile that suits the look of the house. To replace all roofing accessories and flashing with copper. To replace the tile on the garage/carriage house to match the shingles on the main house and replace the flashing with copper.

## APPLICANT IDENTIFICATION

**TYPE OF APPLICANT:** Property Owner/Homeowner

**NAME:** Derek Berk & Sandhya Berk

**COMPANY NAME:** N/A

**ADDRESS:** 141 W Boston Blvd

**CITY:** Detroit

**STATE:** MI

**ZIP:** 48202

**PHONE:** +1 (347) 623-3020

**EMAIL:** derekberk@hotmail.com

## I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that I am the legal owner and/or occupant of the subject property and that the information on this application is true and correct.

Signed by:

Derek Berk & Sandhya Berk

N/A

06/12/2025

SIGNATURE

DATE

141 W Boston Blvd

Detroit

MI

48202

+1 (347) 623-3020

derekberk@hotmail.com

Questions? Contact us at [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov) or (313)224-1762

**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

## PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

### ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

## GENERAL

### 1. DESCRIPTION OF EXISTING CONDITION

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*

See attached document from Steve Debruyne of Steve's Improvements



### 2. PHOTOGRAPHS

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



### 3. DESCRIPTION OF PROJECT

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")*

Since original materials are no longer available we would like to replace our roofing tiles with new Asphalt shingles or roofing tiles if affordable and replace all flashing, drip edges and accessories with copper. All copper work will be done so it's possible to install tile in the future. We will also replace tile siding on the dormers with tile if affordable, cedar shake or a cedar shake composite in green.

We would like to work with the HDC to find a mutually acceptable option before the July meeting



### 4. DETAILED SCOPE OF WORK

*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*

Remove existing tile roof, replace wood roof deck as necessary, install ice and water shield. Install new green shingles or Ludowici Classic 14 tile in Brookfield Green if affordable. Replace wood eaves as necessary, paint white. Repair rafter tails as necessary, paint white. Replace all flashing, valleys, vents and drip edges with copper. Remove siding on dormers and replace with certified Cedar Impressions Rough Split shakes in spruce (a green lighter than the roof color to resemble original look) or Ludowici Flat Slab in vintage green. Remove and replace flat roof membranes and replace with TPO roofing with copper drip edges. Clean worksite. Remove and replace asphalt shingle roof section under large arched window on south side of house with copper.

### 5. BROCHURES/CUT SHEETS

*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*



**ADDITIONAL DETAILS**




**Steve's Improvement Services**

**8310 dixie**

**Ira Township, Mi. 48023**

**[stevesimprovementservices@outlook.com](mailto:stevesimprovementservices@outlook.com)**

**810-499-8547**

**Customer:** 141 West Boston, Detroit **Date:** June 1, 2025

### **Roof Analysis**

The current roof system is non-functioning and leaking in several areas. Tiles and flashings are well past their service life and need to be completely replaced in order to insure the survival of the structure. Too many tiles are damaged or missing for their continued use to be justified. Ridge caps are completely gone and have been replaced with metal which is now rusted. Hip caps are missing or damaged. Many areas that are not in street view were stripped of their tiles and replaced with asphalt to replace broken tiles in common view. Metal valleys are rusted through and allowing water to enter the house and rot the rafters and supporting wood. Flashings around vents and chimneys are damaged or rusted through. Water has rotted through the roof decking causing damage to the interior ceilings and walls and rotting the floor joist ends and top plates. Metal drip edges on all sides have rusted and failed allowing water to rot sections of eaves and rafter tails. Many siding tiles on the dormers are missing or broken. Several have been repaired in the past with fiberglass mat that is falling apart. Others have been replaced with slate and painted to match the roof. Still others have been replaced with non matching tiles and painted to match. Water is getting in behind them and rotting window sills on the south side shed dormer. In my opinion the roof needs a total replacement. See images and details attached.

Steve Debruyn

Steve's Improvement Services



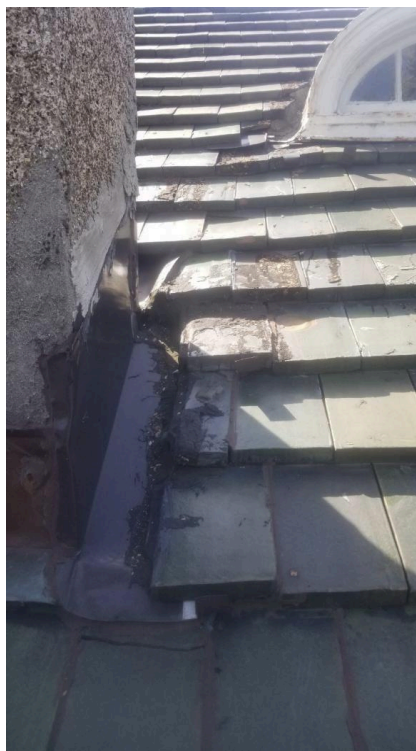
**North Elevation, Front of House**



The HDC 1974 photo shows damaged and missing tile



Front double hip dormers have been repaired with asphalt shingles, metal ridge caps, elastomeric coating and red clay tiles that were painted to match but now show red



Damaged tiles and flashing next to the front chimney and barrel arch window.





Faulty flashing & valley, rusted gutter, many broken tiles behind the front chimney west side of double dormer



Damaged tile, rusted gutter, damaged flashing on east side of front double dormer





Damaged tile to east of front double dormer and view of barrel window



Heavily damaged tile and roof deck in the front of the house. Water has penetrated and rotted eaves underneath.



Damaged tile and barrel arch window on north side facing east. Coping from flat roof extended with brown aluminum.



North east hip and surrounding tiles show damage and repair by tar and ice and water shield.



## East Side



^ East dormer shows tiles replaced with concrete, broken and missing tile, a rusted out valley, a valley filled with concrete, tiles repaired with caulk, ridges and hips replaced with metal. v







Valley is rusted through

**South Side**



Tin flat roof coping rusted, asphalt shingles where tile once was

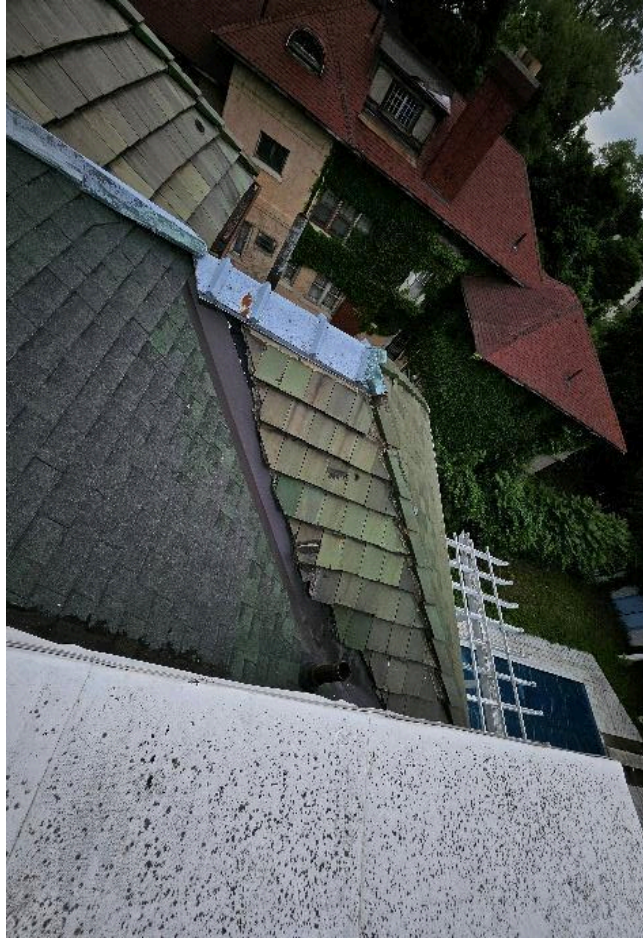


Hip tiles broken and cemented to roof tiles



Wood framed barrel windows with cement tops, asphalt shingles where tiles once were





Aluminum valley placed over rusted tin valley. Water is getting between them. Asphalt Shingles where tiles once were, damaged tiles, Fabricated metal ridge cap where tiles once were.



broken tiles in front of shed dormer. Rusted flat roof combing.





broken siding tiles



East side of south facing shed dormer . Roof and siding are shingled where roof and siding tile once were.





^ West side of south facing shed dormer has shingles where tile once was. Valley is rusted through and severely leaking causing rafters and supporting wood to rot. Roofing tiles are damaged and improperly laid. Ridge cap was replaced with a long piece of copper where tile once was. v



## **West Silde**

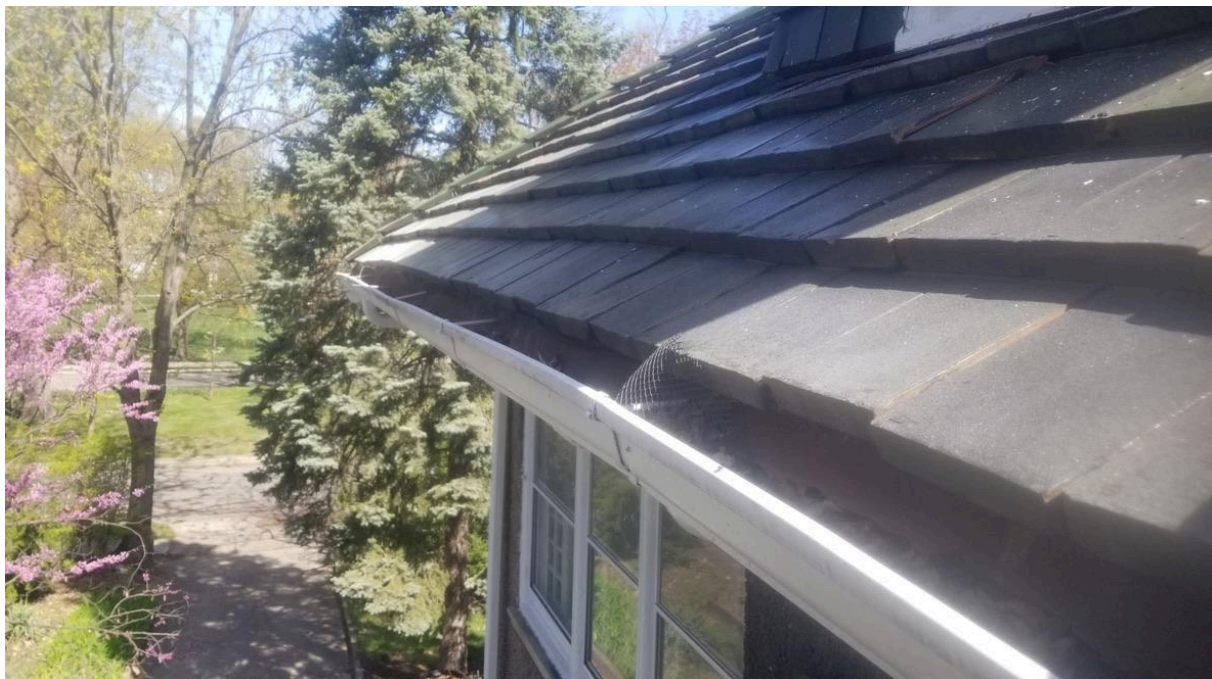
Dormer siding on the west side have been repaired with slate and painted.





Tiles and deck on the west side roof near the dormer are damaged and causing repeated leaks on the 2nd and 3rd floor. Dormer gutter and flashing are rusted through.

Drip edges on gutter are rusted and causing wood to rot on overhangs.







Flashing around chimney has failed rotting roof deck, eaves and staining the stucco.

The remaining tiles in good condition will be saved.



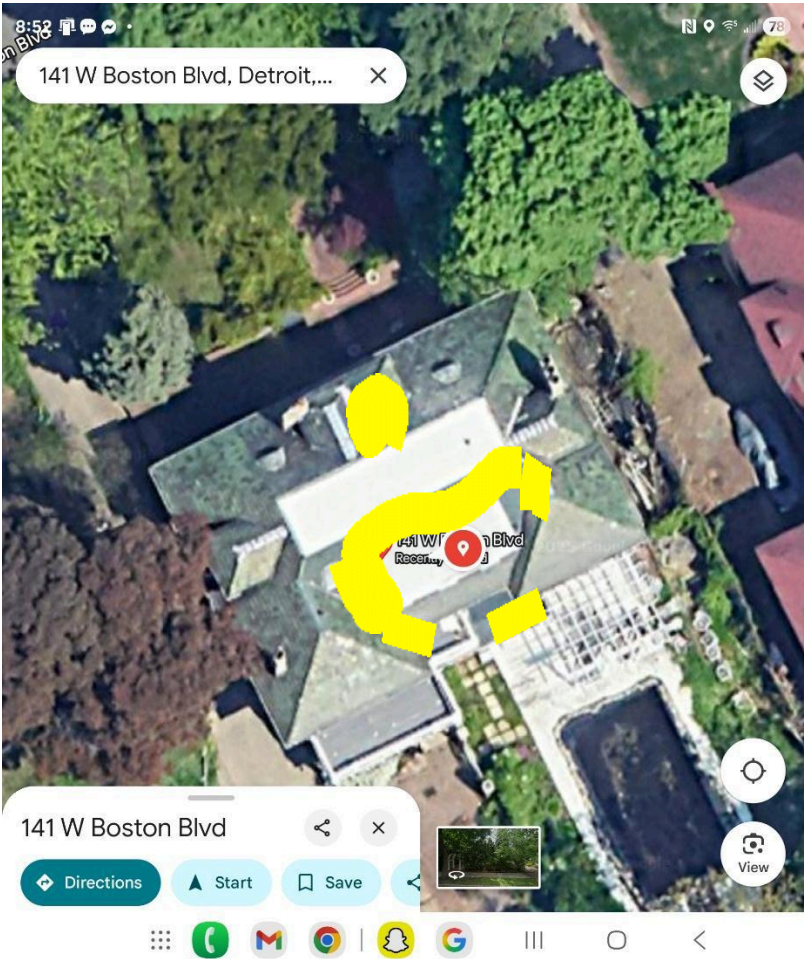
## Carriage House

The east and west sides of carriage house have a standing seam metal roof. The front facade is in serviceable condition. The flashing needs to be repaired in the middle front.





Portions of roof with asphalt shingles in yellow




# CLASSIC 14" INTERLOCKING TILE



A smooth surface and flat butt give Ludowici's Classic 14" interlocking tile a clean look. Classic interlocking tile is suitable for a full range of architectural styles and can be customized with a number of custom textures\* to fit your design aesthetic. Classic 14" interlocking tiles are available in all standard and custom colors, mists and blends offered by Ludowici. See the *Colors of Ludowici* brochure for more information about our extensive color program.

Classic interlocking tile is also available in a larger 16" profile.

## PHYSICAL CHARACTERISTICS

CHARACTERISTIC	CLASSIC 14" INTERLOCKING TILE	PROFILE
Weight Per Square	800 lbs.	
Pieces Per Square	158 pcs.	
Overall Size	9" x 14" x 7/8"	
Exposure	8 1/4" x 11" x 7/8"	
Minimum Slope	3:12	
Color Blends	Available in all standard and custom colors. For more information about Ludowici's color program, please see the <i>Colors of Ludowici</i> brochure.	
Base Texture	Smooth Also available in custom textures.* Please see the <i>Terra Cotta Textures</i> brochure for more information.	

## APPROVALS & CERTIFICATIONS

- ◆ Miami-Dade NOA No: 12-0904.14
- ◆ State of Florida Approval No: FL 13777
- ◆ ASTM C1167 Grade 1 Roof Tile With Water Absorption Less Than 2%
- ◆ Class A Fire Rated
- ◆ IAMPO UES ER-452

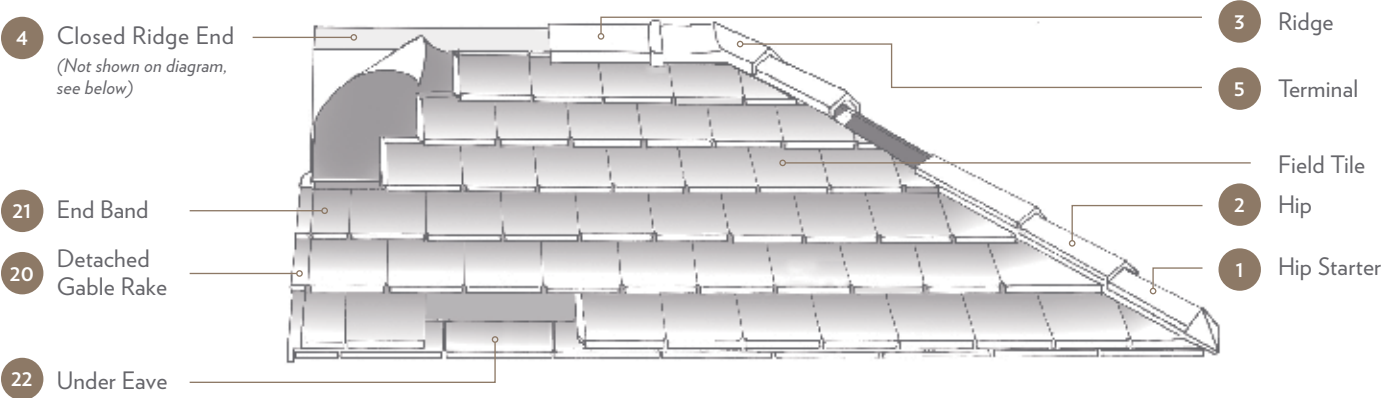







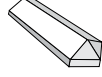
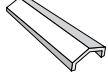
















## LUDOWICI WARRANTY

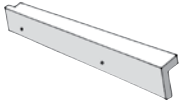
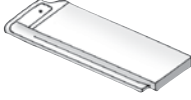


All Ludowici tiles are manufactured in the United States and carry a 75-year warranty against color fading and manufacturing defects. For complete warranty details, please visit [www.ludowici.com](http://www.ludowici.com).



CLASSIC 14" INTERLOCKING TILE



HIP & RIDGE							
Visit <a href="http://www.ludowici.com">www.ludowici.com</a> to download a detailed product sheet on Hip, Ridge and Decorative Hip Starters.							
	1	2	3	4	5		
PROFILE	HIP STARTER	HIP	RIDGE	CLOSED RIDGE END	TERMINAL		
V-Hip & Ridge Trim Group	 V-Hip Starter	 V-Hip	 V-Ridge	 V-Closed Ridge End	 V-2 Hip 1 Ridge Terminal		
#118/#211 Hip & Ridge Trim Group	 #168 Hip Starter	 #118 Hip Roll	 #211 Ridge	 #211 Closed Ridge End	 #118/#211 2 Hip 1 Ridge Terminal		
Circular Cover Hip & Ridge Trim Group	 CC-Hip Starter	 CC-Hip	 CC-Ridge	 CC-Closed Ridge End	 CC-2 Hip 1 Ridge Terminal	 CC-Low Bump 2 Hip 1 Ridge Terminal	
#102/#206 Hip & Ridge Trim Group	 #152 Hip Starter	 #102 Hip Roll	 #206 Ridge	 #206 Closed Ridge End	 #102/#206 2 Hip 1 Ridge Terminal	 #405 High Bump 2 Hip 1 Ridge Terminal	 #406 High Bump Gable Terminal

FITTINGS			
	20	21	22
PROFILE	DETACHED GABLE RAKE		END BAND
	 Left Rake		
	 Right Rake		
Length	14"		14"
Exposure	11"		11"
Weight	2.0 lbs./pc.		2.3 lbs./pc.

\* Textures available include brushed butt, battered butt and top sand. Similar tile profiles available in additional textures. Please see a sales representative for more details. Photos are for representation purposes only and should not be used for final product selection. Tiles ordered should be chosen from actual samples available at the time of order. Ludowici reserves the right to alter and adjust products, colors and finishes at any time. Please contact a sales representative for more information.

V-HIP AND RIDGE TRIM GROUP

V-Hip and Ridge trim is typically used with flat interlocking and shingle tiles. This creates a clean look that can be tailored to match the color, finish and texture of the field tile.

HIP STARTER	HIP & RIDGE		GABLE END	TERMINAL
				
V-Hip Starter	V-Hip	V-Ridge	V-Closed Ridge End	V-2 Hip 1 Ridge Terminal*

#118/#211 TRIM GROUP

The 118/#211 trim group has a refined and detailed appearance. Used with any of Ludowici's flat shingle tiles or interlocking tiles, this trim group adds style and character to the clean lines of flat shingle tiles.









HIP STARTER	HIP	RIDGE	GABLE END	TERMINAL
				
#168 Hip Starter	#118 Hip Roll	#211 Ridge	#211 Closed Ridge End	#118/#211 2 Hip 1 Ridge Terminal*

BONNET, ARIES AND ROUNDED RIDGE TRIM GROUP

Bonnet hip rolls are inspired by the cottages and estates of rural England. These pieces nestle into the field of the tiles to give a seamless, more organic finish to the hips. The Aries hip plate provides a sharper edge to the hip roll, typically used with formal shingle tiles. Rounded interlocking ridge tiles are the companion ridge typically used with bonnet hips.

HIP STARTER	HIP		RIDGE
			
Bonnet Hip Starter	Bonnet Hip Roll	Aries Hip Plate	Rounded Interlocking Ridge

DECORATIVE HIP STARTERS AND RIDGE END CAPS


				
Lion's Head	Lion's Head Old Style	Dolphin	3 Leaf	5 Leaf
		<p><b>CUSTOM</b> Ludowici can work with you to create custom designs to complete your design vision.</p>		
Flower & Leaf	Shell			

\*Ludowici makes ridge/hip terminals to fit any roof geometry. Contact your Ludowici representative for assistance.



# ADDITIONAL PROFILES

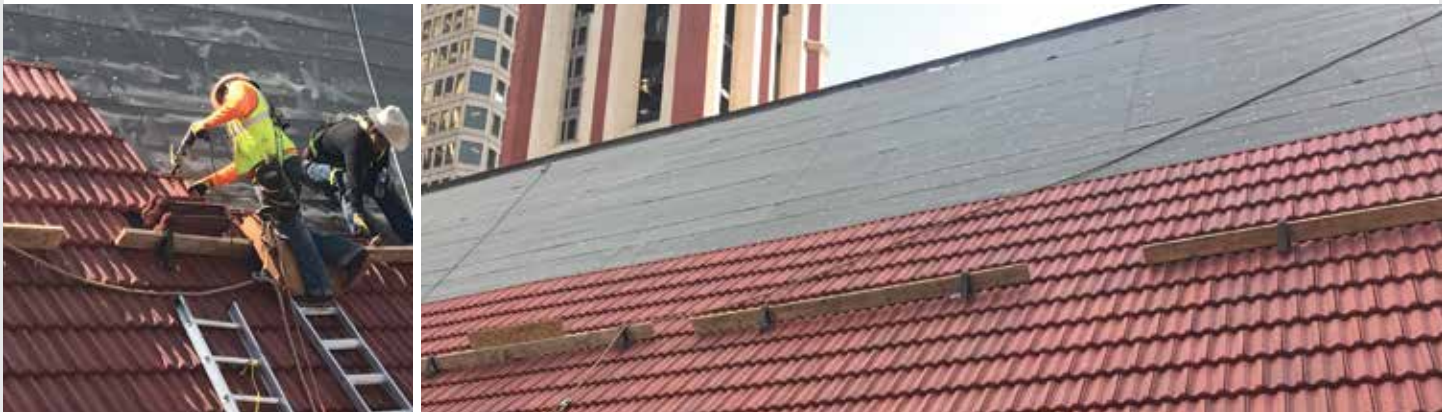
Ludowici has created hundreds of thousands of roof tile and accessory profiles over the last century. There are many more options from the Legacy Collection available to view online at [Ludowici.com](http://Ludowici.com), including:

ADDITIONAL PROFILES							
STRAIGHT BARREL MISSION	TAPERED BARREL MISSION	CUBANA	ROMAN	GREEK	FLAT SLAB	GREENWICH	MORANDO CLOSED SHINGLE
							
16" & 14 1/4"	14 1/4"	18 3/8"			3/8" & 5/8" Thickness		

# UNDERLAYMENT AND FASTENERS

A Ludowici roof is crafted to last a lifetime and your underlayment and fasteners should be just as durable. Ludowici Pro 70 Underlayment provides superior roof deck coverage versus traditional felt underlayment. It does not curl or scuff and its rubberized asphalt content provides a more pliable membrane, proving itself to be less susceptible to damage during installation and saving on installation time by laying smoother. Ludowici Pro 70 does not decompose like felt, providing a much more stable and long lasting underlayment for your new Ludowici roof.

Ludowici also offers a number of installation accessories such as hurricane clips, Quick-Tach brackets, and stainless steel screws. Please contact your Ludowici representative for more information.



# FLAT SLAB SHINGLE TILE



Ludowici’s flat slab shingle tile has a smooth surface and square butt creating a clean look suitable to any architectural style. Flat slab tiles are available in 3/8” and 5/8” thicknesses and standard and custom matte colors, mists and blends. See the *Colors of Ludowici* brochure for more information about our extensive color program.

## PHYSICAL CHARACTERISTICS

CHARACTERISTIC	FLAT SLAB SHINGLE TILE 3/8"	FLAT SLAB SHINGLE TILE 5/8"	PROFILE
Weight Per Square	1300 lbs.	2000 lbs.	
Pieces Per Square	480 pcs.	480 pcs.	
Overall Size	6" x 12" x 3/8"	6" x 12" x 5/8"	
Exposure	6" x 5"	6" x 5"	
Minimum Slope	5:12	5:12	
Color Blends	Available in all standard and custom matte colors. For more information about Ludowici's color program, please see the <i>Colors of Ludowici</i> brochure.		
Base Texture	Smooth Also available in custom textures. Please see the <i>Terra Cotta Textures</i> brochure for more information.		

## APPROVALS & CERTIFICATIONS

- ◆ Miami-Dade NOA No: 12-0904.14
- ◆ State of Florida Approval No: FL 13777
- ◆ ASTM C1167 Grade 1 Roof Tile With Water Absorption Less Than 2%
- ◆ Class A Fire Rated

## LUDOWICI WARRANTY

All Ludowici tiles are manufactured in the United States and carry a 75-year warranty against color fading and manufacturing defects. For complete warranty details, please visit [www.ludowici.com](http://www.ludowici.com).



## GREEN ATTRIBUTES

Ludowici terra cotta is an energy-efficient, sustainable choice for your new roof. Learn more about our green story in the Ludowici *Green Promise* brochure.

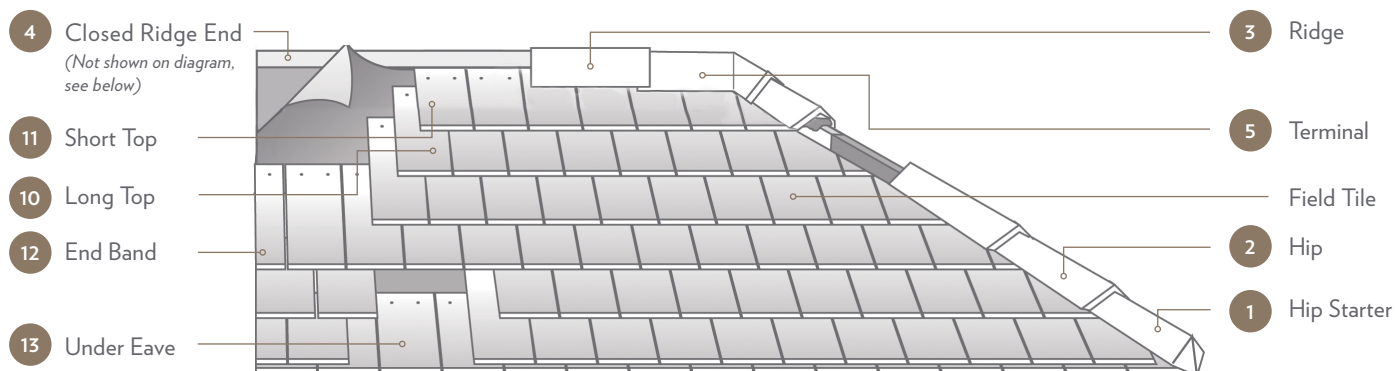








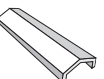
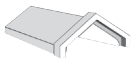
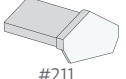




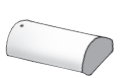





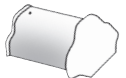







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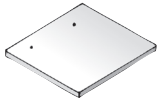

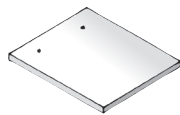

# FLAT SLAB SHINGLE TILE

LUDOWICI®



HIP & RIDGE							
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Old Style Trim Group	 Bonnet Hip Starter*	 Bonnet Hip Roll*  Aries Hip Plate*	 Interlocking Ridge				

\* Roof slope on each intersecting roof plane needs to be identical to use these pieces.

FITTINGS					
PROFILE	10 LONG TOP	11 SHORT TOP	12 END BAND	13 UNDER EAVE	HEADER COURSE
					
Actual Size	6" x 9"	6" x 5"	3" x 12"	6" x 7"	6" x 12"
Exposure	6" x 5"	6" x 2"	3" x 5"	6"	6" x 9"
Weight	2.1/2.8 lbs./pc.	1.2/1.6 lbs./pc.	1.4/1.9 lbs./pc.	2.0/2.7 lbs./pc.	3.7 lbs./pc.



## COLORS OF LUDOWICI

LUDOWICI



### BROOKVILLE GREEN BLEND G1

Ludowici colors are not painted on the surface, but fired in under extreme temperatures to ensure they retain their original tones and hues for many years to come. Color is included in our 75-year material warranty.

For more information on Ludowici colors, please see the *Art and Science of Ludowici Color* on the back of this card.



*Partial representation of expected color range shown.*

4757 The Plant Road | P.O. Box 69 | New Lexington, OH 45764 | 800-945-7311 (8457) | [www.ludowici.com](http://www.ludowici.com) | [www.terramatix.com](http://www.terramatix.com)

URT-CC-G1

