



HISTORIC DISTRICT COMMISSION

APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00315

PROPERTY INFORMATION

ADDRESS(ES): 2998 Iroquois Ave.

HISTORIC DISTRICT: Indian Village

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|--|---|---|--------------------------------|
| ☐ Windows/
Doors | ☐ Walls/
Siding | ☒ Painting | ☐ Roof/Gutters/
Chimney | ☐ Porch/Deck/Balcony | ☐ Other |
| ☐ Demolition | ☐ Signage | ☐ New
Building | ☐ Addition | ☐ Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

New construction home that was previously approved by the HDC, would like to submit an exterior paint color change. Color originally specified (Sherwin Williams 7554 Warmed Milk to match C:4 from color chart) came out very dark/yellow. Homeowner is looking for a creamy white color. Custom color proposed was color matched to neighbor's home at 3060 Iroquois. Please see bubbled changes on sheets A6, A7 & A16 as well as sample painted areas on the front of the home, to the right of front door for consideration.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Lisa Franzoni

COMPANY NAME: CBI Design Professionals

ADDRESS: 838 West Long Lake Road Suite 110

CITY: Bloomfield Hills

STATE: MI

ZIP: 48302

PHONE: +1 (248) 645-2605

EMAIL: lfranzoni@cbidesign.net

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Lisa Franzoni

CBI Design Professionals

Lisa Franzoni

06/04/2025

SIGNATURE

DATE

838 West Long Lake Road Suite 110

Bloomfield Hills

MI

48302

+1 (248) 645-2605

lfranzoni@cbidesign.net

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

House is under construction, nearing completion. House is awaiting final exterior paint color and landscaping.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

In the above photo, you will see two sample colors - the one on the fascia trim is the original approved color for the entire exterior of the home (SW 7554). In person, it came out too yellow for the homeowner. The color swatch on the lap siding is the new custom color that they would like to propose. Staff is welcome to visit the house to see the color swatches in person, they are to the right of the front door.

4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

Scope of painted areas is reflected in attached construction documents drawings, please refer to sheets A6, A7 and A16.



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

SW 7554

CUSTOM

8888 ILLINOIS

248-593-1415

Order # 217840

EXTERIOR

ARCHITECTURAL

DURATION

LATEX

SATIN

COROB D600

MATCH

CUSTOM MANUAL MATCH

CCE Colorant

OZ 32 64 128

B1 Black

- 3 1 -

R2 Maroon

- - 1 1

Y3 Deep Gold

- 4 1 -

ONE GALLON

EXTRA WHITE

K33W00251

650405822

Siding

NOT RECOMMENDED FOR USE ON VINYL

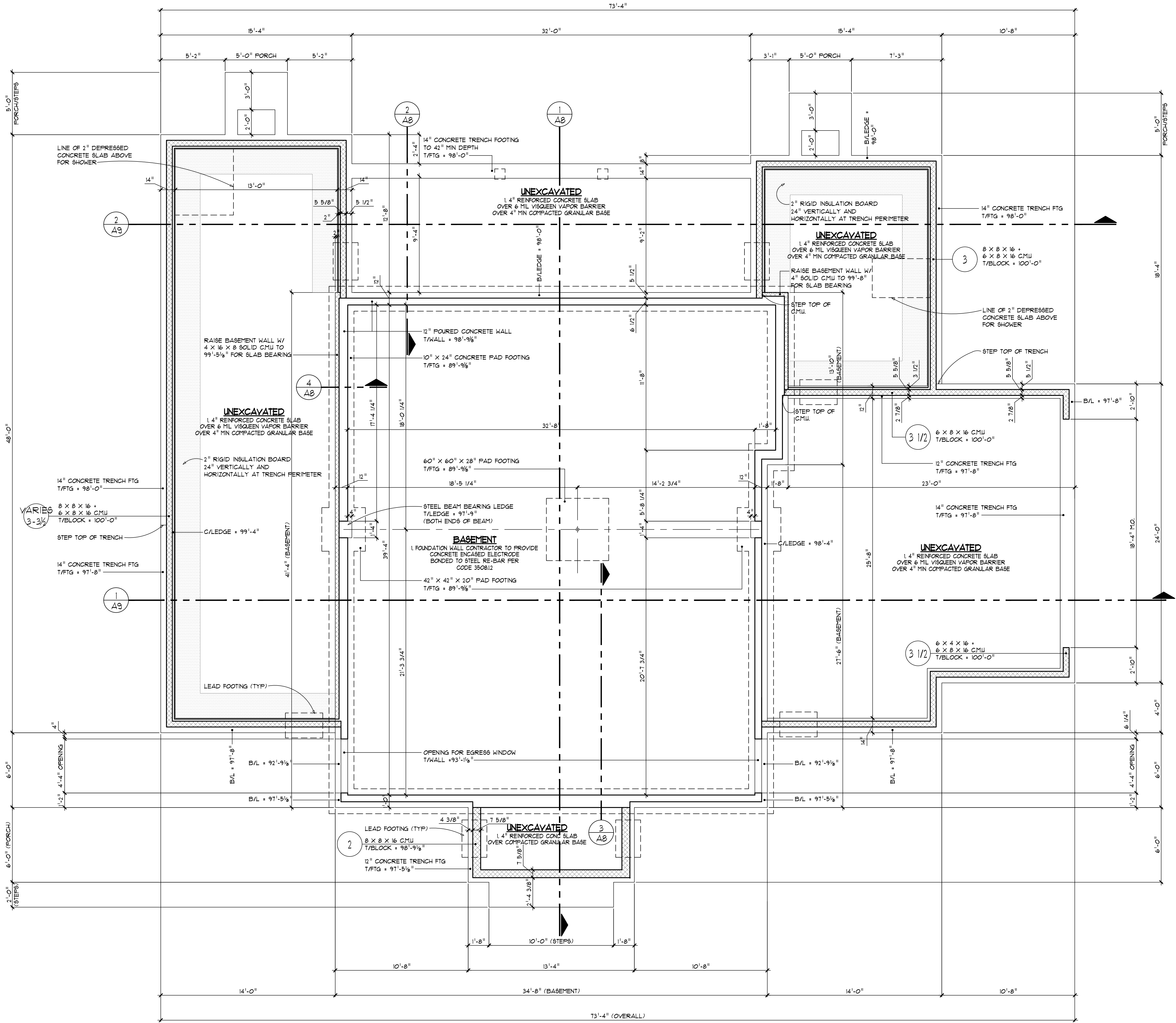
Non Returnable Tinted Color

Proposed New Residence for the Murphy Residence

2998 Iroquois Avenue, Detroit, MI 48214

1. All HVAC and plumbing work and materials shall be in accordance with the latest edition of the local codes, ordinances and in compliance with the Energy Conservation Code and local utility company requirements. Design and installation of systems to be responsibility of Contractor. HVAC Contractor to verify locations of all supply, return air and exhaust fan vents with Architect during on the walk-through of existing building.
2. Verify location of building loads with City/Township engineering drawings.
3. Verify location of water, gas, and electric meters with Architect.
4. Provide 1/2" gas line with shut-off valve to all fireplaces.
5. All plumbing stacks and mechanical vents shall penetrate the roof behind the main roof ridge. Offset all stacks as required in attic.



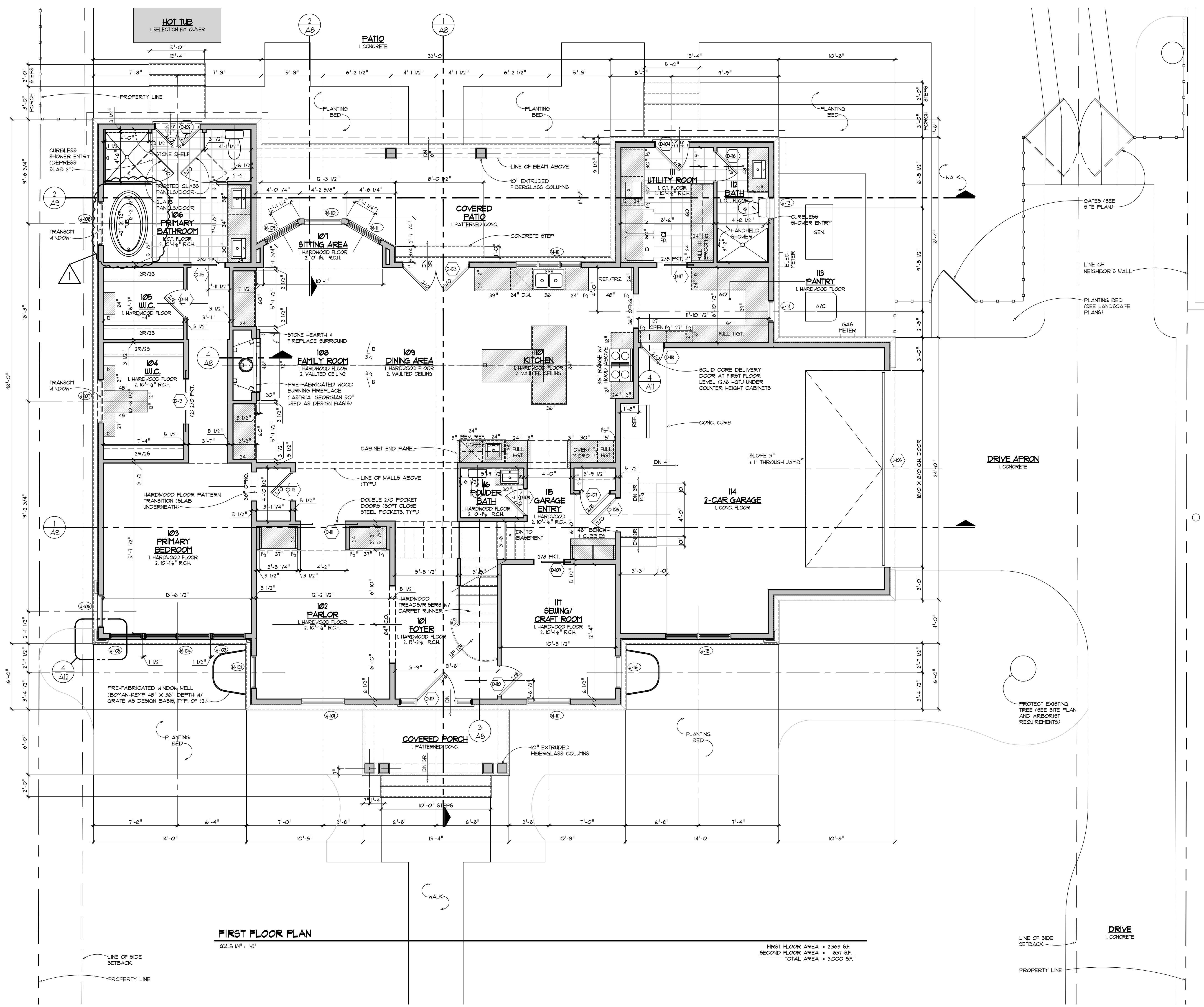


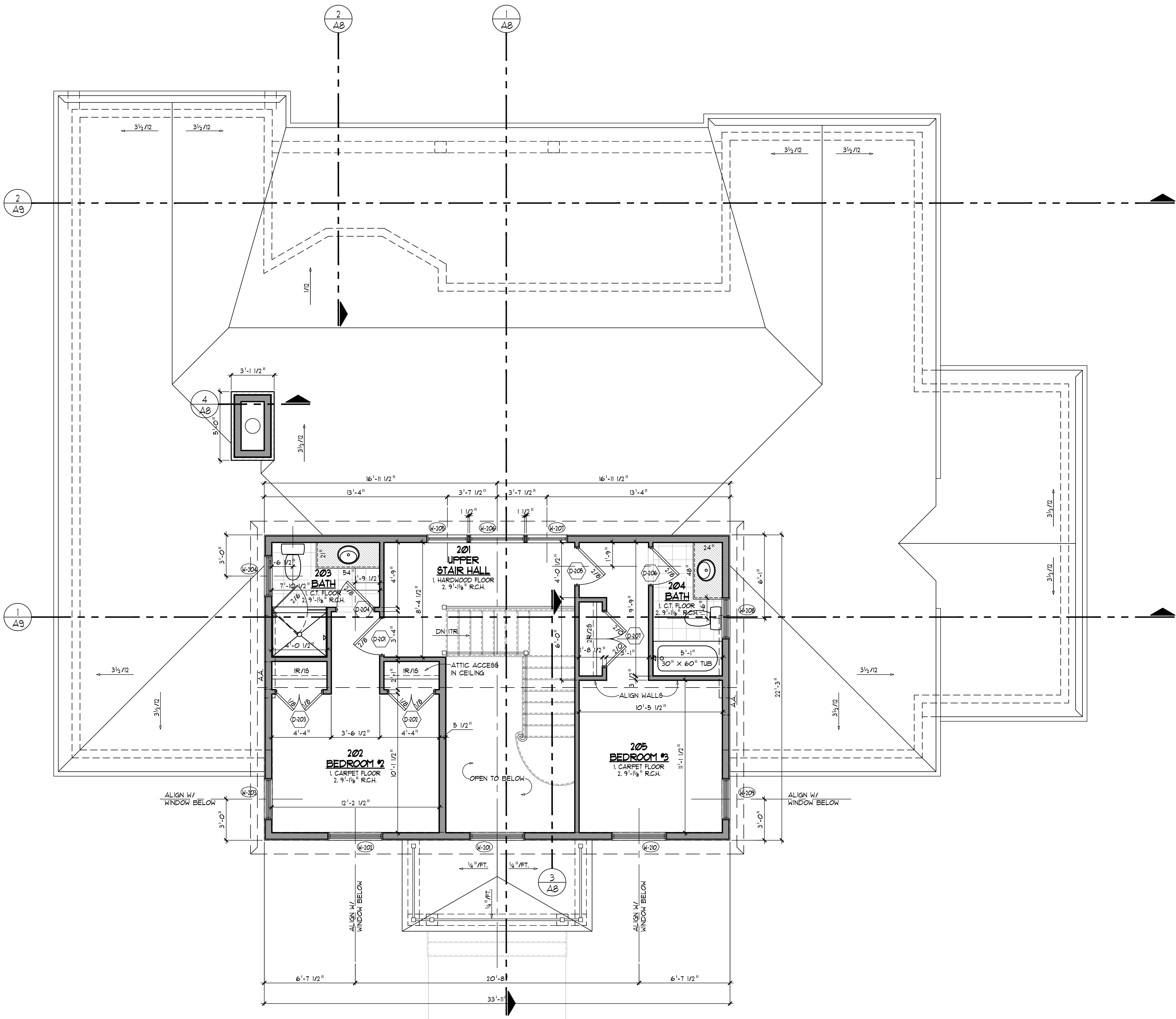
MAIN HOUSE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FINISHED FLOOR AREA = 828 SF.





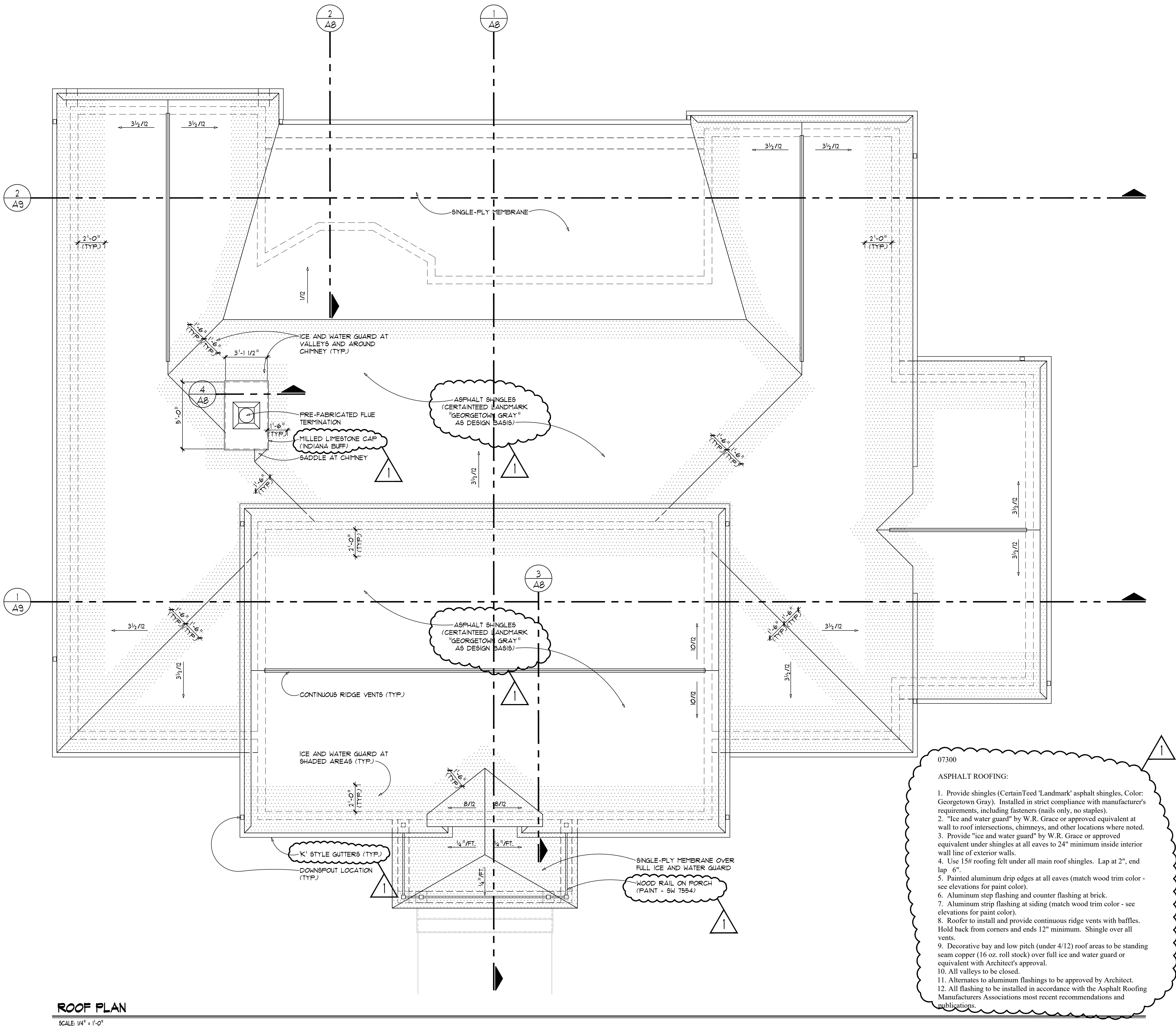


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR AREA = 637 SF.

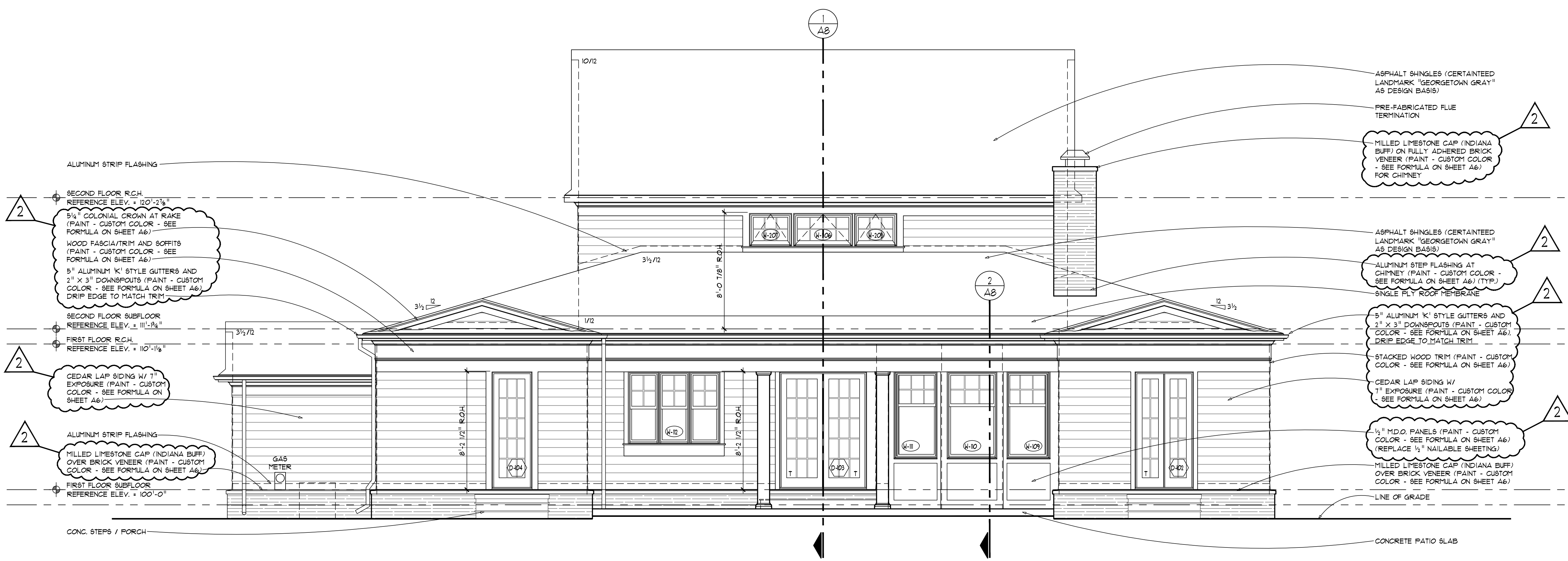




ROOF PLAN

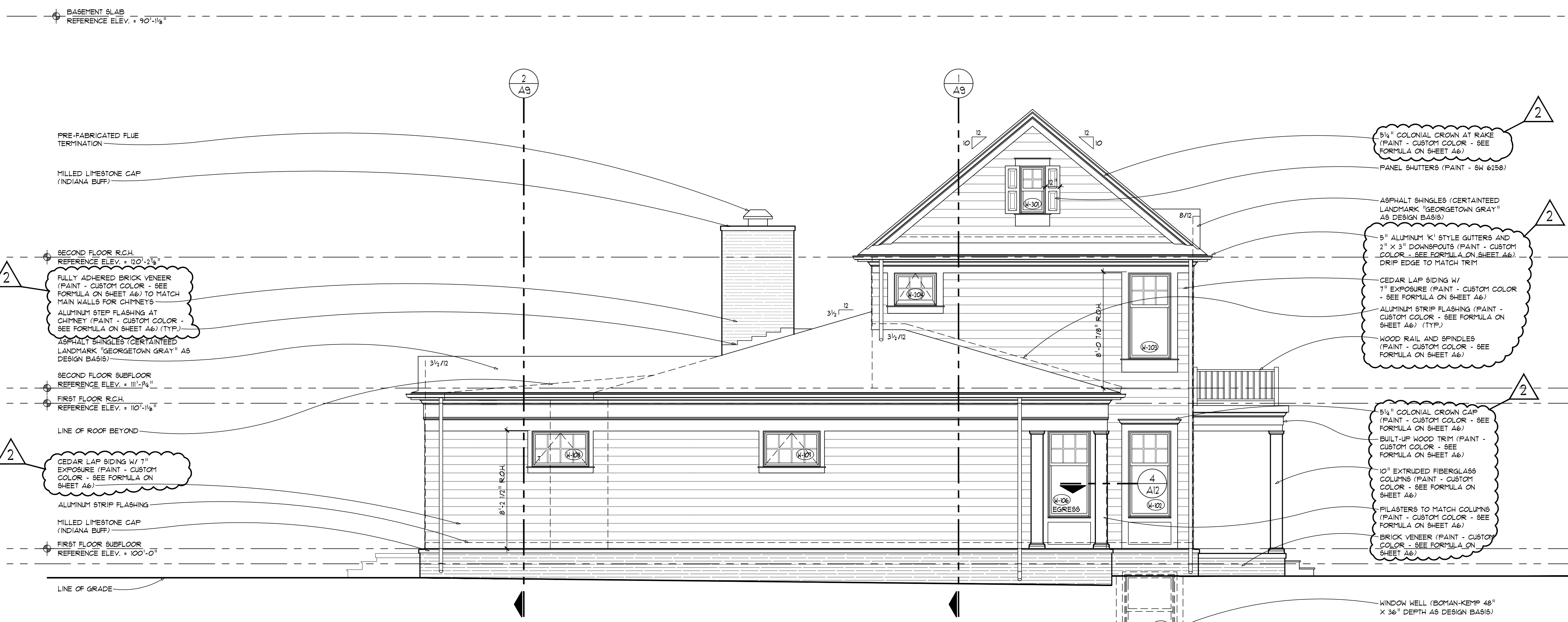
SCALE: 1/4" = 1'-0"





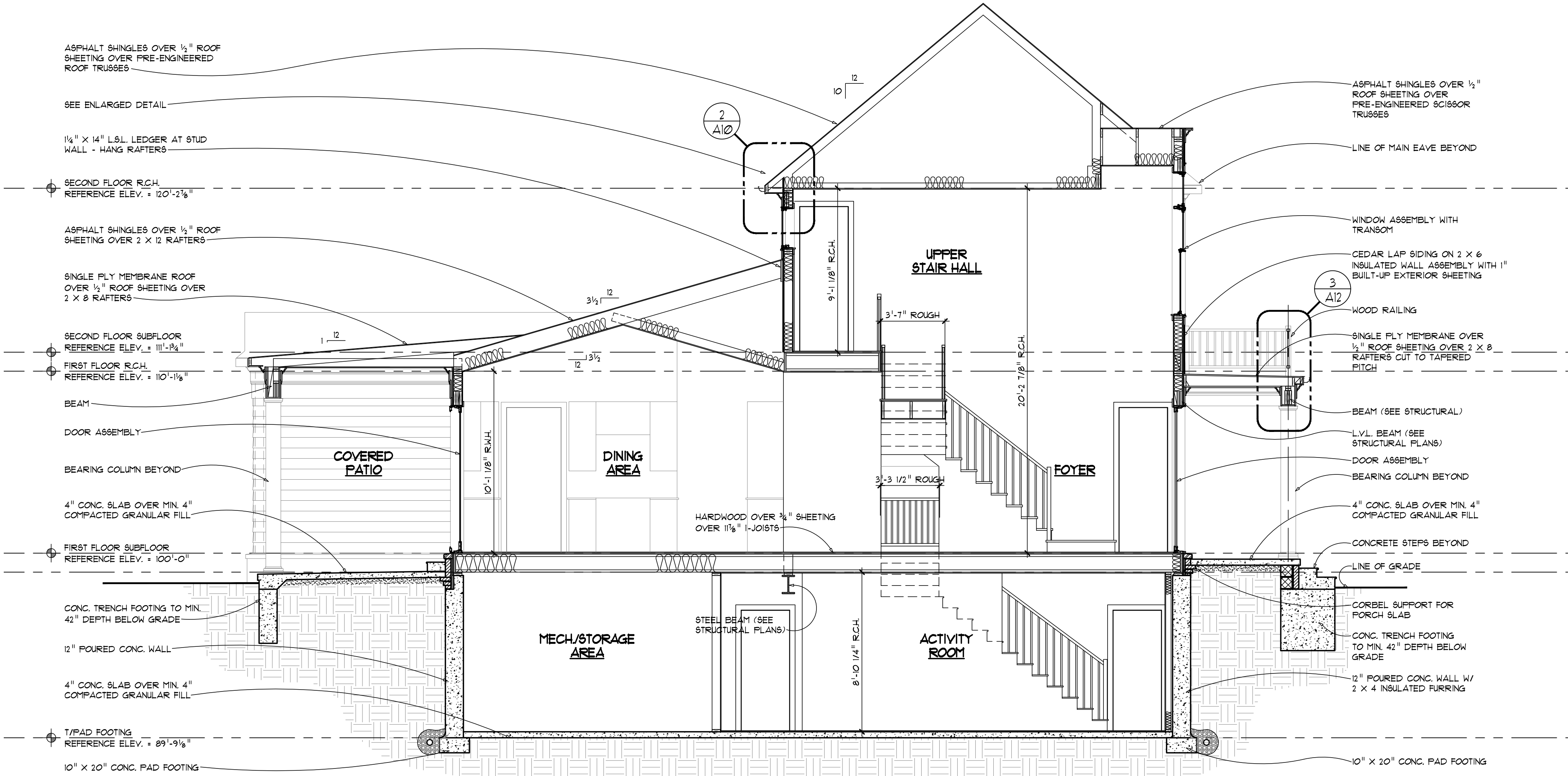
PROPOSED REAR ELEVATION (NORTHEAST)

SCALE: 1/4" = 1'-0"

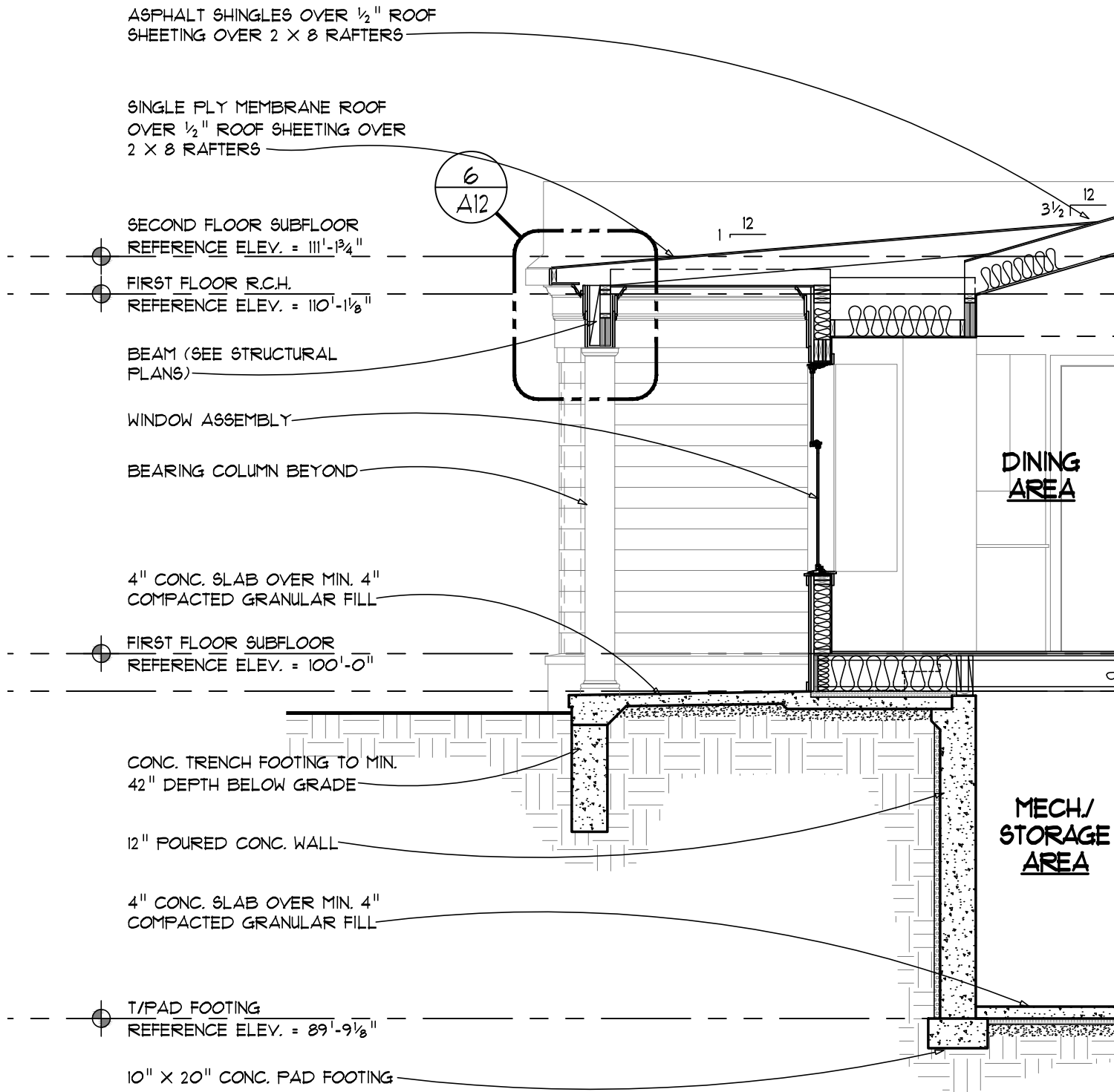


PROPOSED SIDE ELEVATION (NORTHWEST)

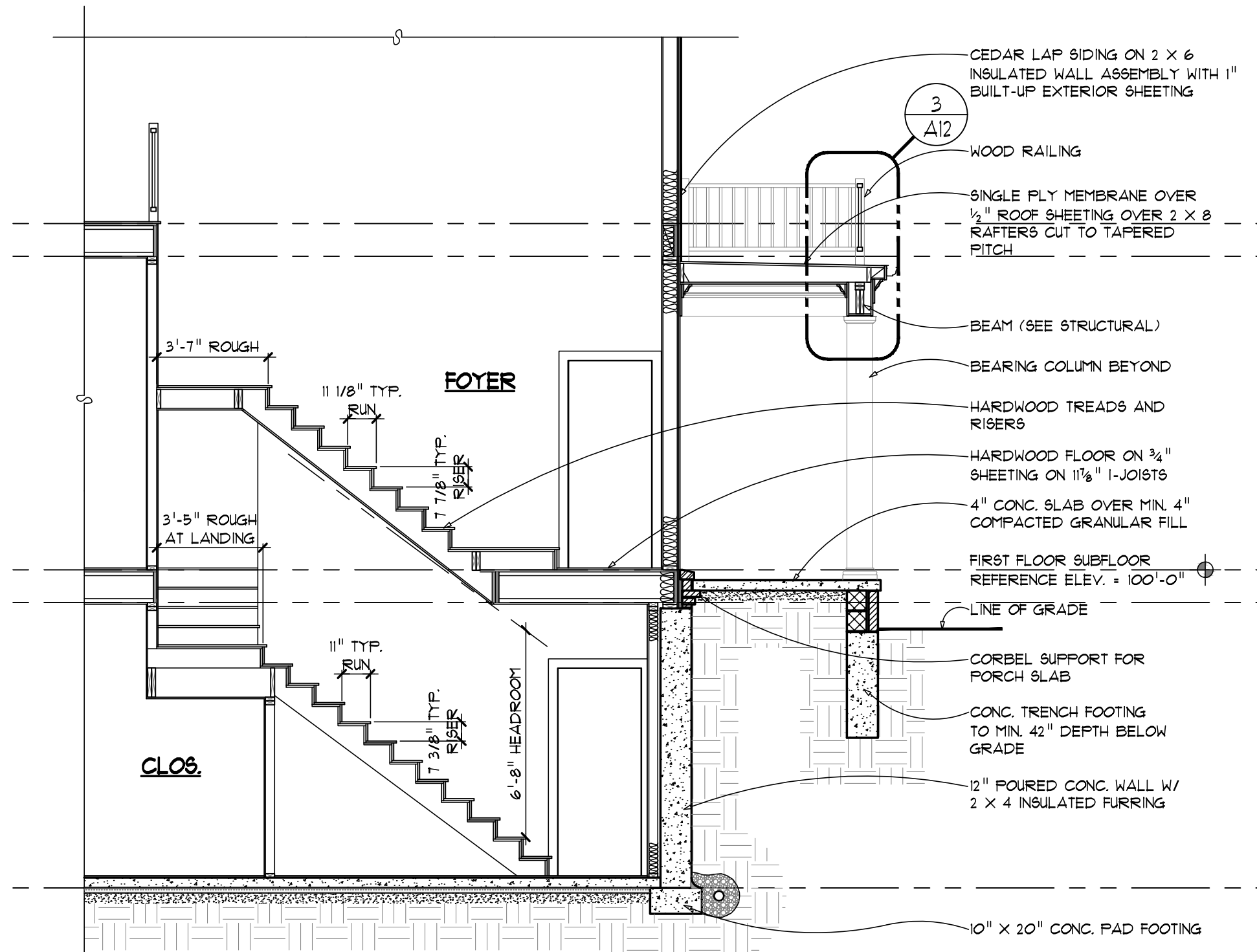
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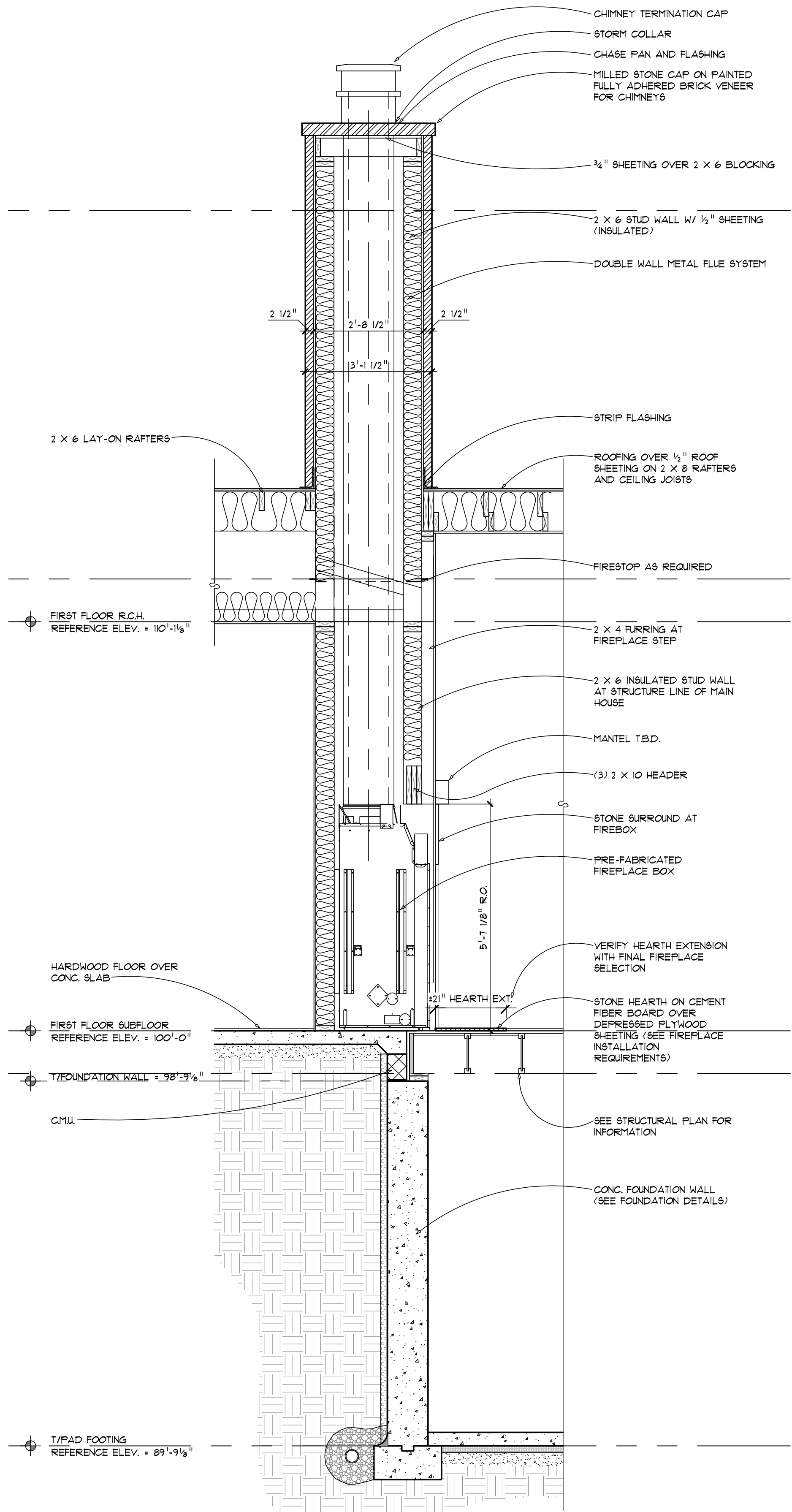
BUILDING SECTION
SCALE: 1/4" = 1'-0"



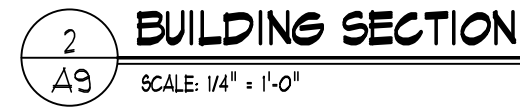
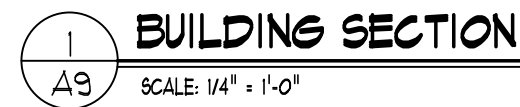
BUILDING SECTION
SCALE: 1/4" = 1'-0"

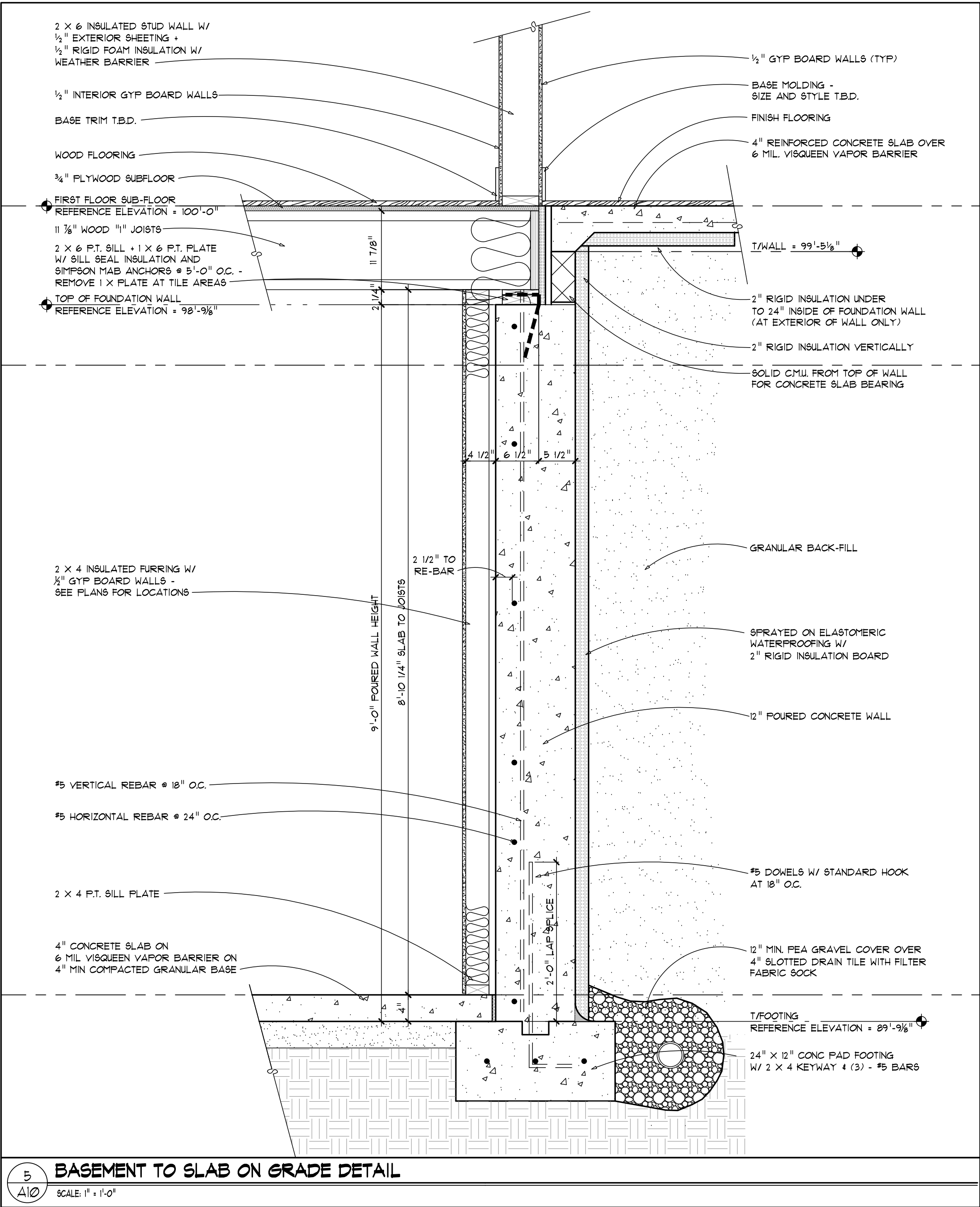
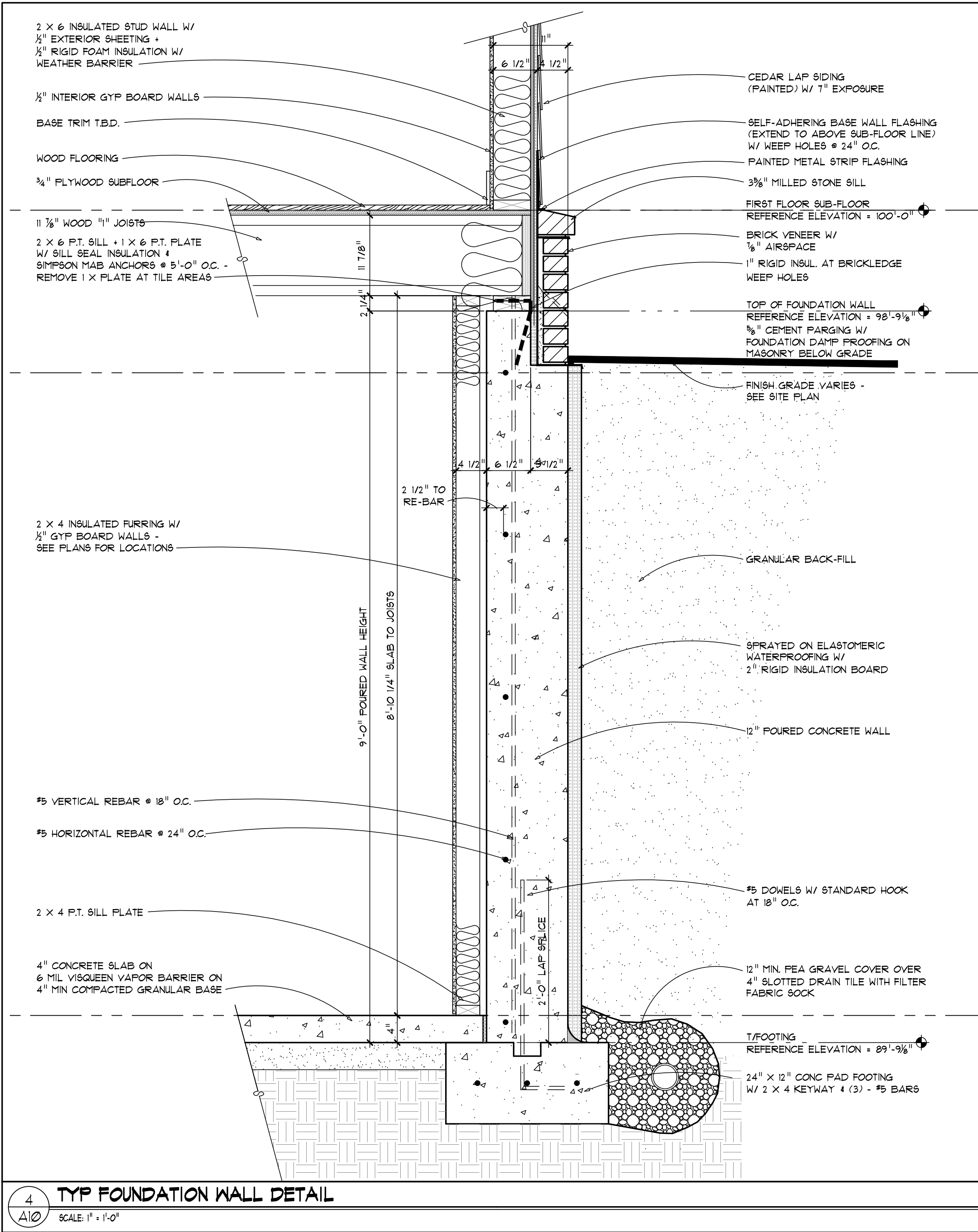
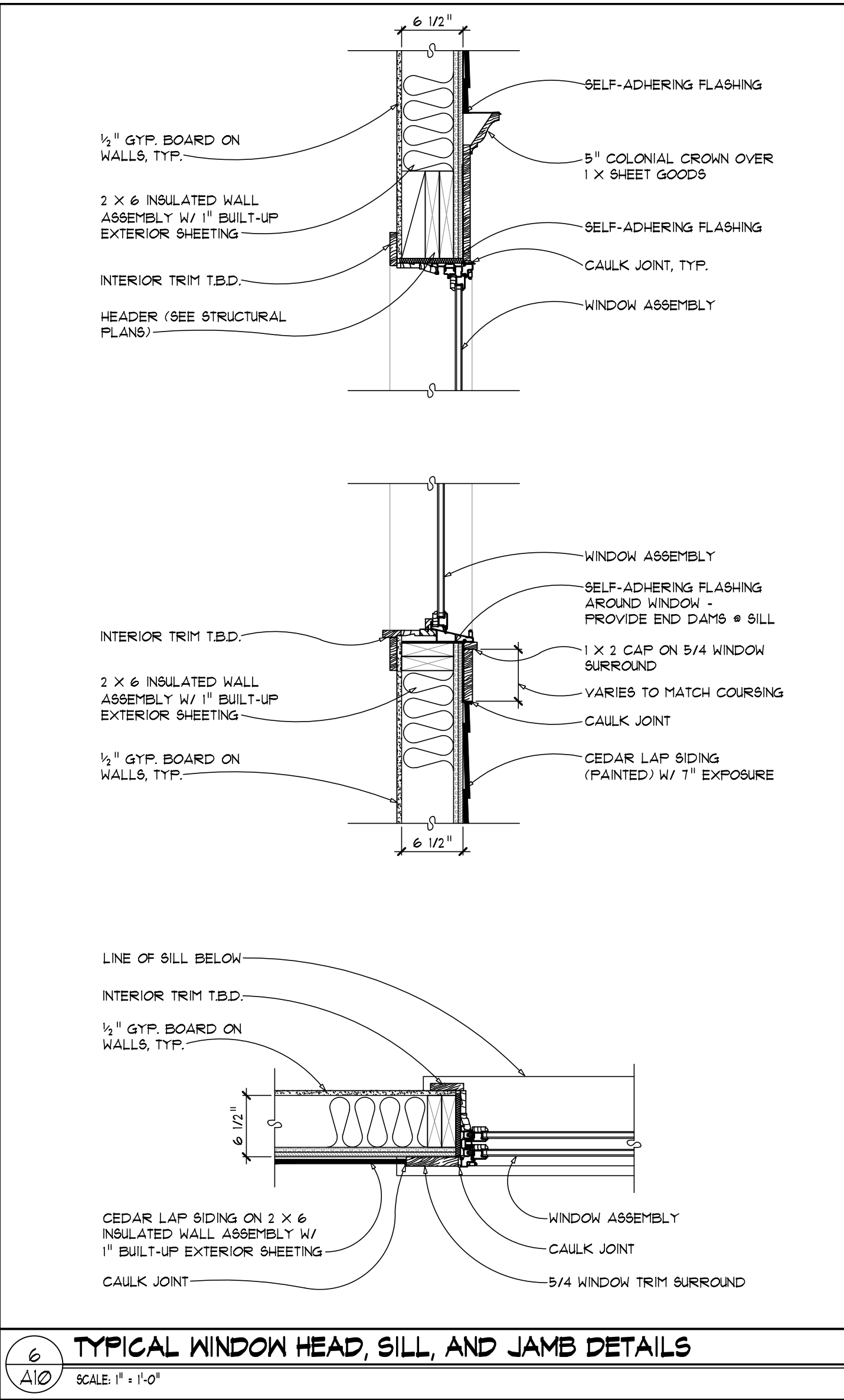
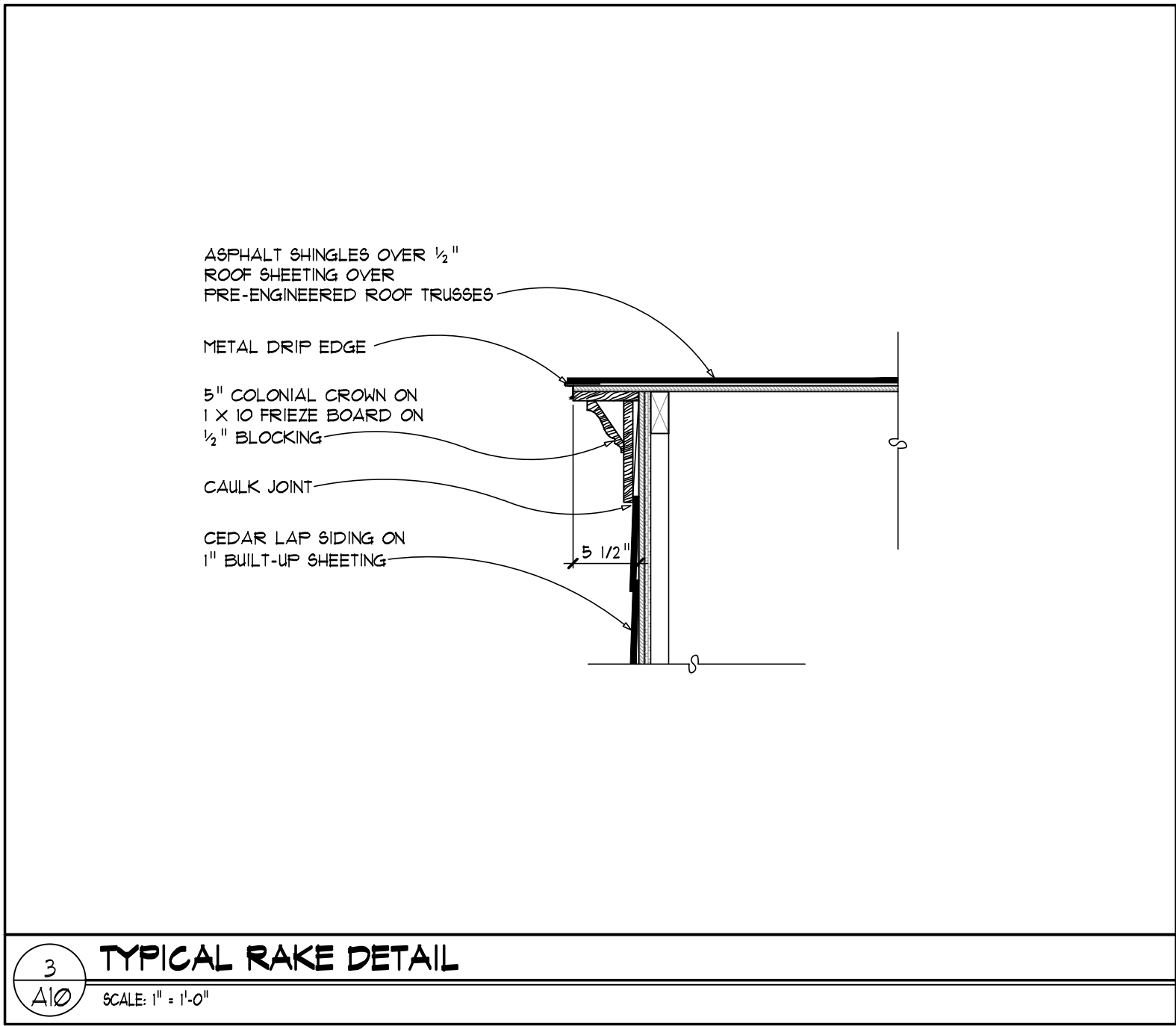
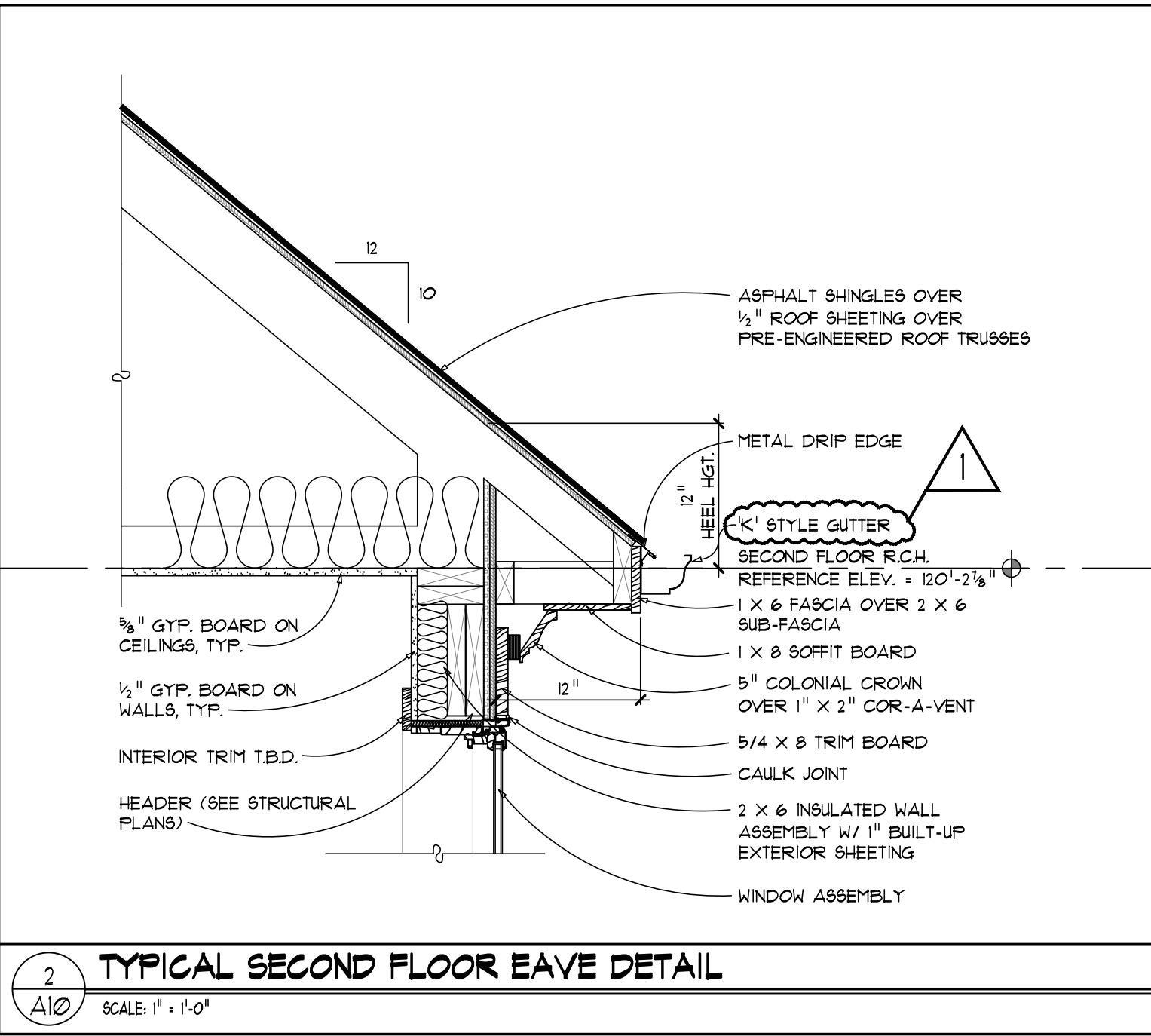
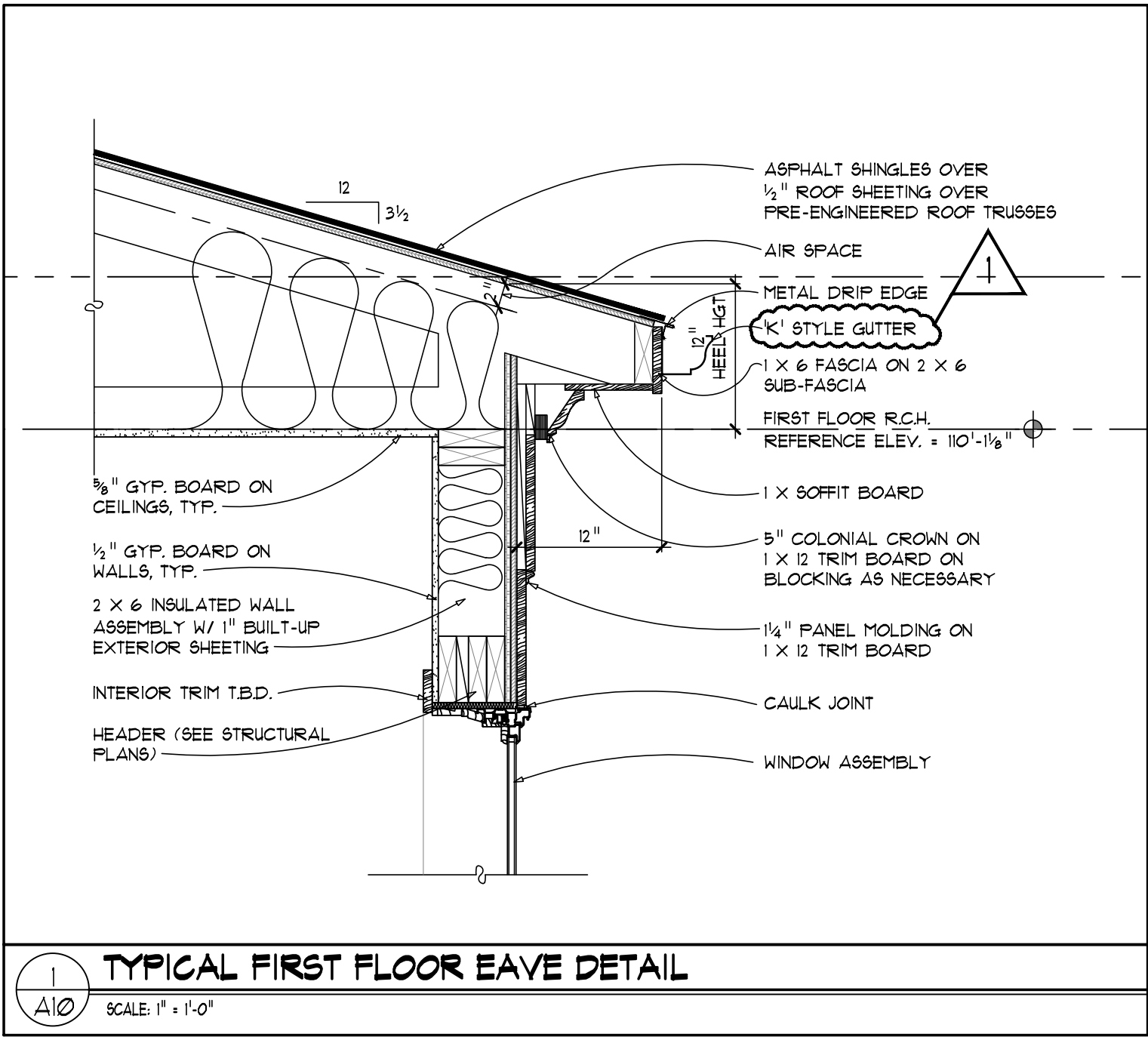


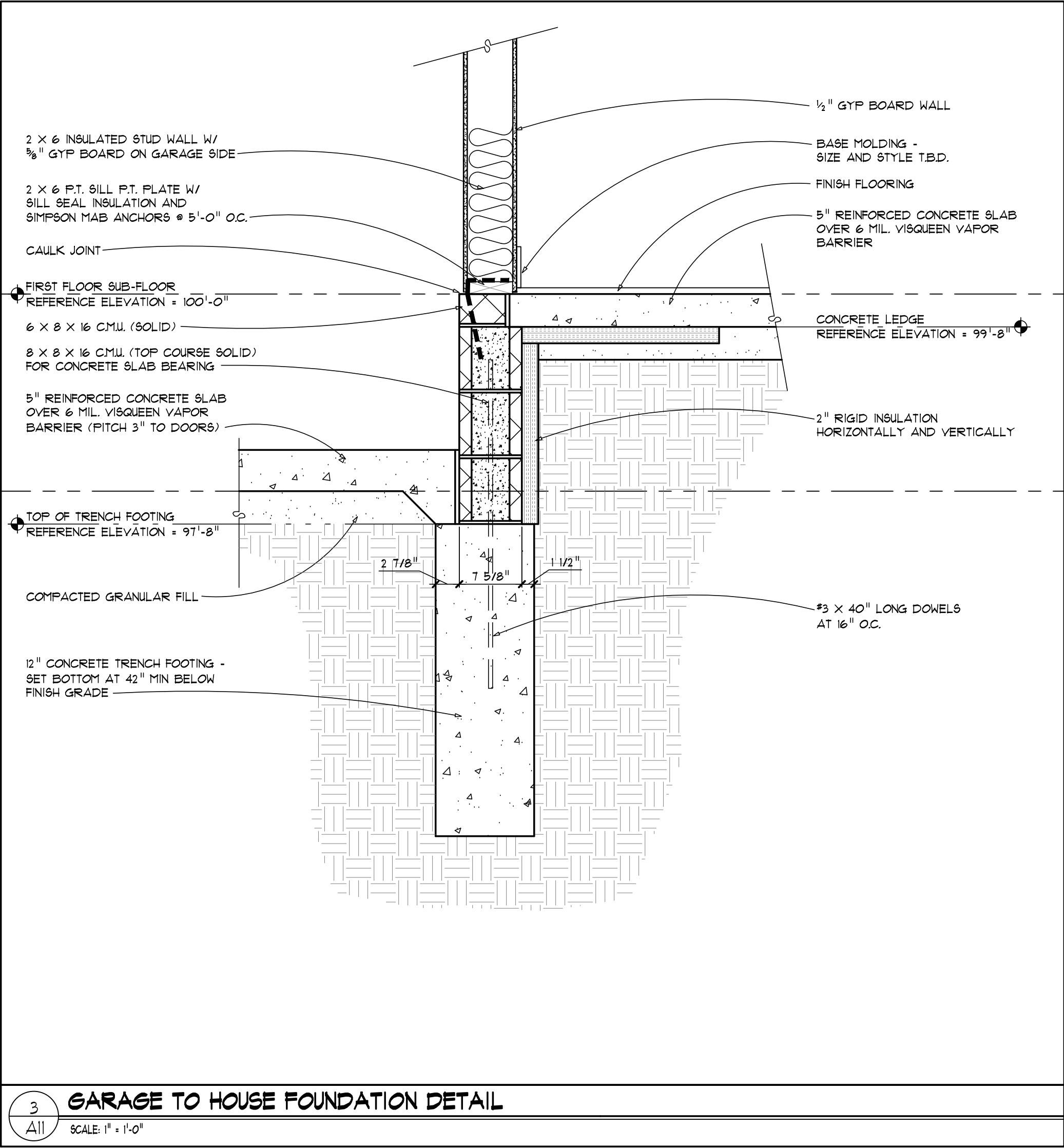
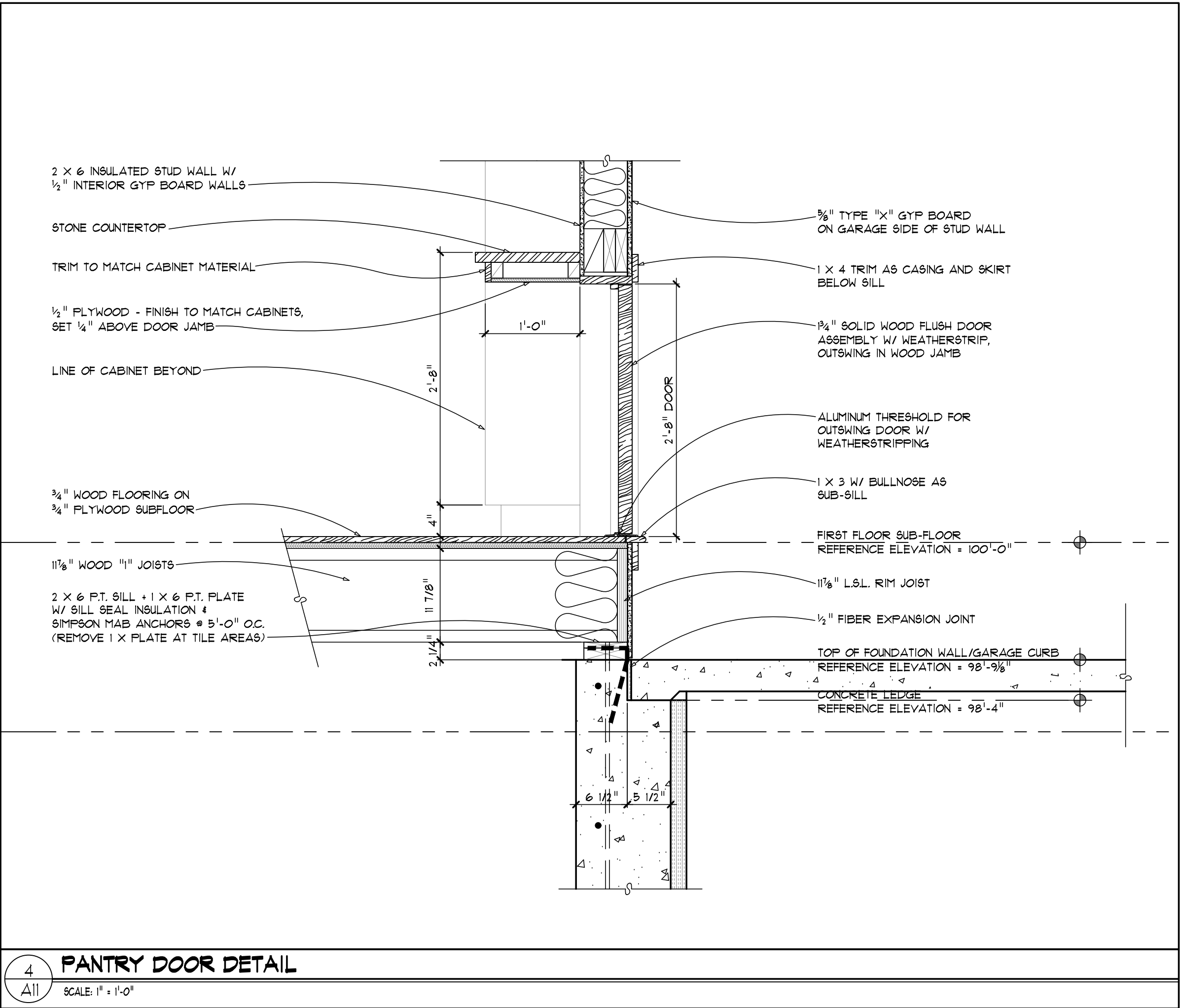
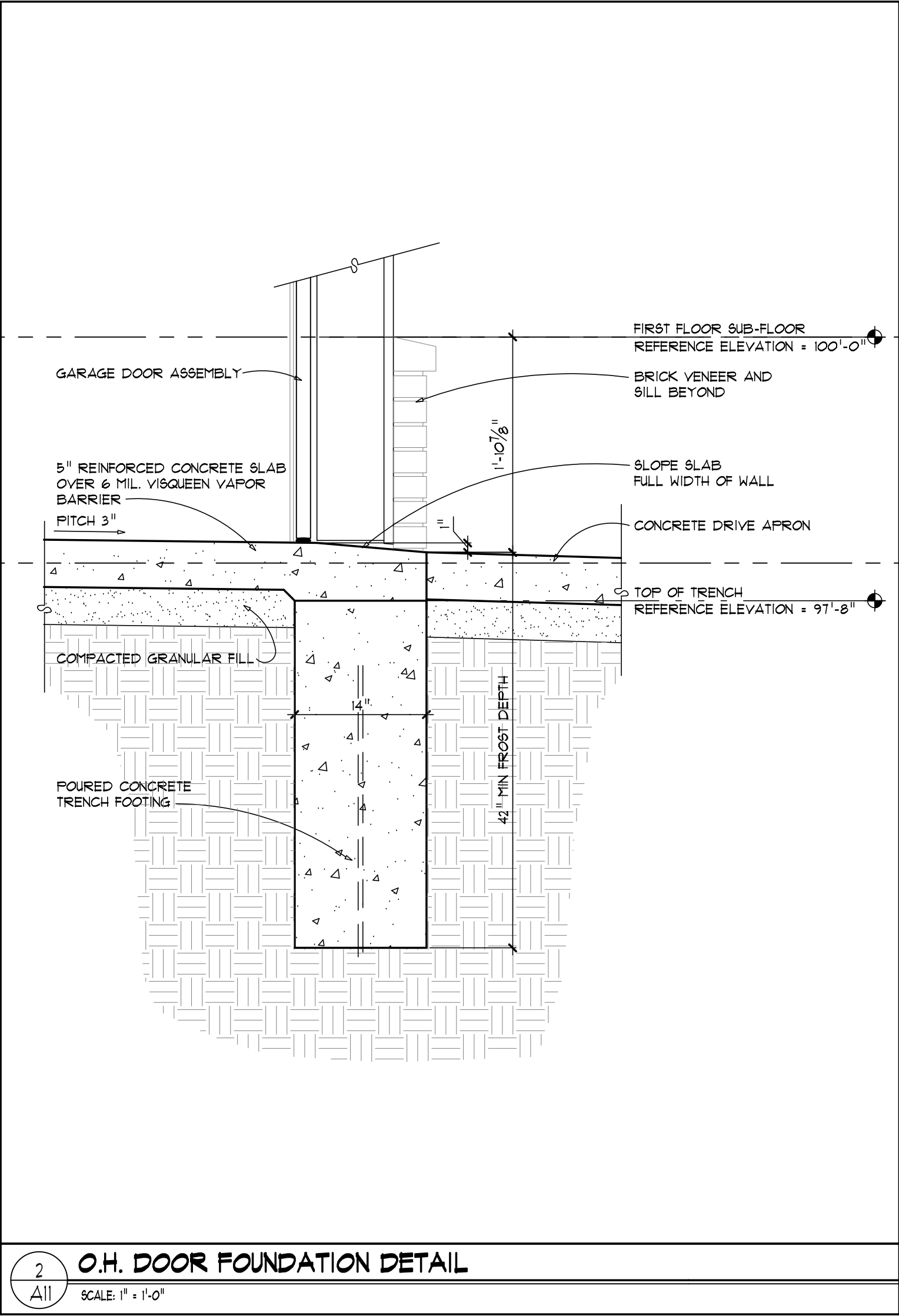
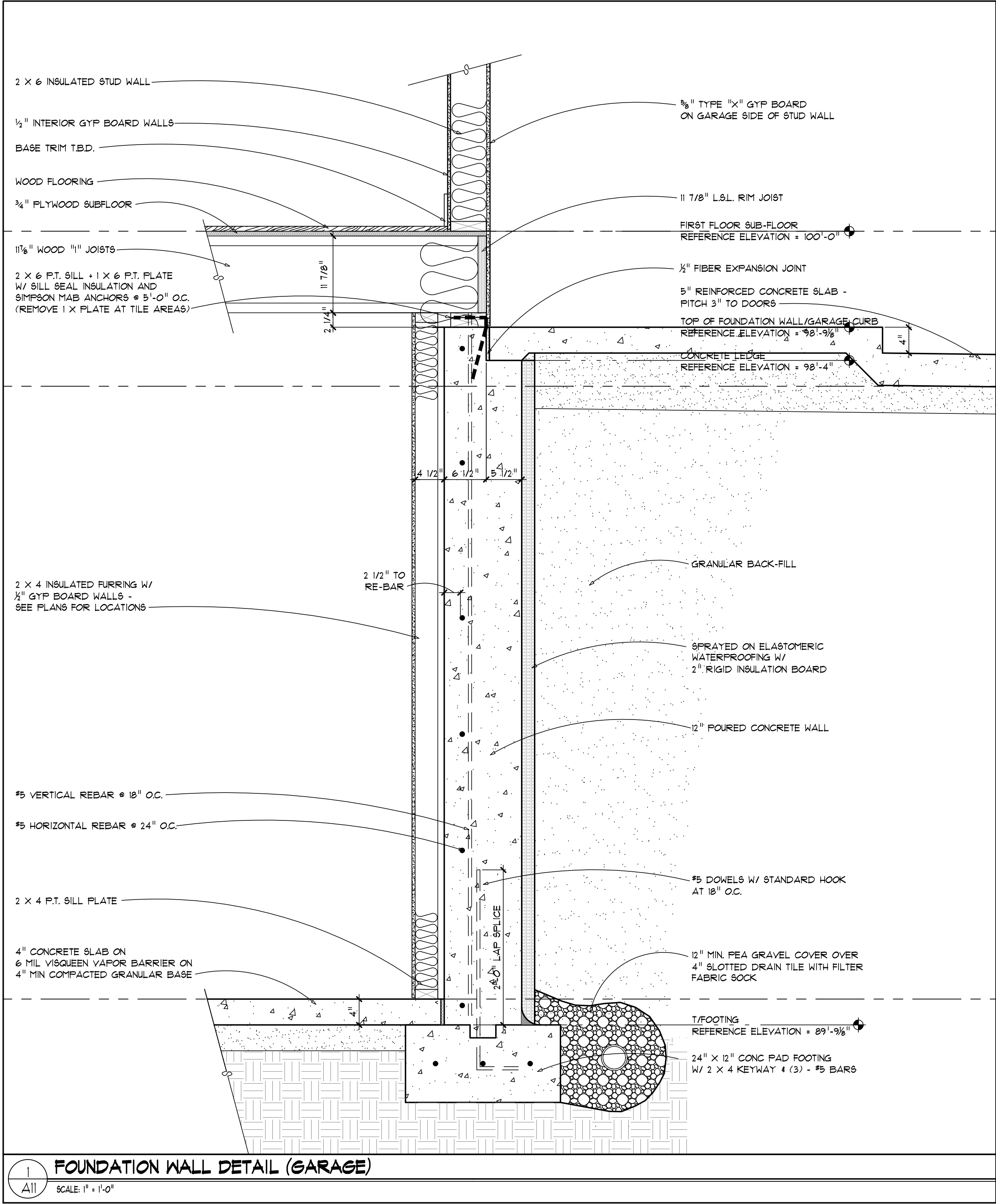
BUILDING SECTION
SCALE: 1/4" = 1'-0"

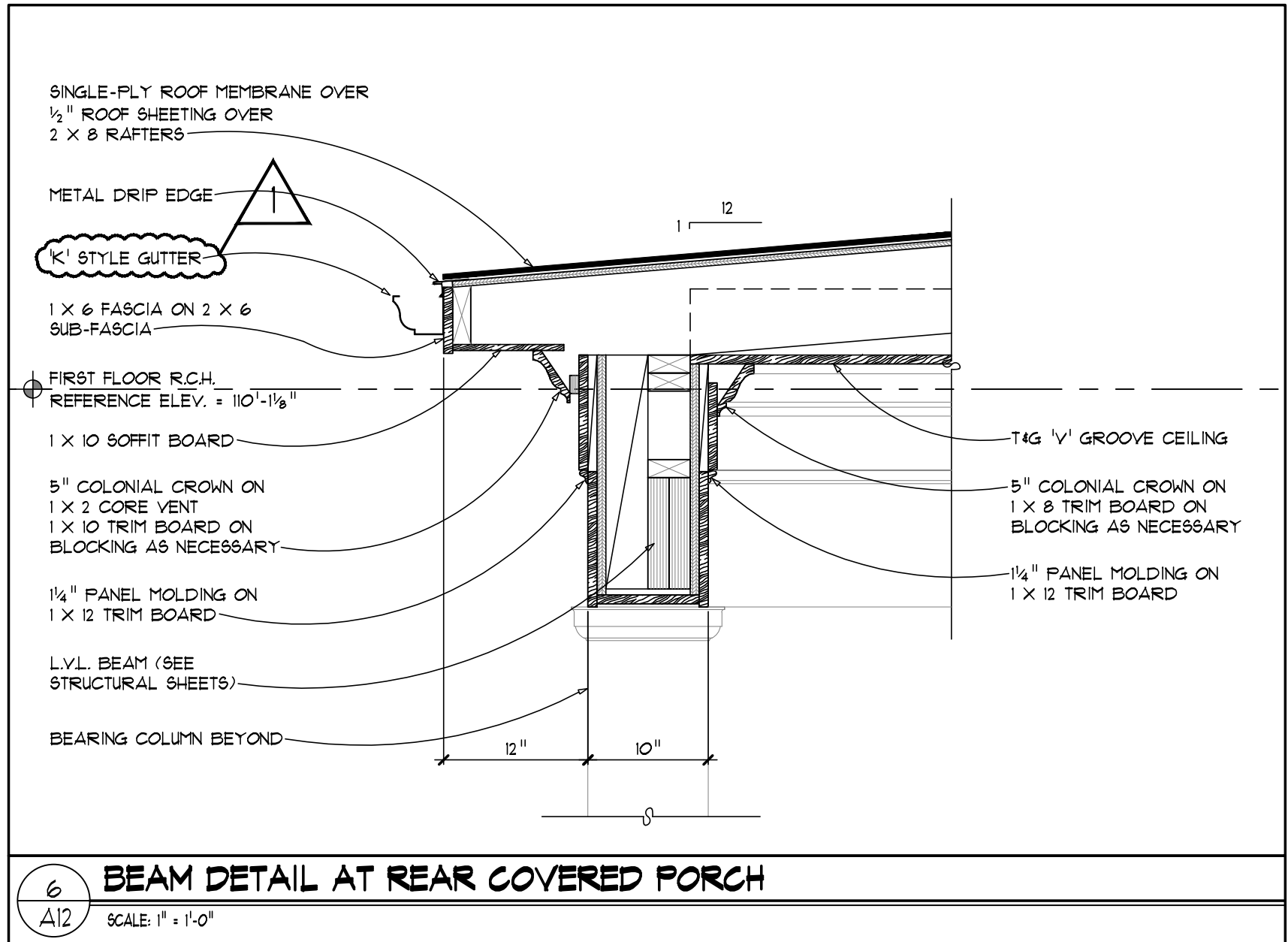
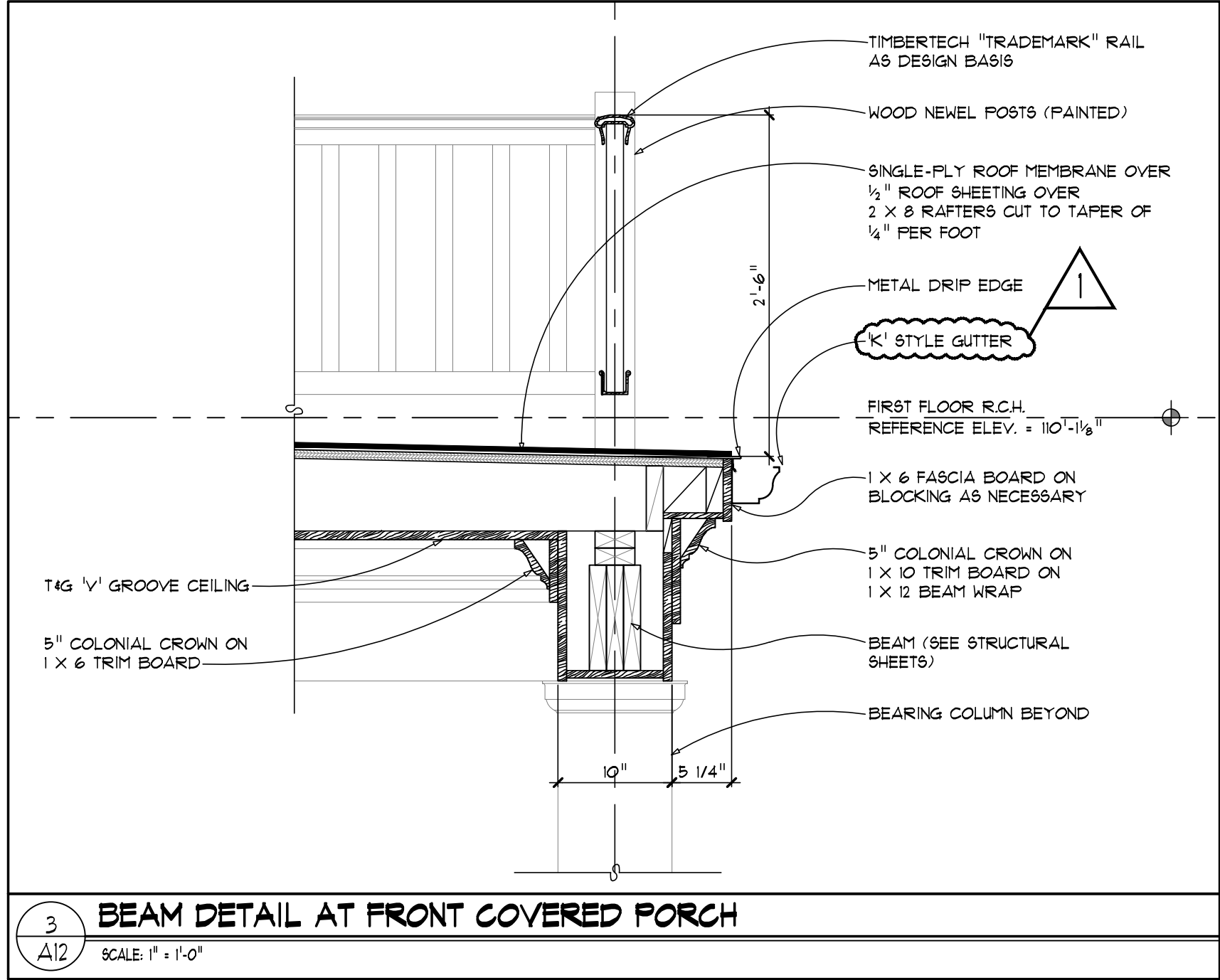
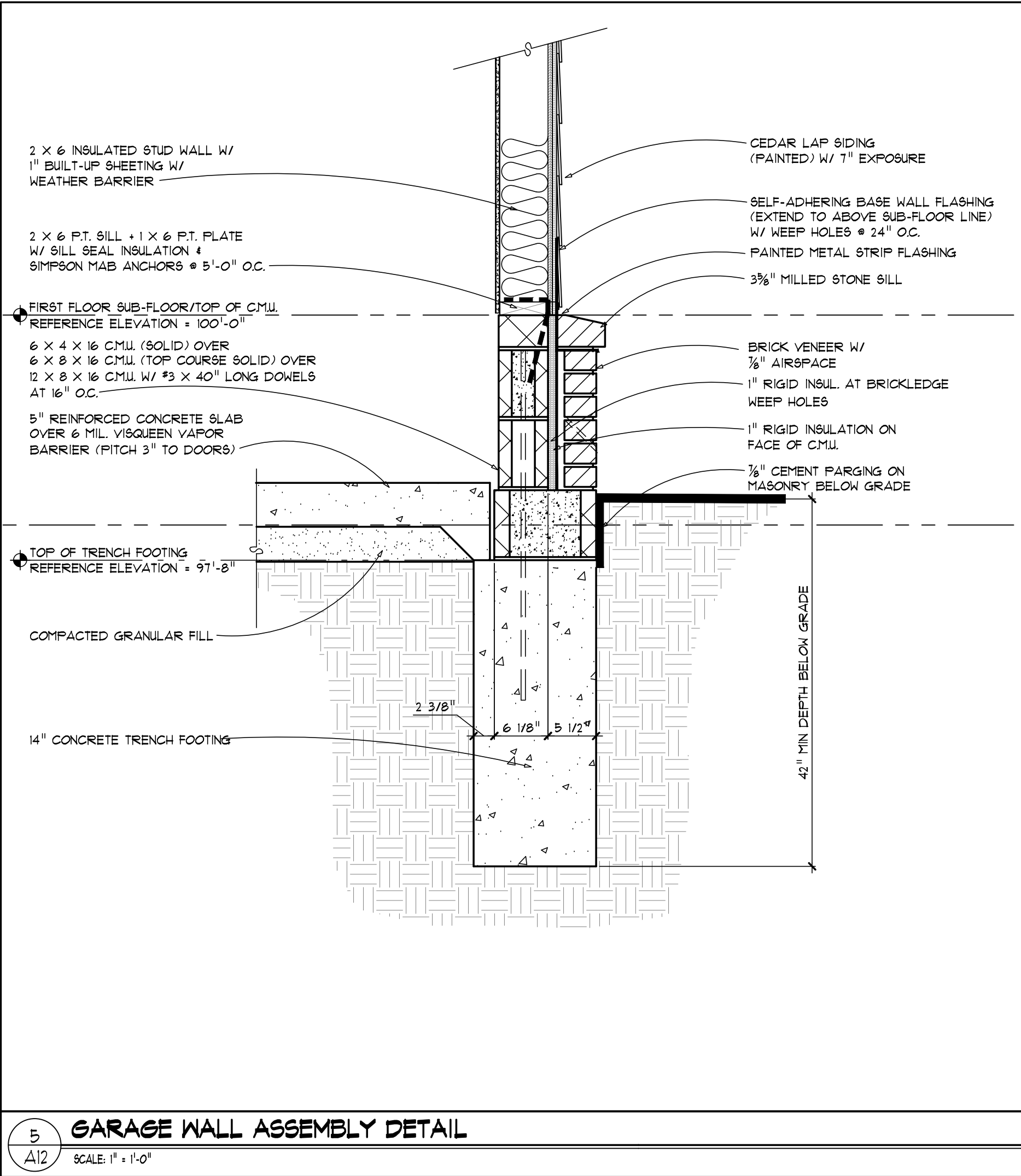
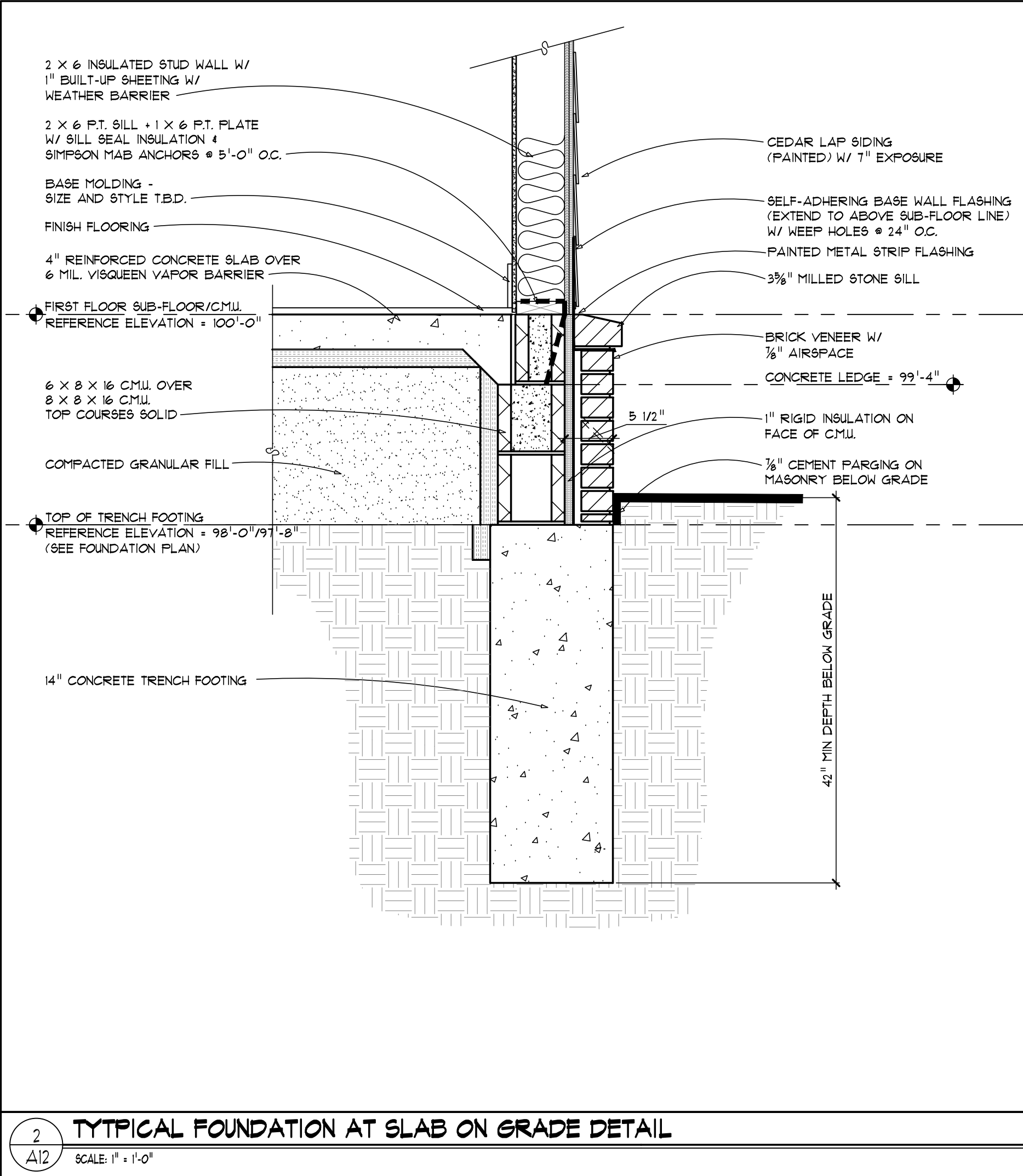
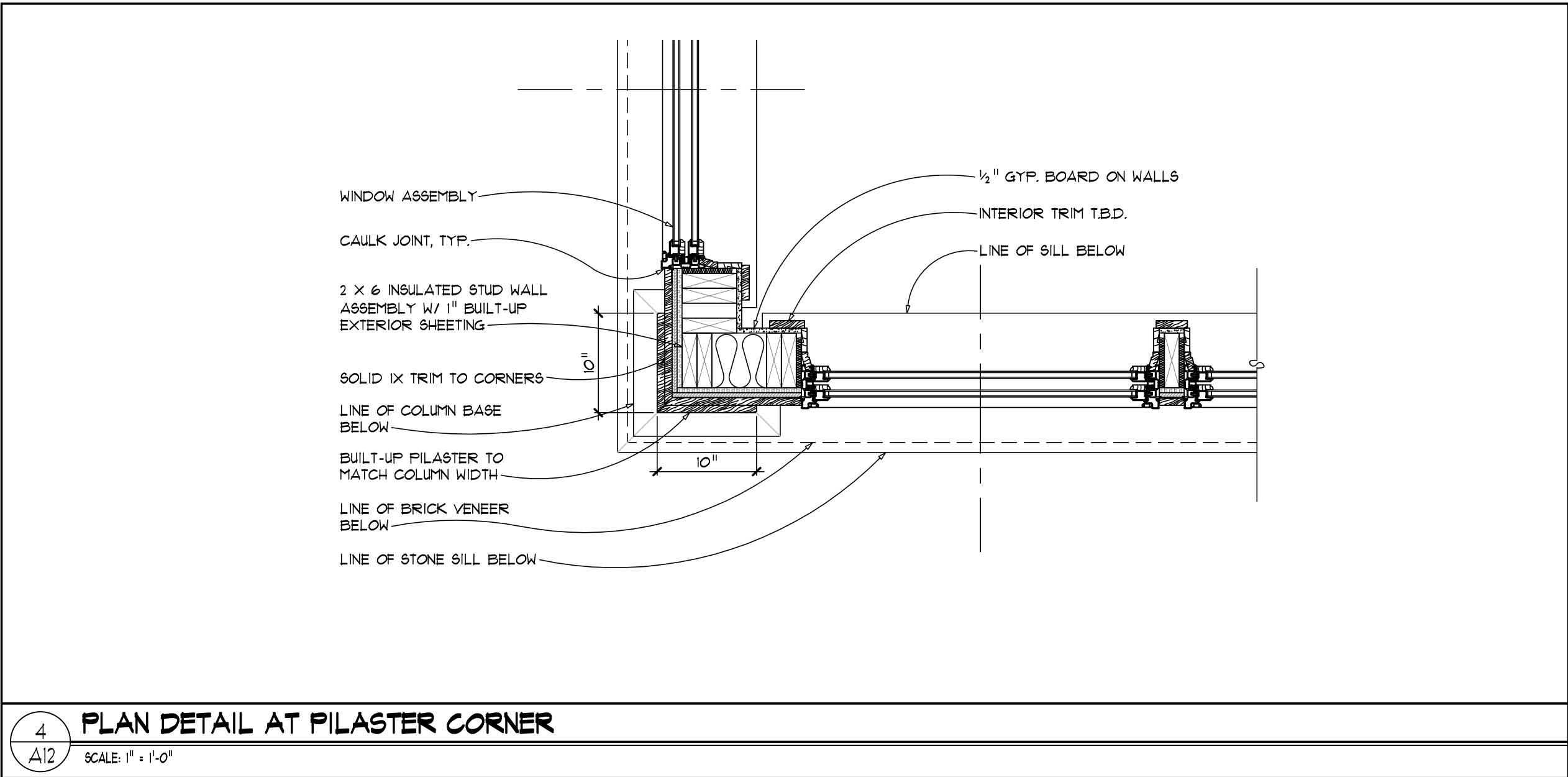
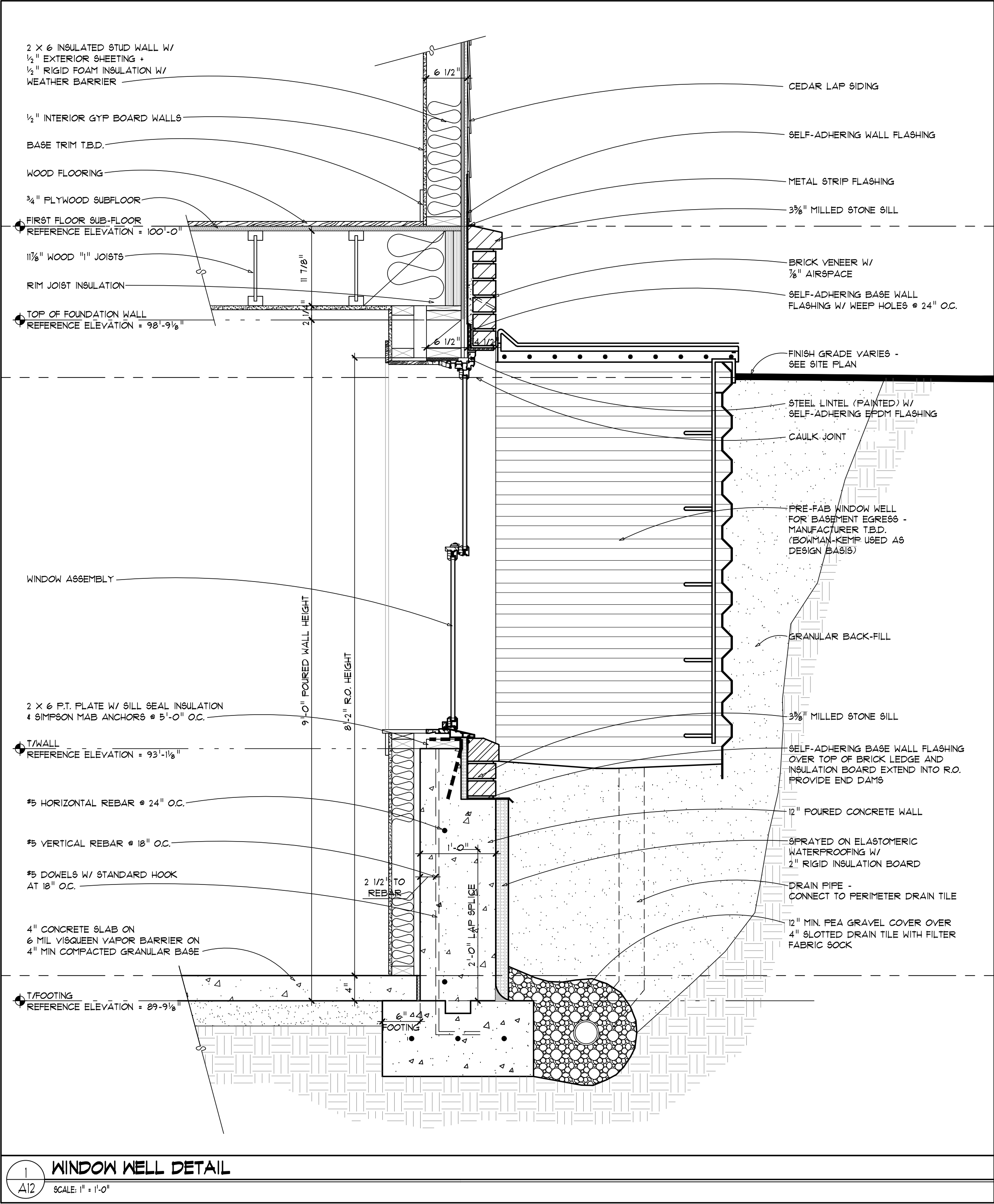


CHIMNEY SECTION
SCALE: 1/2" = 1'-0"

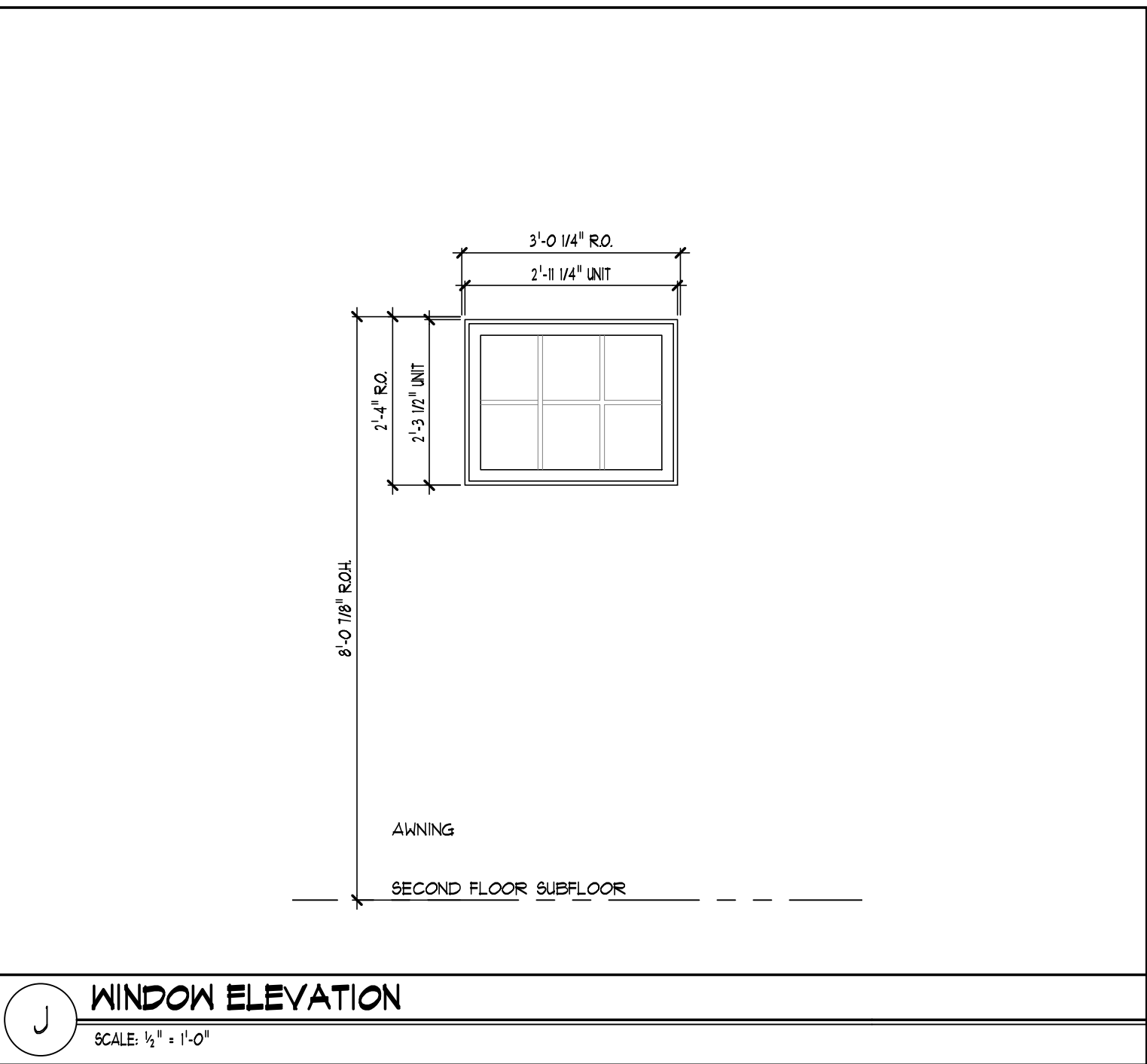
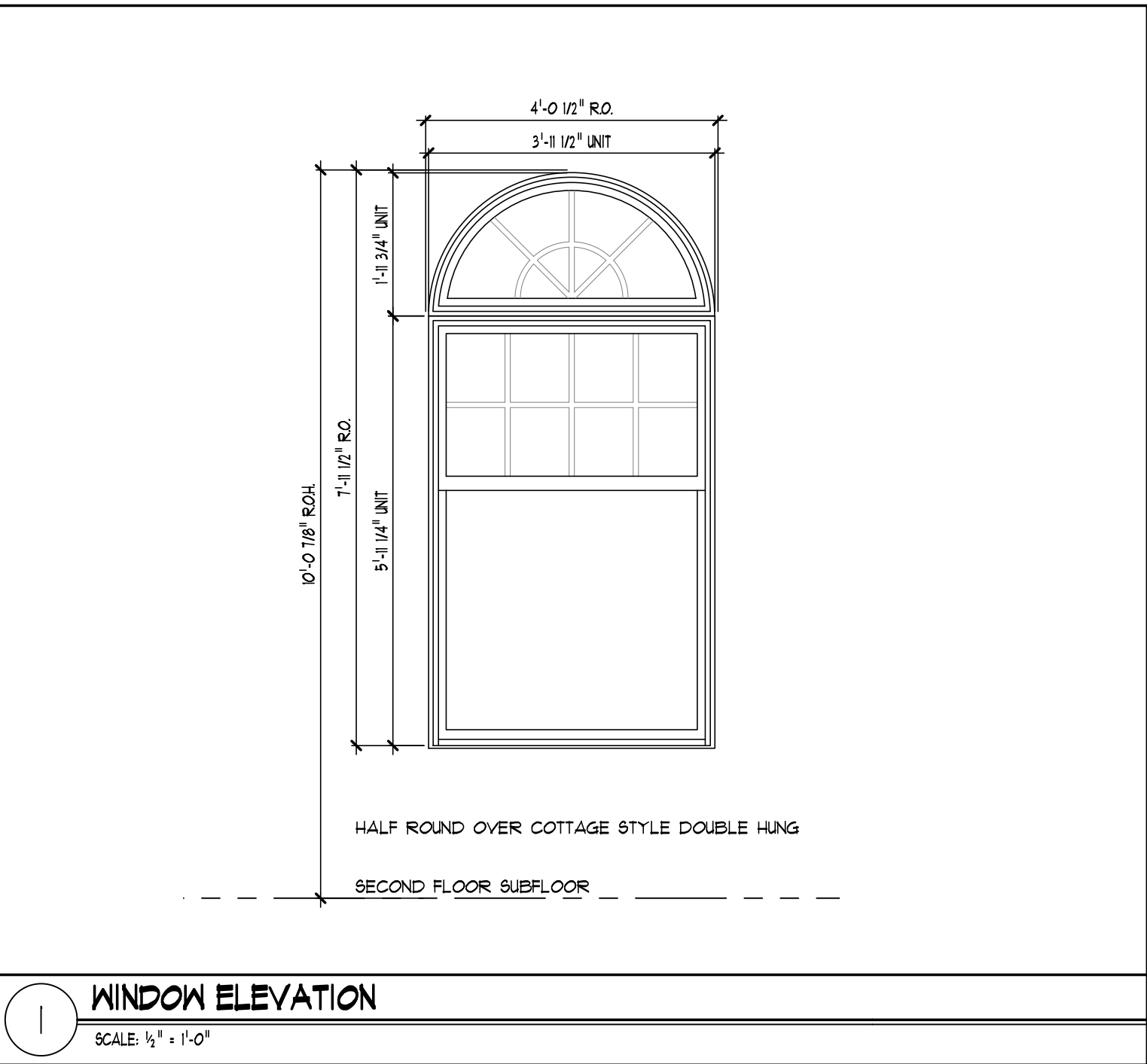
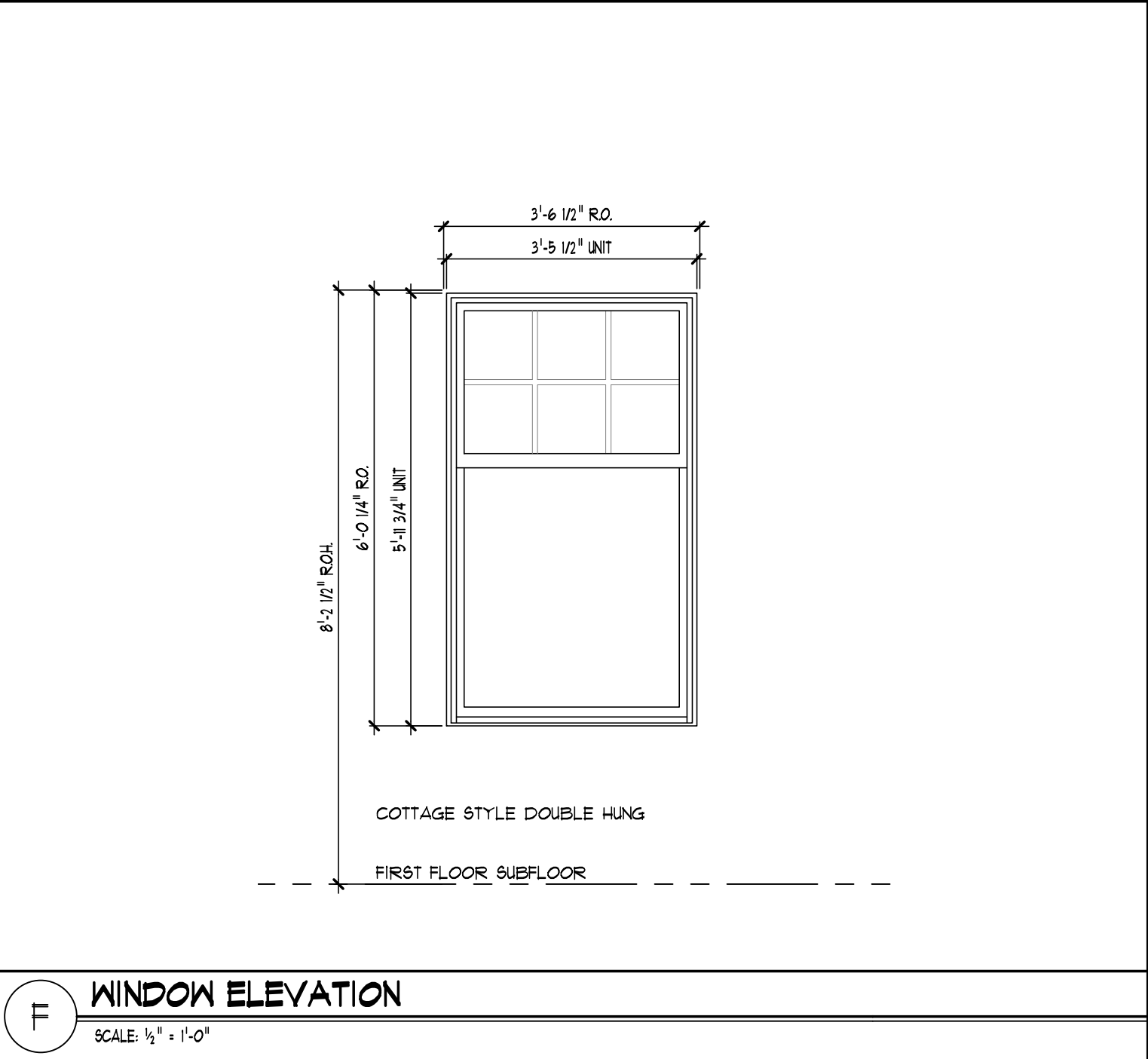
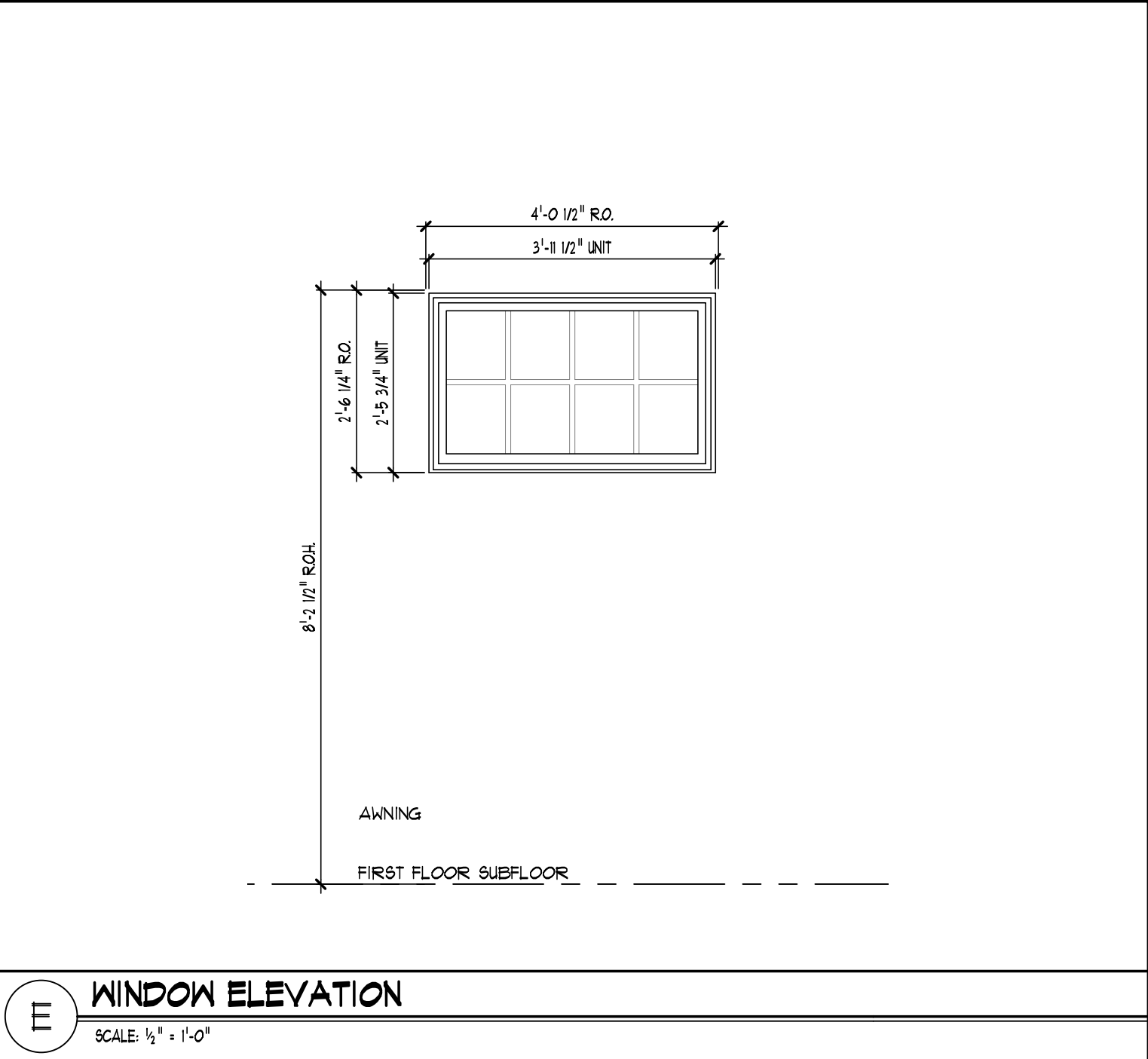
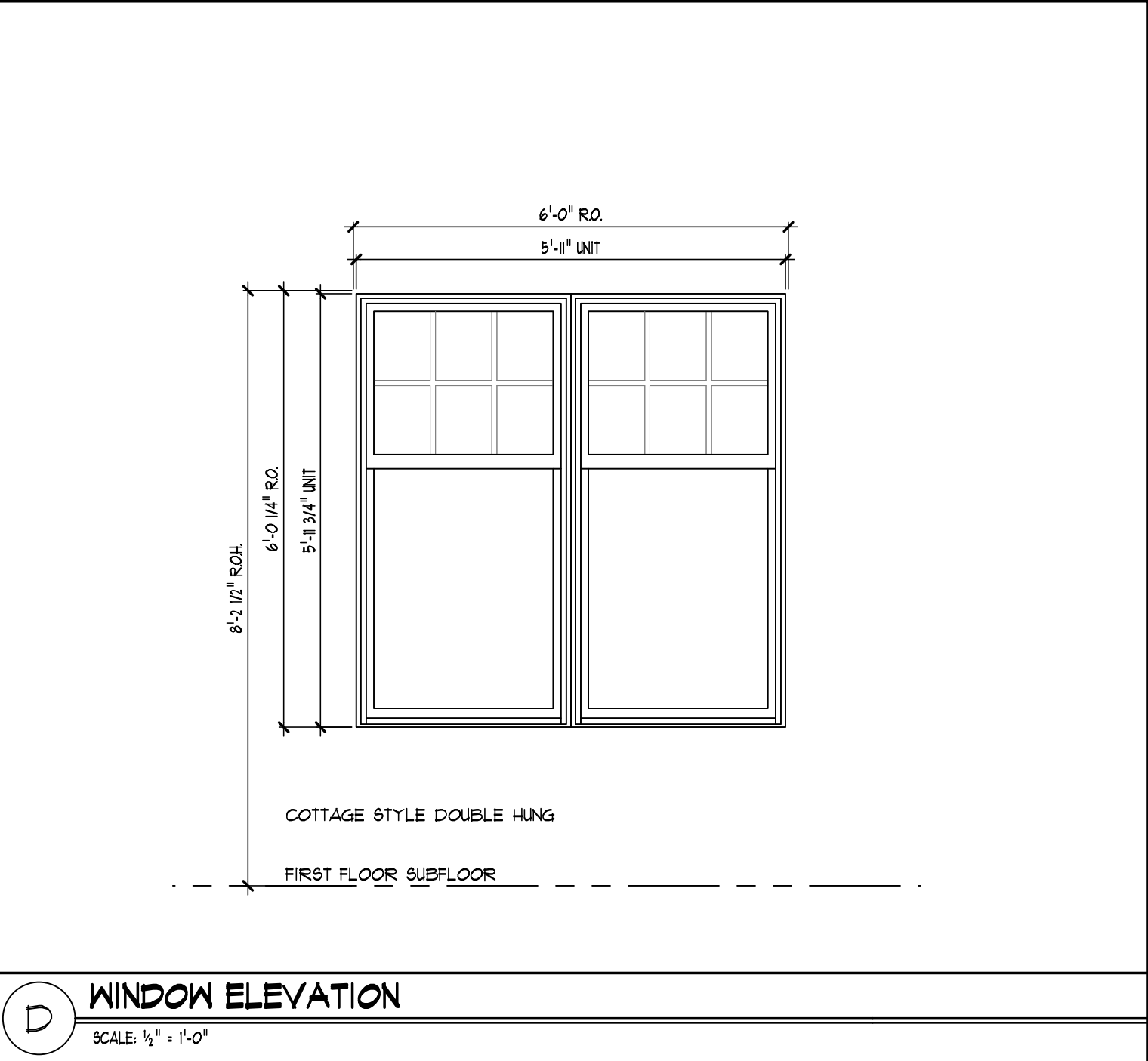


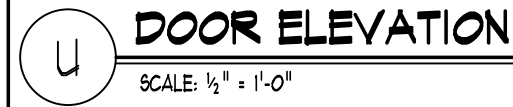
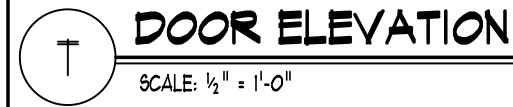
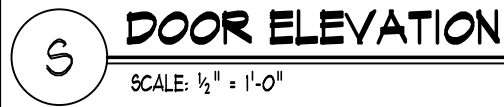
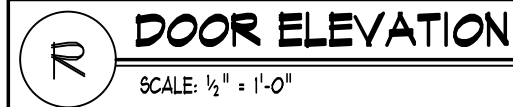
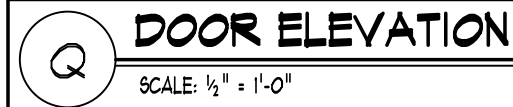
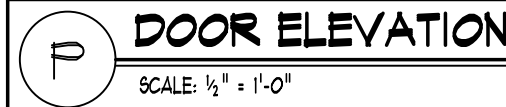


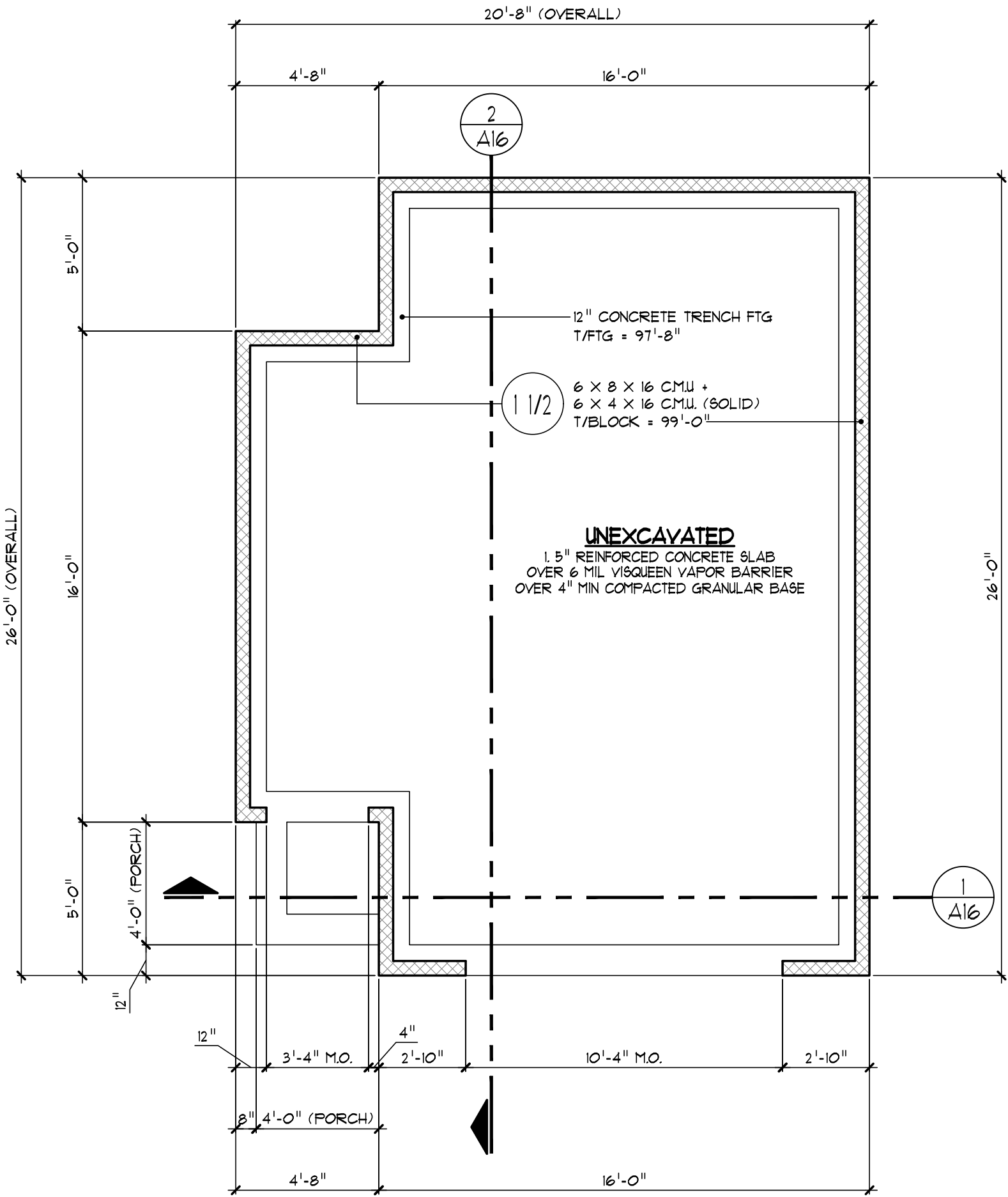




Architectural drawing of a window elevation. The drawing shows three double-hung windows side-by-side. The overall width is labeled as 6'-5 1/4" R.O. and 6'-4 1/2" UNIT. The overall height is labeled as 8'-2 1/4" R.O. The height of the upper sash is labeled as 3'-0 1/4" R.O. and 4'-1 3/4" UNIT. The drawing is labeled "DOUBLE HUNG" and "FIRST FLOOR SUBFLOOR". A scale bar is provided at the bottom left, indicating a scale of 1/4" = 1'-0".

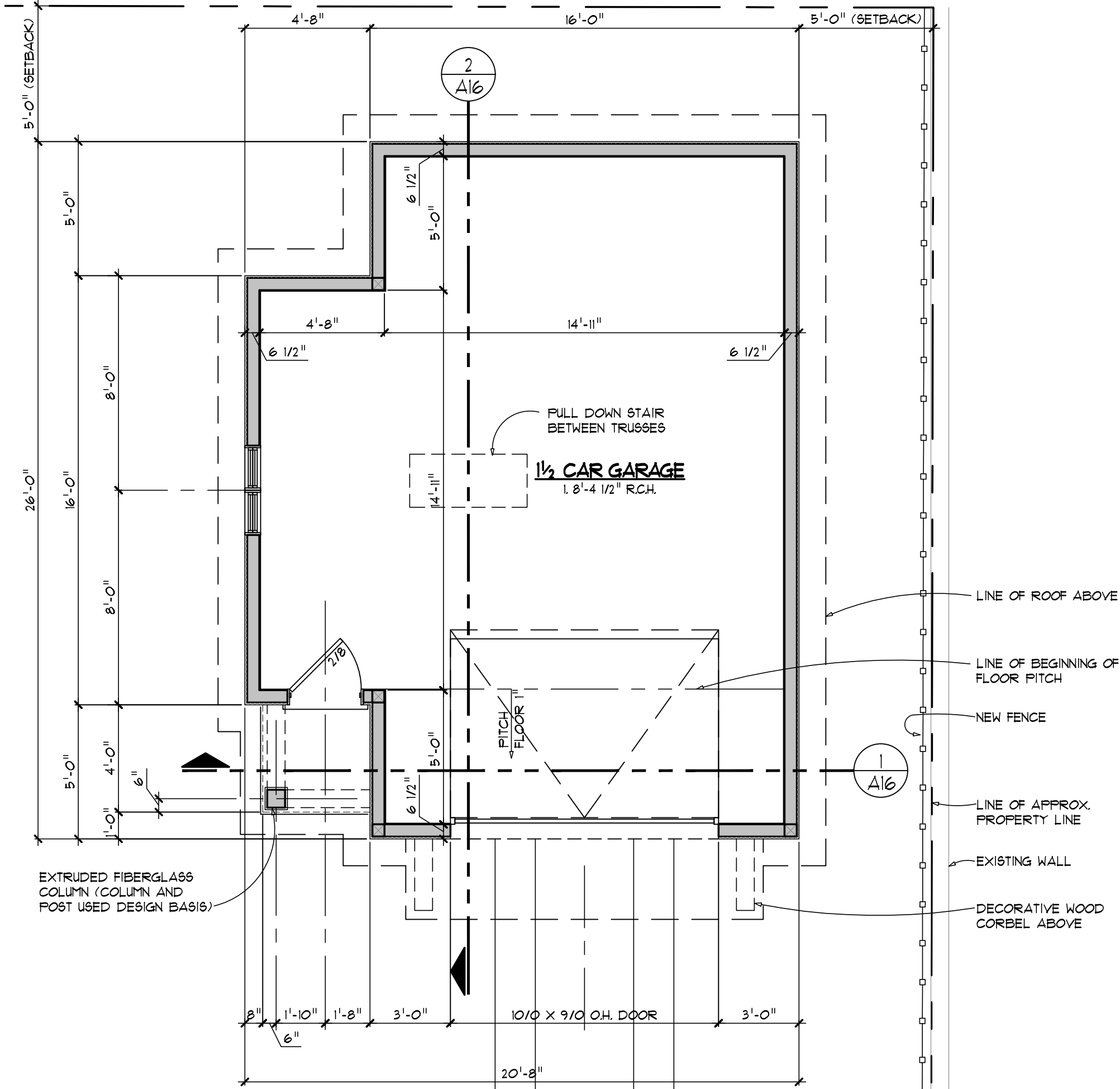






DETACHED GARAGE FOUNDATION PLAN

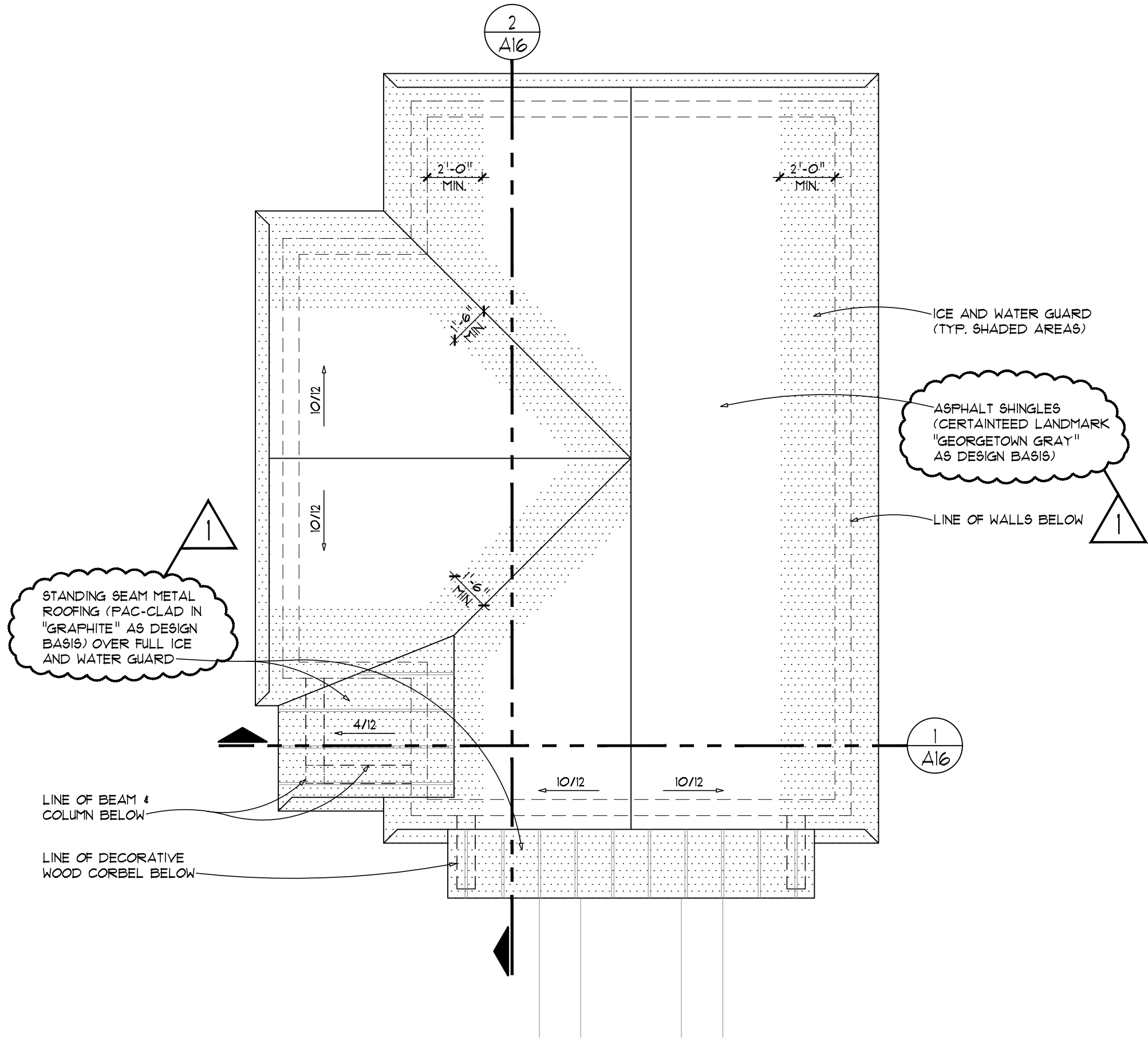
SCALE: 1/4" = 1'-0"



DETACHED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

GARAGE AREA = 491 SF.



DETACHED GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

- 07300

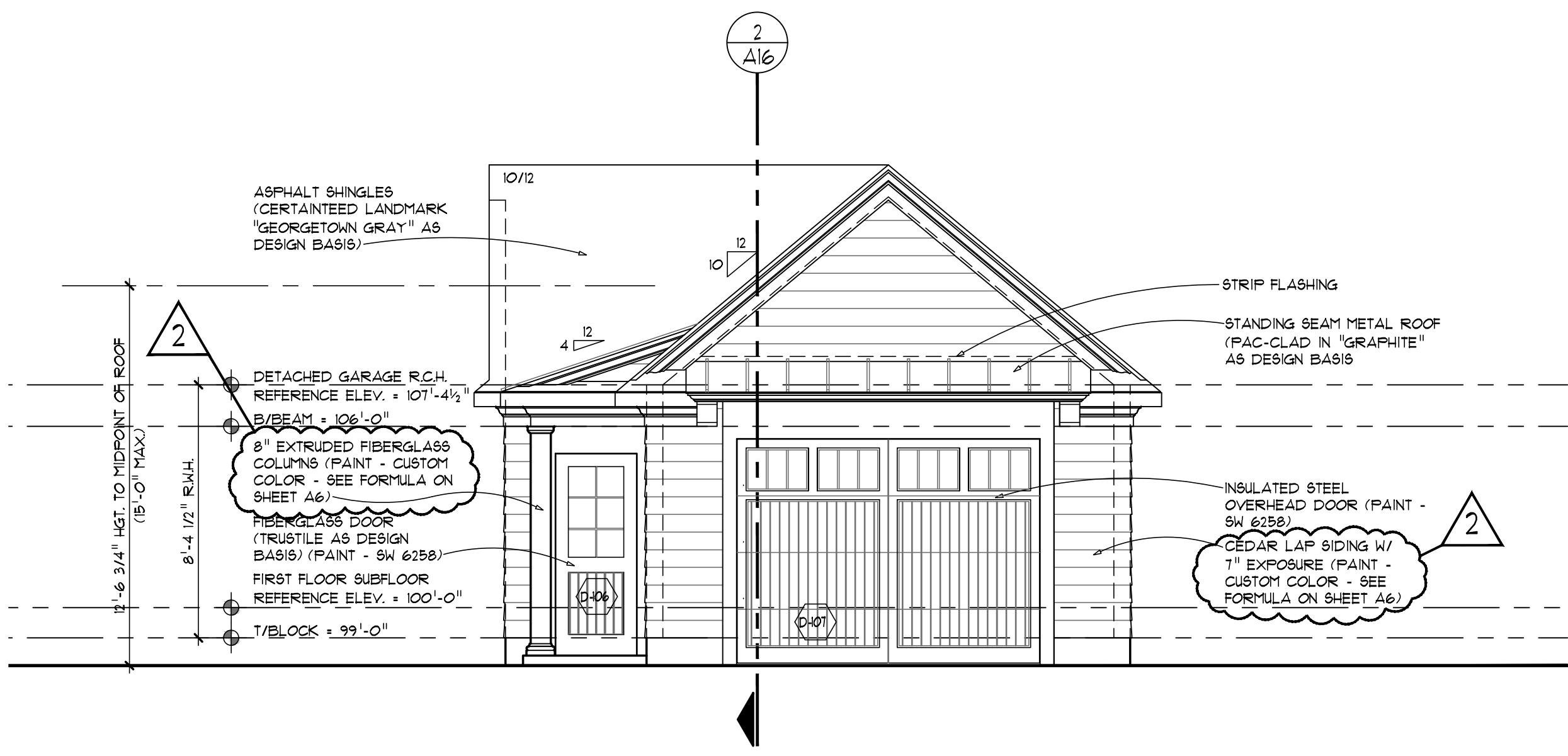
ASPHALT ROOFING:

 1. Provide shingles (CertainTeed 'Landmark' asphalt shingles, Color: Georgetown Gray). Installed in strict compliance with manufacturer's requirements, including fasteners (nails only, no staples).
 2. "Ice and water guard" by W.R. Grace or approved equivalent at wall to roof intersections, chimneys, and other locations where noted.
 3. Provide "ice and water guard" by W.R. Grace or approved equivalent under shingles at all eaves to 24" minimum inside interior wall line of exterior walls.
 4. Use 15# roofing felt under all main roof shingles. Lap at 2", end lap 6".
 5. Painted aluminum drip edges at all eaves (match wood trim color - see elevations for paint color).
 6. Aluminum step flashing and counter flashing at brick.
 7. Aluminum strip flashing at siding (match wood trim color - see elevations for paint color).
 8. Roofer to install and provide continuous ridge vents with baffles. Hold back from corners and ends 12" minimum. Shingle over all vents.
 9. Decorative bay and low pitch (under 4/12) roof areas to be standing seam painted steel over full ice and water guard or equivalent with Architect's approval.
 10. All valleys to be closed.
 11. Alternates to aluminum flashings to be approved by Architect.
 12. All flashing to be installed in accordance with the Asphalt Roofing Manufacturers Associations most recent recommendations and publications.
- 07300

METAL ROOFING (STANDING SEAM):

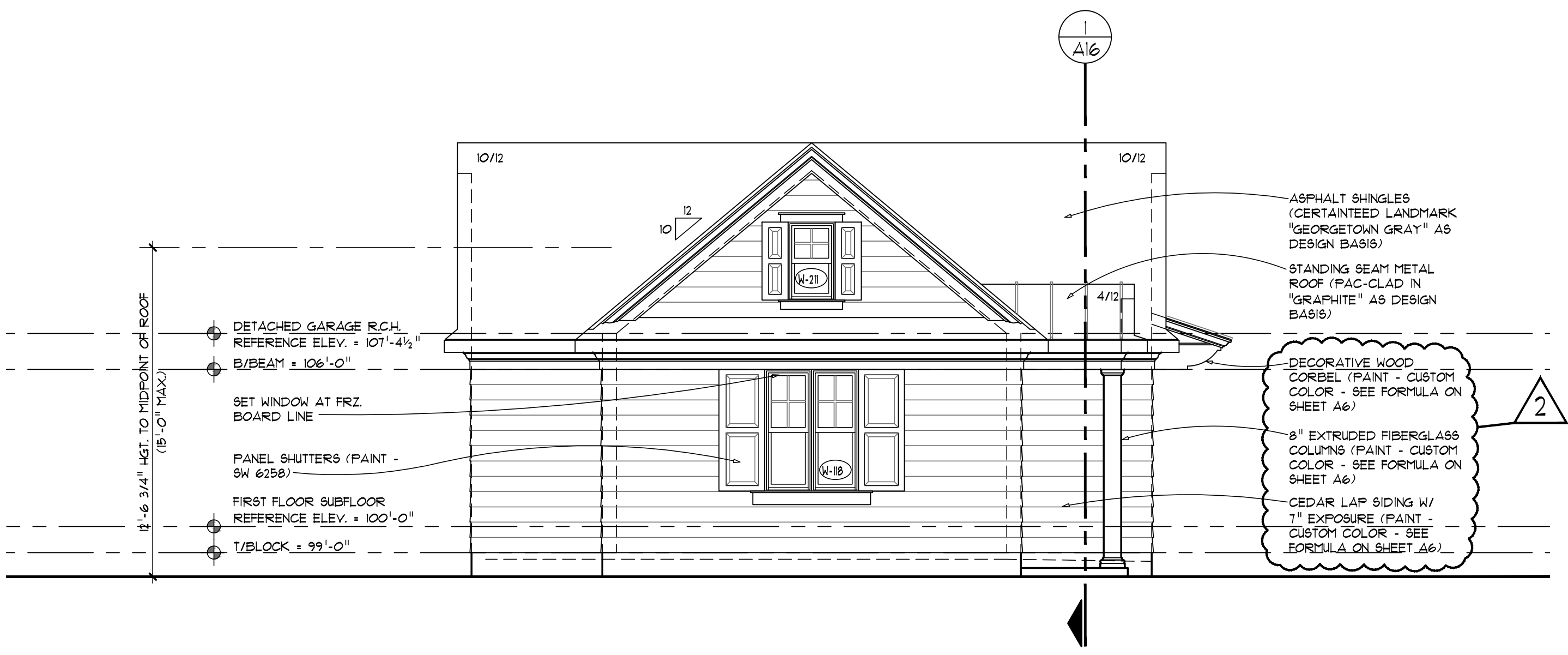
 1. Provide 24 gauge, or heavier, galvanized standing seam roof panels by Pac-Clad or equivalent (Color: Graphite). See roof plan for seam o.c. spacing. See Architect for specific series.
 2. Panels to be finished w/ Kynar500 or higher.
 3. Standing clip height is 1". Clips spaced @ 36" o.c. maximum.
 4. Provide manufacturer approved self-adhering underlayment (Firestone Clad-Card SA or R are acceptable or equal).
 5. Installer to verify that roof substrate to be no more than 1/4" out of plane at any location.
 6. Installer to confirm a minimum pull out force acceptable to the metal panel provider's installation instructions. Fasteners may be coated steel or stainless steel.
 7. All flashings to match base metal material at 24 gauge minimum. Vertical rise on base flashing to be 8" min. or above potential water line of roof surface.





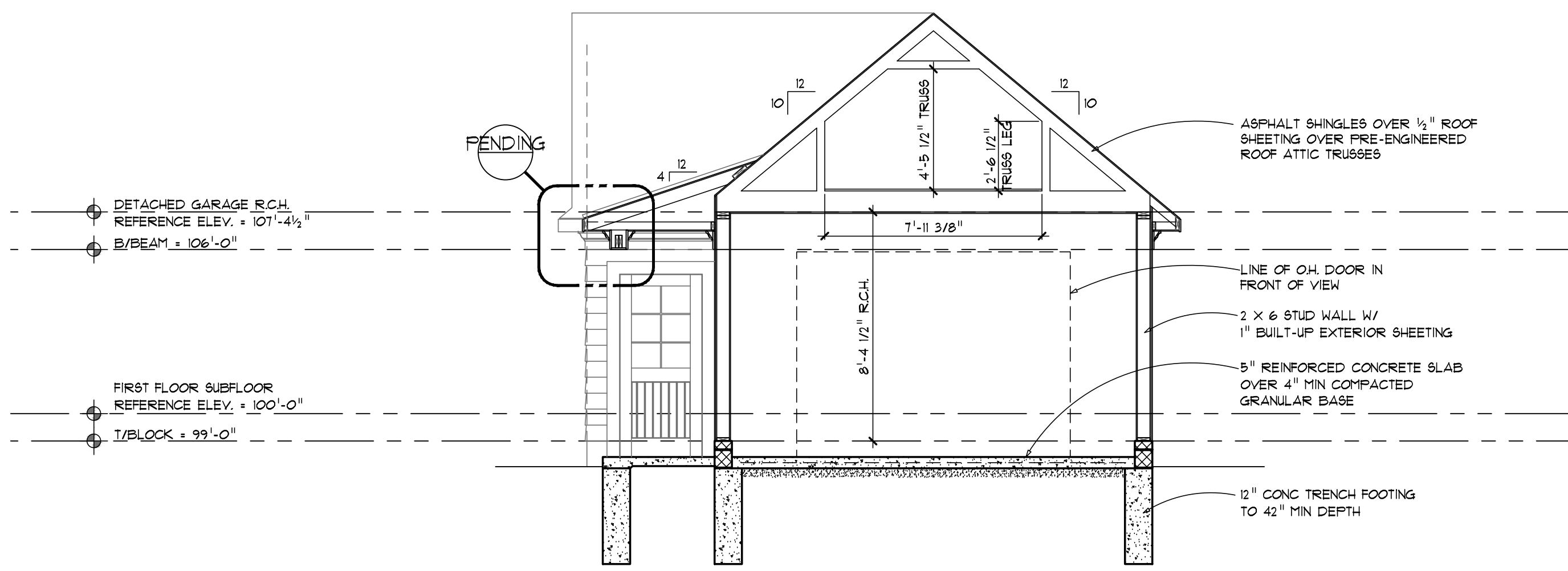
DETACHED GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



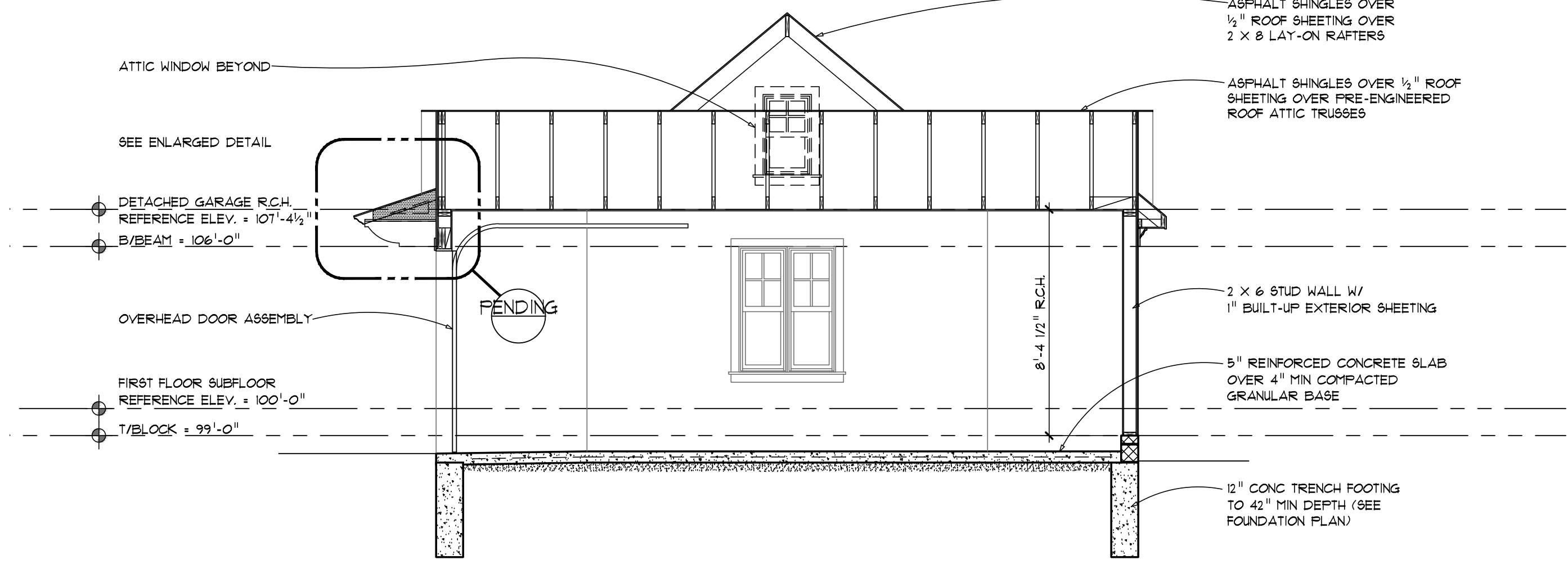
DETACHED GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



DETACHED GARAGE SECTION

SCALE: 1/4" = 1'-0"



DETACHED GARAGE SECTION

SCALE: 1/4" = 1'-0"

JOB NO.

22028

DRAWN BY

LMF

CDD BY

RG

RELEASE DATE

Permit- 08.11.2023

REVISION NO.

1. Permit Revision- 11.10.2023
2. Color Revision- 06.04.2025

ARCHITECTS SEAL

SHEET NO.

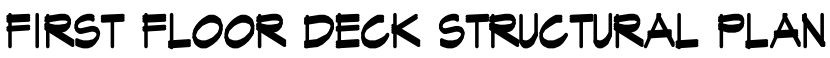
A16

CBI Design Professionals
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F: 248.647.7307

www.cbidesign.net

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SCALE: 1/4" = 1'-0"

1. Steel design, fabrication, and erection to be in accordance with the latest AISC "Specifications for the Design Fabrication and Erection of Structural Steel" and the latest edition of the AISC "Manual of Steel Construction."
2. Steel pipe columns shall be ASTM A-501, 3Y-36 ksi. Structural tubing shall be ASTM A500, Grade B, 4Y-46 ksi.
3. All structural steel members and connections shall conform to the following table unless specified otherwise:

(1) 3-1/2 x 3-1/2 x 5/16 x 21-3/4 "0" opening width (or less)
(2) 4-1/2 x 4-1/2 x 5/16 x 21-3/4 "6-0" opening width
(3) 6-1/2 x 6-1/2 x 5/16 x 21-3/4 "6-0" opening width
(4) 8-1/2 x 8-1/2 x 5/16 x 21-3/4 "10-0" opening width

 NOTE: For limits greater than 6'-0", provide "diameter lag or pipe" in accordance with 24" o.c. in 9/16 x 1" vertical slotted holes to steel frame or header.
4. Wood-to-steel joints to be provided with minimum "8 x 6 x 6" base plate and top cap plate, UNO (see diagram on structural sheets for details).
5. All field connections to be made with ASTM A-325 bolts welded to a "snug tight" condition, UNO or equivalent welds.
6. Tightened connection shall be in accordance with the latest AWS D1.1, "Structural Steel Welding" and shall be done using E70XX electrodes, unless noted otherwise, performed by qualified welders.
7. The Designer/Eractor is solely responsible for the design and installation of all temporary gages, braces, falsework, cribbing, and other elements required for the safe and proper installation of all building elements until the structure is permanently braced. The Designer/Eractor shall perform all work in accordance with OSHA requirements.
7. The design, configuration, and erection safety of all structural steel connections shall be the responsibility of the steel fabricator/erector. The Designer/Eractor shall be responsible for the Engineer/Architect shall constitute approval of the design intent only.
8. (a) Structural steel beams (supporting wood joists) shall have minimum 2 x 6 wood top plate. UNO. Secure plate to beam with 2 rows of 2 steel n/ anchors @ 48" o.c. staggered rows; or (2) metal strap anchors @ 48" o.c. from each side of beam nailed through joists and secured to exterior wall framing.
9. The Designer/ Engineer and Architect are not responsible for jobsite safety or other job site conditions.
10. Verify exact size and location of floor and roof openings with structural steel contractor.
11. Verify all existing dimensions and conditions in field prior to construction.
12. Upon request, the steel fabricator shall submit shop drawings for review by the Engineer and Architect prior to fabrication.
- Allow (10) working days for each stage of the review process.



CBI DESIGN PROFESSIONALS

New Residence for
the Murphys
2998 Iroquois Ave., Detroit, MI 48214

22028

LIP

RGC

RELEASE DATE

Permit - 09.11.2023

REVISION NO.

ARCHITECTS SEARCH

SHEET NO.

S2

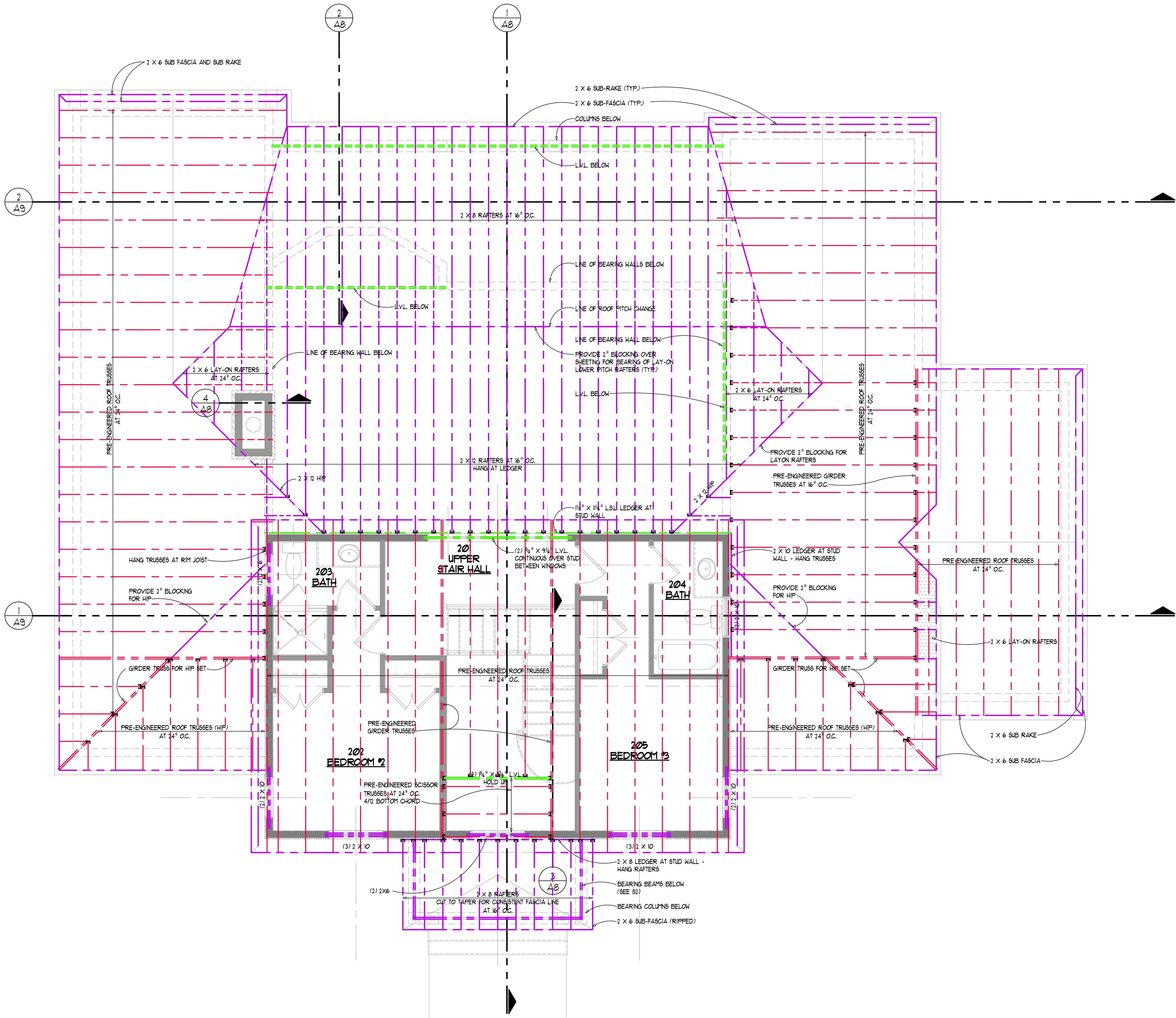
CBI Design Professionals
838 W. Long Lake, Suite 11
Bloomfield Hills, MI 48302

P: 248.645.2605
F: 248.647.7307

www.cbidesign.net

Second Floor Deck Structural Plan

C:\Users\lfranzoni\OneDrive\Documents\Projects\22028 Murphy\1. PROJECT & DRAWING INFO\1.1. Construction Documents\22028S3 - Second Floor Ceiling and Partial Roof Structural Plan.dwg, 9/11/2023 10:22:48 AM, lfranzoni



SECOND FLOOR CEILING/PARTIAL ROOF STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

JOB NO.
22028
DRAWN BY
LIP
CDD BY
RGC
RELEASE DATE

Permit - 08.11.2023
REVISION NO.

ARCHITECTS SEAL

SHEET NO.

S3

CBI Design Professionals
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New Residence for
the Murphys
2998 Iroquois Ave., Detroit, MI 48214





SYMBOL LEGEND

RECEPTACLES	LIGHT FIXTURES
RECEPTACLE - GENERAL (VERIFY HEIGHT AND ORIENTATION WITH INTERIOR DETAILS)	SURFACE MOUNTED LIGHT FIXTURE
RECEPTACLE - IN CABINET	WATERPROOF LIGHT FIXTURE
RECEPTACLE - FLOOR OUTLET (VERIFY LOCATION PRIOR TO CUTTING INTO FINISH FLOOR)	KEYLESS OR BARE BULB FIXTURE BY ELECTRICIAN
RECEPTACLE - RECESS CLOCK/PICTURE OUTLET (VERIFY HEIGHT WITH INTERIOR ELEVATIONS)	ROUND RECESSED DOWN LIGHT FIXTURE (LED BULBS UNLESS LOW VOLTAGE) DN1 - PIN SPOT 1" DIAMETER (LOW VOLTAGE) DN2 - SMALL APERTURE - 2" DIAMETER (LOW VOLTAGE) DN(3) - SMALL APERTURE - 4" DIAMETER DN4 - LARGE APERTURE - 6" DIAMETER DN5 - SMALL APERTURE (SLOPED CEILING) DN6 - LARGE APERTURE (SLOPED CEILING) DN7 - SMALL APERTURE (WET LOCATION) DN8 - CABINET SPOT (LOW VOLTAGE)
RECEPTACLE - DEDICATED CIRCUIT	DN9 - SPECIALTY ART LIGHT/DIRECTIONAL
RECEPTACLE - HALF SWITCHED	SQUARE OPENING RECESSED LIGHTS (LED BULBS UNLESS NOTED LOW VOLTAGE)
RECEPTACLE - WATERPROOF/GROUND FAULT INTERRUPTER	DOUBLE HEAD RECESSED WALL WASH (LED BULBS UNLESS NOTED LOW VOLTAGE)
RECEPTACLE - GROUND FAULT INTERRUPTER	TRIPLE HEAD RECESSED WALL WASH (LED BULBS UNLESS NOTED LOW VOLTAGE)
UNDER CABINET PLUG STRIP (GFI IN CABINET)	PENDANT LIGHT FIXTURE (VERIFY WEIGHT FOR POTENTIAL ADDED BLOCKING)
220 VOLT APPLIANCE CIRCUIT (VERIFY AMPS WITH MANUFACTURER)	WALL MOUNTED SCONCE LIGHT FIXTURE; LOCATE AT 6'-0" A.F.F. WITH A 24" LOOP (SEE INTERIOR DRAWINGS FOR FINAL LOCATIONS)
RECEPTACLE - HORIZONTAL (VERIFY WITH INTERIOR DETAIL)	RECESSED/LED STEP LIGHT
RECEPTACLE - EXISTING	TRACK LIGHTING (NUMBER OF HEADS T.B.D.)
RECEPTACLE - WHP (VERIFY WITH INTERIOR DETAIL)	LINEAR STRIP LIGHT FIXTURE (BY OWNER)
OTHER	STRIP LED LIGHT FIXTURE WITH DIFFUSER (BY ELECTRICIAN)
LIGHTING CONTROL KEYPAD	FLUORESCENT LIGHT FIXTURE (1' X 4')
ELECTRIC EYE MOTION DETECTOR (GARAGE DOOR TYPICAL)	FLUORESCENT LIGHT FIXTURE (2' X 4')
TELEVISION/TELEPHONE	FLUORESCENT LIGHT FIXTURE (2' X 2')
THERMOSTAT	FAN (VERIFY WITH PLAN - REMOTE OR LOCAL)
GARAGE DOOR OPERATORS	FAN/LIGHT COMBINATION
LOW VOLTAGE TRANSFORMER	SMOKE DETECTOR/CARBON MONOXIDE COMBINATION UNIT
DEVICE LOCATIONS	SMOKE DETECTOR
44" AFF TO CENTERLINE OF WALL SWITCHES U.N.O.	CARBON MONOXIDE DETECTOR
48" AFF TO CENTERLINE OF THERMOSTATS	DUAL HEAD FLOOD LIGHT
44" AFF TO CENTERLINE OF LIGHTING CONTROL KEYPADS	SINGLE HEAD FLOOD LIGHT
14" AFF TO CENTERLINE OF DUPLEXES U.N.O. (VERIFY HORIZONTAL OR VERTICAL PLACEMENTS WITH INTERIOR DETAILS)	CEILING MOUNT PADDLE FAN
3" AFF TO CENTERLINE OF HORIZONTAL DUPLEXES (U.N.O.)	CEILING MOUNT PADDLE FAN WITH LIGHT
SWITCHES	
SWITCH (NUMBER OF POLES ON PLAN)	
TIMER SWITCH	
DIMMER SWITCH	
MOTION SWITCH/SENSOR	
PROVIDE 24" MIN ADDITIONAL WIRE (VERIFY LOCATION WITH INTERIOR DRAWINGS)	
RENOVATION NOTES:	
EXISTING FIXTURE	
EXISTING RECEPTACLE TO REMAIN	
SWITCH - EXISTING	
EXISTING FIXTURE TO REMAIN (RED)	
EXISTING FIXTURE TO REMOVE (GREEN)	

16000

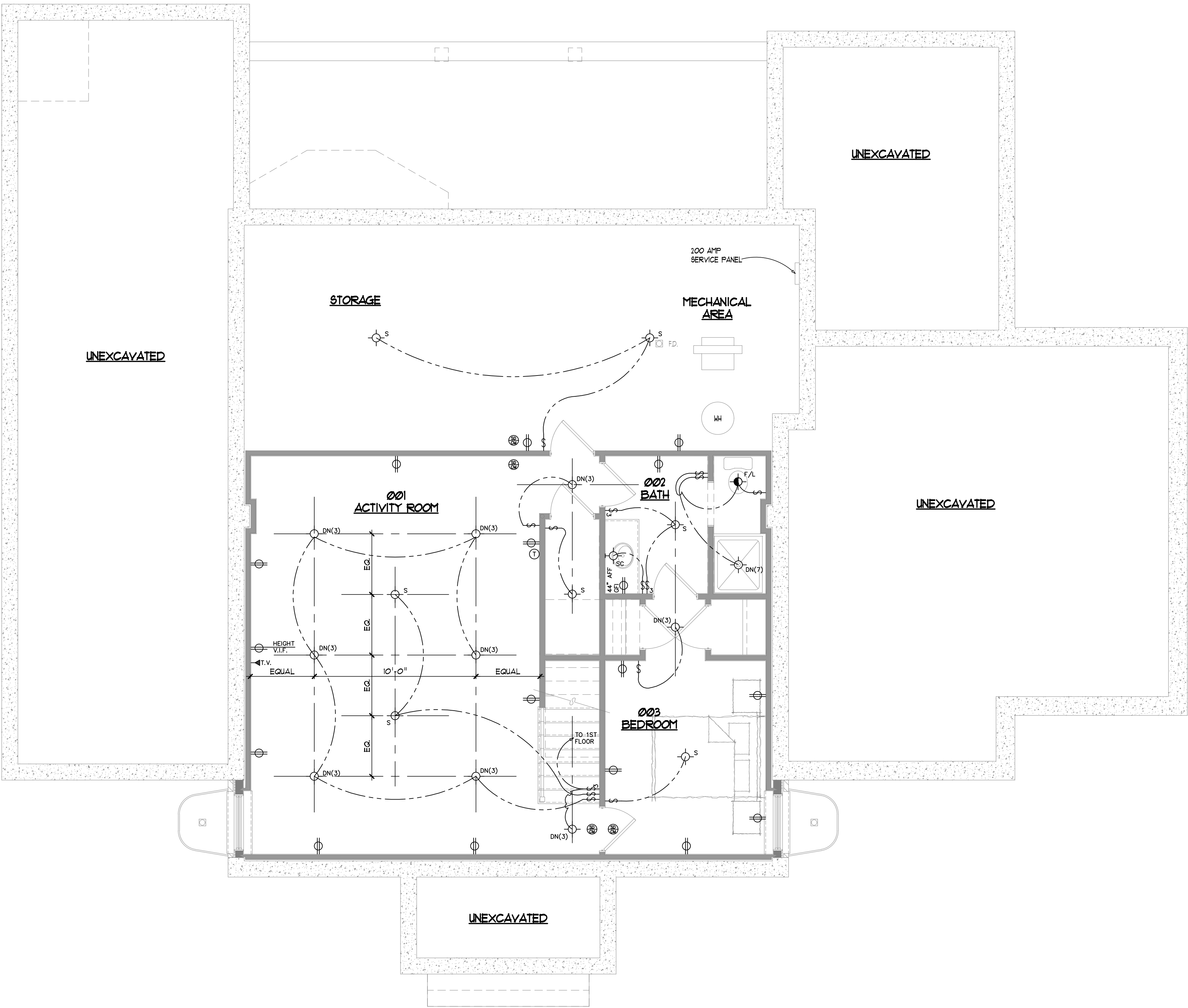
ELECTRICAL WORK:

- All electrical work is to comply with most current NEC edition, any and all State Amendments and local ordinances, and the regulations of the local utility company.
- Provide temporary power and lighting during construction. Remove same after completion of work. Temporary service shall be as required.
- Install all electrical equipment according to their listings and governing codes.
- Contractor shall coordinate walk-through with Owner and Architect to verify locations of outlets, switches, lights and other related items prior to pulling wire.
- Plugs, switches, etc. to be toggle (verify color with Owner prior to ordering).
- Contractor to supply all recessed lights (trim kits, manufacturer and models to be approved with Owner prior to installation).
- All other light fixtures to be selected by Owner for installation by Electrician. General Contractor to provide cash allowance for fixtures per allowance schedule when provided or as negotiated with client if not. All other equipment, wiring, switches, and receptacles not automatically included as a selection item by the Owner to be provided as part of basic electrical system cost.
- All smoke detectors to be hardwired to each other and main house electrical system such that if (1) one is activated, all are activated. Provide battery back-up.
- Electrician to wire all appliances shown per manufacturer's requirements.
- Strip light outlets to be centered on sinks at height to be over mirror (VIF with Owner for heights on each bath).
- Wall sconces' heights to be verified with Owner.
- All baths to be provided with separate 20 amp circuits.
- All electrical panels to be labeled with permanent pen as to circuit locations.
- Electrician to provide pull chain light for all attic access locations. UNO.
- Electrician to provide bath fans vented to exterior (approve type with Owner). When central fan is noted, provide Broan, FanTech or approved equivalent mounted to rear side of roof out of view from ground. Provide variable time switches for automatic shut off when not in use.
- All bedroom outlets to be on are fault circuits

LOWER LEVEL ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:
I. CONFIRM CODE COMPLIANT SMOKE DETECTORS IN ALL BEDROOMS AND ADJACENT TO EACH BEDROOM GROUPING



FOR ELECTRICAL LAYOUT
ONLY

JOB NO.

22028

DRAWN BY

NGC

QCD BY

RGC

RELEASE DATE

Printed: 09/11/2023

REVISION NO.

ARCHITECTS SEAL

SHEET NO.

E1

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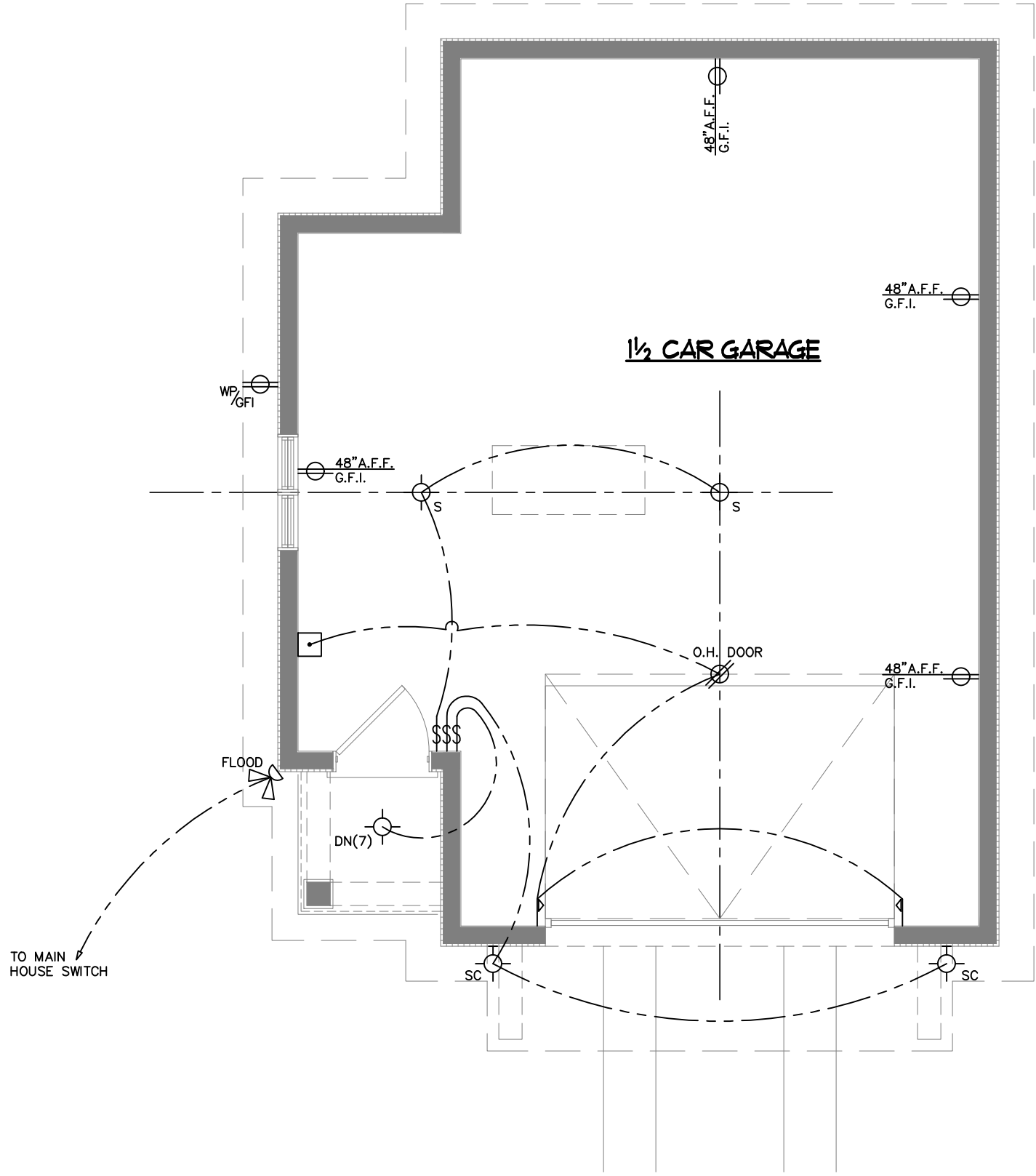
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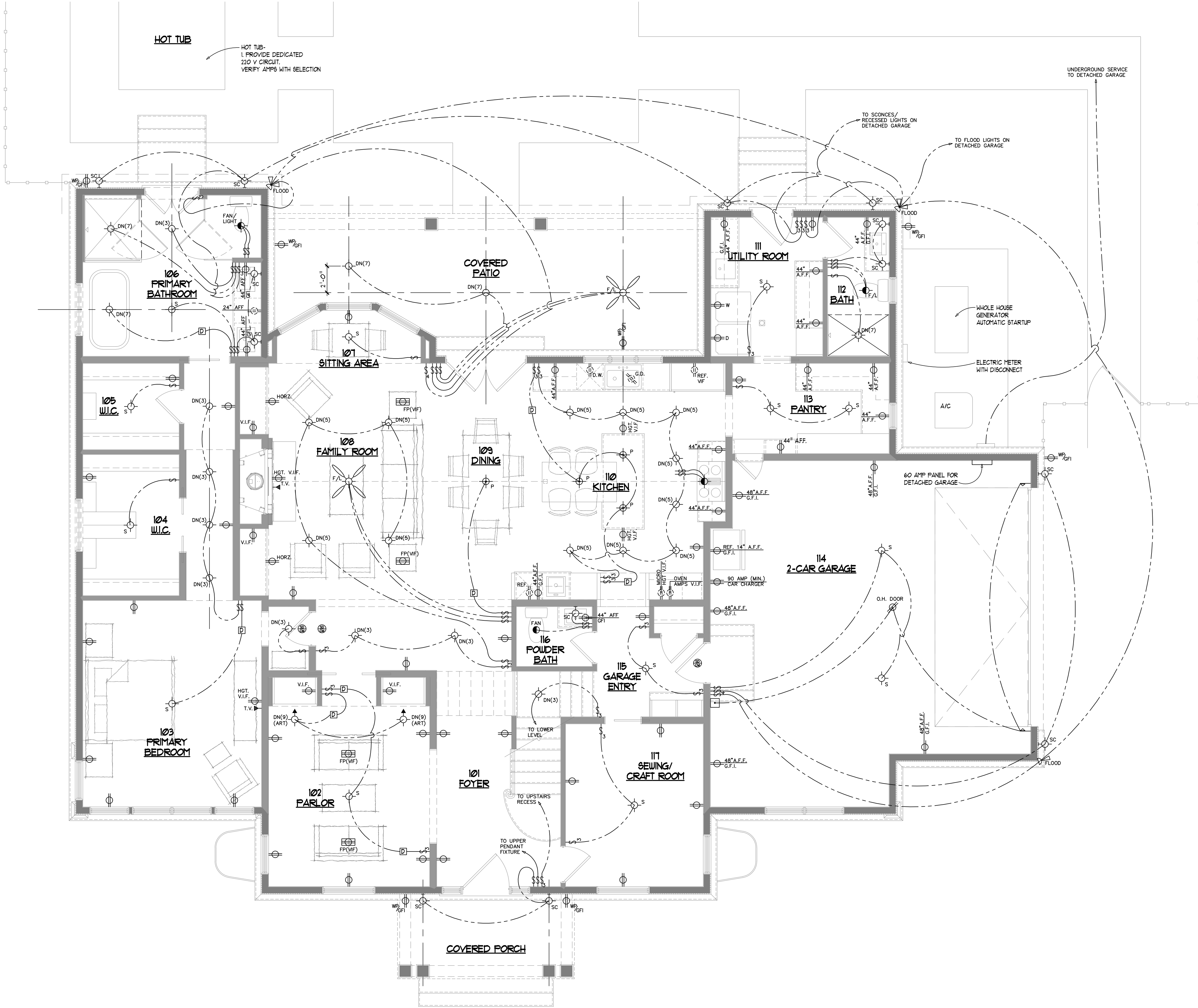
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DETACHED GARAGE ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:
1. PROVIDE CODE COMPLIANT SMOKE DETECTORS IN ALL BEDROOMS AND ADJACENT TO EACH BEDROOM GROUPING

FOR ELECTRICAL LAYOUT
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RELEASE DATE

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REVISION NO.

ARCHITECTS SEARCH

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