



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00208

PROPERTY INFORMATION

ADDRESS(ES): 8325 E Jefferson Ave,

HISTORIC DISTRICT: Indian Village

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|---|--|---|--|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input checked="" type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

8325 East Jefferson was built as a single-family residence in 1901. Although now vacant, the building was most recently used as a low-cost commercial retail space. While maintaining all exterior and interior historic characteristics of the building, we intend to convert the building into a luxurious 8-bedroom bed and breakfast.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner

NAME: Niall Berkery

COMPANY NAME: Neumo

ADDRESS: 1497 Pilgrim Avenue

CITY: Birmingham

STATE: MI

ZIP: 48009

PHONE: +1 (248) 946-2062

EMAIL: niall.berkery@gmail.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that I am the legal owner and occupant of the subject property and that the information on this application is true and correct.

DocuSigned by:

Niall Berkery

Neumo

Niall Berkery

04/23/2025

SIGNATURE

DATE

1497 Pilgrim Avenue

Birmingham

MI

48009

+1 (248) 946-2062

niall.berkery@gmail.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762



NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT



Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: (only applicable if you've already applied for permits through ePLANS)	SLU2025-00017
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GENERAL

1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i>	
The building has been vacant for 2 years. It is structurally sound, but is in a state of disrepair inside and out, with old broken windows and a leaking roof. The building lacks modern electrical, plumbing, and mechanical systems, no air conditioning, as well as poor condition of the walls, floors, and ceilings. The windows and doors are also very old and inefficient by today's standards.	
2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i>	
3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i>	
The building will be converted into a Bed and Breakfast with 8 bedrooms, each with an ensuite bathroom. The basement will be converted into a spa for guests of the B&B. See attached plans for details.	
	
4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i>	
All exterior and interior historic characteristics of the building will be maintained. Interior walls will be moved to allow ensuite bathrooms for each bedroom. Mechanical, electrical, and plumbing will be upgraded. Exterior windows will be replaced with energy-efficient windows that match the existing style. Exact replacement windows have not been identified. Damage to the exterior will be repaired and painted in colors allowed by HDC.	
5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i>	

ADDITIONAL DETAILS

<div>6. WINDOWS/DOORS</div> <div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div>	
<div>8. SITE IMPROVEMENTS</div> <div>If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.</div>	

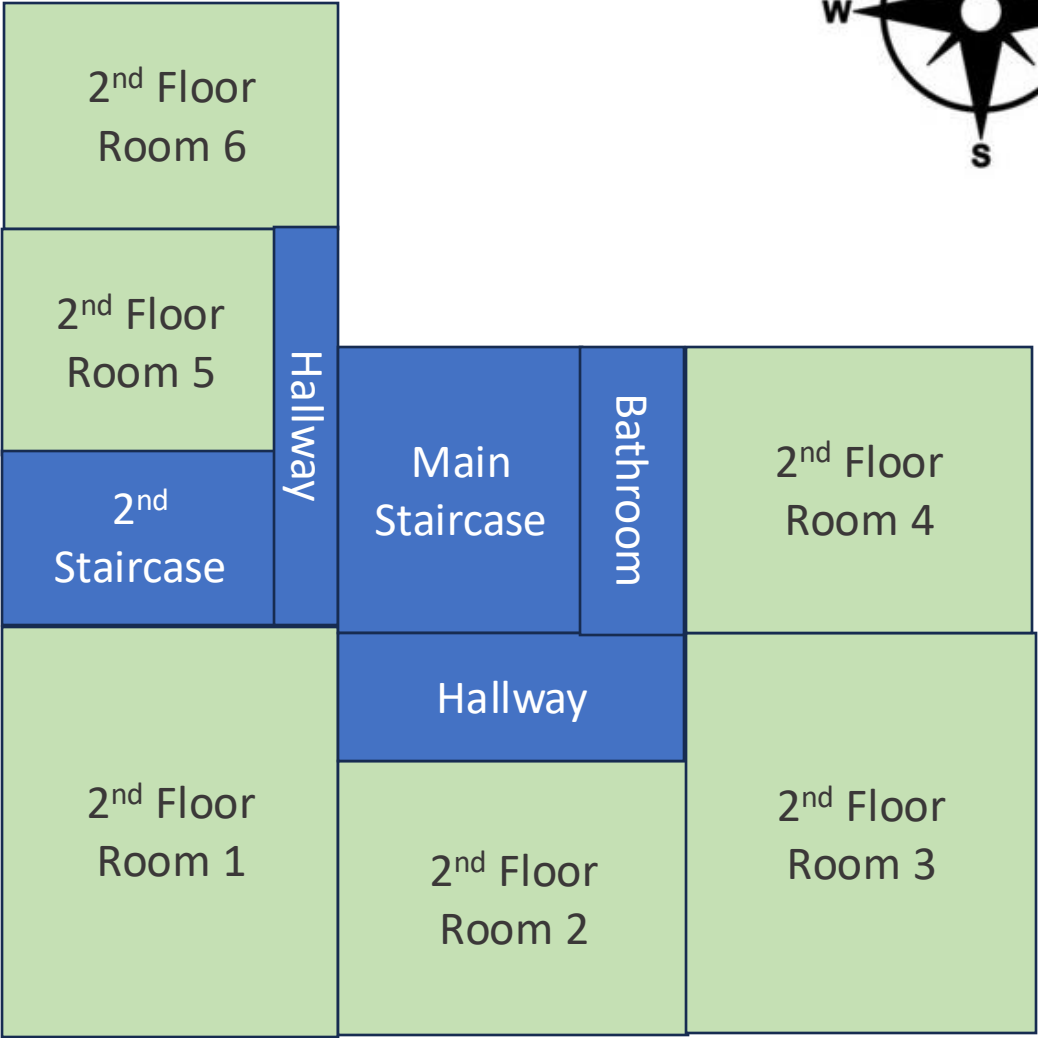
Photographs and Layout of the Property

8325 E Jefferson
Detroit MI 48214

Building Layout



1st Floor Layout



2nd Floor Layout

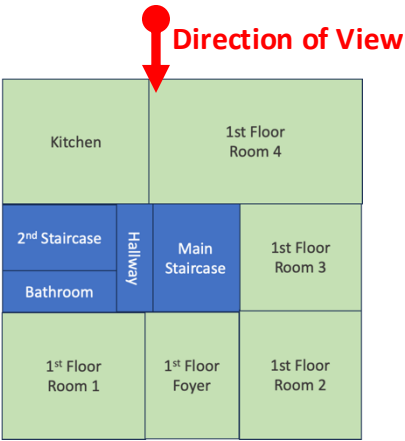
1

Front – Outside View



2

Rear – Outside View

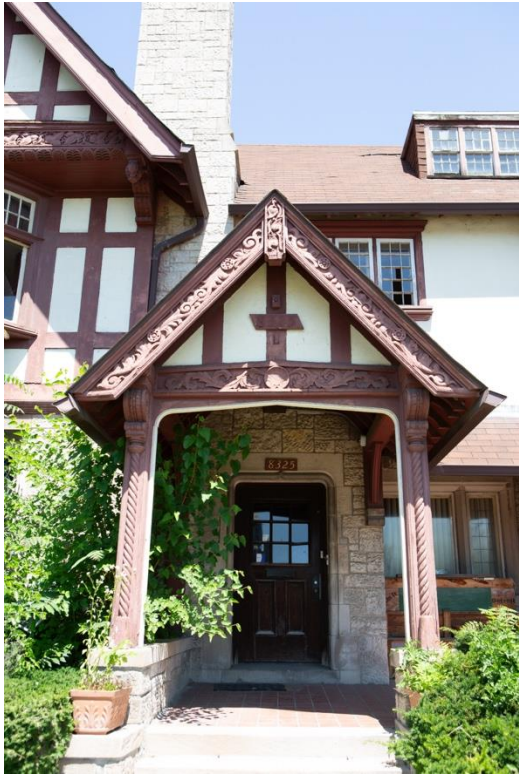


3 Front Left Side – Outside View



↑ Direction of View

4 Front Door– Outside View



↑ Direction of View

5 Front right Side – Outside View



↑ Direction of View



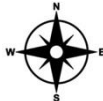
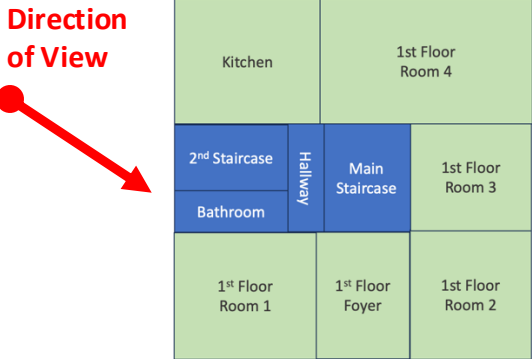
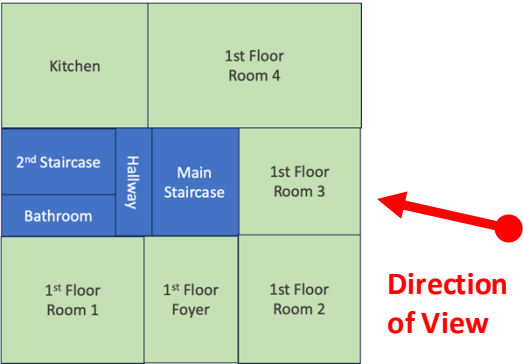
6

Left Side – Outside View



7

Right Side – Outside View



8

Foyer - 1st Floor

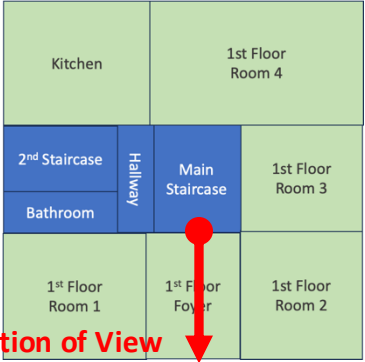


9

Foyer – 1st Floor



Direction of View



Direction of View



10

Foyer - 1st Floor



11

Foyer – 1st Floor



Direction of View



Direction of View



12

Room 1 - 1st Floor



Direction of View

13

Room 1 – 1st Floor



Direction of View



14

Room 2 - 1st Floor



15

Room 2 – 1st Floor



Direction of View



Direction of View



16

Room 3 - 1st Floor



17

Room 3 – 1st Floor



Direction of View



Direction of View



18

Room 4- 1st Floor



19

Room 4 – 1st Floor



Direction of View



Direction of View



20

Kitchen- 1st Floor



21

Kitchen – 1st Floor



Direction of View



Direction of View



22 Main Staircase – From 1st Floor



Direction of View

23 Main Staircase – to 2nd Floor



Direction of View



24 Hall way - 1st^t Floor



25 Front Door- 1st^t Floor



26 Bathroom – 1st Floor



Direction
of View



Direction
of View



Direction of View



27

Room 1 - 2nd Floor



28

Room 1 – 2nd Floor



Direction of View



Direction of View



29

Room 2 - 2nd Floor



30

Room 2 – 2nd Floor



Direction of View



Direction of View



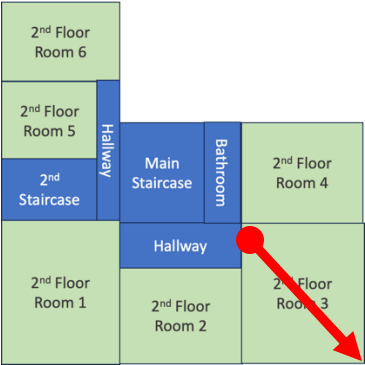
31

Room 3 - 2nd Floor



32

Room 3 – 2nd Floor



Direction of View



Direction of View



33

Room 4 - 2nd Floor



34

Room 4 – 2nd Floor



Direction of View



Direction of View



35

Room 5 - 2nd Floor



36

Room 5 – 2nd Floor



Direction of View



Direction of View



37

Room 6 - 2nd Floor



38

Room 6 – 2nd Floor



Direction of View



Direction of View



39

Bathroom – 2nd Floor



40

Hall way– 2nd Floor



Direction of View



Direction of View



BERKERY ESTATE

NIALL & MELVIE BERKERY

8325 E JEFFERSON AVE
DETROIT, MI 48214



PROJECT INFORMATION

Owner: Melvie & Niall Berkery

Location: 8325 Jefferson
Detroit, MI 48214

PROJECT DESCRIPTION:

AN EXISTINTING VACANT STRUCTURE WILL BE CONVERTED INTO A LUXURY BED & BREAKFAST. THE BUILDING WAS MOST RECENTLY USED AS AN OFFICE BUILDING BUT WAS ORIGINALLY CONSTRUCTED AS A SINGLE FAMILY HOME. THE UPPER TWO FLOORS OF THE STRUCTURE WILL BE DEDICATED TO THE BED AND BREAKFAST FUNCTIONS. A MAJORITY OF THE HISTORIC DESIGN ELEMENTS WILL BE MAINTAINED AND RESTORED AS NECESSARY. EXISTING BEDROOMS WILL BE UPDATED WITH EN-SUITE RESTROOMS ADDED AS NEEDED. THE BASEMENT WILL BE CONVERTED TO A SMALL SPA SPACE FOR USE BY THE BED & BREAKFASTS PATRONS. THE SPA WILL INCLUDE TWO MASSAGE ROOMS, SAUNA, & HYDROTHERAPY ROOM.

BUILDING SUMMARY:

EXISTING GROSS BUILDING AREAS:		
FIRST FLOOR:	VACANT / FORMER BUSINESS USE	2,414 SFG
SECOND FLOOR:	VACANT / FORMER BUSINESS USE	2,002 SFG
THIRD FLOOR:	VACANT / FORMER BUSINESS USE	1,849 SFG
BASEMENT:	MECHANICAL AND GENERAL STORAGE	1,766 SFG
TOTAL EXISTING GROSS BUILDING AREA		8,031 SFG

NO PROPOSED CHANGES IN OVERALL BUILDING AREAS.

DISCLAIMER: ALL CONDITIONS DEPICTED ARE BASED ON KNOWLEDGE DISCOVERED UPON FIELD MEASURE (OR CONVEYED BY OWNER). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCOVERIES EXPOSED UPON DEMOLITION / NEW CONSTRUCTION THAT DIFFER FROM CONDITIONS DEPICTED HEREIN.

SHEET LIST

SHEET NUMBER	SHEET NAME
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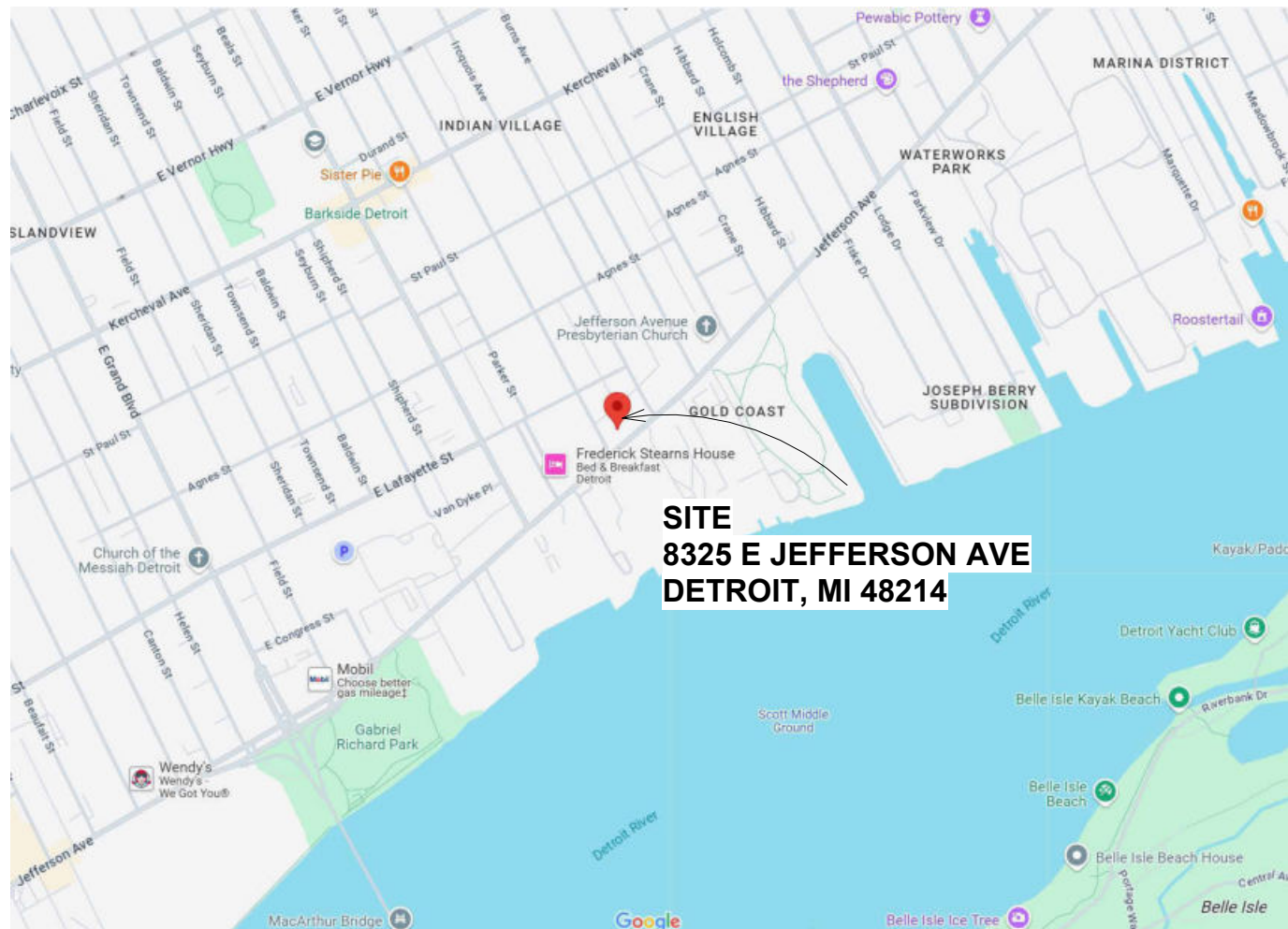
1CS	COVER SHEET
2CS	CODE SHEET
3CSP	EXISTING/DEMO SITE PLAN
4CSP	ARCHITECTURAL SITE PLAN
5CSP	SITE DETAILS
A-1.1	DEMOLITION PLANS
A-2.0	PROPOSED FLOOR PLANS
A-2.1	PROPOSED FLOOR PLANS
A-3.0	PROPOSED EXTERIOR ELEVATIONS
A-3.1	REAR ELEVATION UPDATES
A-5.0	PROPOSED REFLECTED CEILING PLANS
A-5.1	ENLARGED REFLECTED CEILING PLANS
A-8.0	SCHEDULES
E-0	BASEMENT AND FIRST FLOOR POWER PLANS
E-1	SECOND AND THIRD FLOOR POWER PLAN

SHEET LIST

SHEET NUMBER	SHEET NAME
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I-1.0	FIRST FLOOR - ENTRANCE
I-1.1	FIRST FLOOR - PARLOR
I-1.2	FIRST FLOOR - KITCHEN AND DINING
I-1.3	SECOND FLOOR - LOBBY
I-2.0	FIRST FLOOR - GUEST ROOM 1
I-2.1	FIRST FLOOR - GUEST ROOM 2
I-2.2	FIRST FLOOR - ADA GUEST ROOM 3
I-2.3	SECOND FLOOR - GUEST ROOM 4
I-2.4	SECOND FLOOR - GUEST ROOM 5
I-2.5	SECOND FLOOR - GUEST ROOM 6
I-3.0	LOWER LEVEL - LOBBY
I-3.1	LOWER LEVEL - BATHROOMS
I-3.2	LOWER LEVEL - HYDRO ROOM AND SAUNA
I-3.3	LOWER LEVEL - MASSAGE ROOMS
I-3.4	LOWER LEVEL - SALT ROOM
S-100	SPEC SHEET

VICINITY MAP



GENERAL SYMBOLS

- SECTION WITH SECTION NUMBER & NAME
- DETAIL WITH DETAIL NUMBER & NAME
- WINDOW TYPE
- DOOR TYPE
- LEVEL WITH NAME & HEIGHT
- REVISION
- NORTH DESIGNATION

ABBREVIATIONS

- @ ACOUNT.
- AC.T.
- ADJ.
- A.F.F.
- ALUM.
- ANOD.
- BD.
- BLDG.
- BLK.
- BLKG.
- B.O.
- B.O.F.
- CEM.
- CFM.
- CL.
- C.O.
- COL.
- COL.C.
- CONST.
- CONT.
- CORR.
- CPT.
- C.T.
- DET.
- DIA.
- DIM.
- DN.
- D.O.
- DR.
- DWG.
- EA.
- ELEV.
- E.W.
- EX.
- EXIST.
- EXP.
- EXT.
- F.D.
- FDN.
- FRP.
- FIN.
- FLR.
- F.O.
- F.O.S.
- FR.
- FTG.
- GA.
- GALV.
- GYP.
- HDW.
- H.M.
- HORIZ.
- HT.
- I.D.
- INSUL.
- INT.
- JT.
- LAV.
- LG.
- LLO.
- LLV.
- MAX.
- MECH.
- MET.
- MEZZ.
- M.I.
- MIN.
- MISC.
- M.O.
- N.I.C.
- N.S.
- N.T.S.
- O.C.
- O.D.
- OPNG.
- OPP.
- PL.G.
- PL.S.
- PL.
- P-LAM.
- PLAS.
- PREFAB.
- PROJ.
- P.F.
- PT.
- R.
- R.A.
- R.B.
- R.C.
- R.F.
- REINF.
- REQ'D.
- RFG.
- RM.
- R.S.
- R.T.
- SAN.
- SCHED.
- SHT.
- SIM.
- SPEC.
- S.S.
- STL.
- STD.
- STOR.
- STRUCT.
- SUSP.
- SW.
- SYM.
- T.
- T&B.
- TEL.
- TERR.
- T&G.
- THK.
- THRES.
- T.O.
- T.O.F.
- T.O.S.
- TYP.
- U/C.
- U.N.O.
- UIS.
- V.B.
- V.C.B.
- V.C.T.
- V.I.F.
- V.S.B.
- VERT.
- WD.
- WAINS.
- W.A.
- WD. WIN.
- WOOD.
- WT.
- W.W.F.
- W.W.M.

- GAUGE
- GALVANIZED
- GYPSUM
- HARDWARE
- HOLLOW METAL
- HORIZONTAL
- HEIGHT
- INSIDE DIAMETER
- INSULATION
- INTERIOR
- JOINT
- LAVATORY
- LONG
- LONG LEG OUTSTANDING
- LONG LEG VERTICAL
- MAXIMUM
- MECHANICAL
- METAL
- MEZZANINE
- MISCELLANEOUS IRON
- MINIMUM
- MISCELLANEOUS
- MASONRY OPENING
- NOT IN CONTRACT
- NO SCALE
- NOT TO SCALE
- ON CENTER
- OUTSIDE DIAMETER
- OPENING
- OPPOSITE
- PLATE GLASS
- PLATE STEEL
- PLATE
- PLASTIC LAMINATE
- PLASTER
- PREFABRICATED
- PROJECT
- POUNDS PER SQUARE FOOT
- PAINT/POINT
- RISER
- RETURN AIR
- RUBBER BASE
- ROOF CONDUCTOR
- RUBBER FLOORING
- REINFORCED/REINFORCING
- REQUIRED
- ROOFING
- ROOM
- ROOF SUMP
- RUBBER TILE
- SANITARY
- SCHEDULE
- SHEET
- SIMILAR
- SPECIFICATION
- SERVICE SINK/STAINLESS STEEL
- STEEL
- STANDARD
- STORAGE
- STRUCTURAL
- SUSPENDED
- SWITCH
- SYMMETRICAL
- TREAD
- TOP AND BOTTOM
- TELEPHONE
- TERRAZZO
- TONGUE AND GROOVE
- THICK/THICKNESS
- THRESHOLD
- TOP OF
- TOP OF FOOTING
- TOP OF STEEL
- TYPICAL
- UNDERCUT
- UNLESS NOTED OHTERWISE
- UNDERSIDE
- VINYL BASE
- VINYL COBE BASE
- VINYL COMPOSITE TILE
- VERIFY IN FIELD
- VINYL STRAIGHT BASE
- VERTICAL
- WIDE
- WAINSCOT
- WATER CLOSET
- WOOD WINDOW
- WOOD
- WEIGHT
- WELDED WIRE FABRIC
- WOVEN WIRE MESH

GENERAL CONTRACTOR

XXXXXXXXXX
XXXXXX

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NO.	DESCRIPTION	DATE
1	Commercial Set	03/13/2025

SEAL

NOT FOR
CONSTRUCTION

03/13/2025

BERKERY ESTATE

8325 E JEFFERSON AVE
DETROIT, MI 48214

NIALL & MELVIE BERKERY

SHEET TITLE

COVER SHEET

SHEET NUMBER

1CS

BUILDING CODE SUMMARY

PROJECT INFORMATION

Owner: Melvie & Niall Berkery
Location: 8325 Jefferson
Detroit, MI 48214

PROJECT DESCRIPTION:

PROJECT DETAILS: THE BERKERY ESTATE OFFERS LUXURIOUS BED AND BREAKFAST ACCOMMODATIONS NEAR DOWNTOWN DETROIT. COMPLETE WITH A FULL-SERVICE SALON FOR ULTIMATE PAMPERING. ADDITIONALLY, A PENTHOUSE RESIDENCE IS AVAILABLE FOR EXCLUSIVE RESIDENTIAL LIVING. THE CLIENT WANTS TO ADD POSSIBLY 4 BATHROOMS.

GENERAL SCOPE OF WORK: THE ARCHITECT SHALL VISIT THE SITE FOR A FIELD INVESTIGATION/MEASURE AND PHOTO SURVEY. FROM FIELD INFORMATION, A 3D/BIM CAD MODEL OF THE BUILDING WILL BE CONSTRUCTED. THE ARCHITECT WILL PROVIDE CONCEPT/SCHEMATIC DESIGN STUDIES OF THE RENOVATION OF THE EXISTING INTERIOR AND EXTERIOR OF THE SPACE. TEST FIT FLOOR PLAN(S) WILL BE GENERATED DEPICTING THE FUNCTIONALITY OF PROGRAMMED SPACES, CIRCULATION, AND A LAYOUT OF FURNISHINGS WITH INTERIOR DESIGN INTENT INJECTING A CONTEMPORARY DESIGN INTO SPACES, WHERE APPLICABLE. CONSTRUCTION DOCUMENTS WILL BE PROVIDED FOR THE EXISTING BUILDING IMPROVEMENTS. THERE WILL BE MECHANICAL, ELECTRICAL, AND PLUMBING SCHEMATIC DESIGNS PROVIDED, AND WILL BE RESOLVED IN CONJUNCTION WITH THE CLIENT'S MECHANICAL CONTRACTOR. SITE AND LANDSCAPE DESIGN TO INCLUDE ARTWORK, SCULPTURES, HARDSCAPE, SOFTSCAPE, AND LIGHTING CONCEPTS WILL BE PROVIDED BY THE ARCHITECT TO CONVEY A MORE CONTEMPORARY DEVELOPMENT. VISUALIZATIONS/RENDERING OF EXTERIOR INCLUDED

BUILDING SUMMARY:

EXISTING GROSS BUILDING AREAS:			
FIRST FLOOR:	VACANT / FORMER BUSINESS USE	2,414 SFG	
SECOND FLOOR:	VACANT / FORMER BUSINESS USE	2,002 SFG	
THIRD FLOOR:	VACANT / FORMER BUSINESS USE	1,849 SFG	
BASEMENT:	MECHANICAL AND GENERAL STORAGE	1,766 SFG	
TOTAL EXISTING GROSS BUILDING AREA		8,031 SFG	

NO PROPOSED CHANGES IN OVERALL BUILDING AREAS.

ZONING REQUIREMENTS

LOCAL AUTHORITY:	CITY OF DETROIT		
LOCAL ORDINANCE:	DETROIT ZONING ORDINANCE (30 JANUARY 2024)		
ZONING CLASSIFICATION:	B-4: GENERAL BUSINESS DISTRICT		
OVERLAY DISTRICT:	GATEWAY RADIAL THOROUGHFARE OVERLAY: THE GATEWAY RADIAL THOROUGHFARE OVERLAY AREAS CONSIST OF PROPERTY ABUTTING THOSE MAJOR RADIAL STREETS, WITHIN AND LEADING TO THE CENTRAL BUSINESS DISTRICT, UPON WHICH THE MASTER PLAN OF POLICIES HAS GENERALLY PROPOSED A REZONING FROM B4 GENERAL BUSINESS DISTRICT TO A SPECIAL DEVELOPMENT ZONING DISTRICT. (SEC 50-11-361) (5)EAST JEFFERSON AVENUE BETWEEN WATER WORKS PARK (GARLAND AVENUE/MARQUETTE AVENUE) AND THE CHRYSLER FREEWAY (I-375). PROHIBITED USES		
USE CLASSIFICATION:	SEC. 50-9-106. - BY-RIGHT RETAIL, SERVICE, AND COMMERCIAL USES (16)RECREATION, INDOOR, COMMERCIAL AND HEALTH CLUB NOT EXCEEDING 10,000 SQUARE FEET OF GROSS FLOOR AREA SEC. 50-9-112. - CONDITIONAL RETAIL, SERVICE, AND COMMERCIAL USES (6)BED AND BREAKFAST INN		
REQUIRED PARKING:	HIGH FREQUENCY TRANSIT CORRIDOR NO. 9; CONSISTING OF: EAST AND WEST JEFFERSON BETWEEN WASHINGTON AND ALTER. (SEC 50-16-242) SEC. 50-14-49. - RETAIL, SERVICE, AND COMMERCIAL USES WHERE THE USE IS LOCATED WITHIN 0.50 MILES OF A HIGH-FREQUENCY TRANSIT CORRIDOR: 0.75 OF THE MINIMUM REQUIRED OFF-STREET SPACES SPECIFIED IN SECTIONS 50-14-50 THROUGH SECTION 50-14-60. SEC. 50-14-54. - PUBLIC ACCOMMODATION BED AND BREAKFAST INN 3 PER 4 GUESTROOMS + 2 PER DWELLING UNIT 8 GUESTROOMS = 6 SPACES 1 DWELLING = 2 SPACES 8 SPACES REQUIRED SEC. 50-14-55. - RECREATION AND ENTERTAINMENT, INDOOR HEALTH CLUB 1 PER 200 GSF 1000 GSF = 5 SPACES TOTAL SPACES REQUIRED = 13 * 0.75 = 10 SPACES REQUIRED		
EXISTING PARKING:	SEC. 50-14-52. - OFFICE OFFICE, BUSINESS OR PROFESSIONAL 5409 GSF / 400 = 13.52 =	1 PER 400 GSF 14 SPACES REQUIRED 11 EXISTING SPACES PROVIDED	
OFF STREET LOADING:	(SECT. 50-14-114) SPACES REQUIRED:	1 @ 12'X35'	

BUILDING CODE REQUIREMENTS:

GOVERNING CODES:
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB)
2021 MICHIGAN MECHANICAL CODE (MMC)
2021 MICHIGAN PLUMBING CODE (MPC)
2023 NATIONAL ELECTRICAL CODE (NEC)
2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)
2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

LEVEL OF ALTERATIONS: CHANGE OF OCCUPANCY

USE AND OCCUPANCY:
1ST, 2ND & 3RD FLOOR / PRIMARY USE: NON-SEPARATED MIXED-USE RESIDENTIAL GROUP R-1 / BED & BREAKFAST
BASEMENT: BUSINESS GROUP B / SPA

ALLOWABLE HEIGHTS AND AREAS: (MBC TABLES 504.3, 504.4 AND 506.2)
CONSTRUCTION TYPE: TYPE VB / NS (NOT SPRINKLERED)
ALLOWABLE HEIGHT: 2 STORIES / 40 FEET
ACTUAL HEIGHT: 3 STORIES / 39 FEET
ALLOWABLE AREA: B - 9,000SF
R-1 - 7,000SF
ACTUAL AREA: 2,414 GSF PER FLOOR

FIRE RESISTANCE RATINGS: (MBC TABLES 601 & 602)

CONSTRUCTION TYPE: TYPE VB
PRIMARY STRUCTURAL FRAME: 0 HOURS
EXTERIOR BEARING WALLS: 0 HOURS
INTERIOR BEARING WALLS: 0 HOURS
INTERIOR NON-BEARING WALLS: 0 HOURS
FLOOR CONSTRUCTION: 0 HOURS
ROOF CONSTRUCTION: 0 HOURS

FIRE AND SMOKE PROTECTION FEATURES:

FIRE WALLS (MBC SECT. 706): NONE REQUIRED
FIRE BARRIERS (MBC SECT. 707): INTERIOR EXIT STAIRWAYS / 1 HOUR (MBC SECT. 1023.2)
FIRE PARTITIONS (MBC SECT. 708): 1 HR REQUIRED WHERE SEPARATING SLEEPING UNITS
1/2 HOUR WITH SPRINKLER (706.3.2)
SMOKE BARRIERS (MBC SECT. 709): NONE REQUIRED
SMOKE PARTITIONS (MBC SECT. 710): NONE REQUIRED
RATED FLOOR ASSEMBLIES (MBC SECT. 712): 1 HR SEPARATING SLEEPING UNITS
1/2 HR SEPARATING SLEEPING UNITS IF SPRINKLED (711.2.4.3)
1 HR / B TO R SEPARATION IF SPRINKLED
2 HR / B TO R SEPARATION IF NS (MBC TABLE 508.4)
SHAFT ENCLOSURES (MBC SECT. 713.4): 1 HR / LESS THAN 4 STORIES

INTERIOR FINISHES: (MBC TABLE 803.11)

INTERIOR EXIT STAIRWAYS/PASSAGEWAYS: CLASS A
CORRIDORS, EXIT ACCESS ENCLOSURES: CLASS B
ROOMS AND ENCLOSED SPACES: CLASS C

FIRE PROTECTION SYSTEMS:

AUTOMATIC FIRE SUPPRESSION SYSTEM: (MBC SECT. 903.2.8)
• 903.2.8 GROUP R. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.
• [F] 903.3.1.2 NFPA 13R SPRINKLER SYSTEMS. AUTOMATIC SPRINKLER SYSTEMS IN GROUP R OCCUPANCIES UP TO AND INCLUDING FOUR STORIES IN HEIGHT
• NOT REQUIRED FOR GROUP B AREAS

PORTABLE FIRE EXTINGUISHERS (MBC SECT. 906 / TABLE 906.3(1))
• PORTABLE FIRE EXTINGUISHERS: LOW HAZARD / TYPE 2-A / MAXIMUM TRAVEL DISTANCE = 75 FT. / MAXIMUM 3000 SF PER UNIT
• WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT (906.1)

FIRE ALARM AND DETECTION SYSTEM: (MBC SECT. 907)

• FIRE ALARM AND DETECTION SYSTEM: NOT REQUIRED IF SUPPRESSION SYSTEM PROVIDED (MBC SECT. 907.2.8.1-2.2.1)
• AN AUTOMATIC SMOKE DETECTION SYSTEM IS REQUIRED THROUGHOUT ALL CORRIDORS SERVING SLEEPING UNITS (MBC 907.2.8.2)
• SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 907.2.11
• IN SLEEPING AREAS
• IN EVERY ROOM IN THE PATH OF THE MEANS OF EGRESS TO THE DOOR LEADING FROM THE SLEEPING UNIT
• GROUP B: NOT REQUIRED (<100 OCCUPANTS BELOW GRADE MBC 907.2.2)

MEANS OF EGRESS

OCCUPANT LOAD:	(MBC TABLE 1004.1.2)				
	USE GROUP	AREA/OCCUPANT	USABLE AREA	OCCUPANTS	
•	GROUND FLOOR: R-1/ RESIDENTIAL	200 SF/P GROSS	2,700 SFN	14	
•	SECOND FLOOR: R-1/RESIDENTIAL	200 SF/P GROSS	2,000 SFG	10	
•	THIRD FLOOR: R-1/RESIDENTIAL	200 SF/P GROSS	2,000 SFG	10	
•	BASEMENT: B/OUTPATIENT AREAS	100 SF/P GROSS	2,000 SFG	20	
TOTAL OCCUPANT LOAD:				54	

EGRESS CAPACITY: (MBC SECT. 1005.3.1 AND 1005.3.2)
• GROUND FLOOR/MINIMUM WIDTH: 14 OCCUPANTS X 0.2IN. = 2.2 INCHES
• SECOND FLOOR/MINIMUM WIDTH: 10 OCCUPANTS X 0.3IN. = 1.8 INCHES
• THIRD FLOOR/MINIMUM WIDTH: 10 OCCUPANTS X 0.3IN. = 1.8 INCHES
• BASEMENT/MINIMUM WIDTH: 20 OCCUPANTS X 0.3IN. = 1.8 INCHES
• MINIMUM CLEAR DOOR OPENING: 32 INCHES (MBC SECT. 1010.1.1)
• MINIMUM CLEAR STAIR WIDTH: 44 INCHES / OCCUPANT LOAD > 50P. (MBC SECT. 1011.2)
36 INCHES / OCCUPANT LOAD < 50P. (MBC SECT. 1011.2.1)
• MINIMUM CORRIDOR WIDTH: 44 INCHES / OCCUPANT LOAD > 50P. (MBC TABLE 1020.2)
36 INCHES / OCCUPANT LOAD < 50P. (MBC TABLE 1020.2)

MAXIMUM COMMON PATH OF TRAVEL

REQUIRED NUMBER OF EXITS: (MBC SECT. 1006 / TABLE 1006.2.1)
• GROUND FLOOR: 2 EXITS REQUIRED / 2 PROVIDED
• SECOND FLOOR: 1 EXITS REQUIRED / 1 PROVIDED
• THIRD FLOOR: 2 EXITS REQUIRED / 1 PROVIDED
• THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS AND COMMON PATH OF EGRESS TRAVEL DISTANCE DOES NOT EXCEED THE VALUES IN TABLE 1006.3.2(1) OR 1006.3.2(2)
• MAXIMUM OCCUPANT LOAD PER STORY = 10 & MAX PATH OF TRAVEL = 75'
• EXEMPTIONS MAY BE ACHIEVABLE FOR HISTORIC BUILDINGS
• 1 EXIT REQUIRED / 1 PROVIDED
• ROOMS, AREAS AND SPACES COMPLYING WITH SECTION 1006.2.1 WITH EXITS THAT DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF EXIT DISCHARGE, ARE PERMITTED TO HAVE ONE EXIT OR ACCESS TO A SINGLE EXIT (MBC 1006.3.2).
• MAXIMUM TRAVEL DISTANCE = 100' (<30 OCCUPANTS) PER TABLE 1006.2.1

FIRE RATED CONSTRUCTION:

• INTERIOR EXIT STAIRWAYS ENCLOSURE (MBC SECT. 1023): 1 HOUR
• EXIT ACCESS CORRIDORS (MBC TABLE 1020.1): 1 HOUR
• 1/2 HR WITH SPRINKLER SYSTEM

ACCESSIBLE MEANS OF EGRESS:
• ONE ACCESSIBLE MEANS OF EGRESS REQUIRED (MRCEB 1012.8.2)
• GROUND FLOOR: 1 ACCESSIBLE EXIT PROVIDED.

PLUMBING FIXTURE REQUIREMENTS

USE GROUP: BUSINESS / B

OCCUPANT LOAD: BASEMENT: 20 PERSONS

SEPARATE FACILITIES: NOT REQUIRED / TENANT OCCUPANCY < 15 PERSONS (MPC 403.2)

REQUIRED FIXTURES: WATER CLOSETS/URINALS REQUIRED: 1 PER 25 OCCUPANTS
LAVATORIES REQUIRED: 1 PER 40 OCCUPANTS
DRINKING FOUNTAINS REQUIRED: NONE REQUIRED (MPC 410.1)
SERVICE SINKS REQUIRED: 1 REQUIRED

FIXTURES PROVIDED: WATER CLOSETS: 1 REQUIRED / 1 PROVIDED
LAVATORIES: 1 REQUIRED / 1 PROVIDED
SERVICE SINKS REQUIRED: 1 REQUIRED / 1 PROVIDED



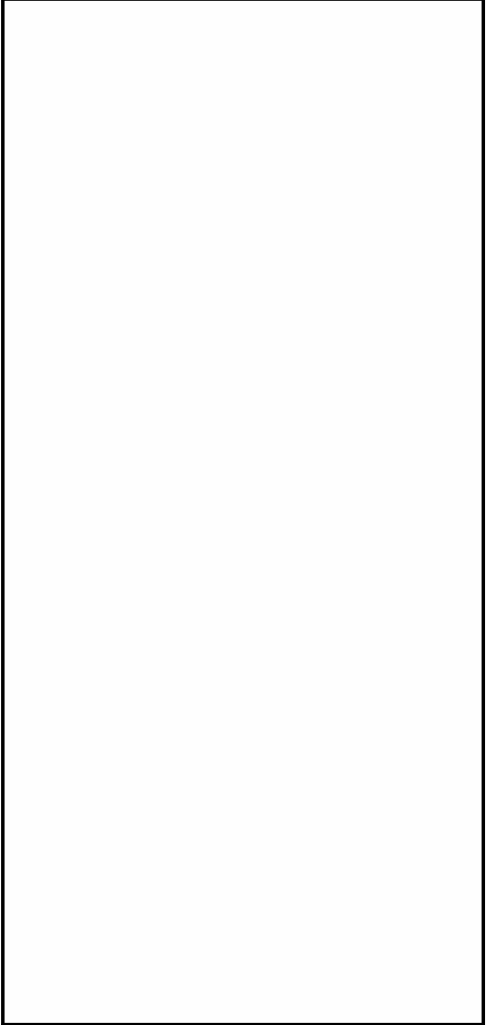
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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

SEAL

NOT FOR CONSTRUCTION

03/13/2025

BERKERY ESTATE

PROJECT NUMBER: ZM05
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY

SHEET TITLE
CODE SHEET

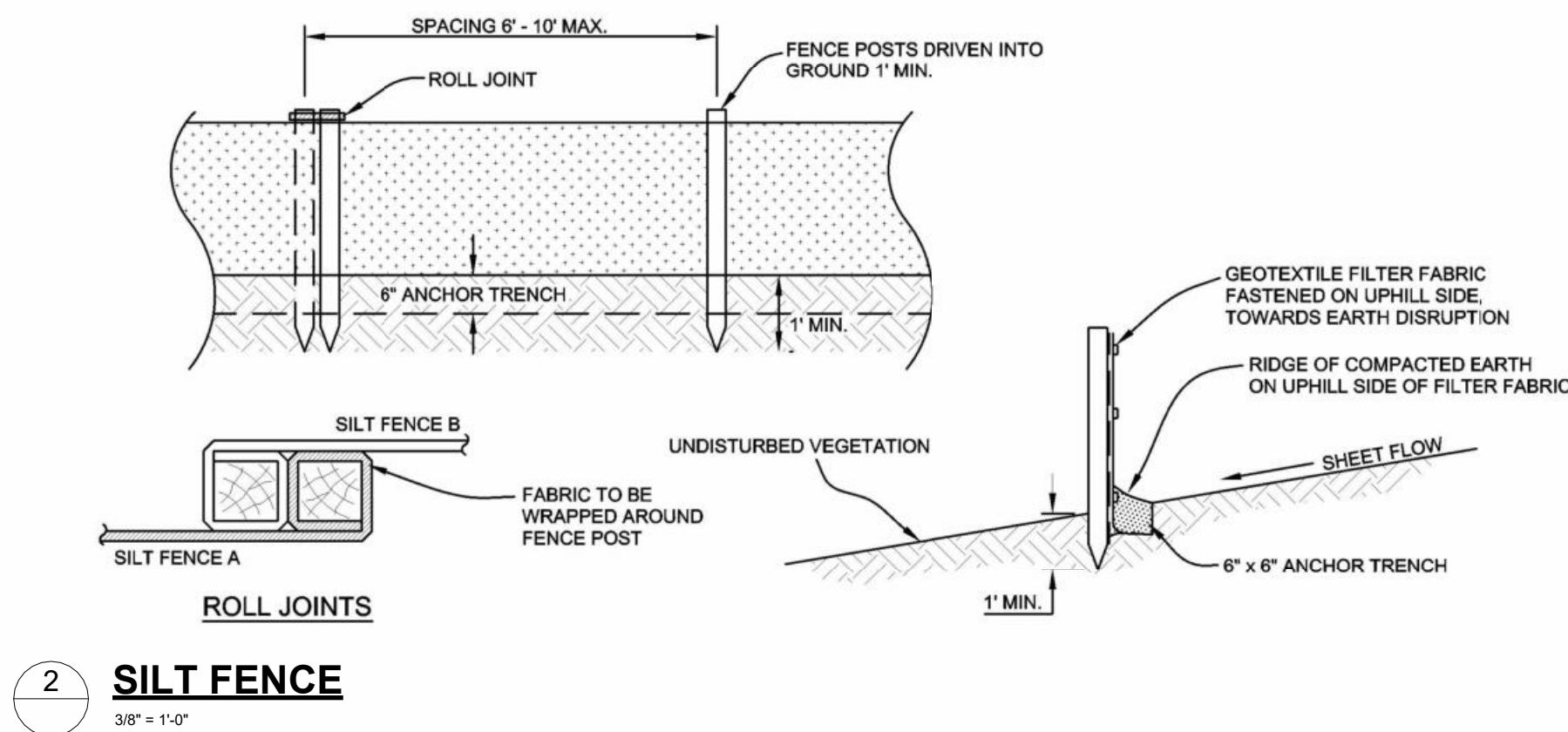
SHEET NUMBER
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EXISTING SITE CONDITION PHOTOS



SOIL EROSION/SEDIMENT CONTROL MAINTENANCE NOTES

THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED, THE SOIL EROSION AND SEDIMENTATION CONTROL AND THE LOCAL COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.

ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL COUNTY PUBLIC WORKS OFFICE.

EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.

STAGING OF THE WORK WILL BE DONE BY THE LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS, AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE. THE LANDOWNER OF LANDOWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES.

THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL IMPLEMENT AND MAINTAIN THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS BEFORE, AND AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SOIL EROSION CONTROL MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE LOCAL PUBLIC WORKS OFFICE.

IF ANY SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE LOCAL COUNTY PUBLIC WORKS OFFICE SESC DIVISION HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE LANDOWNER.

INSTALL A CRUSHED CONCRETE ACCESS DRIVE PLACED ON GEOTEXTILE FABRIC AS INDICATED ON THE PLAN. THE ACCESS DRIVE MUST BE A MINIMUM OF 30"x60"x8".

A. NEW LAYERS OF CRUSHED CONCRETE WILL BE ADDED AS OLD LAYERS BECOME COMPACTED.

INSTALL SILT FENCE AS INDICATED ON THE PLAN AND AT ADDITIONAL AREA AS NECESSARY.

A. SILT FENCE SHALL BE INSTALLED PER DETAIL.

B. BUILD SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.

C. IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROMPTLY.

D. SILT FENCE SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF PROMPTLY.

INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL. SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.

A. DRAIN GUARDS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF RAINFALL AND DURING A PROLONGED RAIN EVENT.

B. BUILDUP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE. THE HEIGHT OF THE SILT FENCE, USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.

C. IF FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROMPTLY.

INLET SEDIMENT TRAPS AND ALL DITCH SEDIMENT TRAPS SHALL BE INSPECTED DAILY. THE SEDIMENT PITS SHALL BE CLEANED OUT WHEN HALF FULL, OR AS DIRECTED BY THE LOCAL COUNTY PUBLIC WORKS OFFICE.

IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD UNIFORMLY AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100 POUNDS (2-3 BALES) PER 1,000 SQUARE FEET. THIS MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OF OTHER MEANS AS APPROVED BY THE LOCAL COUNTY PUBLIC WORKS OFFICE. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH.

ALL DIRT TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY.

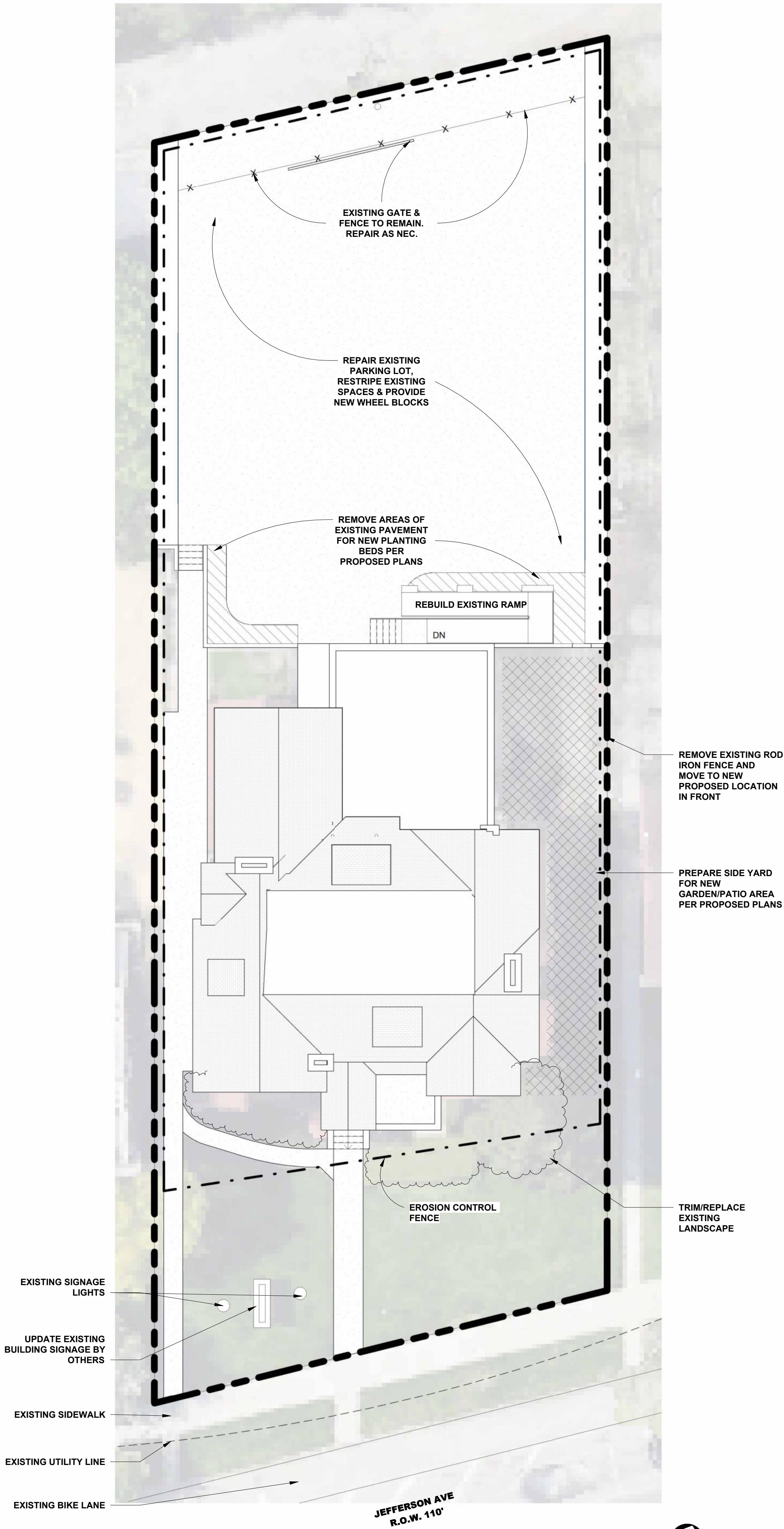
STREETS AND OR PARKING AREAS WILL BE SCRAPPED ON A DAILY BASIS AND SWEEPED AT A MINIMUM OF ONCE PER WEEK BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE.

DURING DRY PERIODS, ALL DISTURBED AREAS SHALL BE WATERED FOR DUST CONTROL.

PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

FINAL GRADE, ESTABLISH VEGETATION AND OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.

REMOVE ALL TEMPORARY SOIL EROSION DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.



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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

SEAL

NOT FOR CONSTRUCTION

03/13/2025

BERKERY ESTATE
PROJECT NUMBER: Z14075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
EXISTING/DEMO SITE PLAN

SHEET NUMBER

3CSP

GENERAL SITE NOTES:

- THE DRAWINGS HEREIN ARE FOR INFORMATIONAL PURPOSES AND CONVEYANCE OF DESIGN INTENT. INFORMATION DEPICTED IS NOT INTENDED TO BE CONSTRUED AS LEGAL SURVEY OR ENGINEERED CIVIL. REFER TO SUBMITTALS BY PROFESSIONAL CONSULTANTS FOR WORK BEYOND THE SCOPE DEPICTED HEREIN.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE A REGISTERED LAND SURVEYOR TIE OUT AND RESET ANY PROPERTY CORNERS OR SECTION CORNERS PLANNED TO BE DISTURBED BY CONSTRUCTION OF THIS PROJECT, AND SHALL HAVE A REGISTERED LAND SURVEYOR RE-ESTABLISH ANY PROPERTY CORNERS OR SECTION CORNERS INADVERTENTLY DISTURBED DURING CONSTRUCTION OF THIS PROJECT.
 - ALL STREET, SANITARY SEWER, STORM SEWER AND WATERLINE CONSTRUCTION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF EXECUTION OF THE CONSTRUCTION.
 - STREET PAVING SHALL NOT BEGIN UNTIL SUBGRADE COMPACTION TESTS ARE TAKEN AND THE CITY ENGINEER APPROVES THE RESULTS.
 - THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT PREPARED FOR THIS PROJECT AND APPROVED BY THE MUNICIPALITY'S ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISSDIG. CALL TWO BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
 - PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER 24 HOURS ADVANCED NOTICE.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR DURING CONSTRUCTION AS IDENTIFIED ON THE EROSION CONTROL PLAN. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SERVICE AND SCHEDULES.
 - PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT THE MUNICIPALITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION:
 - ALL SIGNS, STRIPING AND TRAFFIC CONTROL DEVICE SHALL CONFORM TO, AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AND MDOT OR COUNTY STANDARDS, LATEST EDITION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND CLEANING OF TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING PAVEMENT MARKINGS DURING CONSTRUCTION OPERATIONS, IN CONFORMANCE WITH CONSTRUCTION DOCUMENTS.
 - REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE SURFACE OR TEXTURE OF THE PAVEMENT OR EXISTING SURFACING. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY ARE NOT VISIBLE UNDER DAY OR NIGHT CONDITIONS.
 - SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS, & SITE LIGHTING BASES.
 - THE CONTRACTOR SHALL CONTACT THE LOCAL CONSTRUCTION INSPECTOR PRIOR TO ANY STREET CUT. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. ANY STREET PATCHING SHOWN ON THE DRAWINGS IS APPROXIMATE. ACTUAL LIMITS OF STREET PATCH SHALL BE DETERMINED BY THE CONSTRUCTION INSPECTOR. PATCHING SHALL BE DONE IN CONFORMANCE WITH MUNICIPAL DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. IN ACCORDANCE WITH THE REFERENCED SPECIFICATIONS, THE ENGINEER SHALL MAKE THE DETERMINATION OF THE NEED FOR A COMPLETE OVERLAY. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASE OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTING OF MARKERS SHALL BE PERFORMED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL LAND SURVEYOR.
 - THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION.
 - ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
 - THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER, WATER SERVICE OR ABANDONING AN EXISTING WATER SERVICE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE WORK. QUALITY CONTROL TEST RESULTS MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE MUNICIPALITY'S REQUIREMENTS.
 - THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE OWNER'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE.
 - THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED LOT STAKING AND CONSTRUCTION STAKING. THE CONTRACTOR SHALL COORDINATE THROUGH THE OWNER'S DESIGNATED REPRESENTATIVE TO ASSURE THAT THE SURVEYOR IS GIVEN ADEQUATE NOTICE AND INSTRUCTION IN ORDER TO COMPLETE THE SURVEY REQUIREMENTS FOR THE VARIOUS PHASES OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF RE-SURVEYING REQUIRED DUE TO THE CONTRACTOR'S, OR SUBCONTRACTOR'S, ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH RESCHEDULING THE SURVEYOR TO ACCOMMODATE THE CONTRACTOR'S REQUESTS FOR UNSCHEDULED STAKING.
 - THE CONTRACTOR SHALL PROVIDE AND IMPLEMENT A "TRAFFIC CONTROL PLAN" RELATED TO ALL CONSTRUCTION ACTIVITIES FOR THIS PROJECT. THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH LOCAL AND STATE PERMITTING PROCESSES FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY."
 - WHEN DISCHARGING GROUNDWATER, ALL DEWATERING METHODS SHALL BE IN CONFORMANCE WITH ALL LAWS AND REGULATIONS OF THE STATE. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK.
 - THE ENGINEER WHO HAS PREPARED CIVIL PLANS, BY EXECUTION AND/OR SEAL HEREON, DOES HEREBY AFFIRM RESPONSIBILITY FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ANY SUCH RESPONSIBILITY.
 - ALL PARKING LOT IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE ADA ACT AND PROVIDE FOR PARKING, SIGNAGE AND ACCESS. IT IS THE CONTRACTOR AND OWNER'S RESPONSIBILITY TO PROVIDE. PROVIDE DETECTABLE WARNING AT TRANSITION FROM SIDEWALK TO DRIVE AISLE. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS. GROSS SLOPE ALONG ENTIRE LENGTH OF ACCESSIBLE ROUTE NOT TO EXCEED 2%.
 - REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SCOPE.

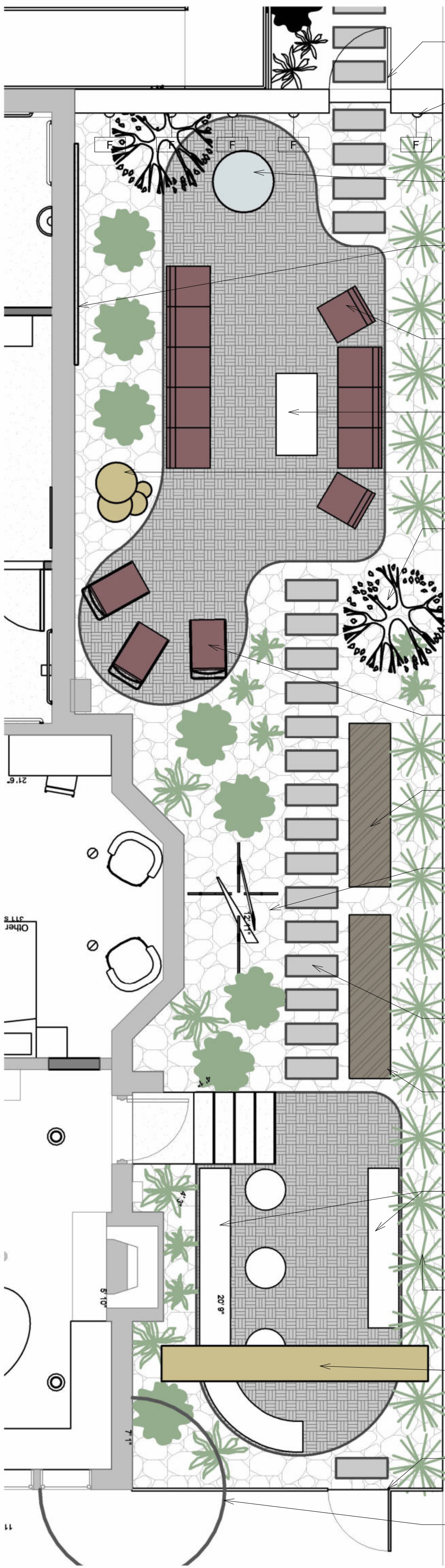
LIGHTING FIXTURE SCHEDULE			
Type Mark	Count	Description	Comments
A	114	RECESSED DOWNLIGHT	
B	20	SCONCE	
C	3	EXTERIOR POST LIGHT FIXTURE	
D	12	BATHROOM EXHAUST FAN	
E	11	UTILITARIAN FLUSH MOUNT FIXTURE PULL-SWITCH	
F	5	EXTERIOR GROUND UP-LIGHT WALL WASH	
G	2	REAR EXTERIOR GOOSE NECK	
H	4	REAR EXTERIOR SCONCE	
Grand total		171	



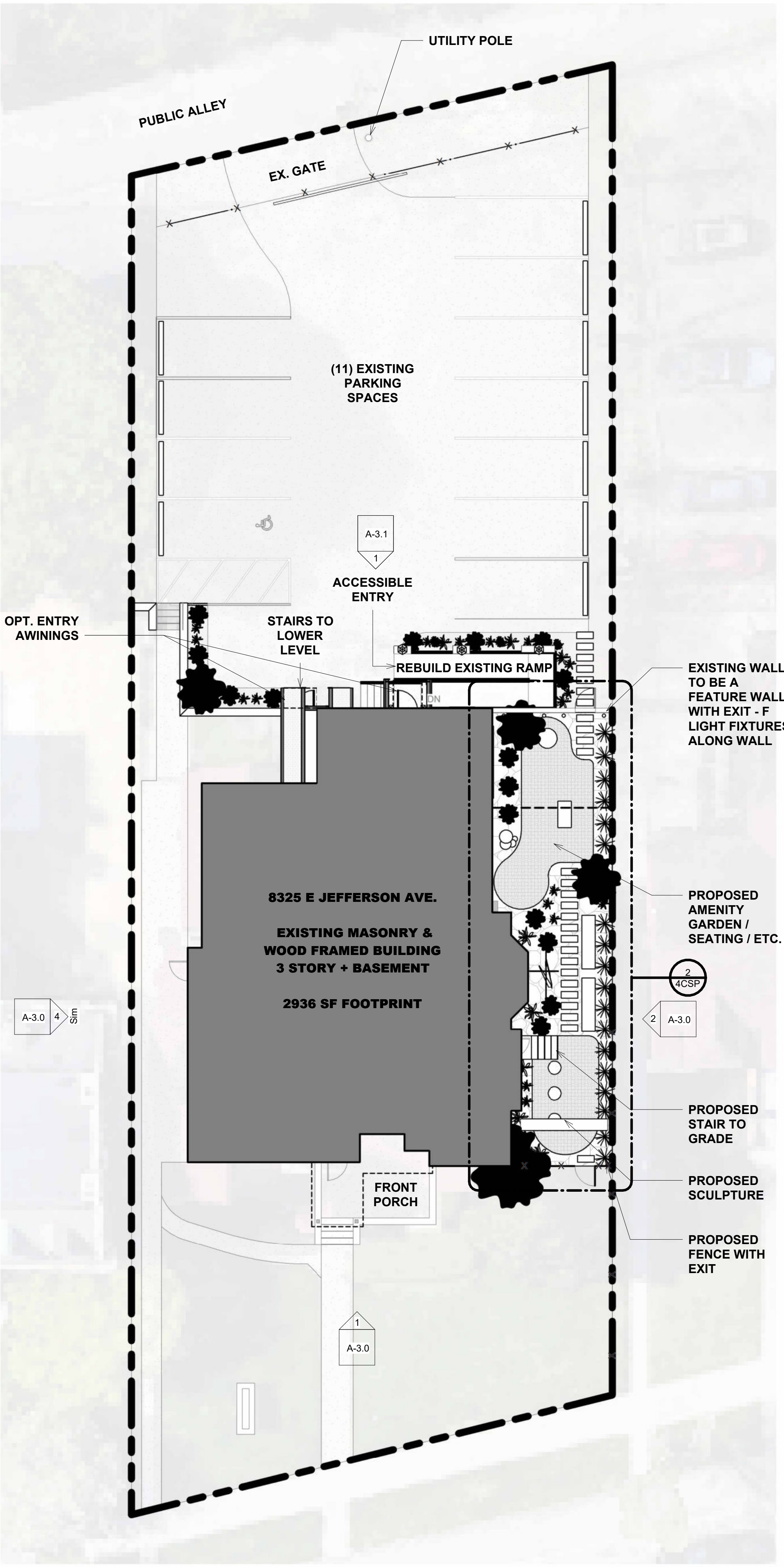
3 3D BIRDSEYE

NOTE:

- ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
- REFER TO SITE PLAN BY CIVIL ENGINEER FOR ALL CIVIL ENGINEERING INFORMATION.
- ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO.
- ALL LANDSCAPE SELECTIONS BY OWNER/CONTRACTOR.



2 SITE PLAN - ENLARGED PLAN - PROPOSED ZEN GARDEN
1/4" = 1'-0"



1 PROPOSED SITE PLAN
3/32" = 1'-0"

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Revision Schedule

#	Description	Date
1	Commercial Set	03/13/2025

SEAL

NOT FOR CONSTRUCTION

03/13/2025

BERKERY ESTATE

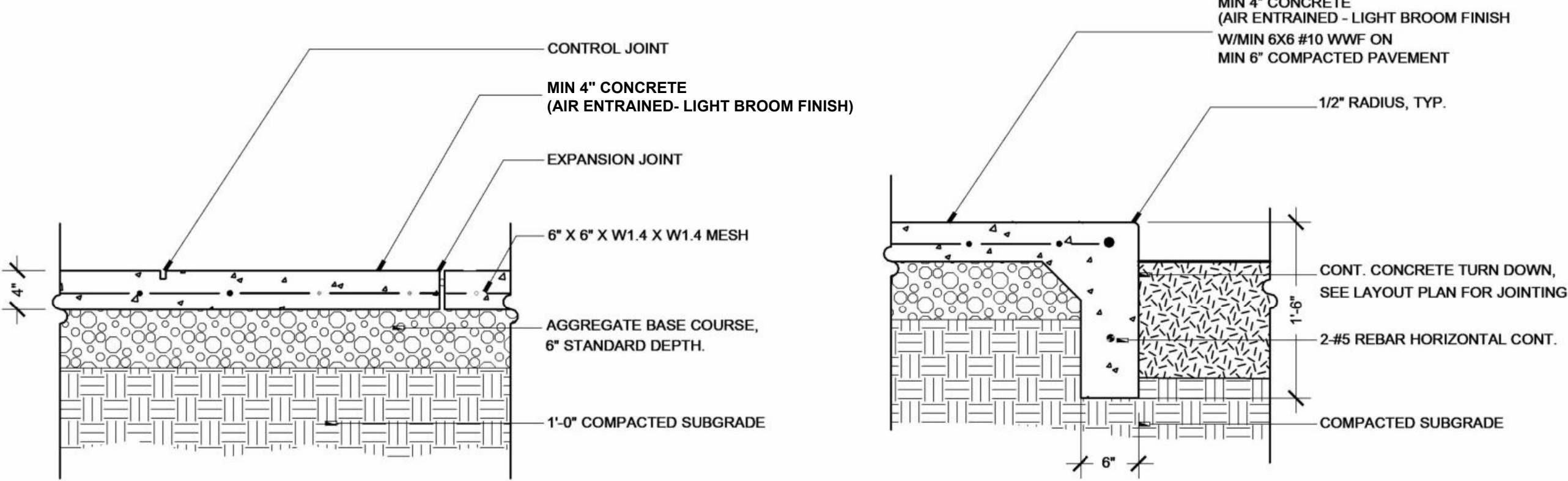
PROJECT NUMBER: ZK005
8325 E. JEFFERSON AVE
DETROIT, MI 48214

NIAL & MELVIE BERKERY

SHEET TITLE
ARCHITECTURAL SITE PLAN

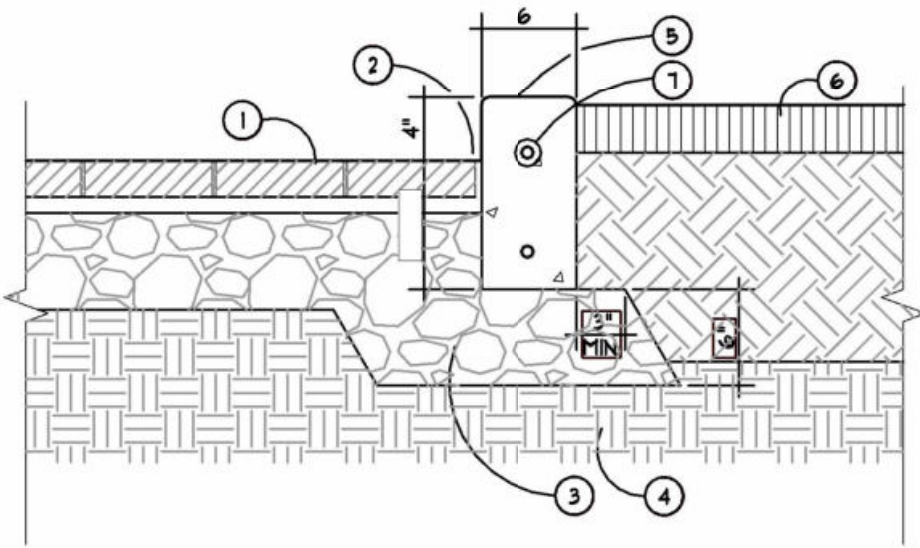
SHEET NUMBER

4CSP



1 CONCRETE PAVING

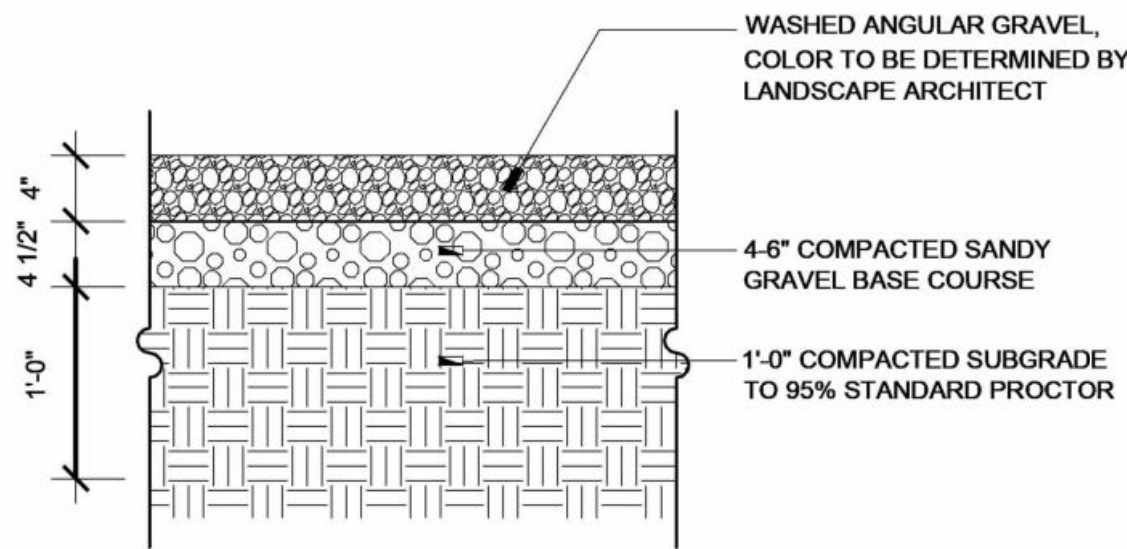
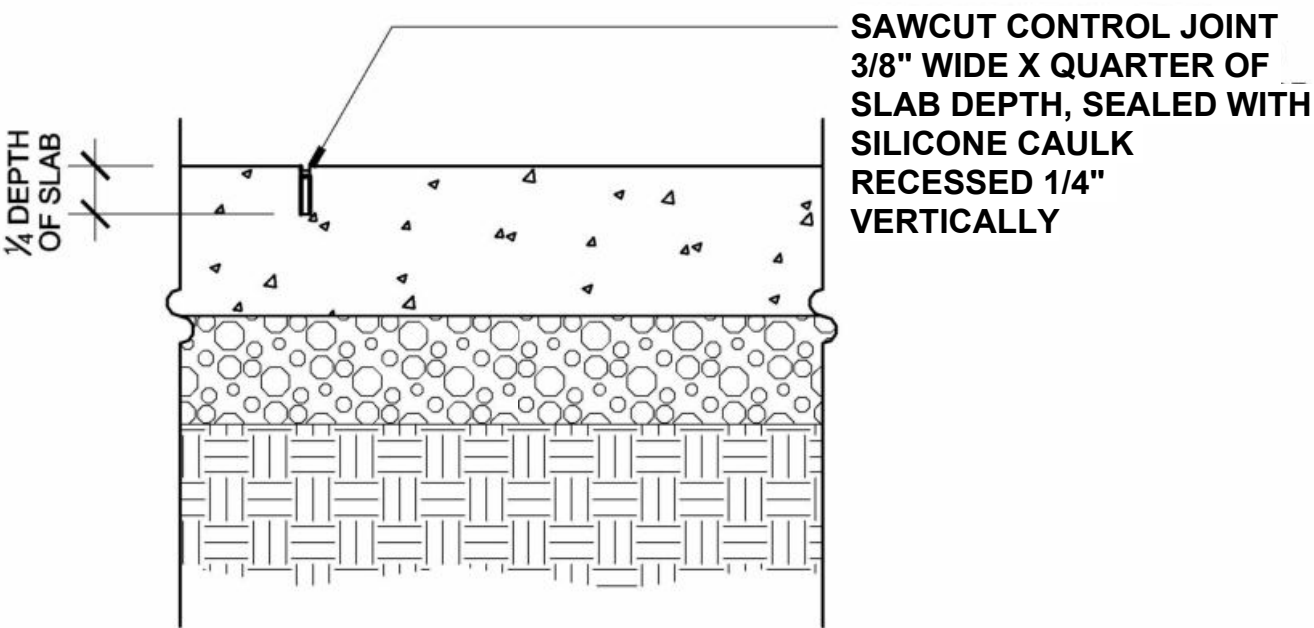
1" = 1'-0"



- 1 TYPICAL PAVERS ON AGGREGATE BASE - REFER TO DETAIL
- 2 1/2" SAND JOINT ADJACENT TO CURB
- 3 6" DEPTH 21AA AGGREGATE BASE COMPACTED TO 95% MODIFIED PROCTOR
- 4 EXISTING SUBGRADE, COMPACT TOP 12" (MIN) TO 95% MODIFIED PROCTOR, TYP.
- 5 COLORED CONCRETE STRAIGHT CURB WITH SMOOTH TROUPEL FINISH SIZED AS SHOWN, 1/2" EASED FRONT AND BACK EDGE, 1/2" VERT. AND HORIZ. EXPANSION JOINT BETWEEN POUS (MAX 10' O.C.) WHERE APPLICABLE. SEALANT COLOR TO MATCH COLORED CONCRETE - REFER TO SPECS
- 6 LANDSCAPE AREA - REFER TO LANDSCAPE PLANS
- 7 (1) NO. 4 BAR CONTINUOUS AS SHOWN, LAP SPICE AS REQUIRED, 3" MIN. COVERAGE ON TOP BAR, 2" MIN. COVERAGE ON BOTTOM BAR, TYP.

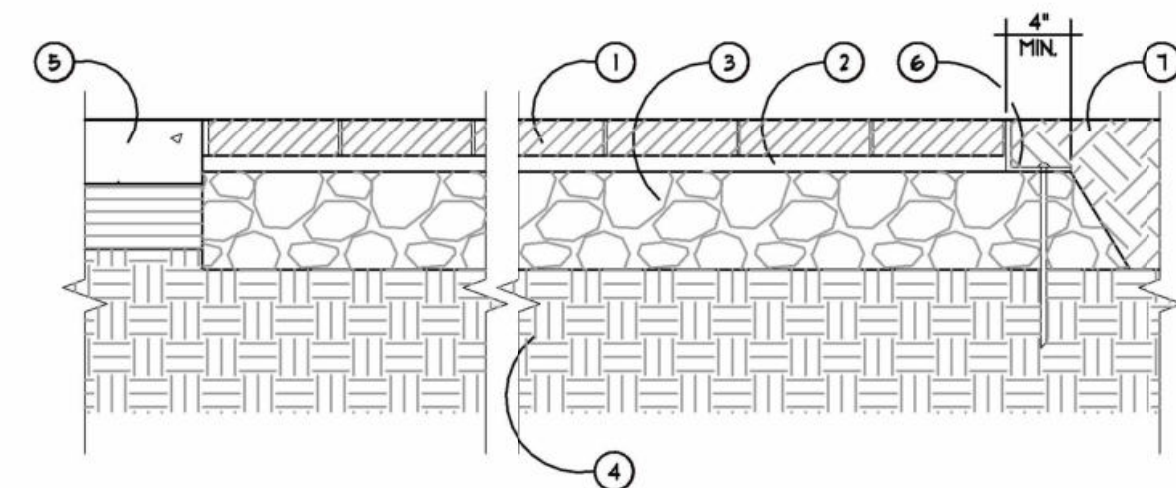
9 TYPICAL CONCRETE STRAIGHT CURB

1" = 1'-0"



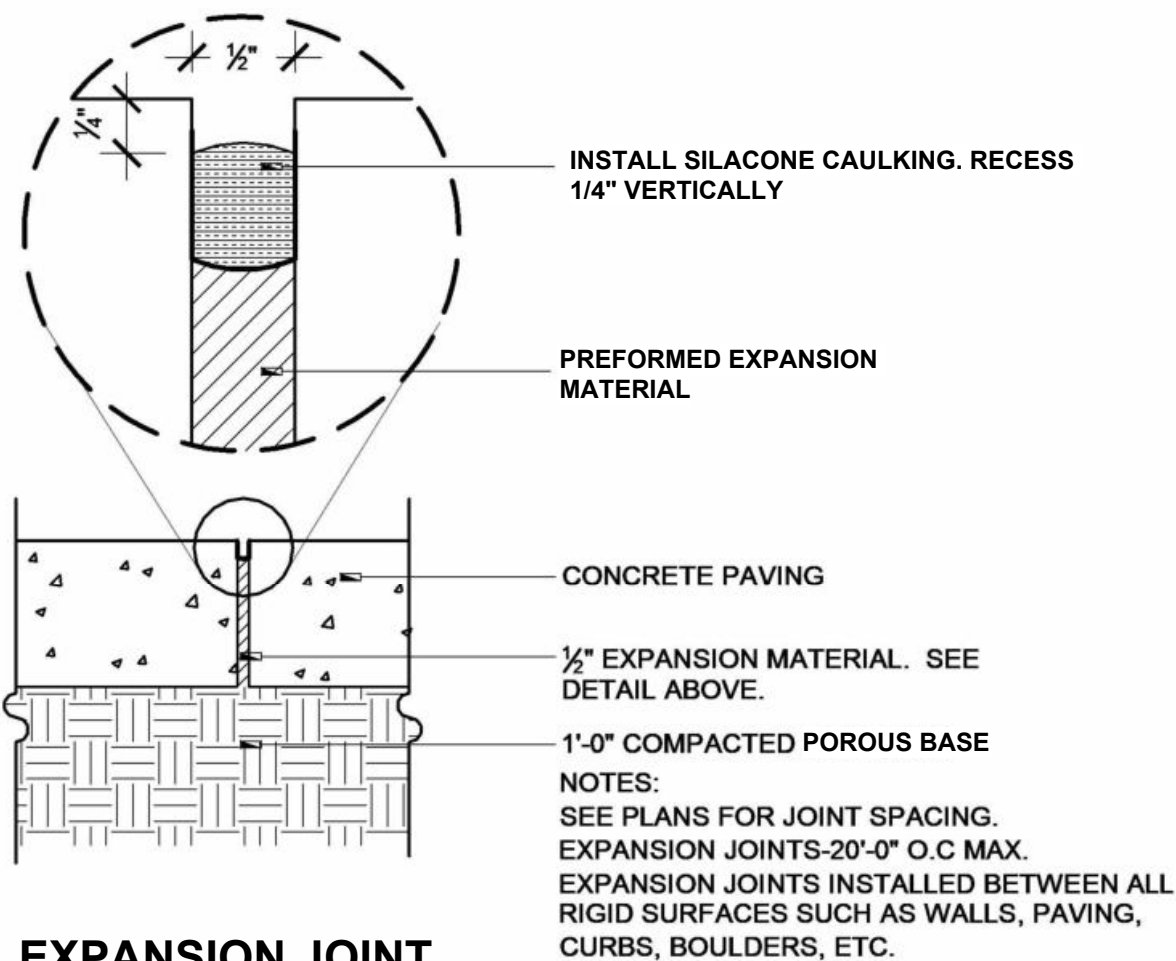
3 CONTROL JOINT

1 1/2" = 1'-0"



8 PAVERS ON AGGREGATE

1" = 1'-0"



4 EXPANSION JOINT

1 1/2" = 1'-0"

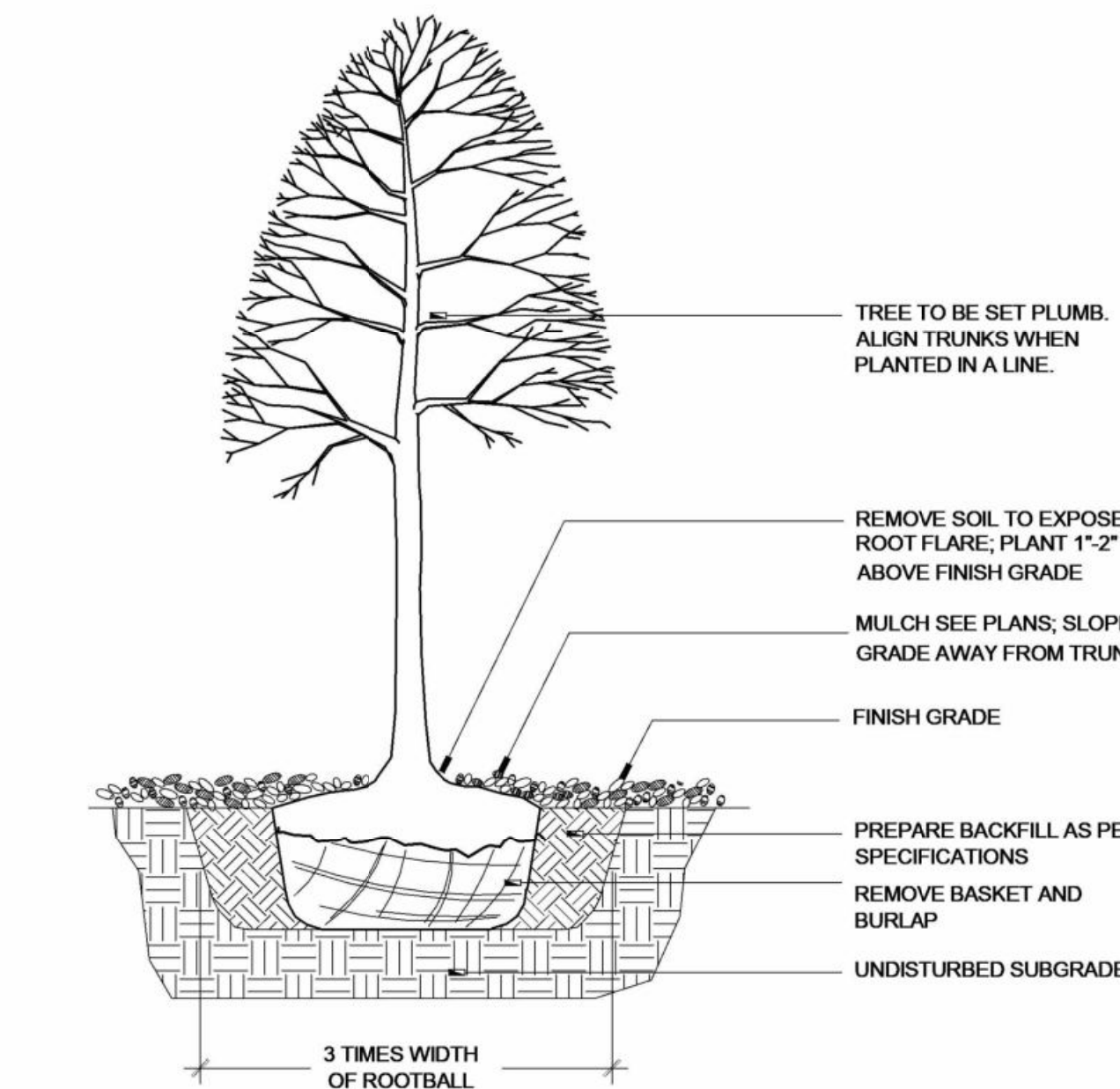
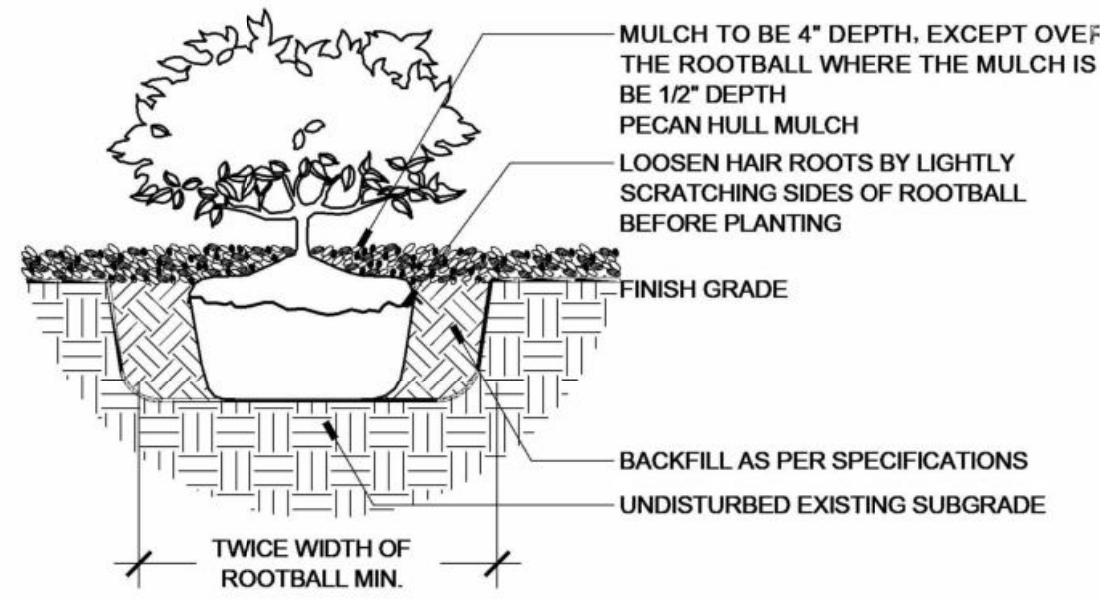
2 CONCRETE TURN DOWN EDGE

1" = 1'-0"

5 SHRUB PLANTING

SCALE: 1/2" = 1'-0"

SECTION



8 TREE PLANTING

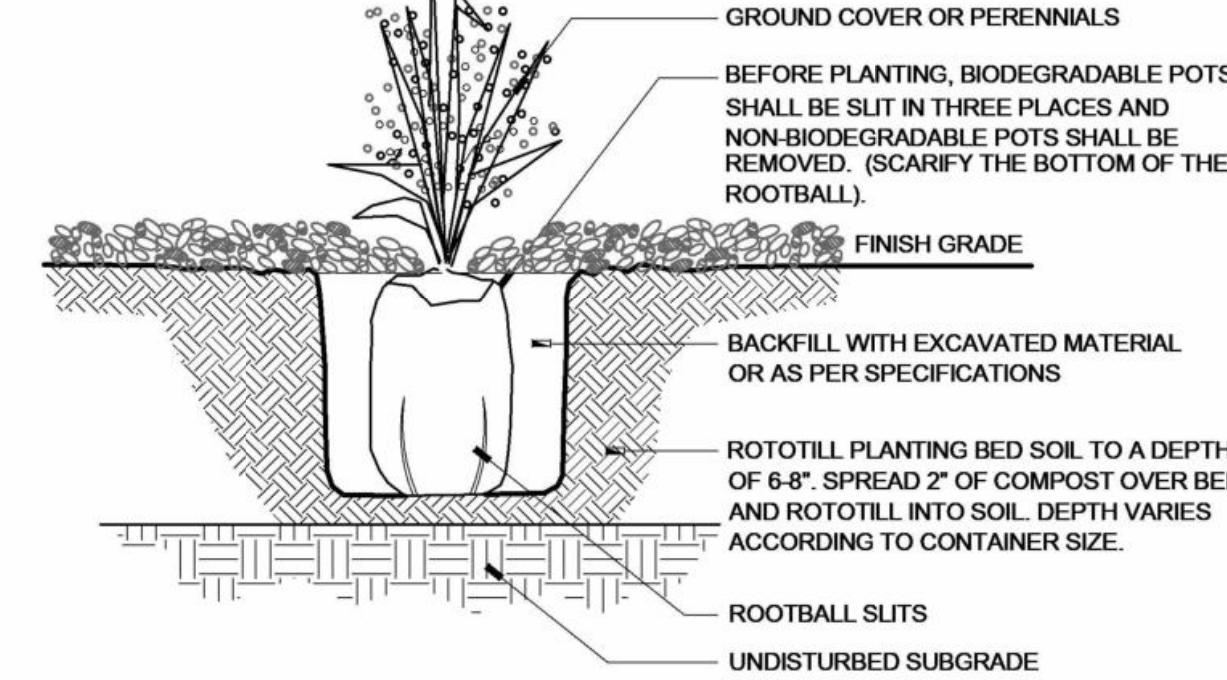
SCALE: 1/2" = 1'-0"

SECTION

- SOIL PREPARATION
1. Soil preparation of a landscape design is a critical factor in creating a healthy and long-lasting landscape. Remove existing topsoil and stockpile on site. Topsoil to be incorporated back into the soil at a later date. Contractor to conduct a soil evaluation to determine the soil's composition, compaction rate, nutrient qualities, organic content, PH levels, and water holding capabilities. The ideal particle soil mix is approximately 45% sand, 40% silt, 10% clay and 5% organic material with a PH level near seven.
 2. Prior to the installation of the landscape and irrigation system, contractor to prepare soil to ensure a proper environment for plant root development.
 3. Contractor to de-compact soils in planting areas by roto-tilling, diskling or ripping to a depth of 6" - from the soil.
 4. When performing soil de-compaction, multiple passes across the area will be required and, when possible, should be at varying angles to ensure adequate coverage. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier.
 5. After initial soil de-compaction procedures are performed, soil amendments should be added. The addition of soil amendments is determined from soil tests conducted prior to work commencing. Soil amendment may include inorganic material such as sand, silt or clay, which help improve soil texture. Organic material such as compost, manure, and peat moss may also be used and help improve soil structure. Other amendments such as fertilizer improve nutrient content and sulfur adjusts the soil PH level. Sulfur shall be incorporated at the rate of one pound of sulfur per 100 square feet.
 6. All amendments should be mixed thoroughly with existing soil and an additional soil test will be taken to ensure proper soil conditions prior to planting.
 7. During the remainder of the landscape installation, various areas of the site may be re-compacted the soil. Prior to the installation of plant material in these areas, the compaction shall be reduced to 80% or less using previously described methods.

- TREE PRESERVATION PLANTING NOTES
1. All trees to be preserved as indicated on the Landscape Demolition Plan shall be protected by 6" main link fence. The fence shall be located at a 5 ft. radius from the edge of the trunk. The fence shall be firmly anchored into the ground and shall remain upright and intact until all construction activity is complete. Construction activities or storage shall not occur within these protected areas. The Contractor shall stake the protective fencing location. The location of the protective fencing shall be approved onsite by the Landscape Architect prior to the start of any site work.
 2. When excavation near a tree to be protected must be carried out, damage can be limited by root pruning. Root pruning shall be completed before grading is started and shall occur beneath the protective fencing as shown on the plan.
 3. Root pruning shall be performed, when required, with a trencher such as a telephone cable puller or a "Ditch Witch" prior to adjacent excavation. The trenching shall be to a minimum depth of 24" or the depth of excavation. The contractor shall stake the limit of root pruning as per the plan. Limits of trenching shall be approved by the Landscape Architect prior to any trenching in the field. Do not trench for irrigation or electrical within drip lines of existing trees. Coordinate all trenching required for utility work with the landscape plans.
 4. The best method to avoid soil compaction is to KEEP OFF. This includes restricting all traffic both vehicular and pedestrian from crossing over the root zones, and restricting even temporary material storage under trees.

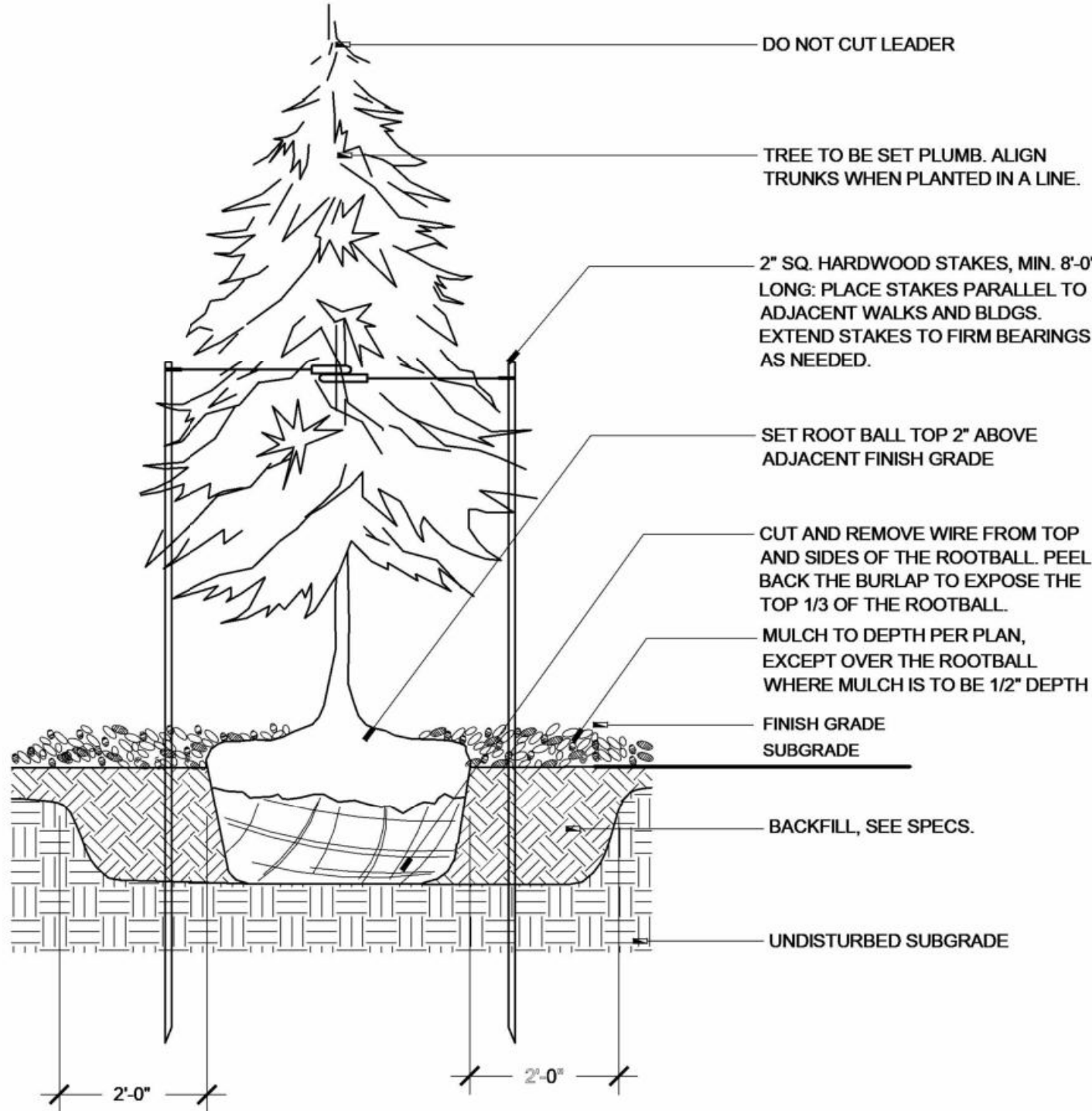
- NOTES:
1. SET PLANTS SO THAT THE TOP OF ROOT SYSTEM IS RAISED 1" ABOVE EXISTING GRADE OF SOIL (ALLOW FOR SETTLING OF EXCAVATED SOIL)



6 PERENNIAL PLANTING

SCALE: 1/2" = 1'-0"

SECTION



9 EVERGREEN TREE PLANTING

SCALE: 1/2" = 1'-0"

SECTION

LANDSCAPE PLANTING NOTES

1. Refer to Civil Engineer's utility and grading and drainage plans for utility location and drainage information.
2. Refer to Civil Engineer's grading plans for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
3. Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to commencing work.
4. Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
5. Verify plant counts and square footages: Quantities are provided as Owner information only. If quantities on plant list differ from graphic indications, then graphics shall prevail.
6. Contact the local underground utility services for utility location and identification.
7. Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
8. Trees shall bear same relation to finished grade as it bore to existing.
9. Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
10. Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
11. Prune newly planted trees only as directed by Landscape Architect.
12. Align and equally space in all directions trees and shrubs so designated per these notes and drawings.
13. Finish grades of planter areas shall be 2 inches below adjacent paving or top of wall unless otherwise noted.
14. Provide specified edging as divider between planting beds.
15. Remove entire wire cage from rootball.
16. Cut and remove burlap from top 1/3 of ball.
17. Landscape Architect to review plant materials at source or by photographs prior to digging or shipping of plant materials.

PLANTING BED NOTES

1. Provide ground cover (Periwinkle-Vinca Minor and/or Pachysandra) at all planting bed areas.
2. Contractor to provide sufficient planting material & spacing for continuous ground coverage within 4 years of planting.
3. Provide brown or black mulch annually till ground cover matures.

IRRIGATION NOTES

1. See general conditions notes.
2. Locations of irrigation lines, valves, heads, and all other related irrigation appurtenances shown on these drawings are diagrammatic only. The exact location of the above need to be approved by the Landscape Architect.
3. Refer to Irrigation Plans and Specifications for additional requirements.

infuz Ltd.

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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

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03/13/2025

BERKERY ESTATE

PROJECT NUMBER: Z24075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY

SHEET TITLE
SITE DETAILS

SHEET NUMBER

5CSP

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DEMOLITION NOTES:

REGULATORY REQUIREMENTS:

- A. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. OBTAIN AND PAY FOR ALL PERMITS REQUIRED. WHERE TOXIC SUBSTANCES ARE SUSPECTED TO BE PRESENT, PARTICULARLY LEAD PAINT AND ASBESTOS, A CERTIFIED REMOVAL ENTITY SHALL BE RETAINED AND FOLLOW GOVERNING AGENCY GUIDELINES FOR REMOVAL AND DISPOSAL.
- B. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY FEDERAL, STATE, AND LOCAL LAW TO INSURE PUBLIC AND WORKER SAFETY. COMPLY WITH OSHA AND EPA REQUIREMENTS.

PREPARATION:

- A. AS PART OF THE PROJECT SCOPE, THE CONTRACTOR SHALL PREPARE ALL DRAWINGS, DOCUMENTS, AND APPLICATIONS AND SHALL OBTAIN ALL GOVERNMENT AGENCY APPROVALS AND PERMITS REQUIRED FOR DEMOLITION ACTIVITIES.
- B. CONDUCT DEMOLITION OPERATIONS AND REMOVE MATERIALS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND UTILIZED FACILITIES.
- C. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR UTILIZED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- D. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- E. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- F. MAINTAIN TEMPORARY PROTECTION TO PEOPLE AT EXTERIOR AREAS OF THE EXISTING BUILDING WHERE DECORATIVE MEDALLION REMOVAL WORK IS BEING DONE.
- G. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING THAT ARE DESIGNATED TO REMAIN IN PLACE.
- H. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF BUILDINGS TO BE DEMOLISHED AND ADJACENT BUILDINGS TO REMAIN.
- I. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- J. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- K. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF DEMOLITION AND RECYCLING REQUIRED.
- L. SURVEY CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
- L. RETAIN A LICENSED AND QUALIFIED STRUCTURAL ENGINEER TO PROVIDE ANALYSIS, INCLUDING CALCULATIONS, NECESSARY TO ENSURE THE SAFE EXECUTION OF THE DEMOLITION WORK. BEARING WALLS, STRUCTURAL STEEL, CONCRETE FOUNDATIONS AND SUPPORTED SLABS WITH STRUCTURAL FRAMING SHALL NOT BE ALTERED WITHOUT A FIELD INVESTIGATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER.

GENERAL:

- A. DEMOLITION DRAWINGS INDICATE GENERAL AREAS OF DEMOLITION ONLY. EXTENT OF REMOVAL OF EXISTING CONSTRUCTION MATERIALS TO BE DETERMINED BY FIELD INVESTIGATION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL TO BE RELOCATED PER DRAWINGS. COORDINATE WITH CONTRACTORS AS REQUIRED.
- B. COORDINATE REMOVAL OF EXISTING ITEMS WITH PROPOSED FRAMING DETAILS, INTERIOR ELEVATIONS, AND DETAILS. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED PRIOR TO STRUCTURAL DEMOLITION.
- C. PATCH AND REPAIR EXISTING MATERIALS TO REMAIN AS REQUIRED WHERE REMOVAL OF EXISTING CONSTRUCTION OR WHERE REQUIREMENTS OF NEW CONSTRUCTION NECESSITATES CUTTING OR ALTERING EXISTING MATERIALS. EXISTING WALLS, FLOORS, AND CEILING TO REMAIN INTACT AS IS INDICATED ON DRAWINGS. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PATCH AND REPAIR OF ALL DAMAGE ARISING FROM DEMOLITION OPERATIONS AS REQUIRED TO MATCH EXISTING.
- D. ALL DEMOLITION WORK SHALL ATTEMPT TO SALVAGE ADJACENT AREAS AND RE-USABLE MATERIALS TO THE EXTENTS POSSIBLE. VERIFY OWNER'S INTENT TO REUSE OR STORE ANY BUILDING COMPONENTS PRIOR TO DISPOSAL. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN PROPERTY OF OWNER, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER. EVERY ATTEMPT SHALL BE MADE BY THE DEMOLITION CONTRACTOR TO SEPARATE BUILDING MATERIALS INTO RECYCLABLE CONTENT.
- F. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- G. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION.
- H. PROVIDE TEMPORARY AND SECURE WATERPROOF ENCLOSURE DURING CONSTRUCTION.
- I. PREPARE ALL SURFACES AS REQUIRED TO RECEIVE NEW WORK AND NEW FINISHES AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- J. ALL SALVAGED ITEMS TO BE CLEANED, REPAIRS, OR PATCHED AS NECESSARY PRIOR TO NEW INSTALLATION.
- K. REMOVE ANY DAMAGED MASONRY AT REMAINING WALLS. PROVIDE NEW INFILL TO MATCH EXISTING.
- L. REMOVE EXISTING MECHANICAL AND PLUMBING SYSTEMS, VENTS, FIXTURES, DRAINS, AND DUCTWORK NOT INDICATED FOR REUSE. DO NOT ABANDON ITEMS IN PLACE UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION.

DISPOSAL PRACTICES AND HAULING:

- A. LEGALLY TRANSPORT AND DISPOSE OF MATERIALS THAT CANNOT BE DELIVERED TO A SOURCE-SEPARATED OR MIXED RECYCLING FACILITY TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE OF DISPOSAL.
- B. USE A PERMITTED WASTE HAULER OR CONTRACTOR'S TRUCKING SERVICES AND PERSONNEL. TO CONFIRM VALID PERMITTED STATUS OF WASTE HAULERS, CONTACT THE APPROPRIATE WASTE MANAGEMENT AGENCY.
- C. BECOME FAMILIAR WITH THE CONDITIONS FOR ACCEPTANCE OF NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS AT RECYCLING FACILITIES, PRIOR TO DELIVERING MATERIALS.
- D. DELIVER TO FACILITIES THAT CAN LEGALLY ACCEPT NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS FOR PURPOSE OF RE-USE, RECYCLING, COMPOSTING, OR DISPOSAL.
- E. DO NOT BURN, BURY OR OTHERWISE DISPOSE OF RUBBISH AND WASTE MATERIALS ON PROJECT SITE.
- F. DEMOLISH CONCRETE AND MASONRY IN SIZES THAT WILL BE SUITABLE FOR ACCEPTANCE AT RECYCLING OR DISPOSAL FACILITIES.

ELECTRICAL DEMOLITION:

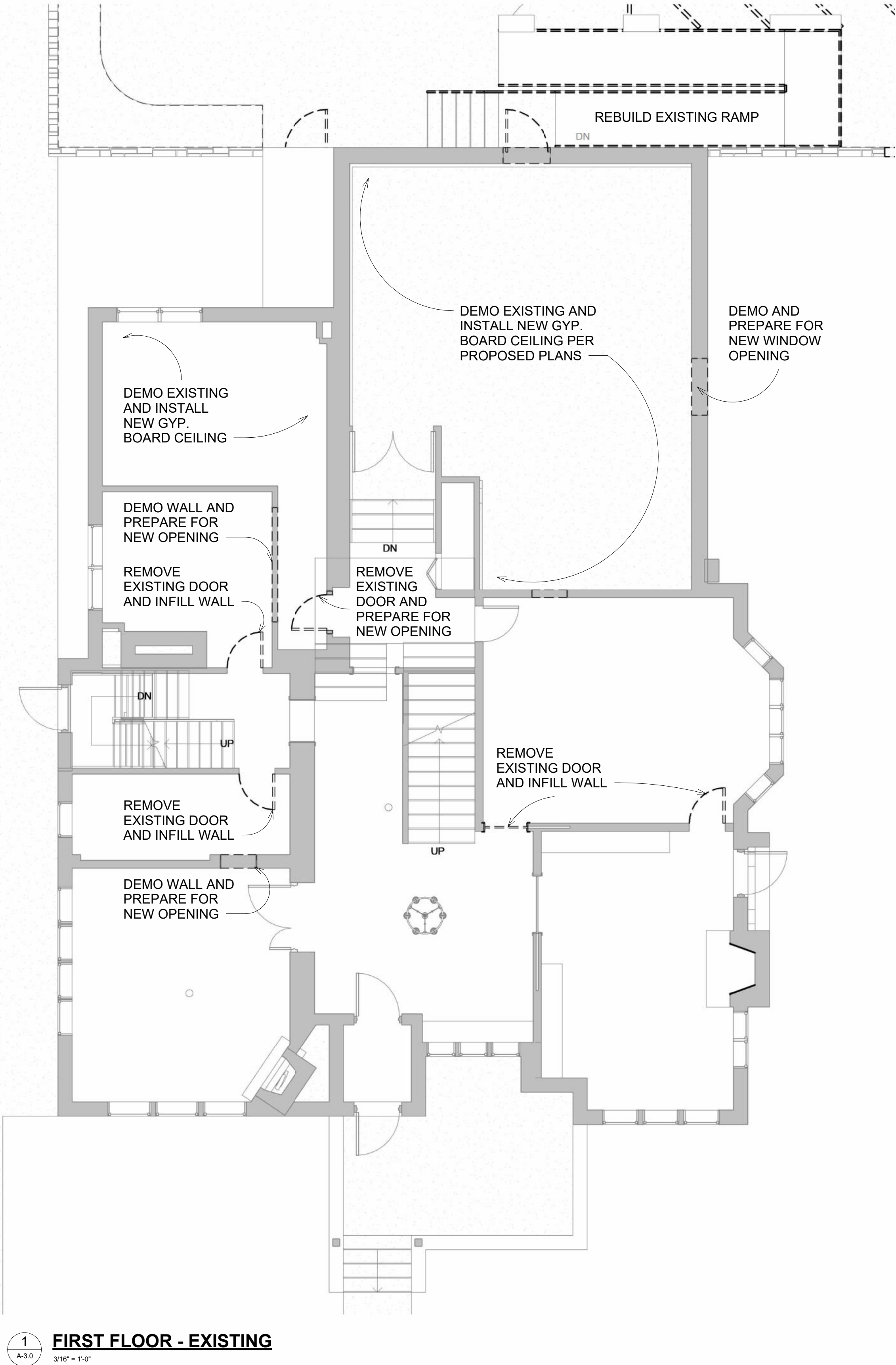
- A. SAFETY-RELATED WORK PRACTICES SHALL BE EMPLOYED TO PREVENT ELECTRIC SHOCK OR ELECTRICAL CONTACTS, WHEN WORK IS PERFORMED NEAR OR ON EQUIPMENT OR CIRCUITS WHICH ARE OR MAY BE ENERGIZED. LIVE PARTS SHALL BE DE-ENERGIZED BEFORE WORK COMMENCES ON THEM. ONLY QUALIFIED ELECTRICIAN MAY WORK ON ENERGIZED CIRCUITS OR EQUIPMENT.
- B. THE CIRCUITS AND EQUIPMENT TO BE WORKED ON SHALL BE DISCONNECTED FROM ALL ELECTRIC ENERGY SOURCES. ELECTRIC EQUIPMENT OR CIRCUITS WHICH HAVE BEEN DE-ENERGIZED SHALL BE LOCKED OUT OR TAGGED OR BOTH.
- C. A QUALIFIED ELECTRICIAN SHALL USE TEST EQUIPMENT (VOLT-OHM METER, ETC.) AND SHALL VERIFY THAT THE CIRCUIT AND EQUIPMENT ARE DE-ENERGIZED. IF THE CIRCUIT IS OVER 600 VOLTS, THE TEST EQUIPMENT SHALL BE CHECKED FOR PROPER OPERATION IMMEDIATELY BEFORE AND IMMEDIATELY AFTER THIS TEST.
- D. STORED ELECTRIC ENERGY WHICH MIGHT ENDANGER PERSONNEL SHALL BE RELEASED. CAPACITORS SHALL BE DISCHARGED AND HIGH CAPACITANCE ELEMENTS SHALL BE SHORT-CIRCUITED AND GROUNDED, IF THE STORED ELECTRIC ENERGY MIGHT ENDANGER PERSONNEL.
- E. A QUALIFIED ELECTRICIAN SHALL CONDUCT TESTS AND VISUAL INSPECTIONS TO VERIFY THAT ALL TOOLS, ELECTRICAL JUMPERS, SHORTS, GROUNDS, AND OTHER SUCH DEVICES HAVE BEEN REMOVED, SO THAT THE CIRCUITS AND EQUIPMENT CAN BE SAFELY ENERGIZED.
- F. CAP. TERMINATE, OR REMOVE ALL MISCELLANEOUS POWER WIRES, OUTLETS, AND SWITCHES AS REQUIRED DURING CONSTRUCTION AND DEMOLITION.
- G. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL LIGHTING FIXTURES, LOW VOLTAGES TRANSFORMERS, WIRING DEVICES IN ENTIRETY. ALL CONDUIT, WIRING, CABLING, ETC. SHALL BE REMOVED BACK TO THE SOURCE.

GAS PIPING:

- A. ALL GAS TO BE SHUT OFF TO AREAS OF DEMOLITION BY A QUALIFIED CONTRACTOR. TEST FOR LEAKS PRIOR TO COMMENCING WORK.
- B. WHERE APPLICABLE, PROVIDE NEW SHUT OFF VALVES WHERE PIPING REACHES AREA OF DEMOLITION.



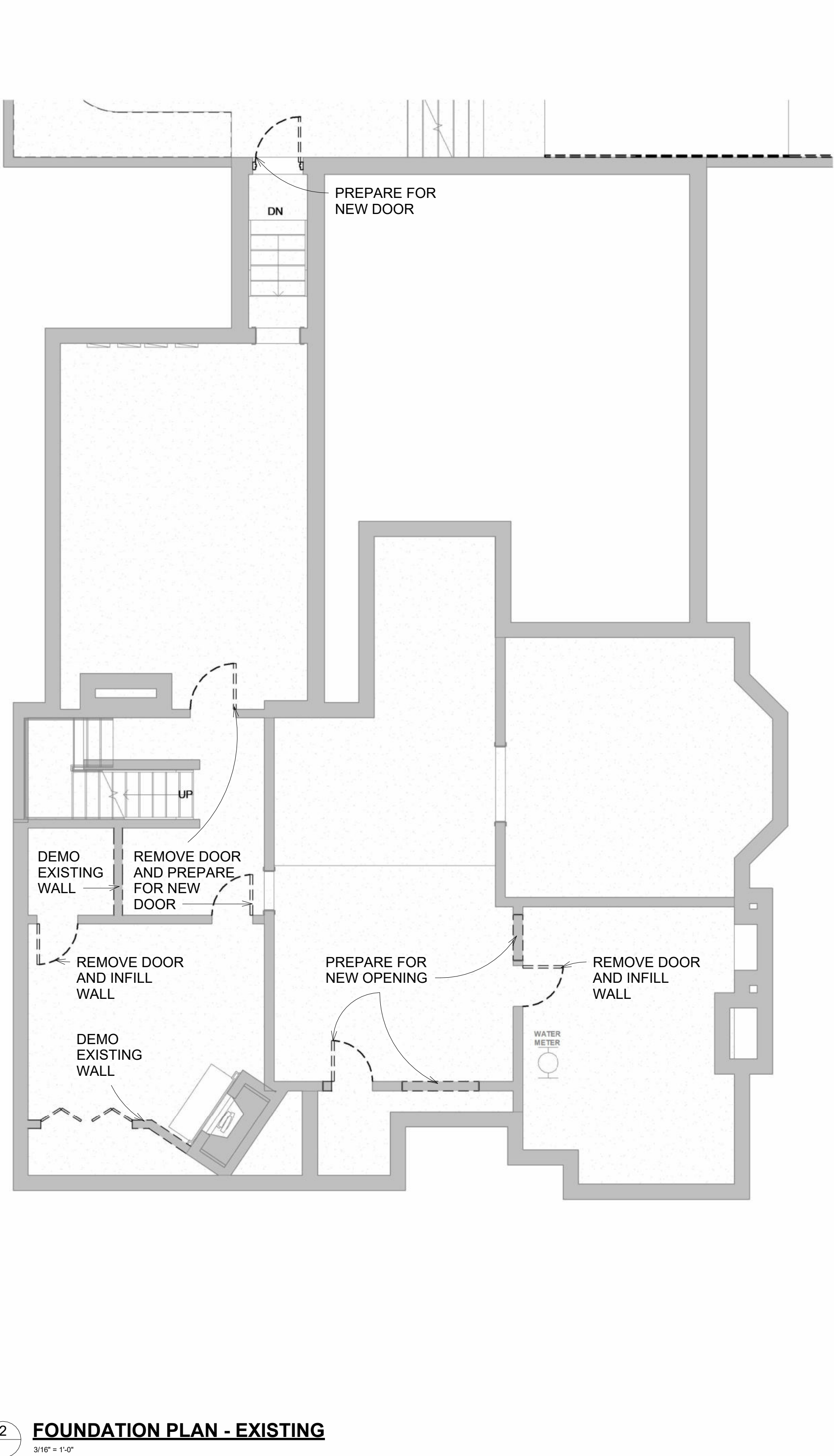
EXISTING CONDITION PHOTOS - FIRST FLOOR



1 FIRST FLOOR - EXISTING
3/16" = 1'-0"



EXISTING CONDITION PHOTOS - BASEMENT



2 FOUNDATION PLAN - EXISTING
3/16" = 1'-0"

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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

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03/13/2025

BERKERY ESTATE

PROJECT NUMBER: ZK005
8325 E. JEFFERSON AVE
DETROIT, MI 48214

NIAL & MELVIE BERKERY

SHEET TITLE
DEMOLITION PLANS

SHEET NUMBER

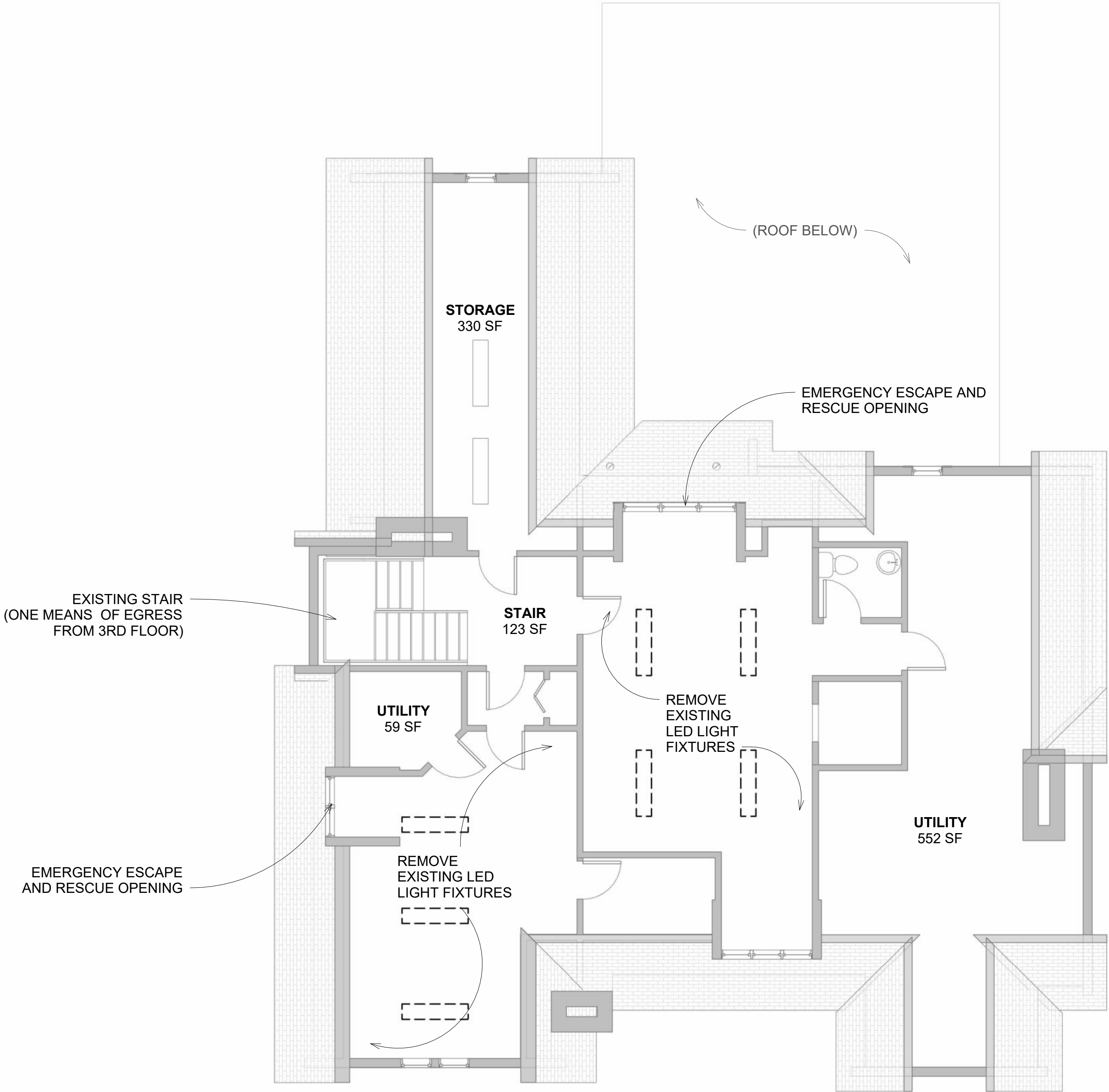
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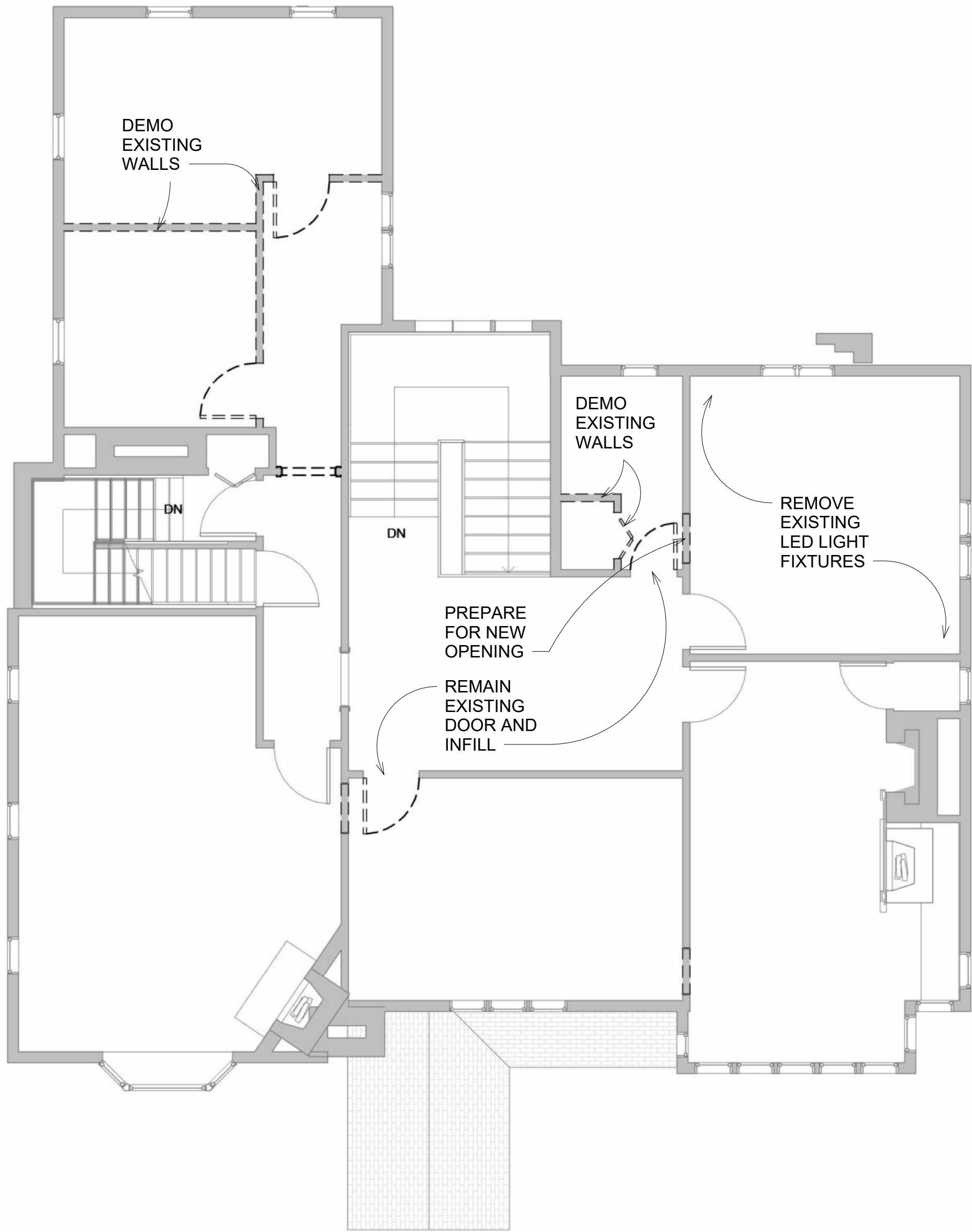
EXISTING CONDITION PHOTOS - THIRD FLOOR



EXISTING CONDITION PHOTOS - SECOND FLOOR



2 THIRD FLOOR / ATTIC - EXISTING
A-3.0
3/16" = 1'-0"



1 SECOND FLOOR - EXISTING
A-3.0
3/16" = 1'-0"

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Revision Schedule		
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1	Commercial Set	03/13/2025

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PROJECT NUMBER: Z24075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
DEMOLITION PLANS

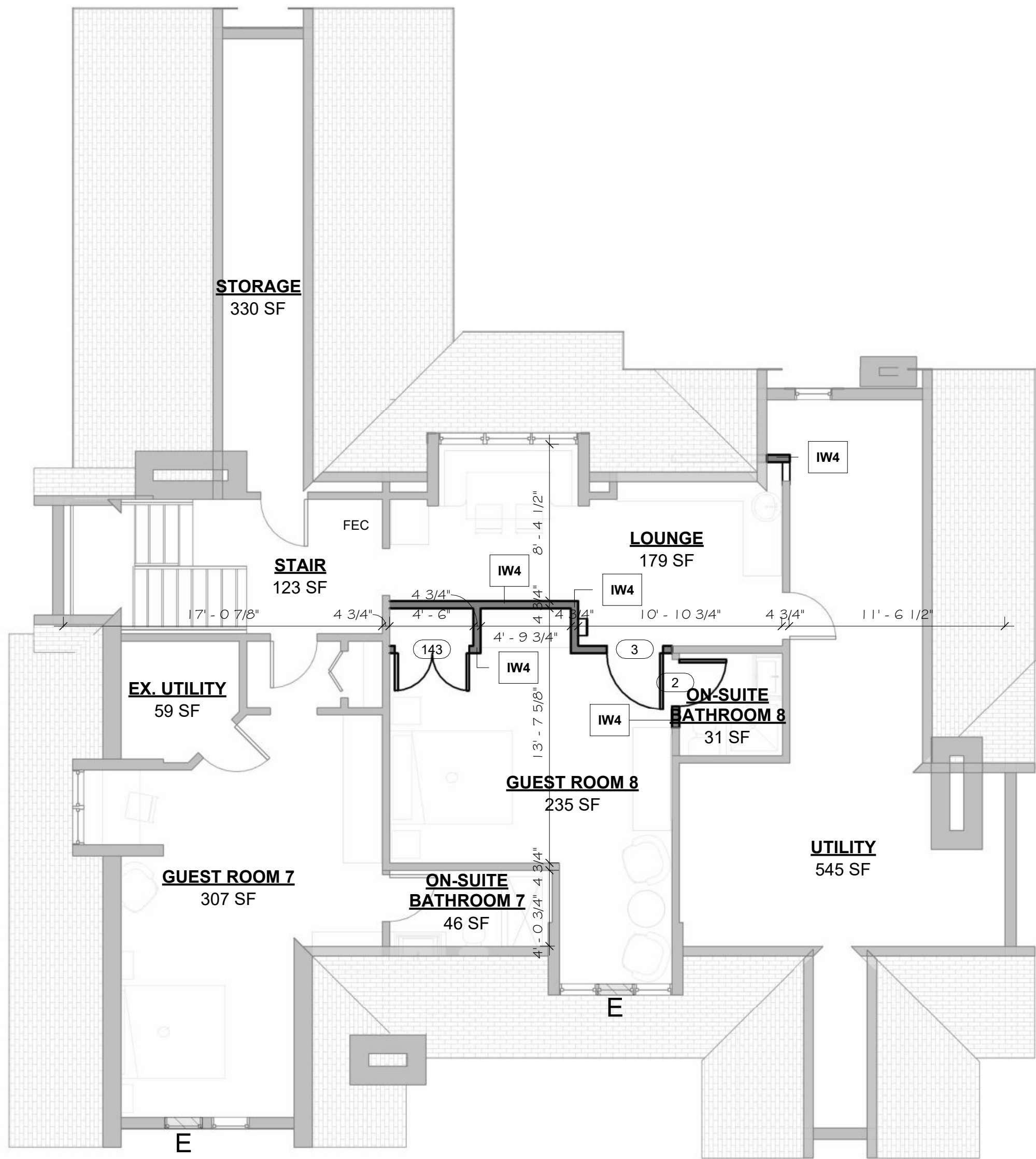
SHEET NUMBER
A-1.1

- WINDOWS AND GLAZING NOTES:**
- A. PROVIDE FLASHING AT ALL WINDOW HEAD, JAMB AND SILL CONDITIONS.
- B. FIXED GLASS SIZES ARE SHOWN FOR REFERENCE ONLY. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION AND PROVIDE SEPARATE SHOP SUBMITTAL FOR ALL OPENINGS.
- C. PROVIDE APPROPRIATE SAFETY GLASS FOR ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH CURRENT BUILDING CODES INCLUDING ALL DOORS, GLAZED AREAS IN EXCESS OF 9 SQ. FT., WITHIN 5' OF TUBS AND GLAZING WITHIN 18" OF WALKING/SITTING SURFACES.
- D. PROVIDE FOR EGRESS OPENINGS WHERE CODE REQUIRES

- DOOR NOTES (U.N.O.):**
- A. ALL DOORS AND HARDWARE SHALL COMPLY WITH APPLICABLE CODES, INCLUDING ADA-AG & MSBC BARRIER FREE SUBCODES AND SHALL BE CAPABLE OF OPERATION WITH THE USE OF (1) HAND
- B. ALL HOLLOW METAL DOOR FRAMES ARE TO BE 16 GAUGE KNOCK DOWN TYPE
- C. ALL FRAMES ARE TO RECEIVE THREE DOOR SILENCERS
- D. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT INFO (FOR REVIEW) FOR ALL DOORS, FRAMES AND HARDWARE
- E. CONTRACTOR SHALL PROVIDE ALL MISC. HARDWARE REQ'D. FOR COMPLETE OPERATION OF EACH DOOR.
- F. ALL EXTERIOR DOORS TO HAVE SELF-CLOSING HARDWARE, THRESHOLDS, AND WEATHER STRIPPING.
- G. DOOR THRESHOLDS SHALL NOT EXCEED ON-HALF INCH (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH (1/4") IN HEIGHT SHALL HAVE A 1.2 BEVEL.
- H. ALL LOCKS ARE TO BE KEYED PER THE REQUIREMENTS OF THE OWNER
- I. ALL HINGES BRUSHED ALUM. & BALL BRG.
- J. ALL DOORS TO BE SUPPLIED & INSTALLED WITH DOOR STOPS WITH SOLID BLOCKING FOR EACH LOCATION
- K. ALL GLASS IN DOORS MUST BE TEMPERED AS PER CODE
- L. STOREFRONT ENTRANCE DOORS TO BE KAWNEER OR EQUAL WITH FRAMING SYSTEM AS INDICATED ON SCHEDULE WITH CLOSERS, LOCK ASSEMBLIES, AND ALL OTHER HARDWARE REQUIRED FOR A COMPLETE INSTALLATION. COLOR TO BE SELECTED BY ARCHITECT.
- M. ALL EXTERIOR METAL DOORS SHALL BE INSULATED
- N. VERIFY ALL DOOR OPTIONS; INCLUDING HANDING, TYPE AND HARDWARE W/ OWNER SELECTIONS. PROVIDE BUMPERS/STOPS WHERE REQ'D

NEW DOOR SCHEDULE								
Type Mark	Count	Width	Height	Description	Function	W.S.	Hardware	Comments
1	8	3' - 0"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
01	2	3' - 0"	7' - 0"	CASED OPENING	Interior			
2	4	2' - 6"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
02	1	2' - 6"	7' - 0"	CASED OPENING	Interior			
03	1	4' - 6"	7' - 0"	CASED OPENING	Interior			
04	1	4' - 0"	7' - 0"	CASED OPENING	Interior			
6	1	4' - 0"	7' - 0"	DOUBLE SOLID WOOD DOORS	Interior			
06	2	2' - 8"	7' - 0"	CASED OPENING	Interior			
8	1	5' - 0"	7' - 0"	DOUBLE BI-FOLD CLOSET DOOR	Interior			
26	1	2' - 0"	7' - 0"	SINGLE BI-FOLD CLOSET DOOR	Interior			
46	2	3' - 0"	7' - 0"	SINGLE FULL-LITE GLASS DOOR	Exterior	Yes		
53	1	6' - 0"	7' - 0"	DOUBLE SLIDING CLOSET WOOD DOOR	Interior			
96	9	2' - 8"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
140	1	8' - 0"	7' - 0"	CASED OPENING	Interior			
143	2	4' - 0"	7' - 0"	DOUBLE SOLID WOOD DOORS	Interior			
148	1	2' - 6"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
151	1	4' - 0"	7' - 0"	DOUBLE SOLID WOOD DOORS	Interior			

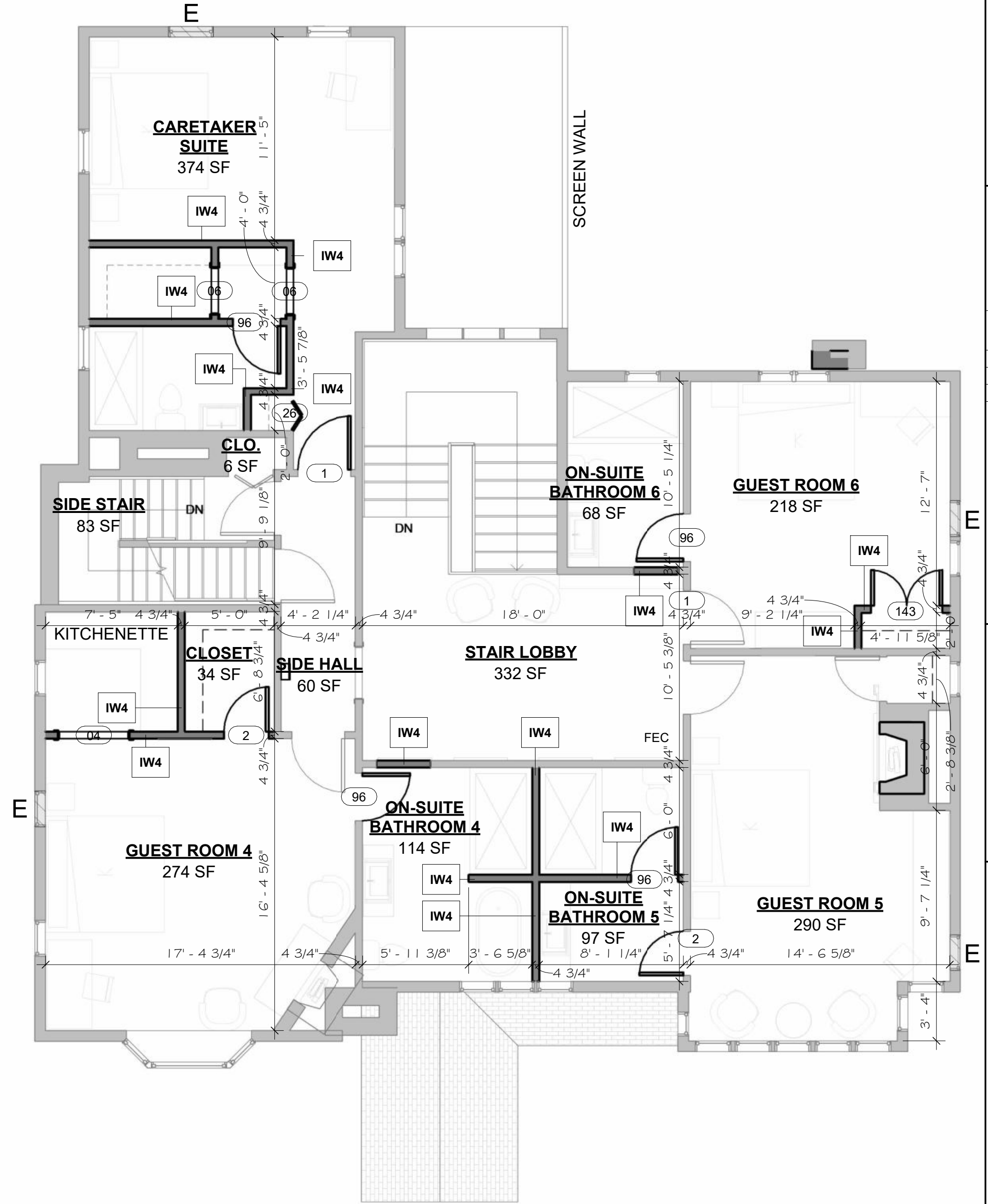
- DOOR NOTES (U.N.O.):**
1. ALL DOORS AND HARDWARE SHALL COMPLY WITH APPLICABLE CODES, INCLUDING ADA-AG&MSBC BARRIER FREE SUBCODES AND SHALL BE CAPABLE OF OPERATION WITH THE USE OF (1) HAND.
2. ALL HOLLOW METAL DOOR FRAMES ARE TO BE 16 GAUGE KNOCK DOWN TYPE.
3. ALL FRAMES ARE TO RECEIVE THREE DOOR SILENCERS
4. CONTRACTOR SHALL SUBMIT SHOP DRWG'S & CATALOG CUTS (FOR REVIEW) FOR ALL DOORS, FRAMES AND HARDWARE.
5. CONTRACTOR SHALL PROVIDE ALL MISC. HARDWARE REQ'D. FOR COMPLETE OPERATION OF EACH DOOR.
6. ALL EXTERIOR DOORS TO HAVE SELF-CLOSING HARDWARE, THRESHOLDS AND WEATHER STRIPPING.
7. DOOR THRESHOLDS SHALL NOT EXCEED ON-HALF INCH (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH (1/4") IN HEIGHT SHALL HAVE A 1.2 BEVEL.
8. ALL LOCKS ARE TO BE KEYED PER THE REQUIREMENTS OF THE OWNER.
9. ALL HINGES BRUSHED ALUM. & BALL BRG.
10. ALL DOORS TO BE SUPPLIED & INSTALLED WITH DOOR STOPS WITH SOLID BLOCKING FOR EACH LOCATION.
11. ALL GLASS IN DOORS MUST BE TEMPERED AS PER CODE
12. STOREFRONT ENTRANCE DOORS TO BE KAWNEER OR EQUAL WITH FRAMING SYSTEM AS INDICATED ON SCHEDULE WITH CLOSERS, LOCK ASSEMBLIES, AND ALL OTHER HARDWARE REQUIRED FOR A COMPLETE INSTALLATION.
13. ALL EXTERIOR METAL DOORS SHALL BE INSULATED.
14. VER. ALL DOOR OPTIONS; INCLUDING HANDING, TYPE AND HARDWARE W/ OWNER SELECTIONS. PROVIDE BUMPERS/STOPS WHERE REQ'D
- HARDWARE NOTES:**
1. LOCK AND LATCH SETS TO BE 'YALE' SERIES WITH LEVER HANDLE AND SATIN CHROME FINISH (U.N.O.)
2. ALL DOORS TO RECEIVE 'IVES' OR APPROVED EQUAL DOMED FLOOR STOPOR CONVEX WALL STOP ANSI 156.16. ALL DOORS TO HAVE APPROPRIATE DOOR STOPS.
3. PANIC HARDWARE SHALL CONSIST OF PANIC BAR (HRIZONTAL BAR) AND LATCHING DEVICE WITH PROPER LATCH BOLT LENGTH, STEEL BALL BEARING HINGES AND CLOSER.
4. PROVIDE PANIC HARDWARE ON ALL EXTERIOR DOORS. IT IS 'YALE' MANUFACTURER OR APPROVED EQUAL
5. PANIC HARDWARE SHALL HAVE THE ACTIVATING MEMBER MOUNTED AT A HIGHT OF NOT LESS THAN 30 INCHES & 44 INCHES A.F.F.
6. DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
7. VERIFY ALL HARDWARE FINISHES AND LOCK REQUIREMENTS WITH OWNER - DOOR SUPPLIER TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL.
- ABBREVIATIONS:**
- AL/GL GLASS IN ALUM. FRAME
- SCWD. - SOLID CORE WOOD
- ANOD. - ANIDIZED
- STL. - STEEL
- STN. - STAIN
- PTD. - FACTORY FINISH PAINT
- H.M./R.F. - HOLLOW METAL / READY FRAME
- H.M. - HOLLOW METAL
- WD/GL - GLASS IN WOOD FRAME
- STVN - FACTORY FINISH STAINED VENEER
- BRZ. PT. - BRONZE PAINT
- WINDOWS, GLAZING AND DOORS:**
1. WINDOW SIZES AND OPERABILITY ARE SHOWN FOR REFERENCE ONLY.
2. WINDOW SUPPLIER SHALL CONFIRM ALL SIZES AND CONFIGURATIONS WITH OWNER PRIOR TO ORDER.
3. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS.



2 THIRD FLOOR / ATTIC - PROPOSED
3/16" = 1'-0"

GENERAL NOTE:
EXISTING HISTORIC WINDOW OPENINGS TO BE VERIFIED FOR COMPLIANCE WITH EGRESS REQUIREMENTS. WHERE NECESSARY, HISTORIC REPLICA CASEMENT WINDOWS TO BE PROVIDED THAT MEET MINIMUM EGRESS REQUIREMENTS.

LEGEND:
COMPLIANT EGRESS WINDOW
E HISTORIC EGRESS NOTE



1 SECOND FLOOR - PROPOSED
3/16" = 1'-0"

infuz Ltd.
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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

NOT FOR CONSTRUCTION

BERKERY ESTATE

PROJECT NUMBER: Z4805
8325 E. JEFFERSON AVE
DETROIT, MI 48214

NIAL & MELVIE BERKERY

SHEET TITLE
PROPOSED FLOOR PLANS

03/13/2025

SHEET NUMBER
A-2.1



EX. SIDE (WEST)



EX. REAR (NORTH)



EX. SIDE (EAST)



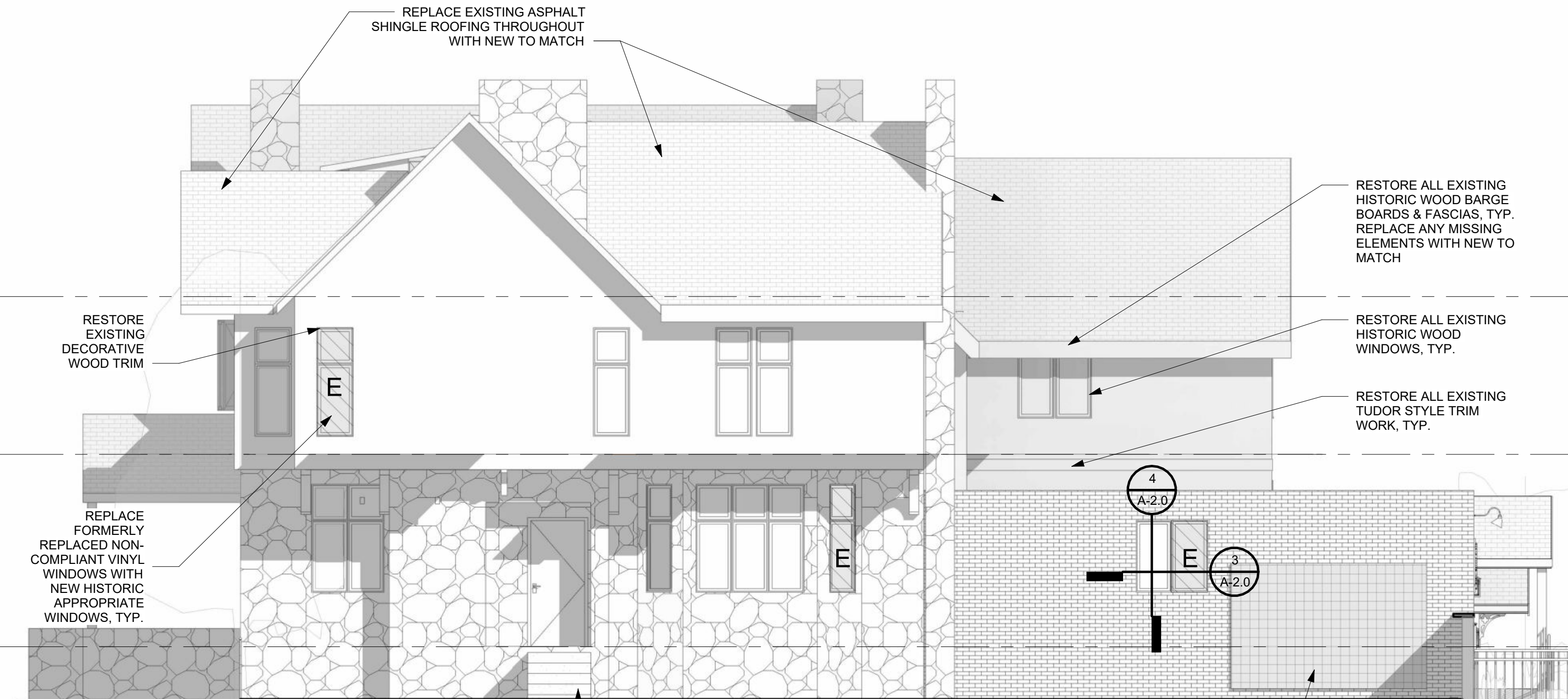
EX. FRONT (SOUTH)



HISTORIC PHOTO



4 WEST ELEVATION - PROPOSED
3/16" = 1'-0"



2 EAST ELEVATION - PROPOSED
3/16" = 1'-0"



3 NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



1 SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"

Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

CONSOLIDATE POWER LINES IF POSSIBLE

REPLACE / RELOCATE LIGHTING

REMOVE AWNINGS

RELOCATE PANEL

RECONSTRUCT/REPAIR EXISTING STAIR, RAMP, & RAILINGS

NEW PAVING



EXISTING NORTH ELEVATION (REAR)



1 NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



RENDERING (OPT 1)



RENDERING (OPT 2 - MANSARD ROOF)

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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

SEAL
NOT FOR CONSTRUCTION
03/13/2025

BERKERY ESTATE
PROJECT NUMBER: Z24075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
REAR ELEVATION UPDATES

SHEET NUMBER

A-3.1

GENERAL ELECTRICAL NOTES:

- A. CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR AS INDICATED ON THE PLANS AND AS REQUIRED FOR A COMPLETE WORK LIGHTING AND POWER SYSTEM.
- B. ALL WORKMANSHIP, MATERIALS AND METHODS OF INSTALLATION SHALL BE GOVERNED BY THE REQUIREMENTS OF THESE SPECIFICATIONS, THE NATIONAL ELECTRICAL CODE, LATEST REVISION, LOCAL CODES, BARRIER FREE CODES, AND OSHA.
- C. EXERCISE CARE IN INSTALLING SUPPORTS TO MAINTAIN STRUCTURAL DESIGNED QUALITY. ALLOW FOR EXPANSION MOVEMENTS AS REQUIRED IN ALL SUPPORTS, CABLES AND CONDUIT.
- D. VERIFY WALL SWITCH AND POWER OUTLETS LOCATIONS WITH OWNER AND LOCAL GOVERNING ENFORCEMENT OFFICIAL. WHERE NOT SPECIFIED ALL SWITCHES SHALL BE LOCATED 48" ABOVE FINISHED FLOOR TO CENTERLINE. CONVENIENCE RECEPTACLES SHALL BE LOCATED 18" ABOVE FINISHED FLOOR TO BOTTOM OF BOX, EXCEPT WHERE INDICATED OTHERWISE. ALL WALL SWITCHES AND OUTLETS SHALL BE INSTALLED ON THE LOCK SIDE OF THE DOOR IMMEDIATELY ADJACENT TO DOOR FRAME. VERIFY DOOR SWINGS WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN WORK. WHERE GLASS PARTITIONS OR OTHER ARCHITECTURAL FEATURES PREVENT SUCH LOCATIONS, SWITCHES SHALL BE LOCATED IN HOLLOW METAL DOOR FRAMES.
- E. ALL RECEPTACLE LOCATIONS SHALL BE IN ACCORDANCE WITH THE LABELY SHOWN EXCEPTED AS OTHERWISE NOTED OR AS OTHERWISE REQUIRED BY CODES AND/OR AGENCIES HAVING JURISDICTION. ALL OUTLETS SHALL BE OF ADEQUATE SIZE AND TYPE AS REQUIRED FOR THE PARTICULAR LOCATION AND SERVICE INTENDED. RECEPTACLES SHALL NOT BE RATED LESS THAN 20 AMPS AND SHOULD BE LABELED ON THE INSIDE OF EACH FACE PLATE WITH PANEL AND CIRCUIT NUMBER DESIGNATION. CHECK ALL RECEPTACLE CIRCUITS FOR CONTINUITY AFTER COMPLETION.
- F. ALL WIRING SHALL BE RUN IN ELECTRICAL RACEWAY AS REQUIRED PER APPLICABLE CODES.
- G. VERIFY OWNER'S DESIGN FOR DIMMING AND OTHER CONTROLS SUCH AS PHOTO-SENSORS, TIMERS, ETC.
- H. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK UNDERCORRECTED ABOVE AND ARE PARTLY DIAGMMATIC. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, NOT TO SERVE AS SHOP DRAWINGS. CONSULT EQUIPMENT SHOP DRAWINGS FOR CORRECT MEASUREMENTS WHEREVER POSSIBLE.
- I. THE ELECTRICAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT FIT OF THE WORK INSTALLED AND SHALL TAKE FIELD MEASUREMENTS AS NECESSARY FOR ORDERING MATERIALS AND FITTING THE INSTALLATION TO THE BUILDING'S CONSTRUCTION AND ARRANGEMENT.
- J. ELECTRICAL WORK SHALL BE COORDINATED WITH OTHER TRADES. CONSULT THE PLANS COVERING WORK FOR OTHER TRADES. THE FIELD LAYOUTS OF THE CONTRACTORS FOR THESE TRADES, AND THEIR SHOP DRAWINGS. THE CONTRACTOR SHALL BE AWARE AND RESPONSIBLE IN LAYING OUT THE ELECTRICAL WORK.
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- L. STANDARD PLACEMENT HEIGHTS FOR FLOOR AND COUNTERTOP LEVEL OUTLETS SHALL BE PLACED 15" AND 46" A.F.F. RESPECTIVELY.

STANDARDS OF MATERIALS AND WORKMANSHIP

ALL MATERIALS SHALL BE NEW. THE ELECTRICAL AND PHYSICAL PROPERTIES OF ALL MATERIALS, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS OF EQUIPMENT, SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING RECOGNIZED AUTHORITIES:

N.E.C. -	NATIONAL ELECTRICAL CODE
A.N.S.I. -	AMERICAN NATIONAL STANDARDS INSTITUTE
I.E.E.E. -	INSTITUTE OF ELECTRICAL ELECTRONICS ENGINEERS
A.S.T.M. -	AMERICAN SOCIETY FOR TESTING MATERIALS
I.P.C.E.A. -	INSULATED POWER CABLE ENGINEERS ASSOCIATION
N.E.M.A. -	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
U.L. -	UNDERWRITERS' LABORATORIES, INC.

- A. ALL WORK SHALL BE PERFORMED IN FIRST CLASS AND WORKMANLIKE MANNER, IN ACCORDANCE WITH THE LATEST ACCEPTED STANDARDS AND PRACTICES FOR THE TRADES INVOLVED. NONE BUT EXPERIENCED PERSONS IN THE WORK TO BE PERFORMED SHALL BE ALLOWED TO DO THE WORK. THIS APPLIES PARTICULARLY TO ITEMS SUCH AS CABLE SPLICING, CONTROL WORK, SYSTEMS CONNECTION, ETC.

CONDUIT

- A. CONDUIT SHALL BE EMT, PVC OR RIGID GALVANIZED STEEL. ALL CONDUIT INSTALLED UNDERGROUND SHALL BE PVC. SCHEDULE 40 OR RIGID GALVANIZED STEEL AS NOTED. CONDUIT INSTALLED IN FINISHED AREAS SHALL BE CONCEALED.
- B. PROVIDE CONDUIT SLEEVES WHERE CONDUITS PASS THRU FLOORS, WALLS, ETC. ALL VOIDS BETWEEN SLEEVES AND HOLES AND CONDUITS PASSING THRU SHALL BE FIRESTOPPED. SPECSEAL 100 FIRE STOP SEALANT OR APPROVED EQUAL.

GROUNDING

- A. ALL METAL NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT, ENCLOSURES, BASES, FRAMES, LIGHTING FIXTURES, WIREWAYS AND SUPPORTS SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST N.E.C. AND LOCAL CODES.
- B. PROVIDE ANY SPECIAL GROUNDS REQUIRED BY THE LATEST N.E.C., UTILITIES, AND AS RECOMMENDED BY EQUIPMENT MANUFACTURERS.
- C. GROUND SERVICE EQUIPMENT TO BUILDING STEEL, GROUND RODS AND WATER SERVICE AS REQUIRED BY THE LATEST N.E.C.
- D. ALL FEEDER AND BRANCH CIRCUITS SERVING PANELS, LIGHTING, RECEPTACLES, MOTORS, MECHANICAL EQUIPMENT, ETC. INSTALLED IN EMT, MC, PVC OR RIGID GALVANIZED STEEL CONDUIT, SHALL BE INSTALLED WITH AN INSULATED (GREEN) GROUND CONDUCTOR.

EGRESS LIGHTING

- A. APPROVED EXIT SIGNS SHALL BE INSTALLED TO INDICATE THE LOCATION OF THE DESIGNATED MEANS OF EGRESS. ALL EXIT SIGNS SHALL HAVE CONSTANT ILLUMINATION.
- B. EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE FACILITY ACCORDING TO THE LATEST IFABC AND NFPA AS WELL AS CURRENT FIRE CODES. ELECTRICAL CONTRACTOR TO PROVIDE LIGHTING TO MEET FOOTCANDLE REQUIREMENTS.
- C. COMBINATION EXIT AND EMERGENCY LIGHTING UNITS MAY BE USED IN LIEU OF SEPARATE FIXTURES AS LONG AS ALL CODE REQUIREMENTS ARE MET.
- D. THERE SHALL BE CLEAR MARKINGS OF ARROW/CHEVRON INDICATORS TO DISTINGUISH THE DIRECTION OF TRAVEL TO THE PATH OF EGRESS.
- E. ELECTRICAL CONTRACTOR TO VERIFY STYLE AND COLOR OF EXIT FIXTURES WITH OWNER. WHERE ACCEPTABLE, USE BLUE OR GREEN LED GLASS FIXTURES.
- F. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

GENERATOR

- A. VERIFY WITH BUILDING OWNER THE INTENT TO PROVIDE A NATURAL GAS/LP GAS ENGINE GENERATOR SET. IN A WEATHERPROOF SOUND ENCLOSURE, OF THE LATEST COMMERCIAL TYPE AND DESIGN, IN A STAND-BY POWER CAPACITY, IT SHALL BE CAPABLE OF CONTINUOUS SERVICE AND RATED OUTPUT FOR THE DURATION OF ANY UTILITY POWER FAILURE. THE ENGINE GENERATOR MANUFACTURER AND ITS AUTHORIZED DEALER SHALL HAVE SOLE RESPONSIBILITY FOR THE PERFORMANCE OF THE ENGINE GENERATOR SET AND ITS ACCESSORIES. IT SHALL BE A NEW FACTORY ASSEMBLED AND TESTED SET.

TELEPHONE/DATA/CABLE TELEVISION SERVICE

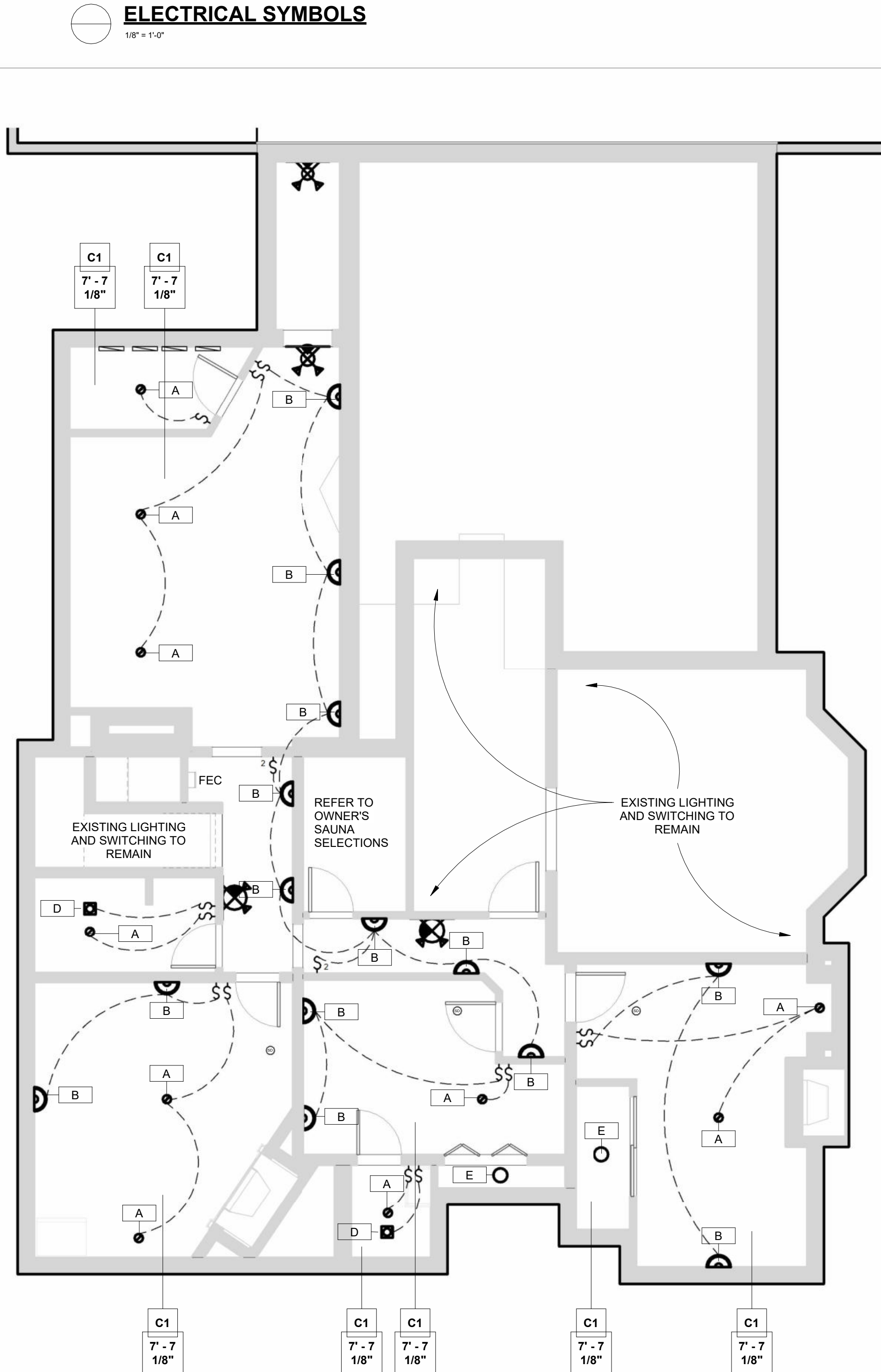
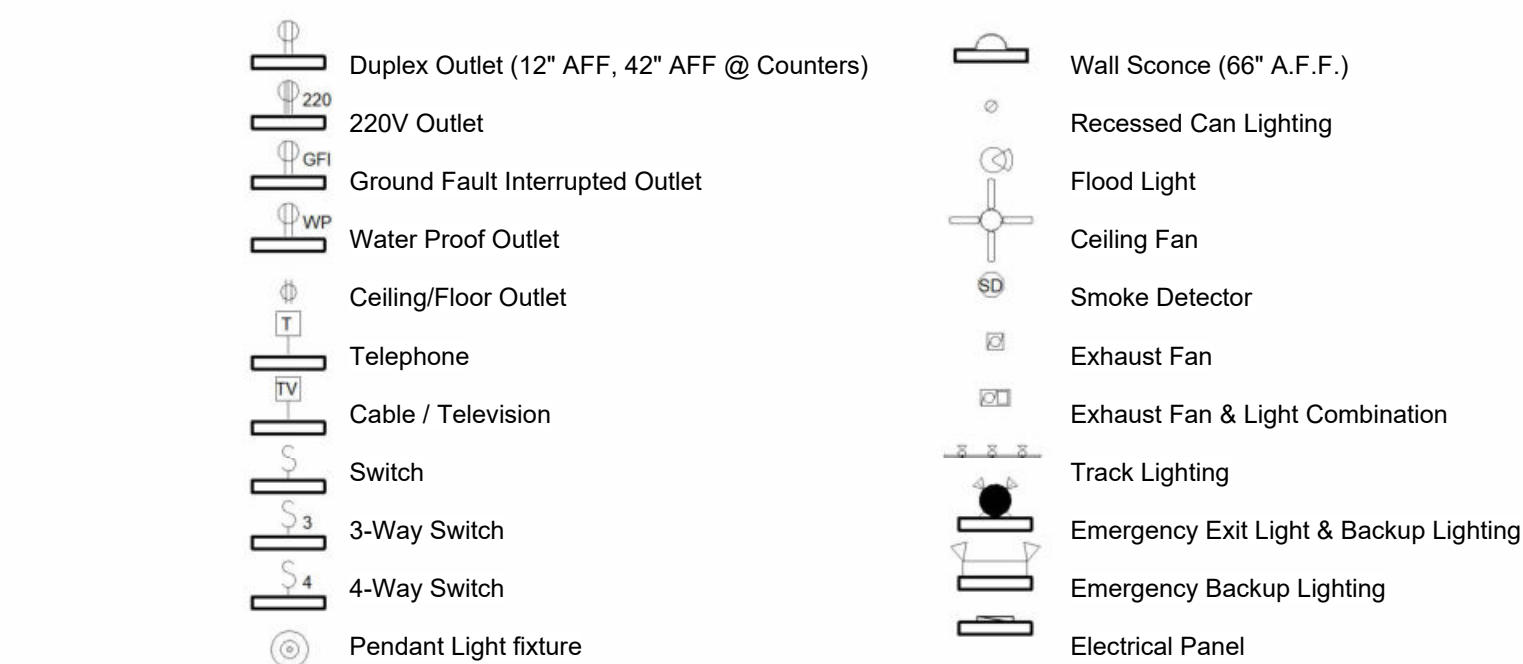
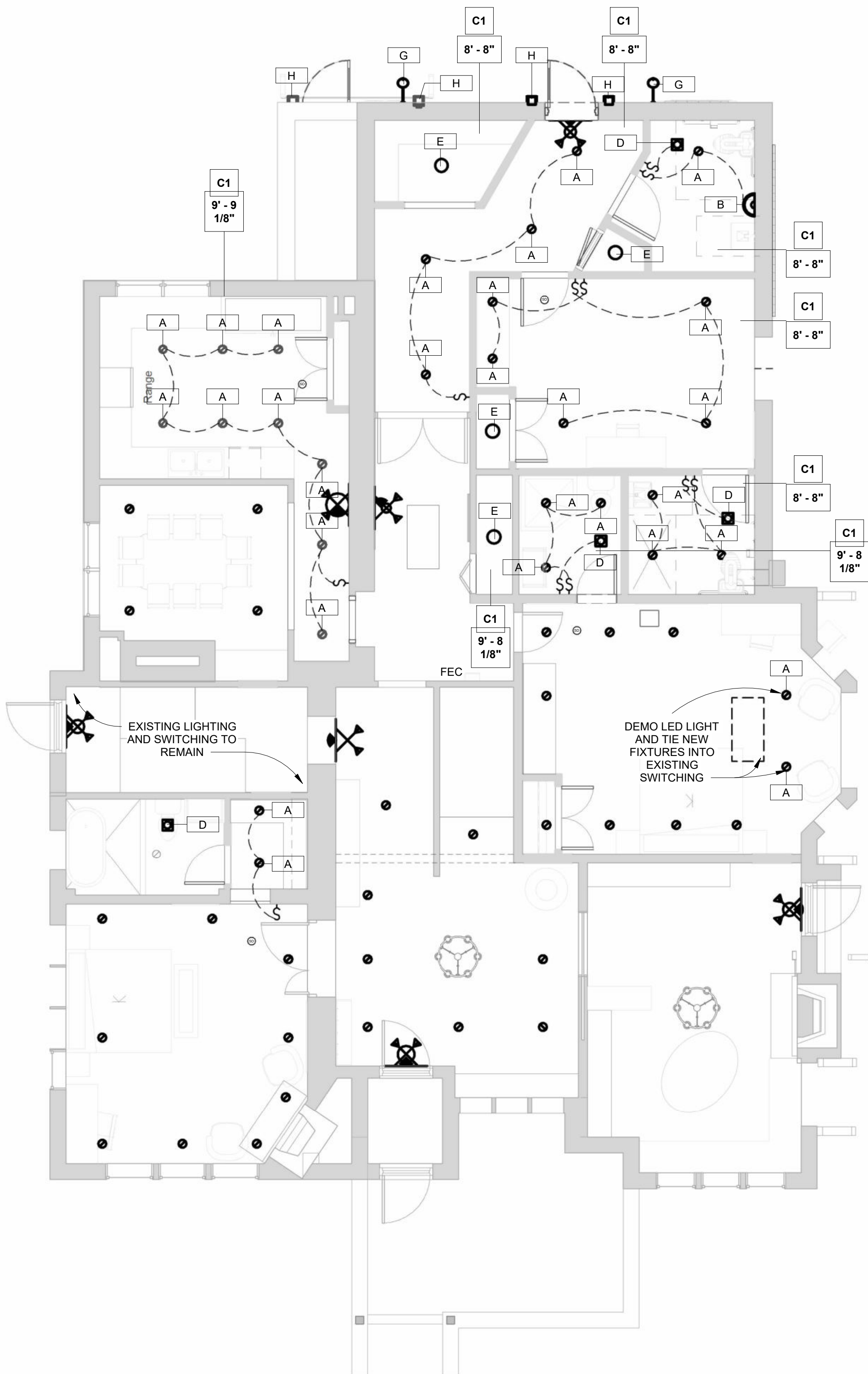
- A. VERIFY OWNER'S REQUIREMENTS FOR LOW VOLTAGE SYSTEM INCLUDING SECURITY SYSTEM, ALARMS, TELEPHONE AND/OR CABLE/SATELLITE TELEVISION SERVICE, AND COMPUTER NETWORK CABLE. TERMINATE SERVICE CONDUIT PER MANUFACTURER REQUIREMENTS.

CEILING SCHEDULE				
Type	Mark	Area	Description	Comments
C1		2123 SF	NEW GYP. BOARD CEILING	
Grand total		2123 SF		

LIGHTING FIXTURE SCHEDULE			
Type	Mark	Count	Description
			Comments
A	114		RECESSED DOWNLIGHT
B	20		SCONCE
C	3		EXTERIOR POST LIGHT FIXTURE
D	12		BATHROOM EXHAUST FAN
E	11		UTILITARIAN FLUSH MOUNT FIXTURE PULL-SWITCH
F	5		EXTERIOR GROUND UP-LIGHT WALL WASH
G	2		REAR EXTERIOR GOOSE NECK
H	4		REAR EXTERIOR SCONCE
Grand total		171	

GENERAL ELECTRICAL AND LIGHTING NOTES

- ANY EXISTING LIGHTING SHOWN TO REMAIN WITH EXISTING SWITCHING
- NEW LIGHTING FIXTURES IN ROOMS WITH EXISTING LIGHTING TO BE TIED INTO EXISTING SWITCHING, ETC.
- EXISTING POWER TO BE VERIFIED ON SITE AND RE-USED WHERE POSSIBLE
- CEILINGS NOT TAGGED ARE EXISTING TO REMAIN



infuz Ltd.

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#	Description	Date
1	Commercial Set	03/13/2025

SEAL

**NOT FOR
CONSTRUCTION**

03/13/2025

BERKERY ESTATE

PROJECT NUMBER: Z24075
3325 E JEFFERSON AVE
DETROIT, MI 48214


NIALL & MELVIE BERKERY


SHEET TITLE


PROPOSED REFLECTED CEILING PLANS


SHEET NUMBER


A-5.0


-  Duplex Outlet (12" AFF, 42" AFF @ Counters)


 220V Outlet


 Ground Fault Interrupted Outlet


 Water Proof Outlet


 Ceiling/Floor Outlet


 Telephone


 Cable / Television


 Switch


 3-Way Switch


 4-Way Switch


 Pendant Light fixture


 Wall Sconce (66" A.F.F.)


 Recessed Can Lighting


 Flood Light


 Ceiling Fan


 Smoke Detector


 Exhaust Fan

 Exhaust Fan & Light Combination

 Track Lighting

 Emergency Exit Light & Backup Lighting

 Emergency Backup Lighting

 Electrical Panel

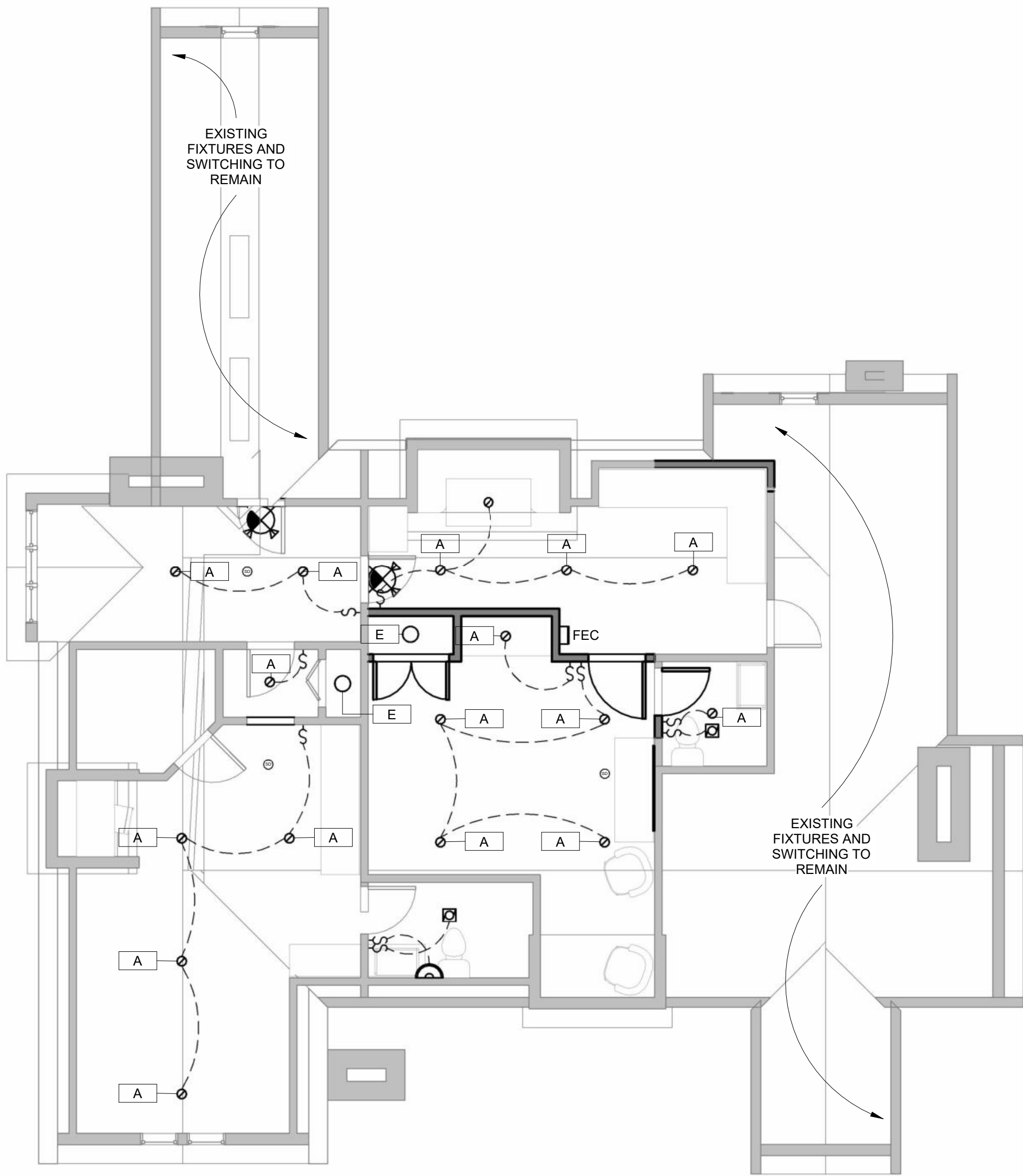
ELECTRICAL SYMBOLS
1/8" = 1'-0"

CEILING SCHEDULE			
Type Mark	Area	Description	Comments
C1	2123 SF	NEW GYP. BOARD CEILING	
Grand total	2123 SF		

LIGHTING FIXTURE SCHEDULE			
Type Mark	Count	Description	Comments
A	114	RECESSED DOWNLIGHT	
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F	5	EXTERIOR GROUND UP-LIGHT WALL WASH	
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H	4	REAR EXTERIOR SCONCE	
Grand total	171		

GENERAL ELECTRICAL AND LIGHTING NOTES

- ANY EXISTING LIGHTING SHOWN TO REMAIN WITH EXISTING SWITCHING
- NEW LIGHTING FIXTURES IN ROOMS WITH EXISTING LIGHTING TO BE TIED INTO EXISTING SWITCHING, ETC.
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- CEILINGS NOT TAGGED ARE EXISTING TO REMAIN



2 THIRD FLOOR REFLECTED CEILING PLAN
A-3.0 3/16" = 1'-0"



1 SECOND FLOOR REFLECTED CEILING PLAN
A-3.0 3/16" = 1'-0"

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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

SEAL

**NOT FOR
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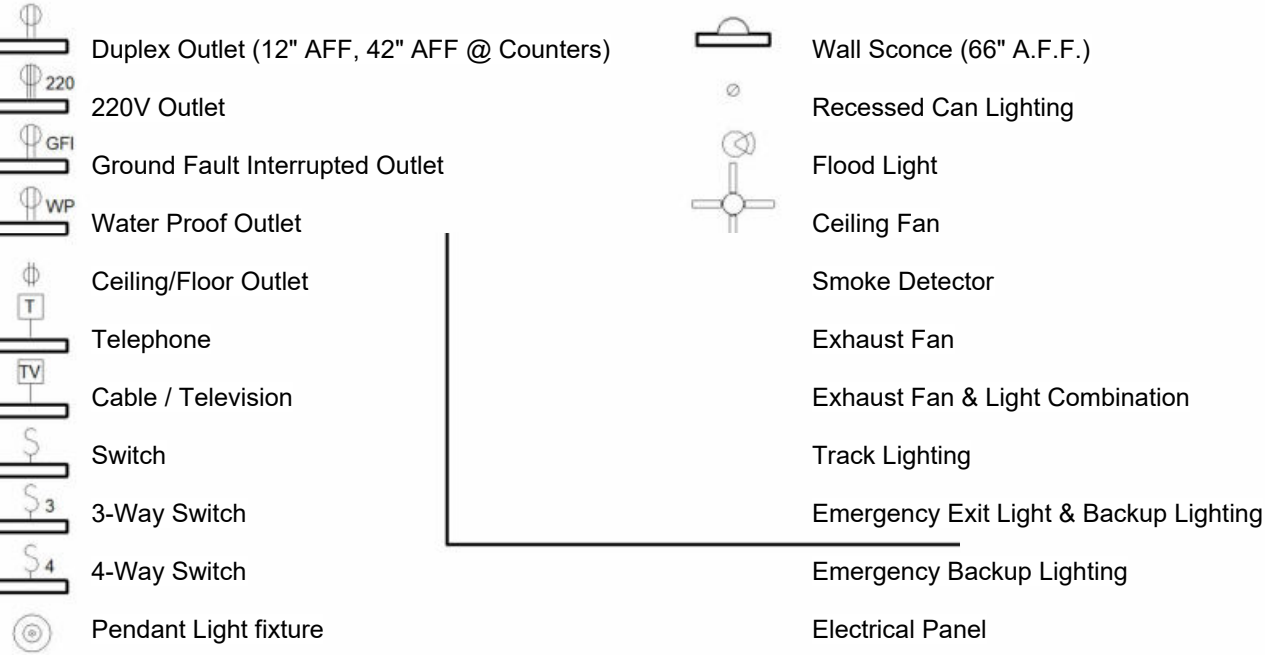
03/13/2025

BERKERY ESTATE PROJECT NUMBER: Z24075 8325 E JEFFERSON AVE DETROIT, MI 48214	NIAL & MELVIE BERKERY SHEET TITLE	ENLARGED REFLECTED CEILING PLANS

A-5.1

GENERAL ELECTRICAL AND LIGHTING NOTES

- ANY EXISTING LIGHTING SHOWN TO REMAIN WITH EXISTING SWITCHING
- NEW LIGHTING FIXTURES IN ROOMS WITH EXISTING LIGHTING TO BE TIED INTO EXISTING SWITCHING, ETC.
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ELECTRICAL SYMBOLS

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- E. ALL RECEPTACLES LOCATIONS SHALL BE IN ACCORDANCE WITH THE LAYOUT SHOWN EXCEPTED AS OTHERWISE NOTED OR AS OTHERWISE REQUIRED BY CODES AND/OR AGENCIES HAVING JURISDICTION. ALL OUTLETS SHALL BE OF ADEQUATE SIZE AND TYPE AS REQUIRED FOR THE PARTICULAR LOCATION AND SERVICE INTENDED. RECEPTACLES SHALL NOT BE RATED LESS THAN 20 AMPS AND SHOULD BE LABELED ON THE INSIDE OF EACH FACE PLATE WITH PANEL AND CIRCUIT NUMBER DESIGNATION. CHECK ALL RECEPTACLE CIRCUITS FOR CONTINUITY AFTER COMPLETION.
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- B. PROVIDE CONDUIT SLEEVES WHERE CONDUITS PASS THRU FLOORS, WALLS, ETC. ALL VOIDS BETWEEN SLEEVES AND HOLES AND CONDUITS PASSING THRU SHALL BE FIRESTOPPED. SPECSEAL 100 FIRE STOP SEALANT OR APPROVED EQUAL.

GROUNDING

- A. ALL METAL NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT, ENCLOSURES, BASES, FRAMES, LIGHTING FIXTURES, WIREWAYS AND SUPPORTS SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST N.E.C. AND LOCAL CODES.
- B. PROVIDE ANY SPECIAL GROUNDS REQUIRED BY THE LATEST N.E.C., UTILITIES, AND AS RECOMMENDED BY EQUIPMENT MANUFACTURERS.
- C. GROUND SERVICE EQUIPMENT TO BUILDING STEEL, GROUND RODS AND WATER SERVICE AS REQUIRED BY THE LATEST N.E.C.
- D. ALL FEEDER AND BRANCH CIRCUITS SERVING PANELS, LIGHTING, RECEPTACLES, MOTORS, MECHANICAL EQUIPMENT, ETC., INSTALLED IN EMT, MC, PVC OR RIGID GALVANIZED STEEL CONDUIT, SHALL BE INSTALLED WITH AN INSULATED (GREEN) GROUND CONDUCTOR.

EGRESS LIGHTING

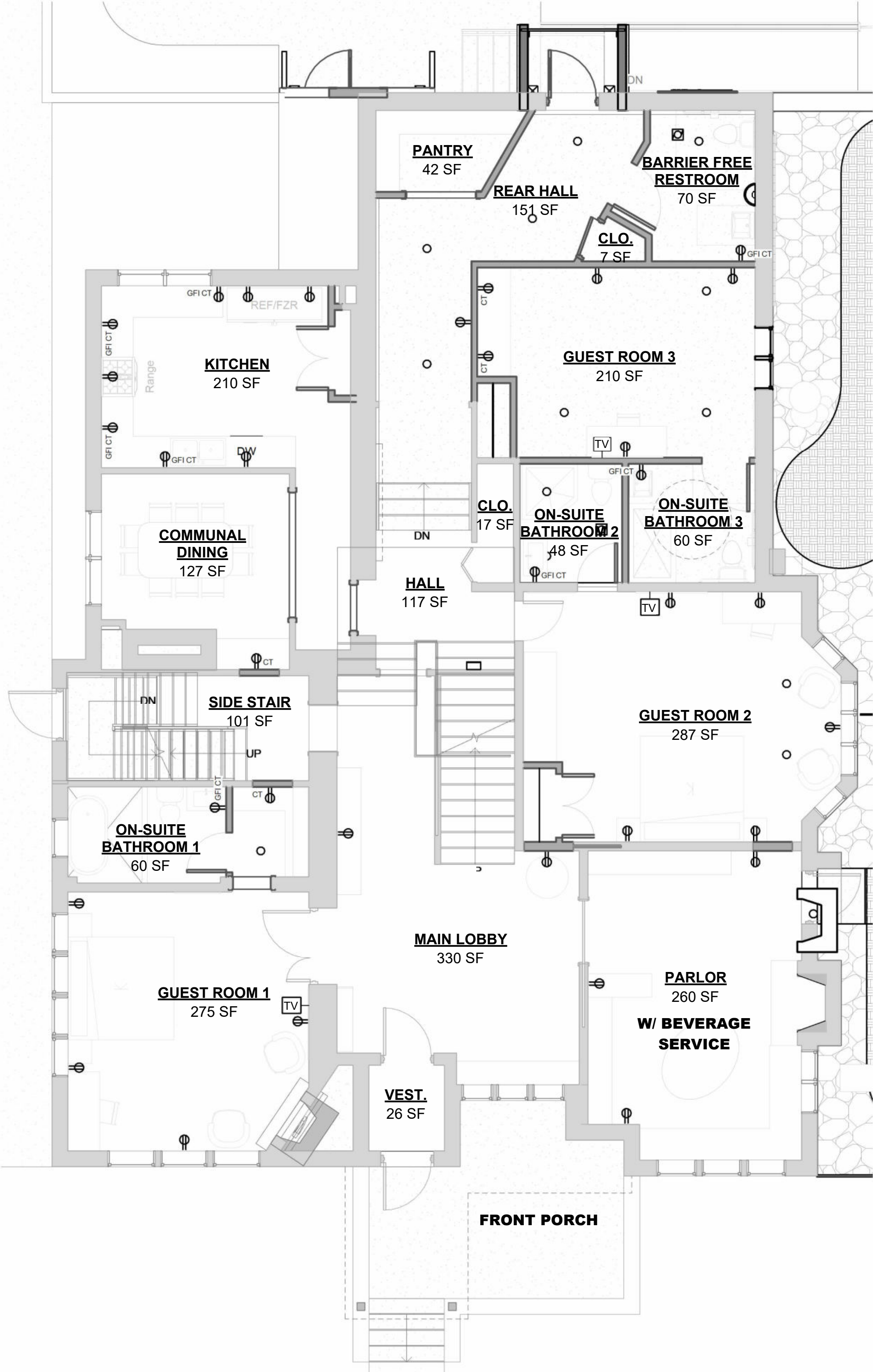
- A. APPROVED EXIT SIGNS SHALL BE INSTALLED TO INDICATE THE LOCATION OF THE DESIGNATED MEANS OF EGRESS. ALL EXIT SIGNS SHALL HAVE CONSTANT ILLUMINATION.
- B. EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE FACILITY ACCORDING TO THE LATEST IFC/IBC AND NFPA, AS WELL AS CURRENT FIRE CODES. ELECTRICAL CONTRACTOR TO PROVIDE LIGHTING TO MEET FOOTCANDLE REQUIREMENTS.
- C. COMBINATION EXIT AND EMERGENCY LIGHTING UNITS MAY BE USED IN LIEU OF SEPARATE FIXTURES AS LONG AS ALL CODE REQUIREMENTS ARE MET.
- D. THERE SHALL BE CLEAR MARKINGS OF ARROW/CHEVRON INDICATORS TO DISTINGUISH THE DIRECTION OF TRAVEL TO THE PATH OF EGRESS.
- E. ELECTRICAL CONTRACTOR TO VERIFY STYLE AND COLOR OF EXIT FIXTURES WITH OWNER. WHERE ACCEPTABLE, USE BLUE OR GREEN LED GLASS FIXTURES.
- F. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

GENERATOR

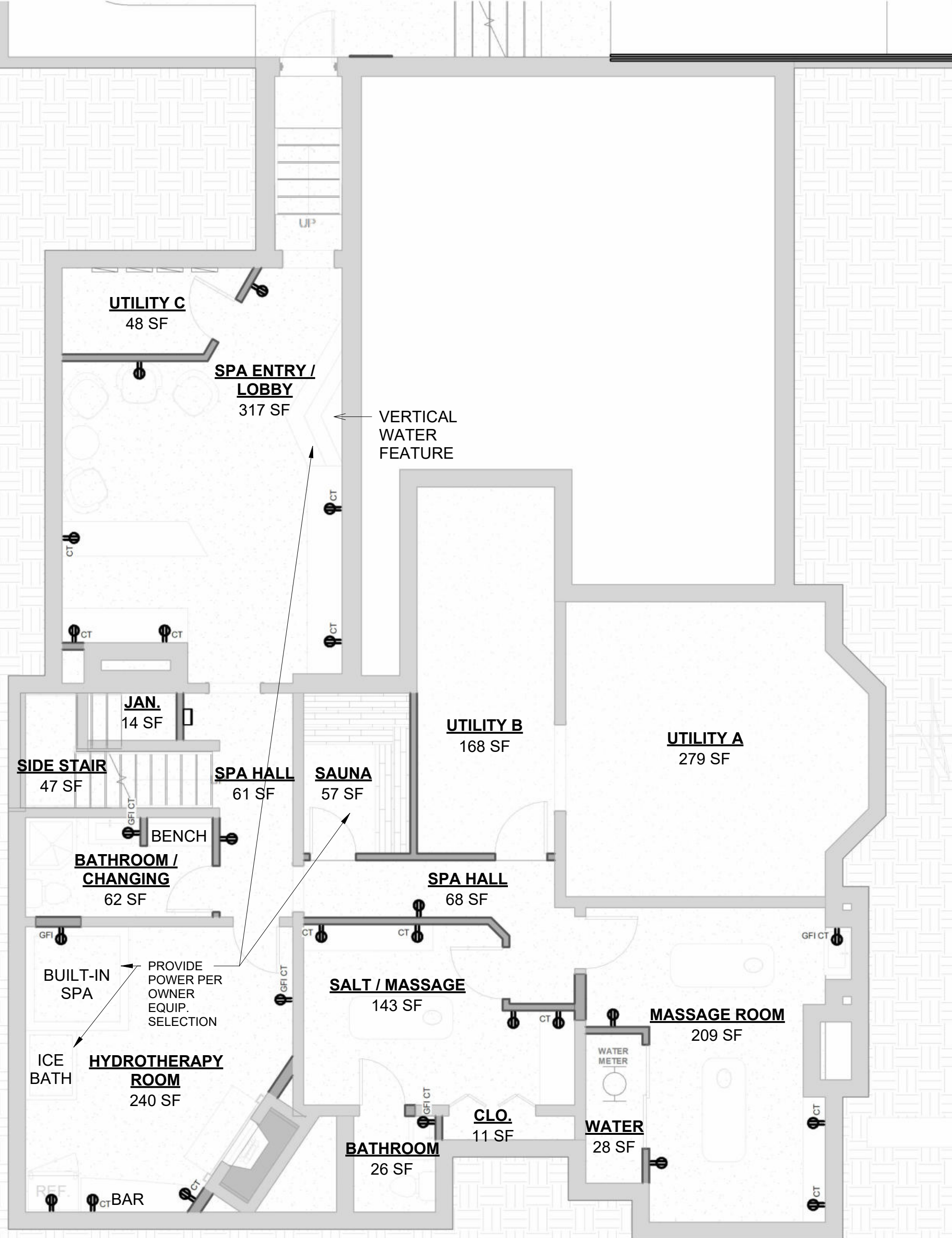
- A. VERIFY WITH BUILDING OWNER THE INTENT TO PROVIDE A NATURAL GAS/LP GAS ENGINE GENERATOR SET, IN A WEATHERPROOF SOUND ENCLOSURE, OF THE LATEST COMMERCIAL TYPE AND DESIGN. IN A STAND-BY POWER CAPACITY, IT SHALL BE CAPABLE OF CONTINUOUS SERVICE AND RATED OUTPUT FOR THE DURATION OF ANY UTILITY POWER FAILURE. THE ENGINE GENERATOR MANUFACTURER AND ITS AUTHORIZED DEALER SHALL HAVE SOLE RESPONSIBILITY FOR THE PERFORMANCE OF THE ENGINE GENERATOR SET AND ITS ACCESSORIES. IT SHALL BE A NEW, FACTORY ASSEMBLED AND TESTED SET.

TELEPHONE/DATA/CABLE TELEVISION SERVICE

- A. VERIFY OWNER'S REQUIREMENTS FOR LOW VOLTAGE SYSTEM INCLUDING SECURITY SYSTEM, ALARMS, TELEPHONE AND/OR CABLE/SATELLITE TELEVISION SERVICE, AND COMPUTER NETWORK CABLE. TERMINATE SERVICE CONDUIT PER MANUFACTURER REQUIREMENTS.



2 FIRST FLOOR - POWER PLAN



1 FOUNDATION PLAN - POWER PLAN

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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

NOT FOR CONSTRUCTION

BERKERY ESTATE

PROJECT NUMBER: Z24075

8325 E. JEFFERSON AVE


DETROIT, MI 48214


NIAL & MELVIE BERKERY


SHEET TITLE


BASEMENT AND FIRST FLOOR POWER PLANS


03/13/2025


- 
Duplex Outlet (12" AFF, 42" AFF @ Counters)



220V Outlet



Ground Fault Interrupted Outlet



Water Proof Outlet



Ceiling/Floor Outlet




Telephone



Cable / Television



Switch



3-Way Switch



4-Way Switch



Pendant Light fixture
- 
Wall Sconce (66" A.F.F.)



Recessed Can Lighting



Flood Light



Ceiling Fan



Smoke Detector



Exhaust Fan


Exhaust Fan & Light Combination


Track Lighting

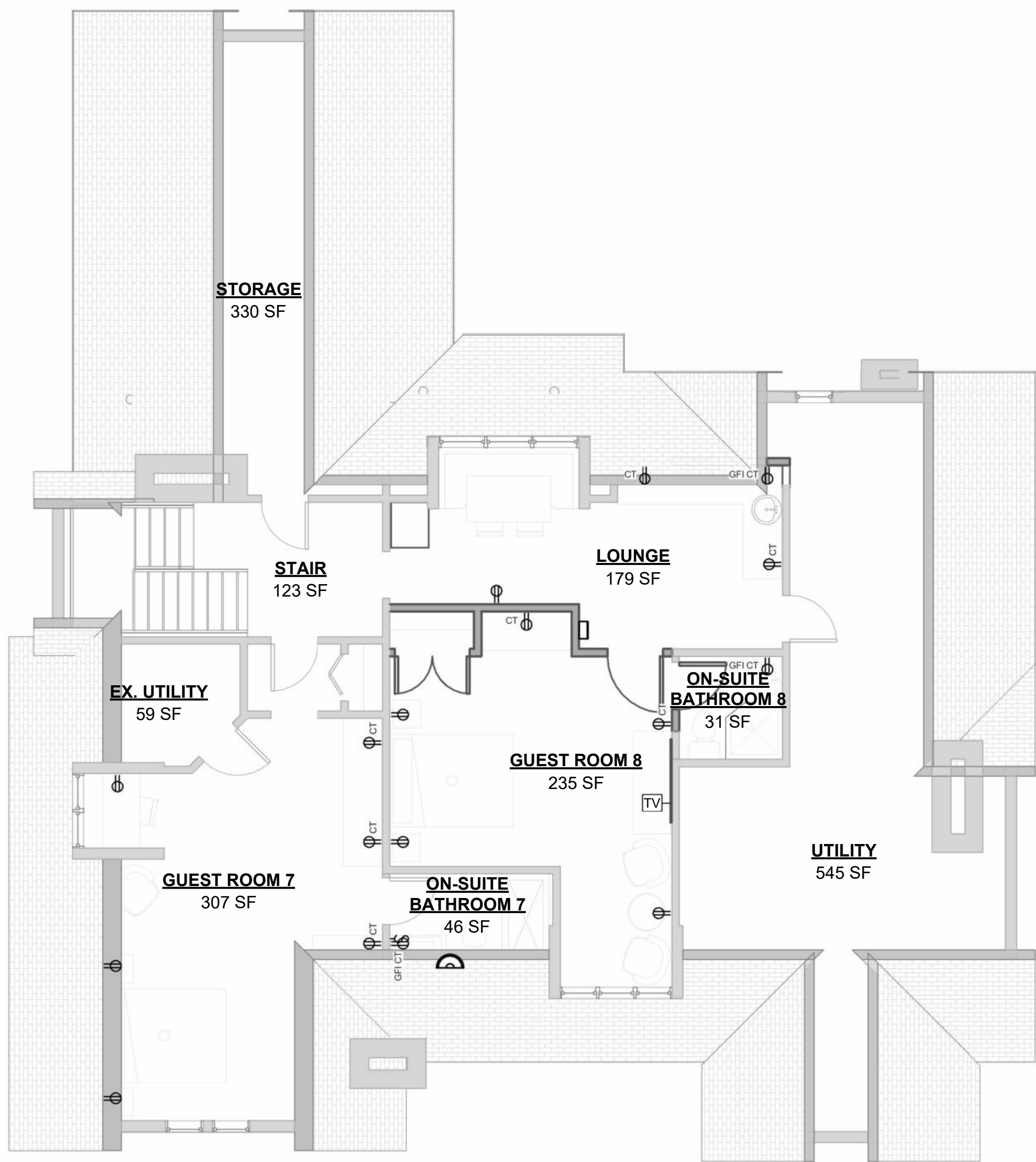

Emergency Exit Light & Backup Lighting


Emergency Backup Lighting

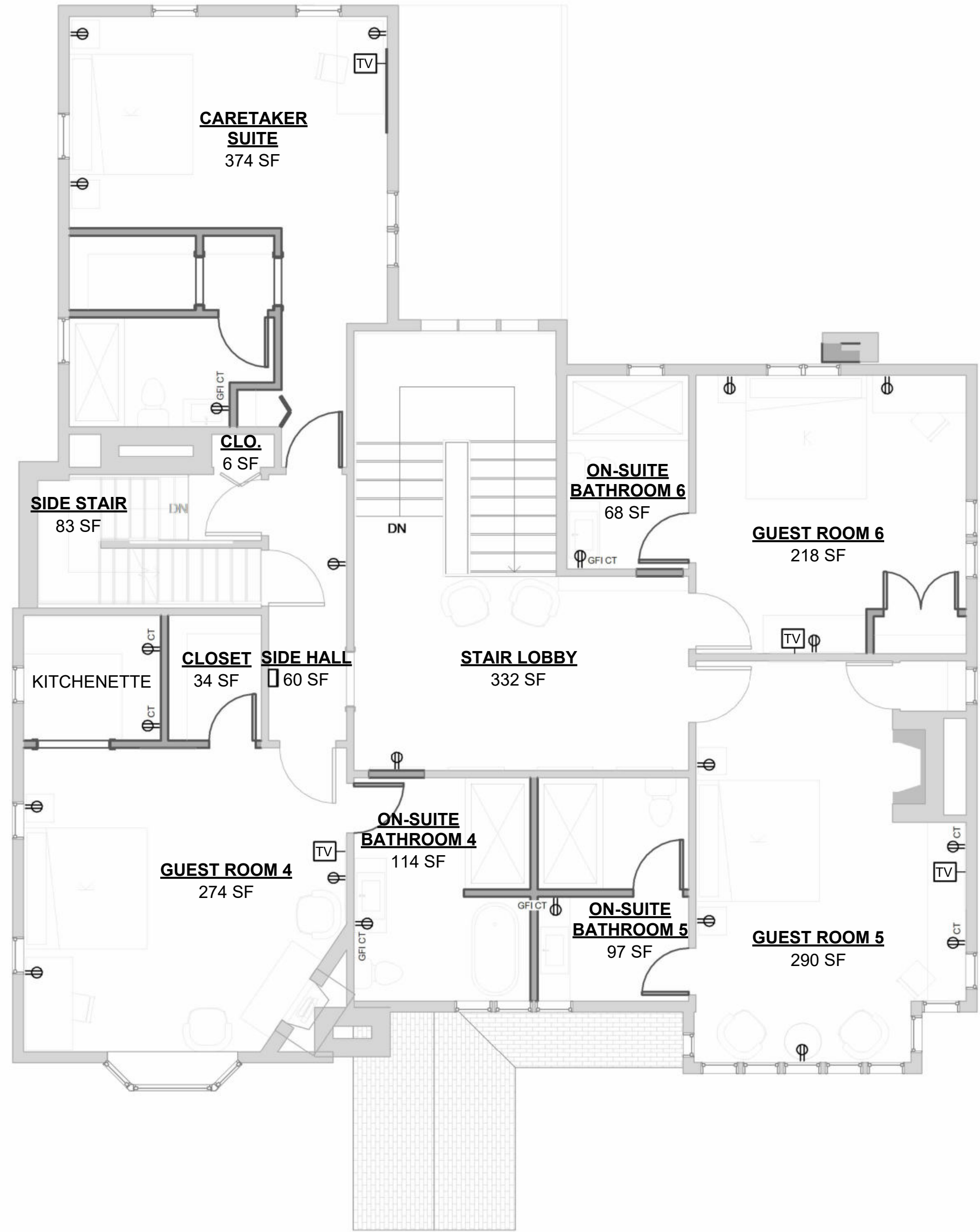

Electrical Panel

ELECTRICAL SYMBOLS

1/8" = 1'-0"



1 THIRD FLOOR / ATTIC - POWER PLAN
3/16" = 1'-0"



2 SECOND FLOOR - POWER PLAN
3/16" = 1'-0"

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PROJECT NUMBER: Z24075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
SECOND AND THIRD FLOOR POWER PLAN

SHEET NUMBER
E-1

FIRST FLOOR

ENTRANCE INSPIRATION

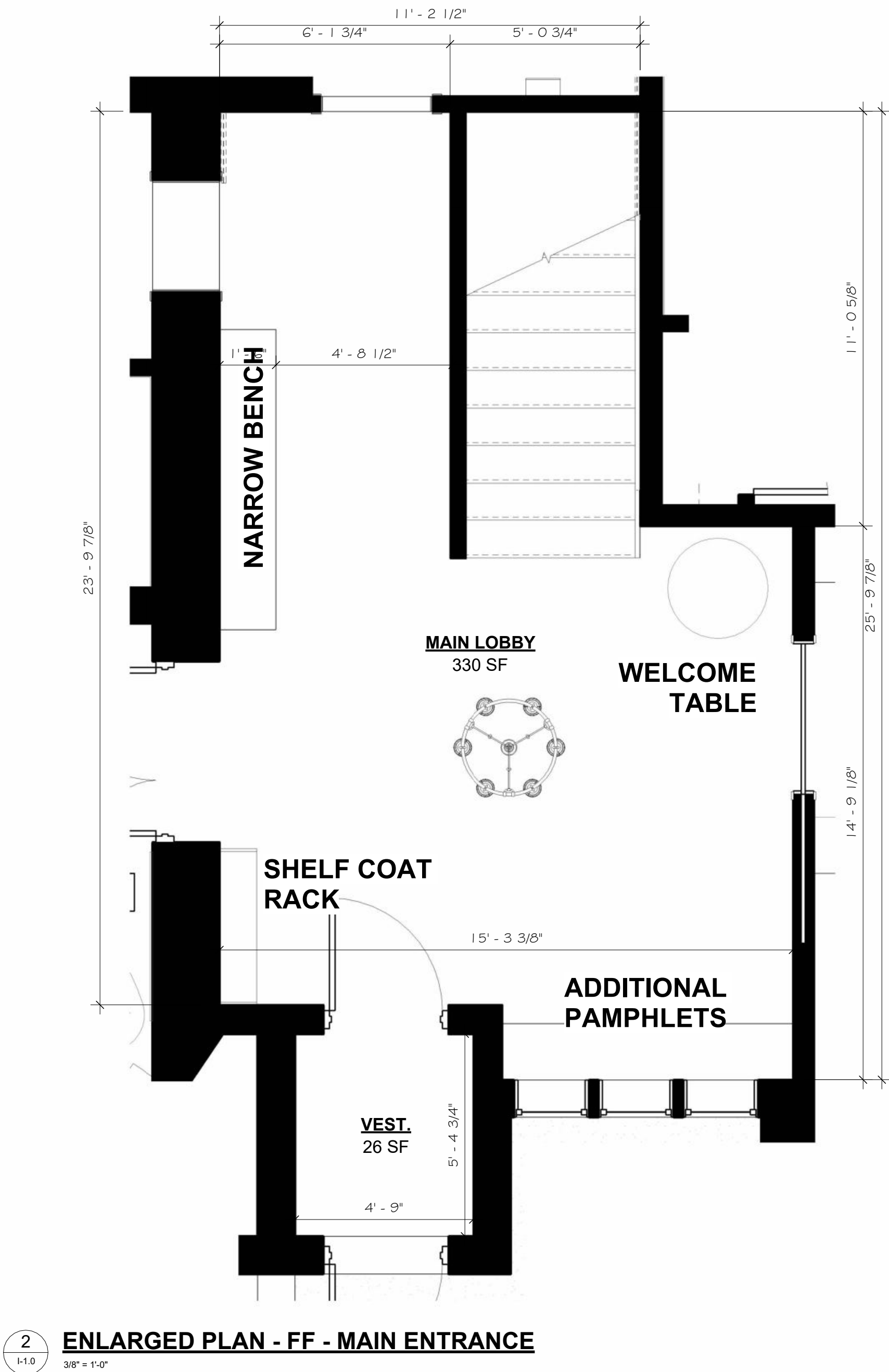
GOAL: KEEP EXISTING TRIM AND ENLIGHTEN SPACE THROUGH DESIGN ELEMENTS TO MAINTAIN HISTORIC CHARACTER.

DESIGN ELEMENTS:

- EMBRACE EXISTING WOOD TRIM
- CONTRAST WOOD TRIM W/ WHITE CEILING AND ACCENTS
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- REMOVE ANY INCANDESCENT LIGHTING AND REPLACE WITH DAYLIGHT TEMPERATURE LIGHTING



INSPIRATION



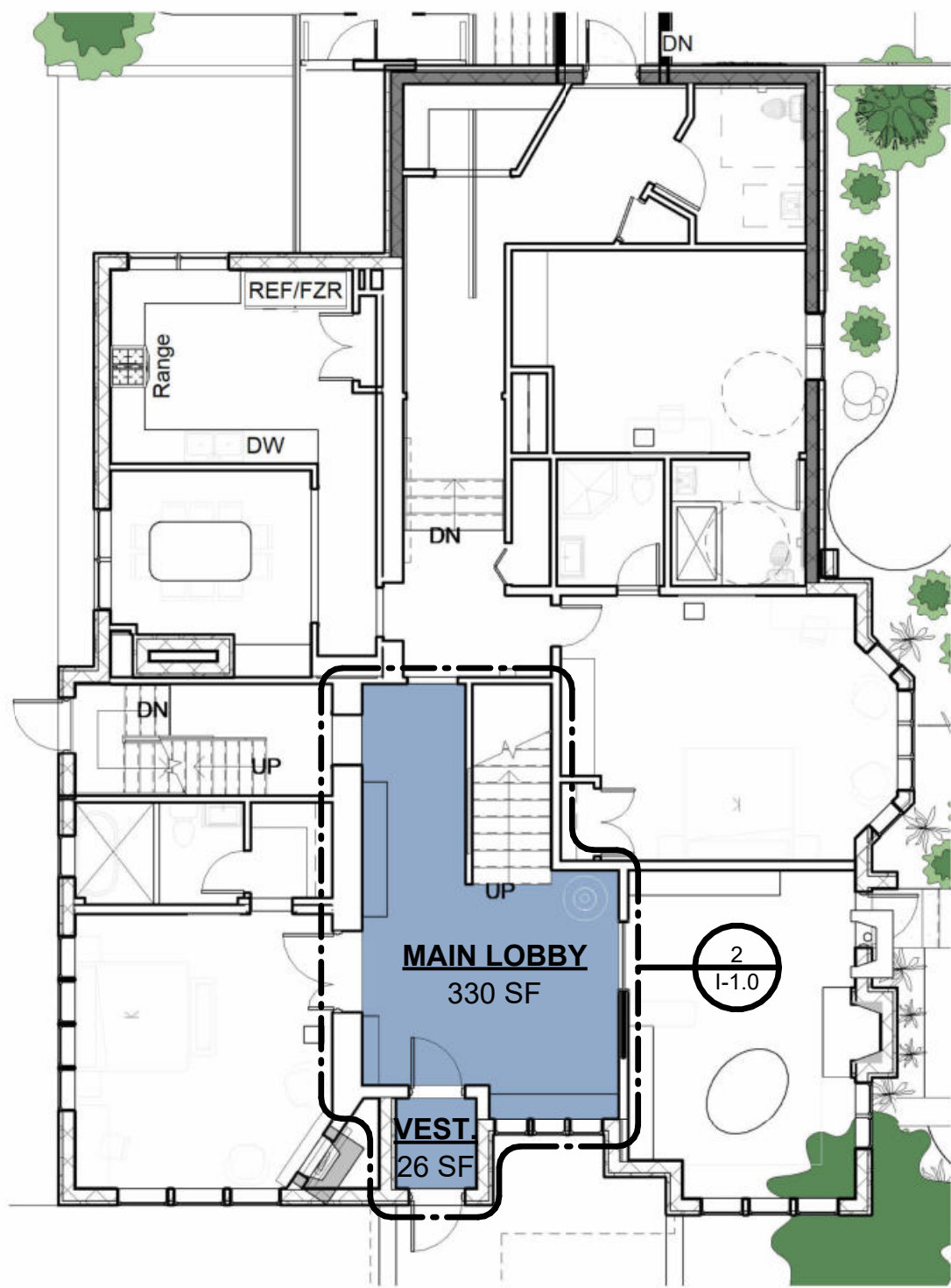
2 ENLARGED PLAN - FF - MAIN ENTRANCE

AMENITIES:

- PAMPHLETS TO PROMOTE LOCAL EATERIES AND ACTIVITIES
- WELCOME TABLE TO PROMOTE BED AND BREAKFAST



EXISTING CONDITIONS



1 KEY PLAN - FF - MAIN ENTRANCE



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BERKERY ESTATE
PROJECT NUMBER: Z4405
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
FIRST FLOOR - ENTRANCE

SHEET NUMBER

I-1.0

FIRST FLOOR

PARLOR INSPIRATION

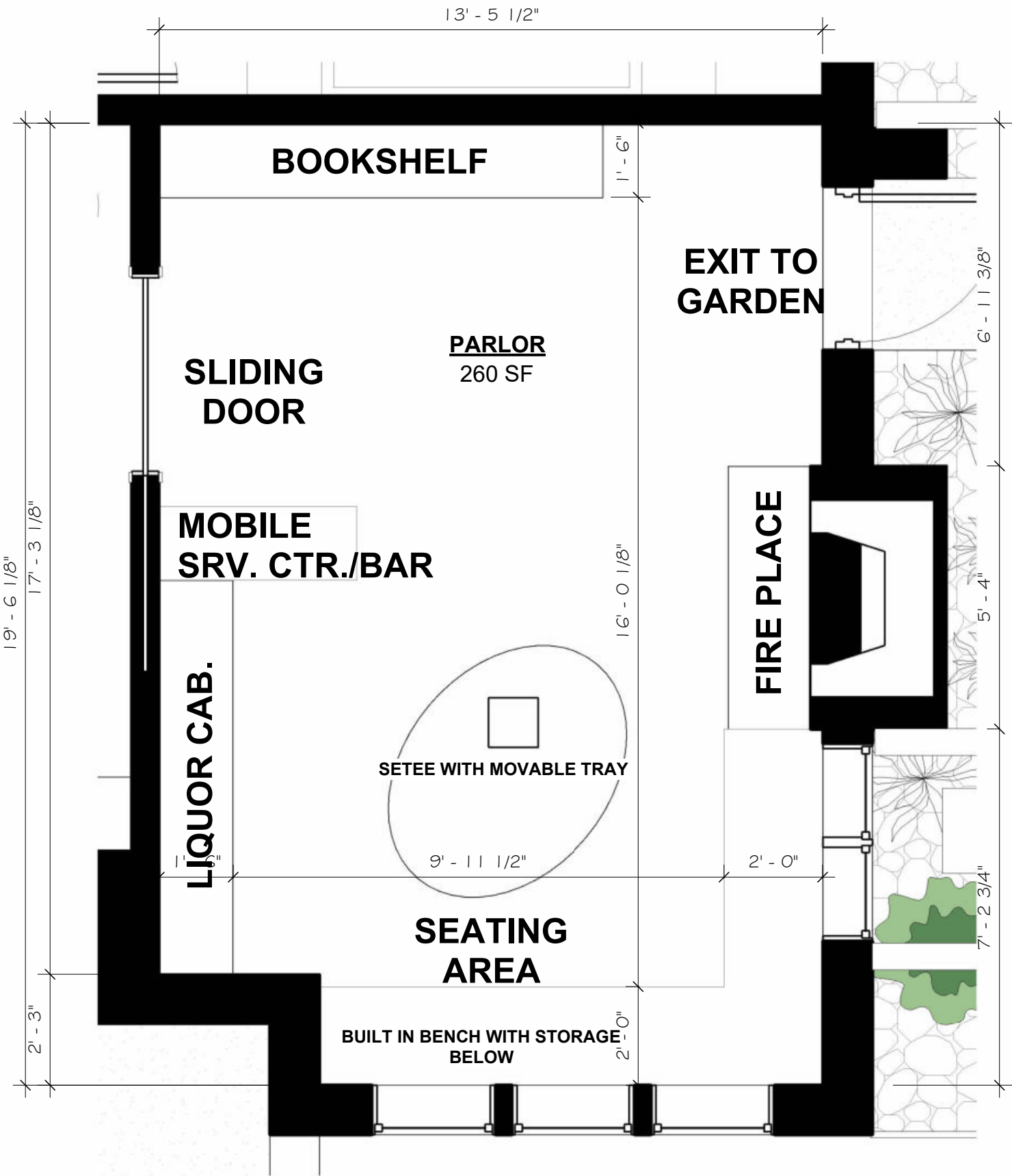
GOAL: KEEP EXISTING TRIM AND ENLIGHTEN SPACE THROUGH DESIGN ELEMENTS TO MAINTAIN HISTORIC CHARACTER.

DESIGN ELEMENTS:

- EMBRACE EXISTING WOOD TRIM
- CONTRAST WOOD TRIM W/ WHITE CEILING AND ACCENTS
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- REMOVE ANY INCANDESCENT LIGHTING AND REPLACE WITH DAYLIGHT TEMPERATURE LIGHTING



INSPIRATION



2 ENLARGED PLAN - FF - PARLOR
1/1.1
3/8" = 1'-0"

AMENITIES:

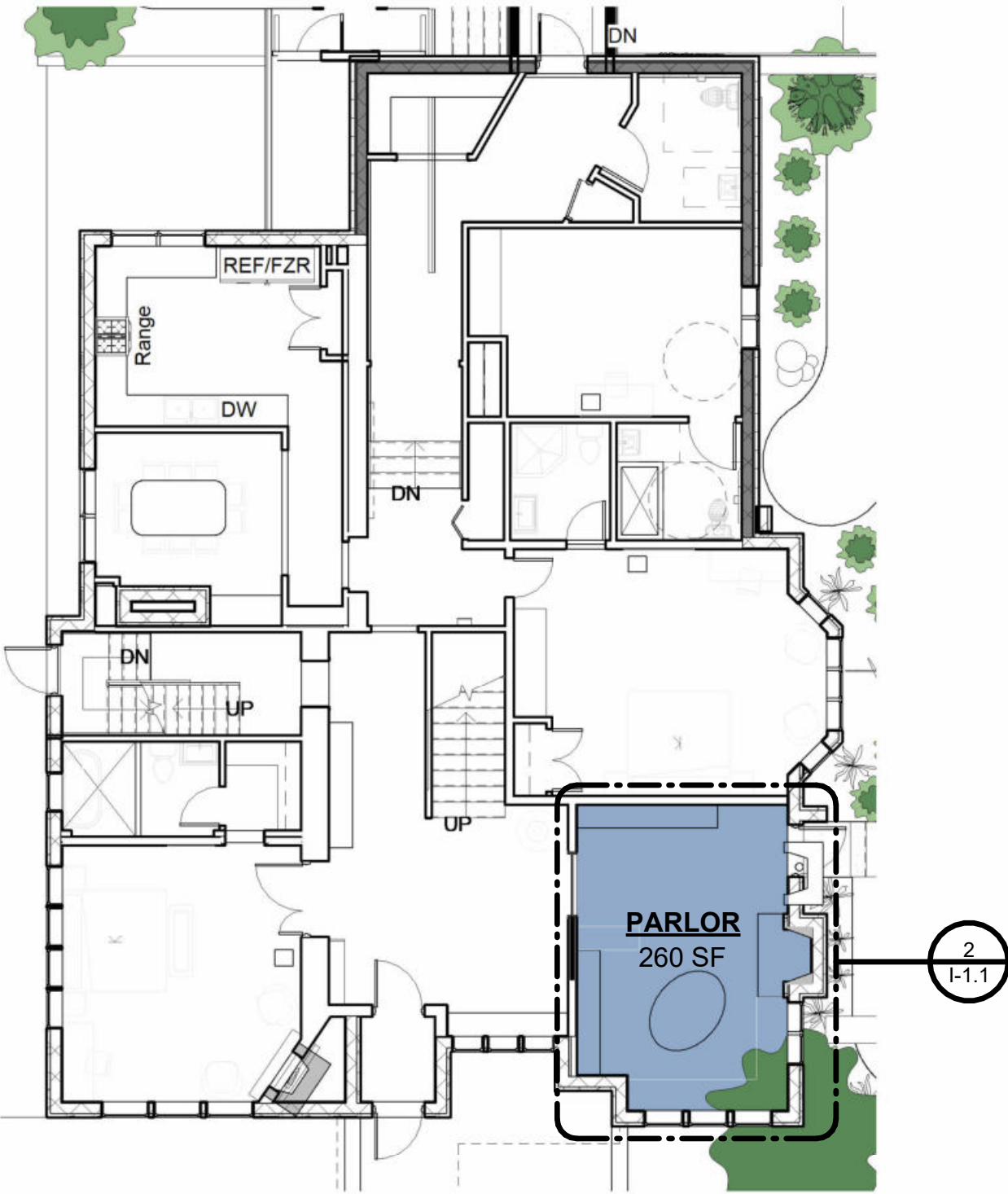
- LIBRARY
- WAITING AREA
- SERVICE COUNTER FOR BOOKING AND COCKTAILS
- SEATING AREA FOR WAITING OCCUPANTS
- EXIT TO EXTERIOR GARDEN SPACE



BUILT-IN BENCH SETTEE



EXISTING CONDITIONS



1 KEY PLAN - FF - PARLOR
A-3.0
1" = 10'-0"

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DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
FIRST FLOOR - PARLOR

SHEET NUMBER
I-1.1

FIRST FLOOR

KITCHEN AND DINING

DESIGN ELEMENTS:

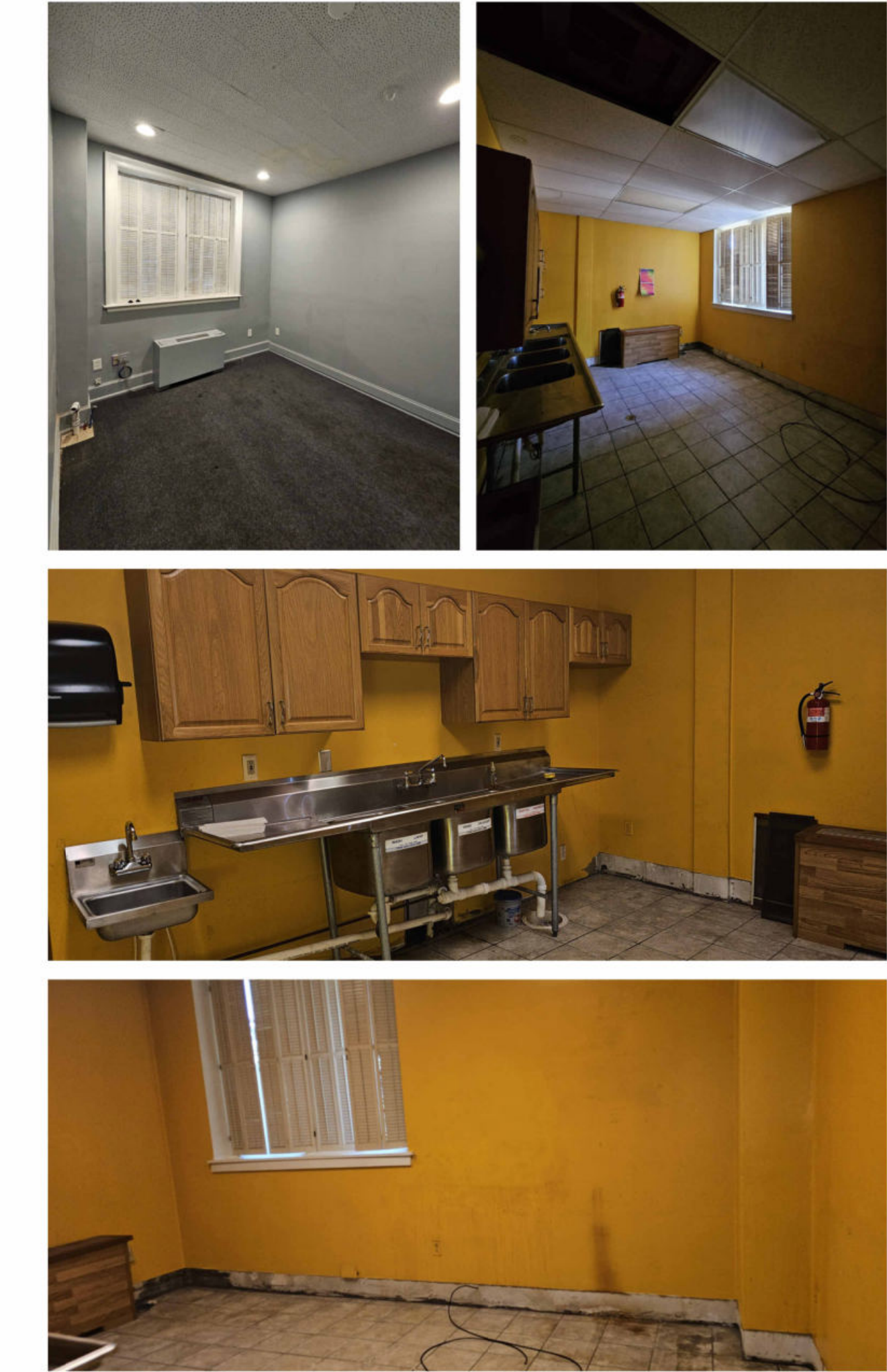
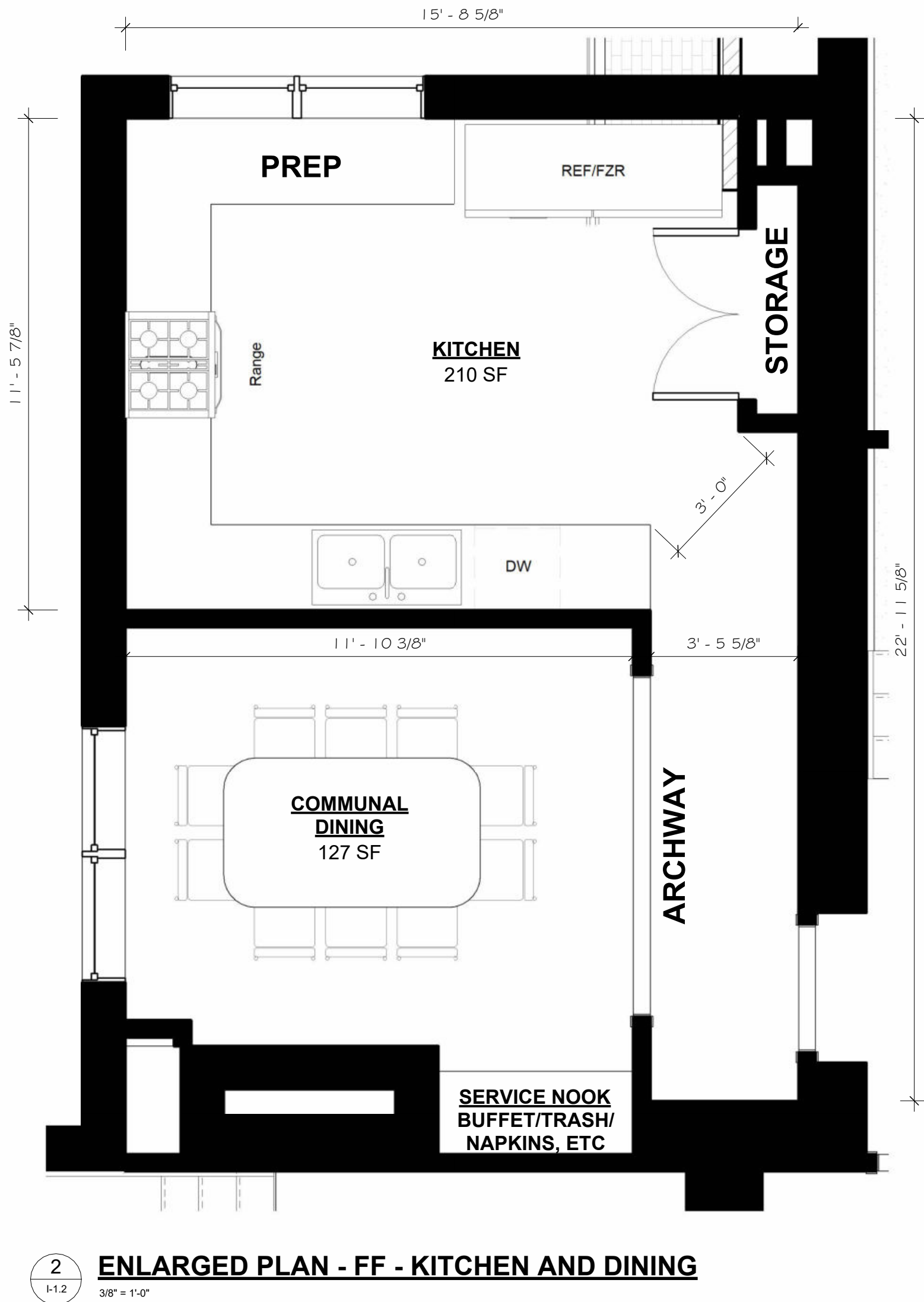
- ARCHWAY AND WALL TRIM TO ELEVATE SPACE
- CONTRASTING CABINETRY (MIX OF WHITE AND WOOD)
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- REMOVE ANY INCANDESCENT LIGHTING AND REPLACE WITH DAYLIGHT TEMPERATURE LIGHTING



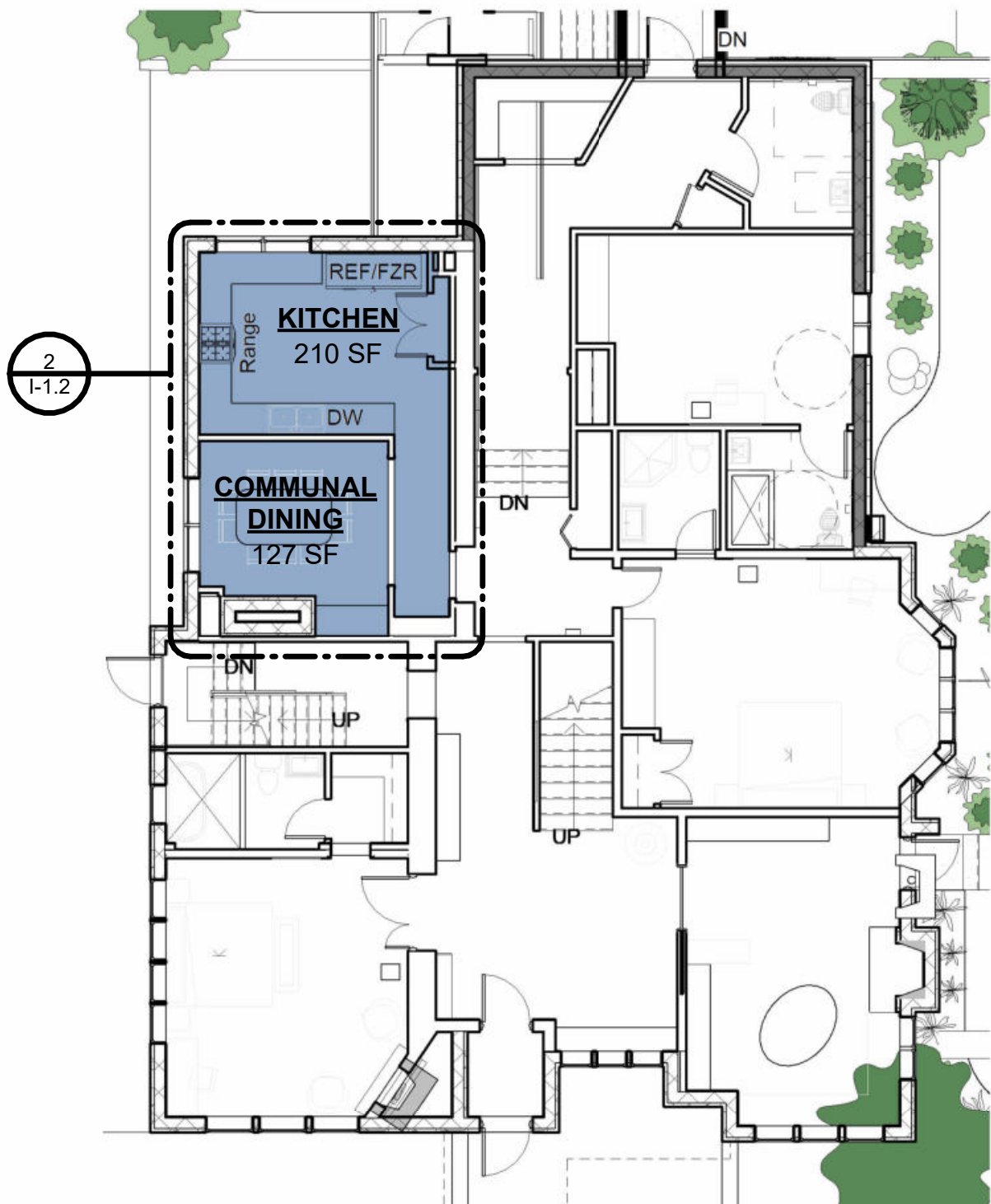
DINING ROOM
INSPIRATION



KITCHEN



EXISTING CONDITIONS



1
A-3.0
1" = 10'-0"

KEY PLAN - FF - KITCHEN AND DINING



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1	Commercial Set	03/13/2025

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BERKERY ESTATE

PROJECT NUMBER: ZK405
8325 E. JEFFERSON AVE
DETROIT, MI 48214

NIAL & MELVIE BERKERY

SHEET TITLE
FIRST FLOOR - KITCHEN AND DINING

SHEET NUMBER

I-1.2

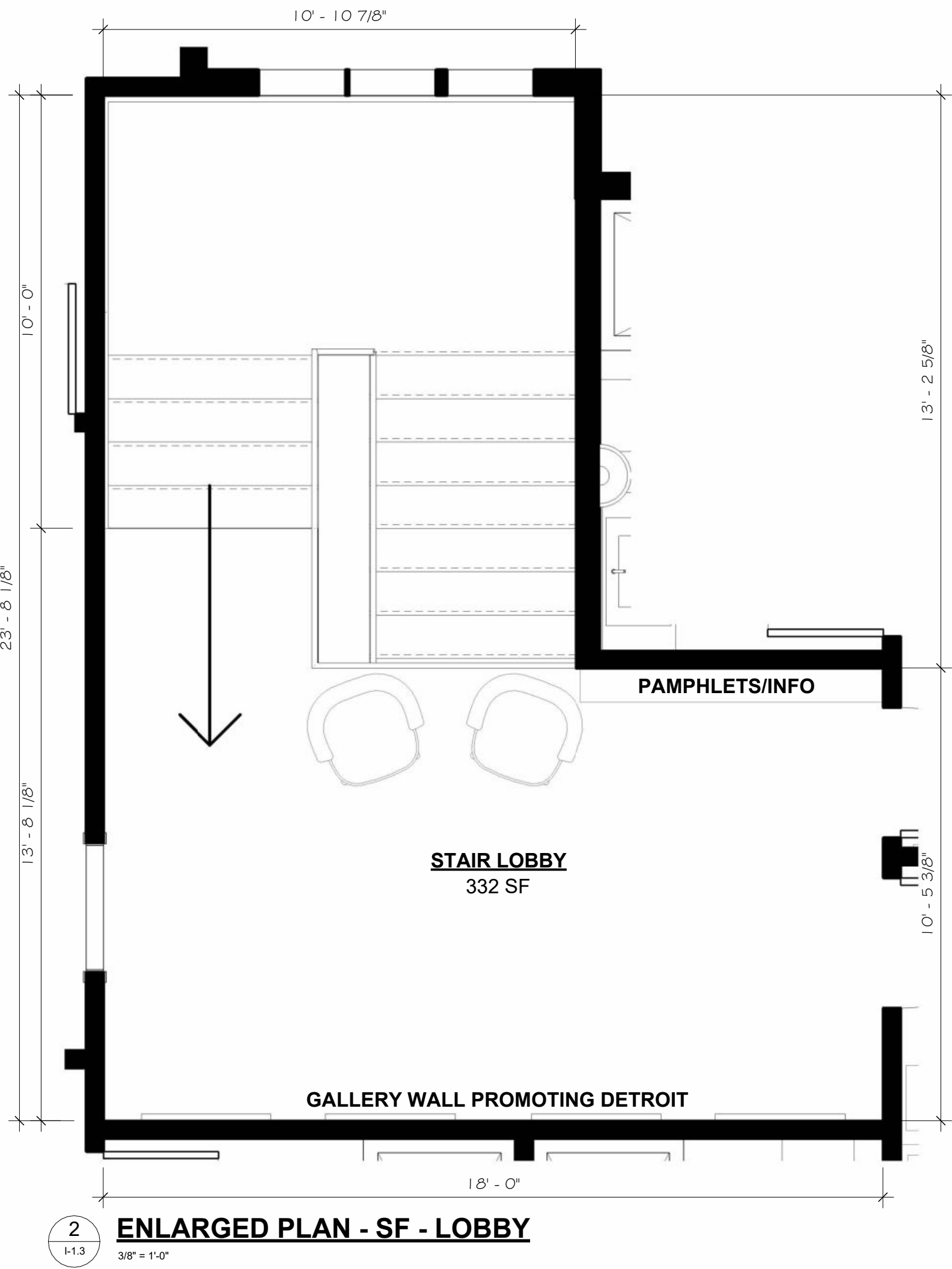
SECOND FLOOR LOBBY INSPIRATION

DESIGN ELEMENTS:

- TRANSITION WOOD TRIM TO WHITE TRIM
- WALL TRIM TO ELEVATE SPACE
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- GALLERY WALL PROMOTING DETROIT COMMUNITIES



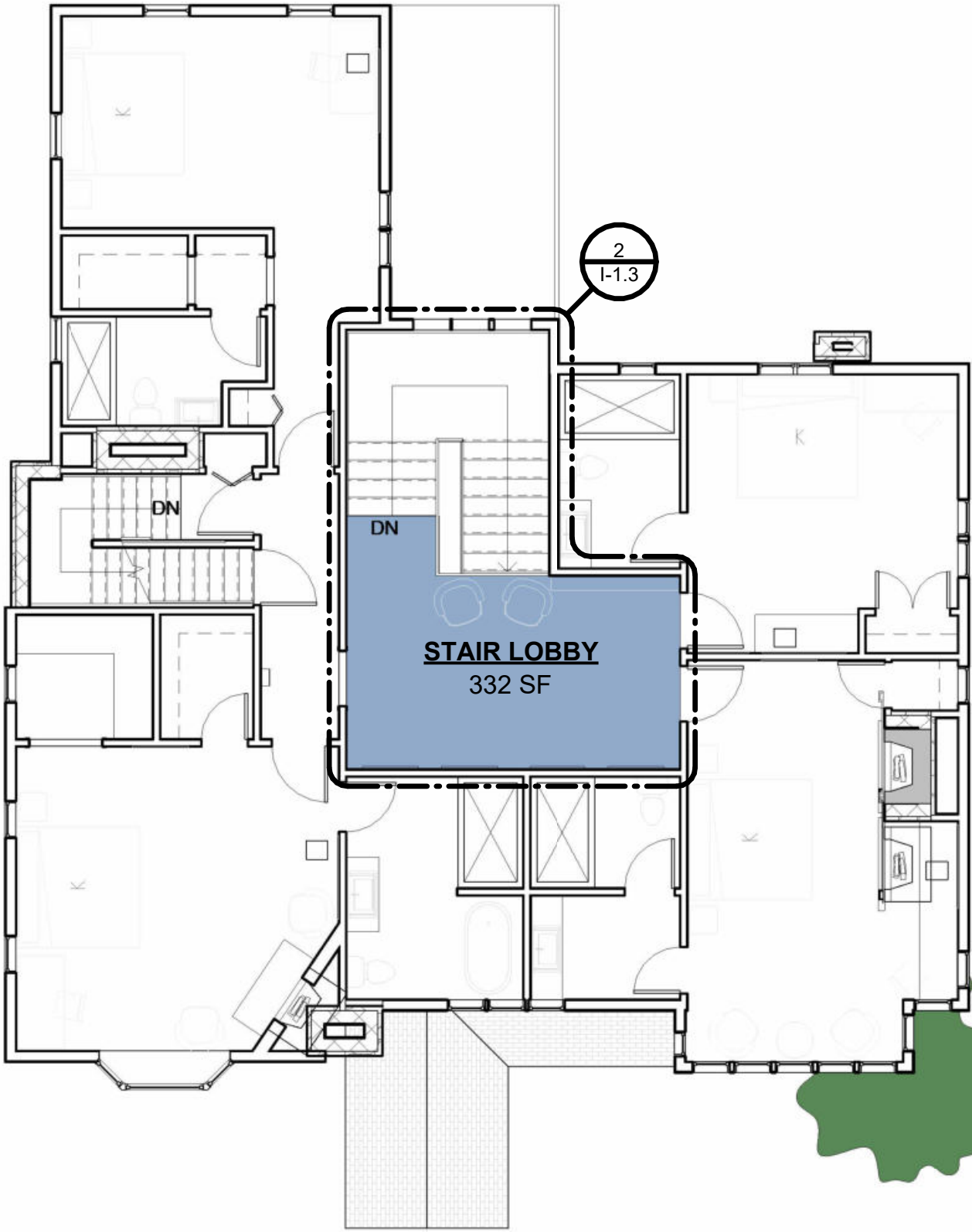
INSPIRATION



- AMENTITIES:**
- DETROIT GALLERY WALL
 - BENCH SEATING BELOW GALLERY WALL
 - FREE FLOATING STOOLS FOR SEATING
 - PAMPHLET/INFORMATION STAND CORRESPONDING TO DETROIT GALLERY WALL



EXISTING CONDITIONS



KEY PLAN - SF - LOBBY

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8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
SECOND FLOOR - LOBBY

SHEET NUMBER
I-1.3

FIRST FLOOR

GUEST ROOM 1

PALM/COASTAL

DESIGN ELEMENTS:

- WHITE, BROWN, AND GREEN COLOR PALETTE
- WHITE WALLS WITH A DARK ACCENTS AND ACCENT WALL
- PALM/COASTAL WALL DECALS WITH TROPICAL PLANTINGS
- PALM/COASTAL ARTWORK AND AREA RUG
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES

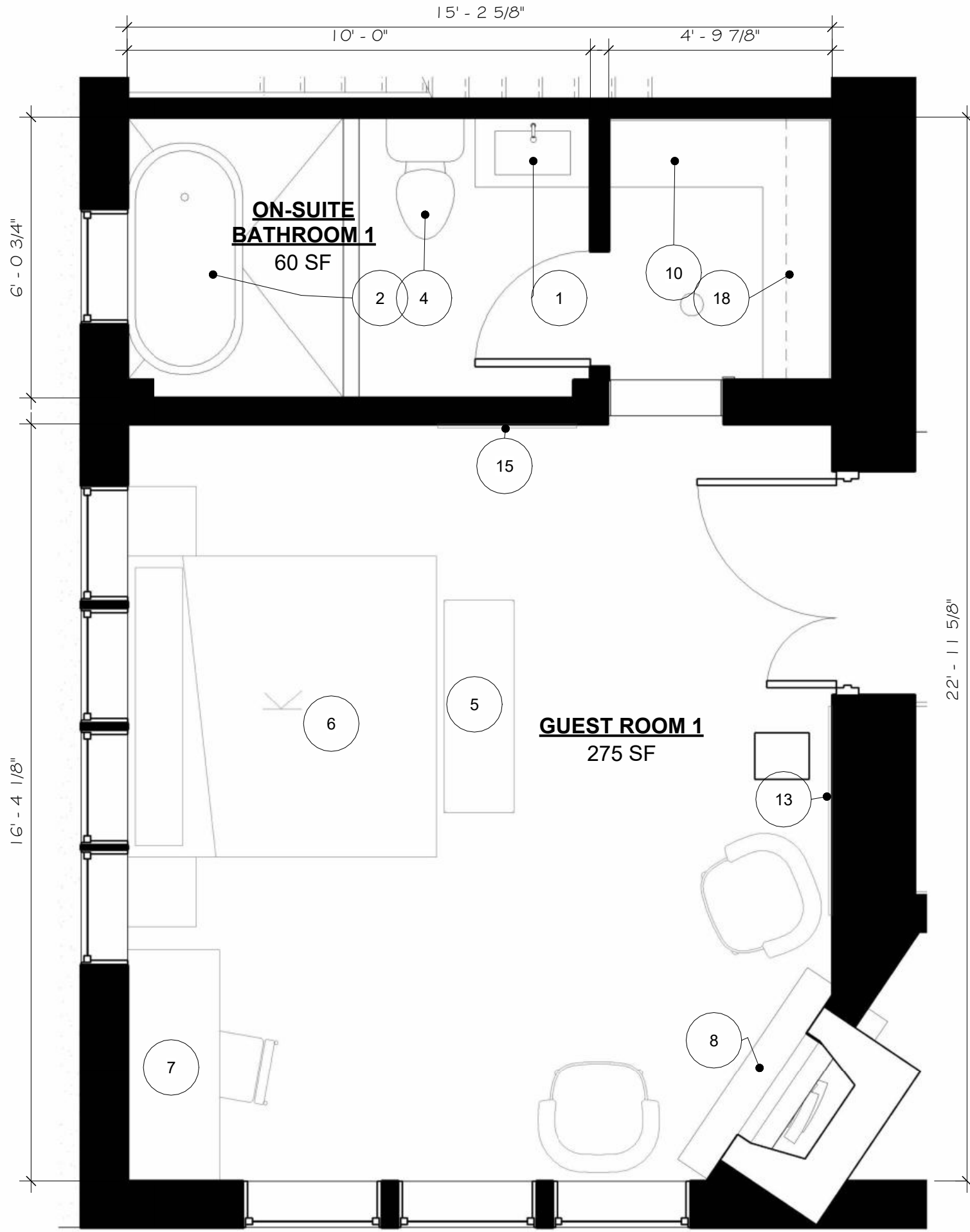


INSPIRATION



CONCEPTUAL RENDERING

AMENITIES	
Key Value	Keynote Text
1	VANITY WITH STORAGE
2	FREE-STANDING TUB IN SHOWER AREA/WET ROOM
4	TOILET WITH STORAGE ABOVE
5	STORAGE
6	KING BED WITH NIGHTSTANDS
7	DESK
8	FIREPLACE
10	MINI-FRIDGE/BAR AREA
13	FLAT-SCREEN TV
15	FULL HEIGHT MIRROR
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE

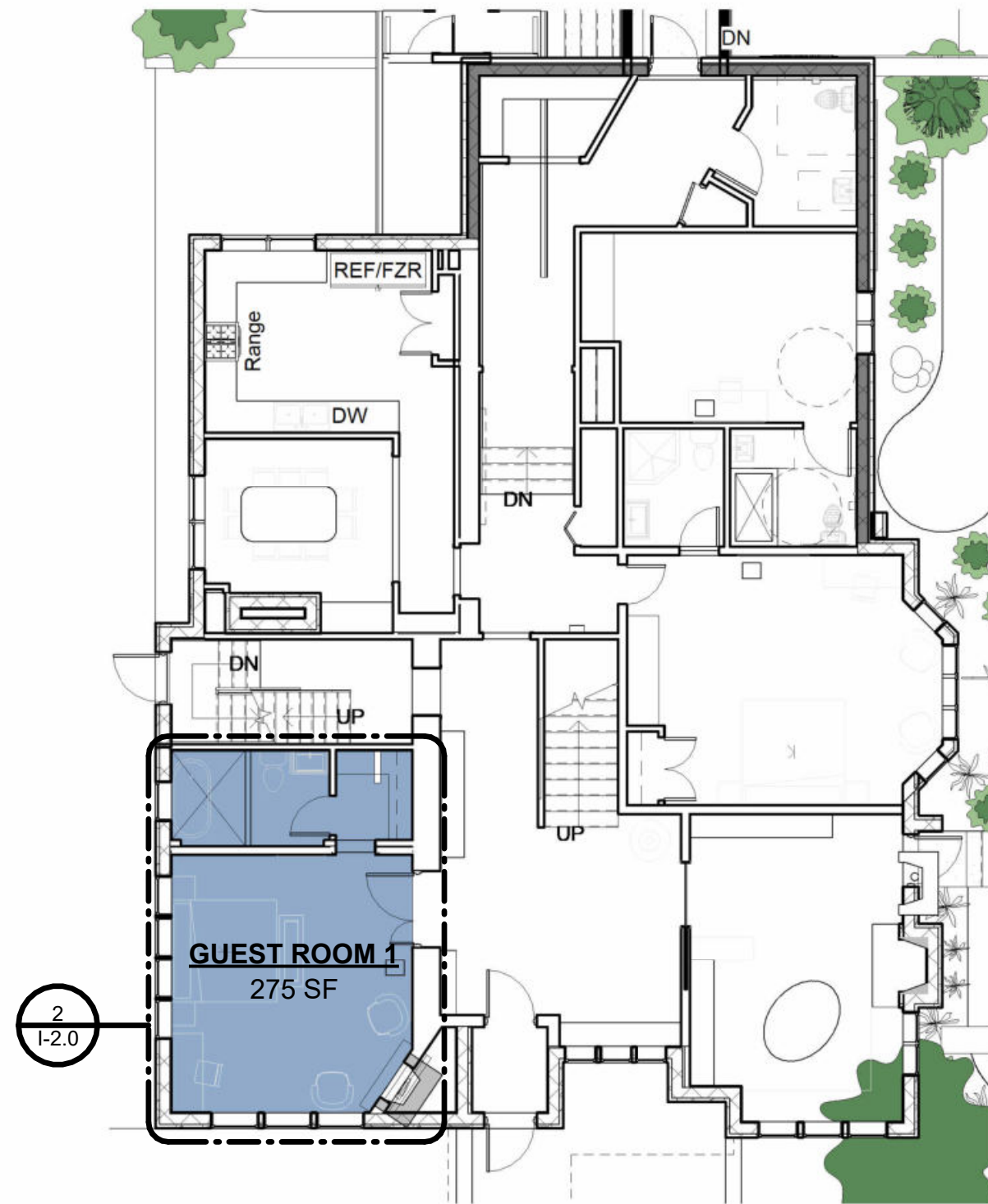


2
1:2.0
3/8" = 1'-0"

ENLARGED PLAN - FF - GUEST ROOM 1



EXISTING CONDITIONS



1
A-3.0
1" = 10'-0"

KEY PLAN - FF - GUEST ROOM 1

Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

NOT FOR CONSTRUCTION

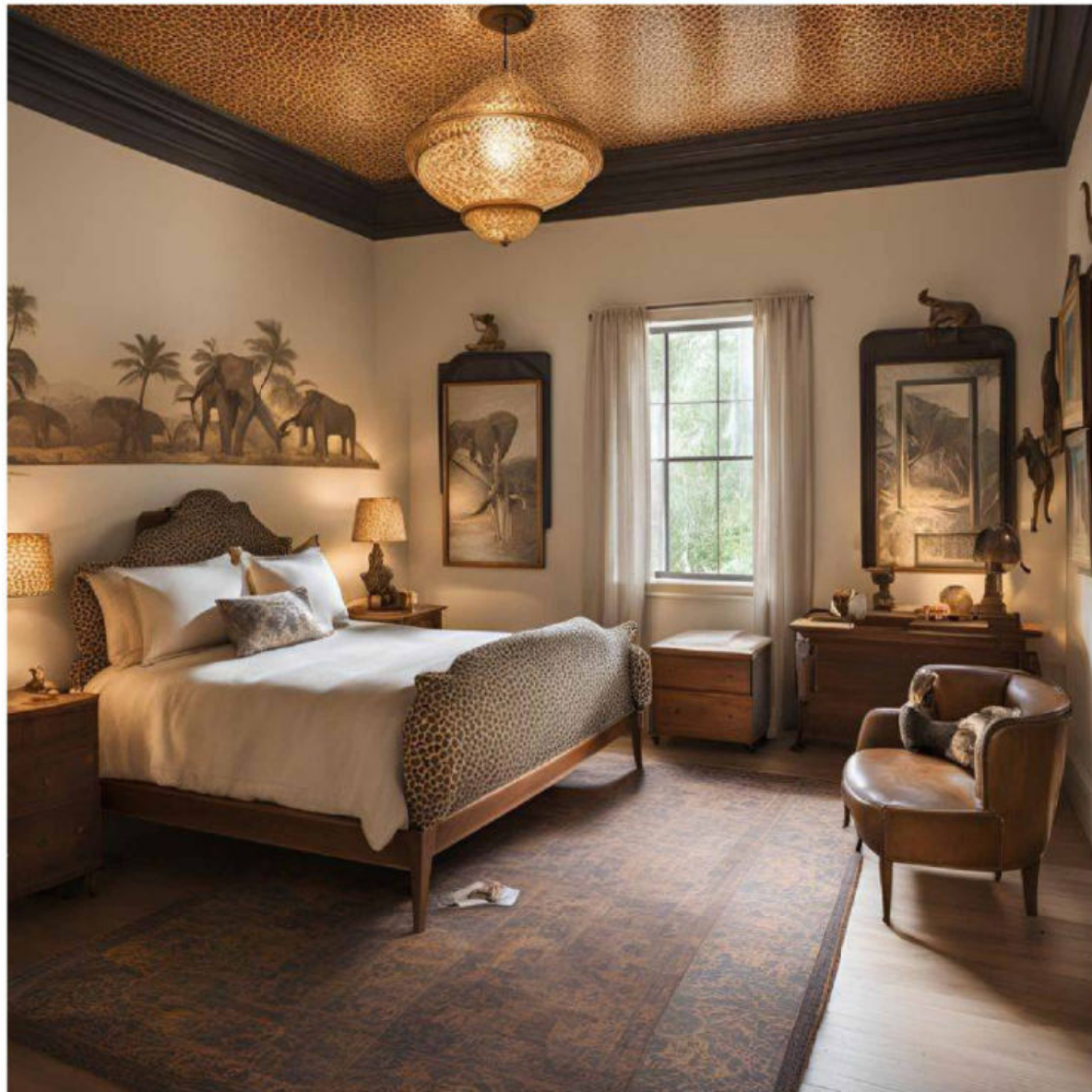
BERKERY ESTATE
PROJECT NUMBER: Z24075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
FIRST FLOOR - GUEST ROOM 1

SHEET NUMBER
I-2.0

FIRST FLOOR GUEST ROOM 2 SAFARI

DESIGN ELEMENTS:

- WHITE, BROWN, AND GREEN COLOR PALETTE
- WHITE WALLS WITH A DARK ACCENTS AND ACCENT WALL
- ANIMAL PRINT, ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES

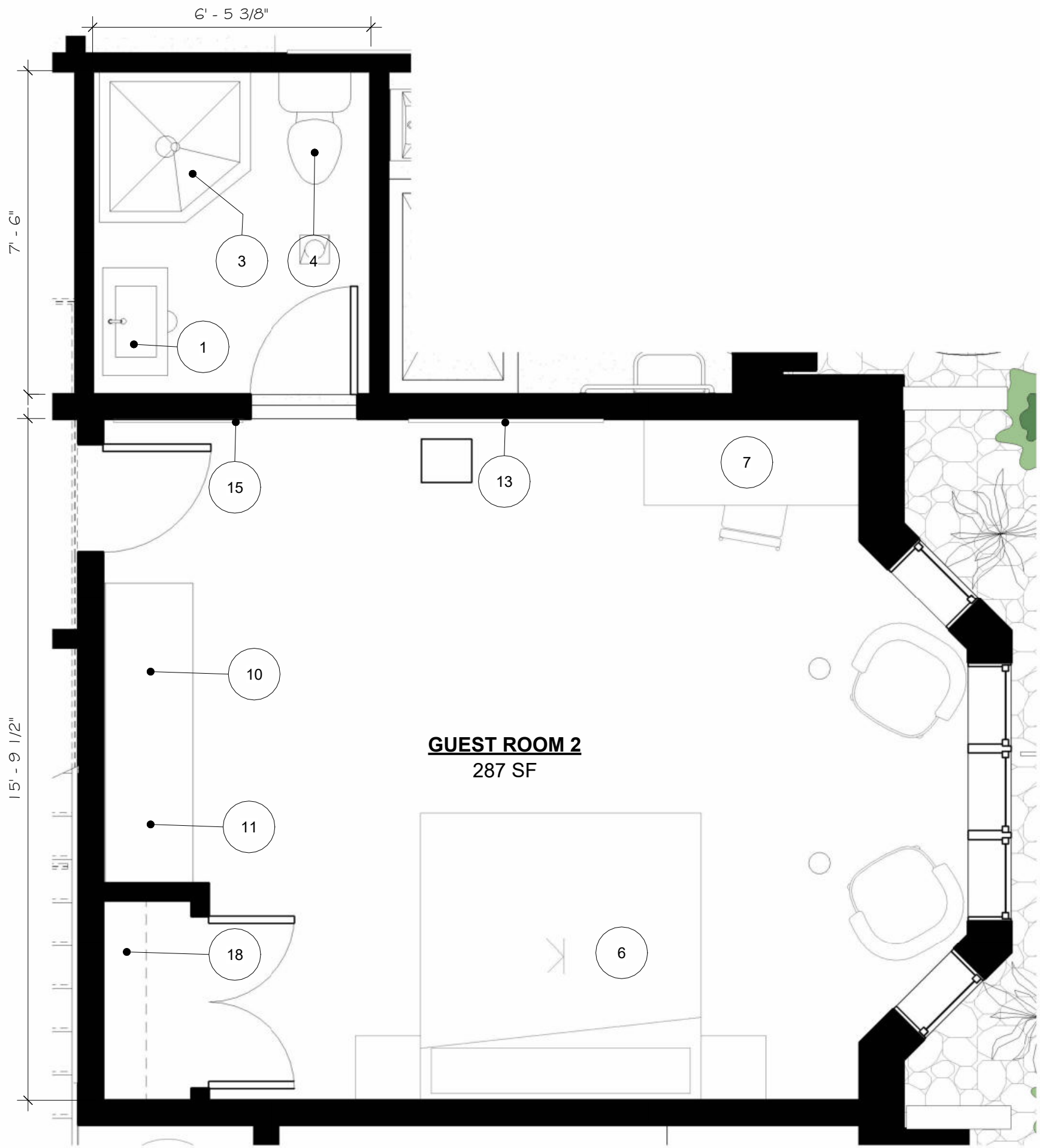


INSPIRATION



CONCEPTUAL RENDERING

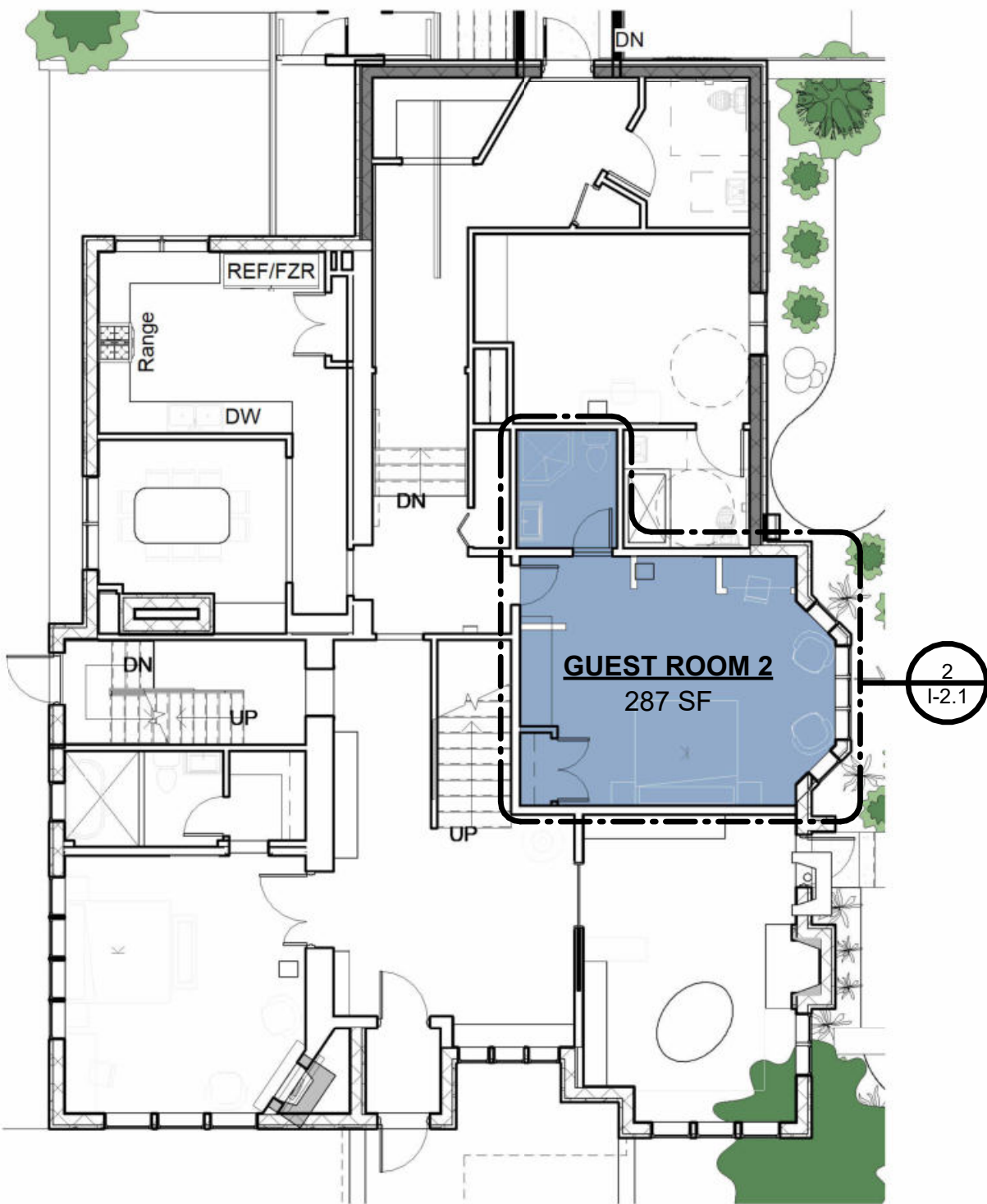
AMENITIES	
Key Value	Keynote Text
1	VANITY WITH STORAGE
3	WALK IN SHOWER
4	TOILET WITH STORAGE ABOVE
6	KING BED WITH NIGHTSTANDS
7	DESK
10	MINI-FRIDGE/BAR AREA
11	WINE RACK AND LOCKABLE LIQUOR CABINET
13	FLAT-SCREEN TV
15	FULL HEIGHT MIRROR
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE



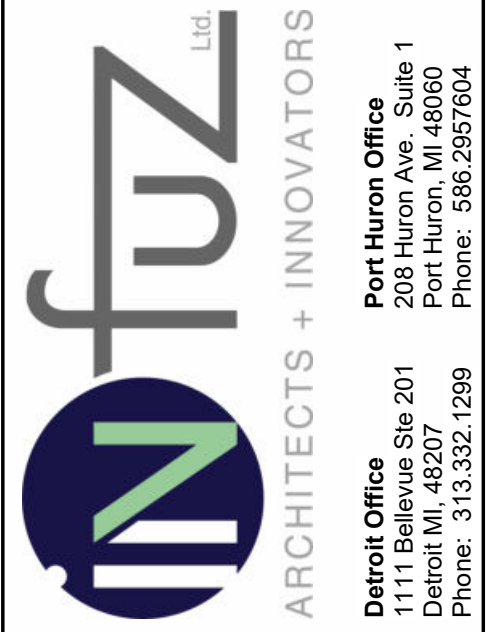
2 ENLARGED PLAN - FF - GUEST ROOM 2
3/8" = 1'-0"



EXISTING CONDITIONS



1 KEY PLAN - FF - GUEST ROOM 2
1" = 10'-0"



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NIAL & MELVIE BERKERY
SHEET TITLE
FIRST FLOOR - GUEST ROOM 2

SHEET NUMBER

I-2.1

FIRST FLOOR

GUEST ROOM 3

ASIAN/CHERRY BLOSSOM

DESIGN ELEMENTS:

- WHITE, DEEP RED, DEEP GREEN, DEEP ORANGE COLOR PALETTE
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- ASIAN INSPIRED ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES

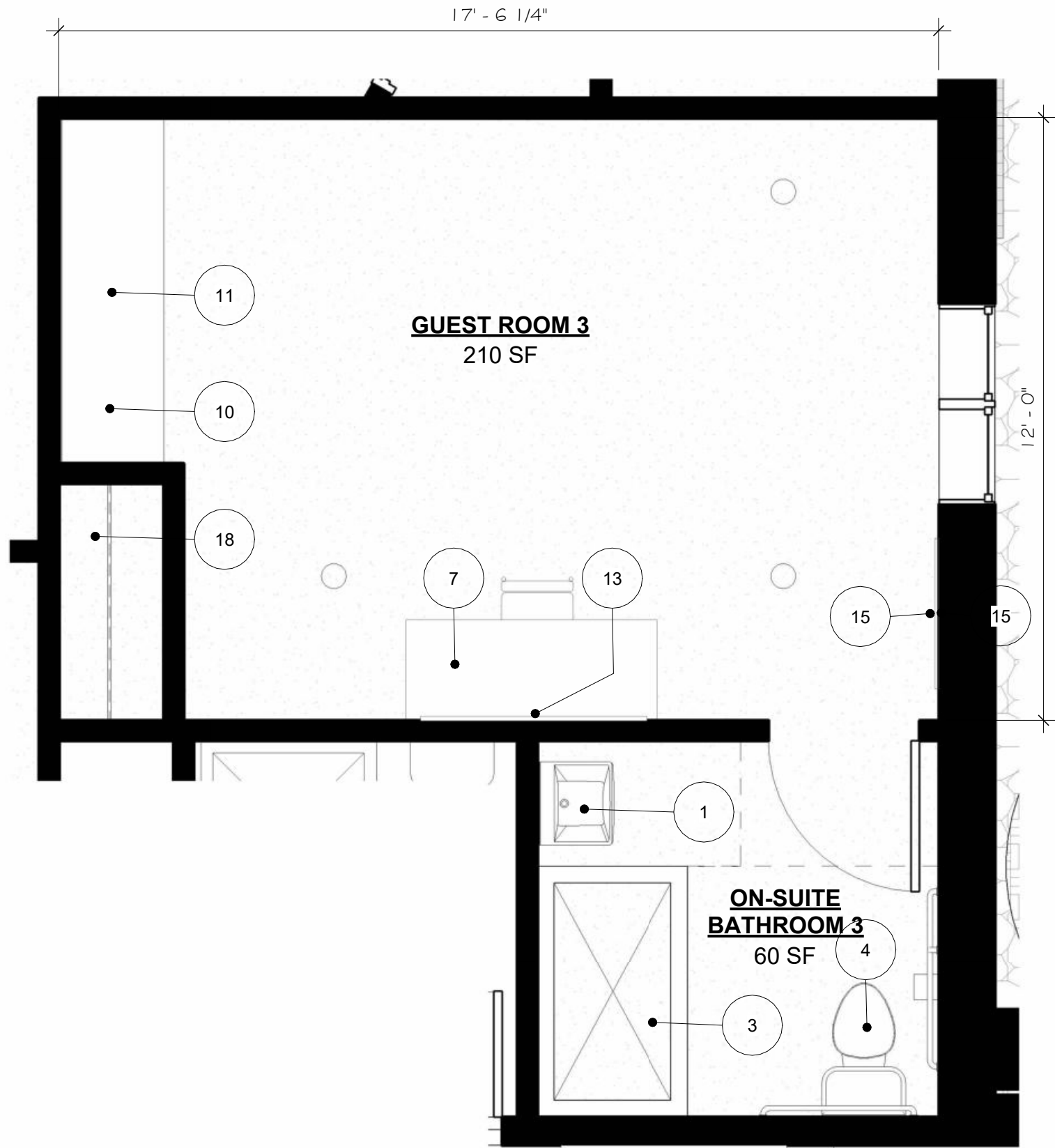


INSPIRATION



CONCEPTUAL RENDERING

AMENITIES	
Key Value	Keynote Text
1	VANITY WITH STORAGE
3	WALK IN SHOWER
4	TOILET WITH STORAGE ABOVE
7	DESK
10	MINI-FRIDGE/BAR AREA
11	WINE RACK AND LOCKABLE LIQUOR CABINET
13	FLAT-SCREEN TV
15	FULL HEIGHT MIRROR
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE

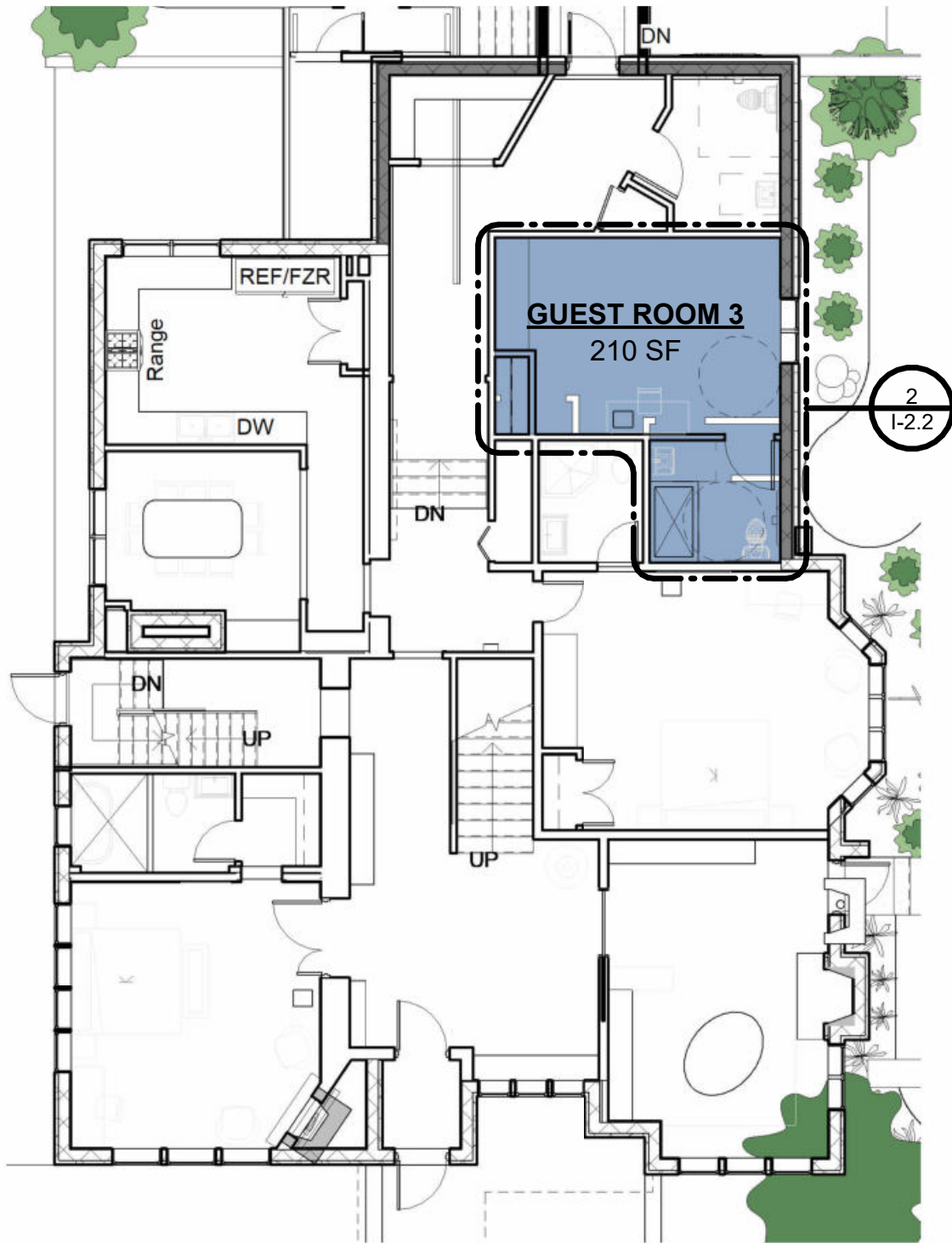


2
1/2-2
3/8" = 1'-0"

ENLARGED PLAN - FF - ADA GUEST ROOM 3



EXISTING CONDITIONS



1
A-3.0
1" = 10'-0"

KEY PLAN - FF - GUEST ROOM 3



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1	Commercial Set	03/13/2025

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03/13/2025

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PROJECT NUMBER: Z4405
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
FIRST FLOOR - ADA GUEST ROOM 3

SHEET NUMBER

1-2.2

SECOND FLOOR GUEST ROOM 4 GARDEN/FLORAL

DESIGN ELEMENTS:

- WHITE, GREEN, DEEP RED, PLUSH COLOR PALETTE
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- FLORAL ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES

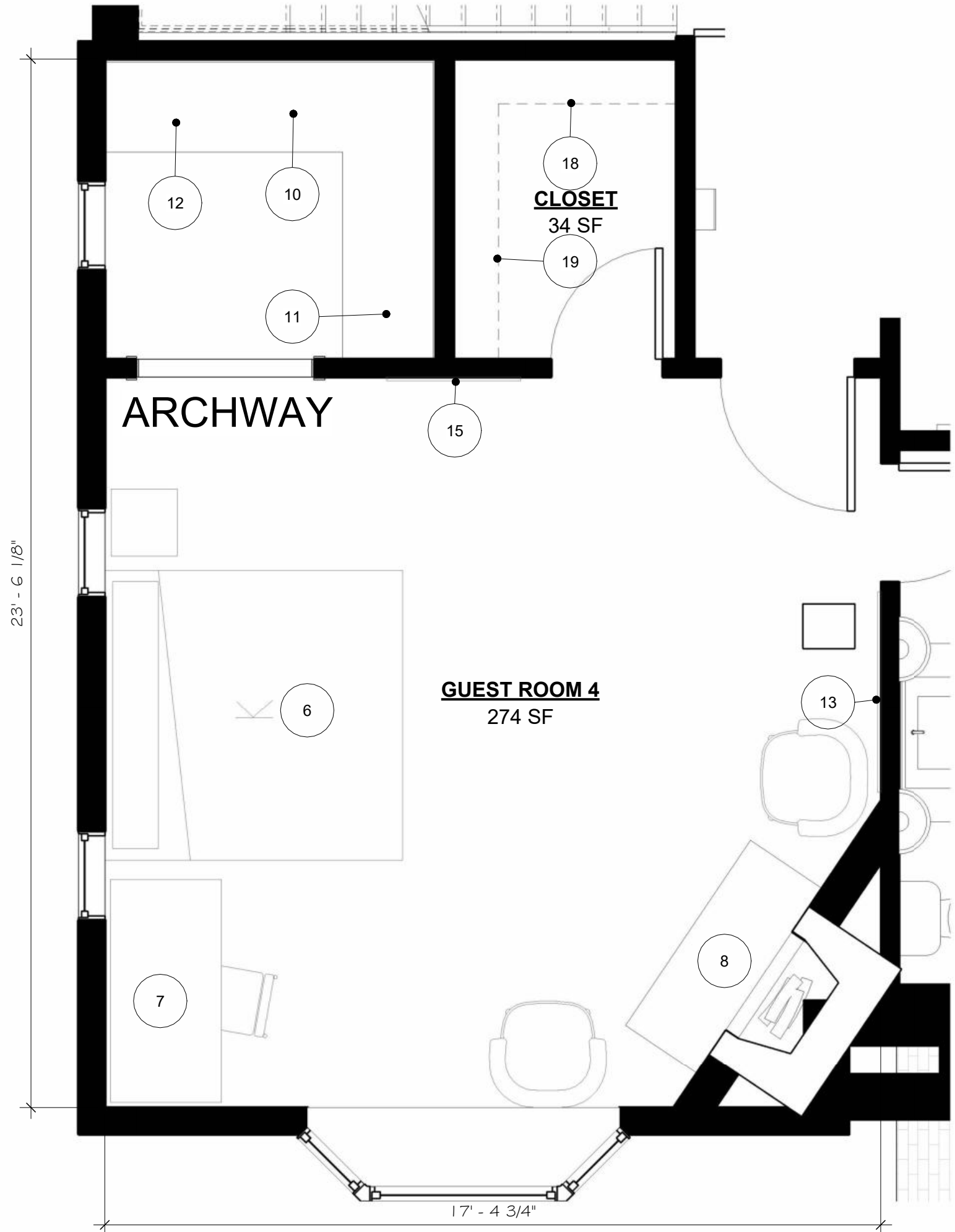


INSPIRATION

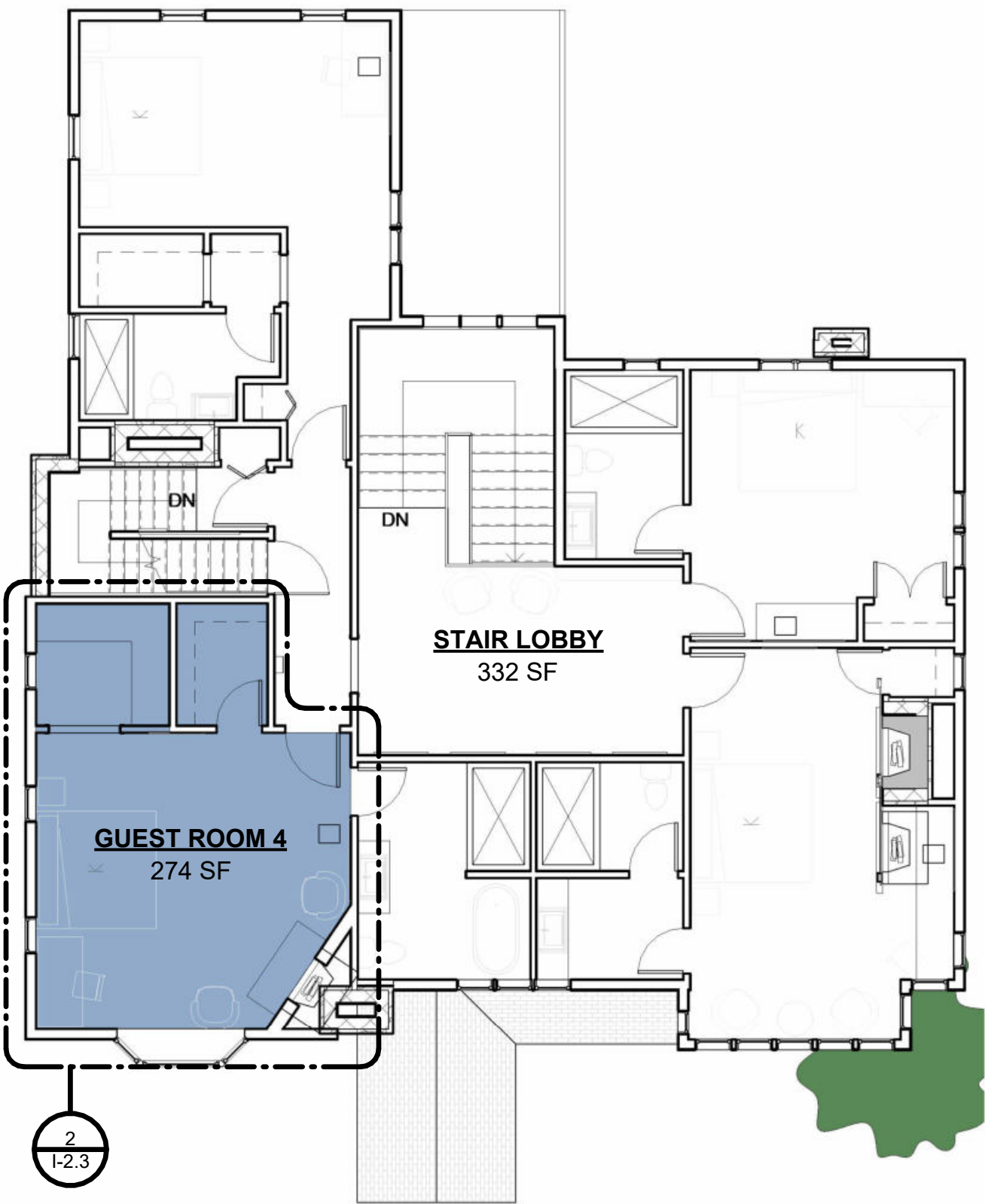


CONCEPTUAL RENDERING

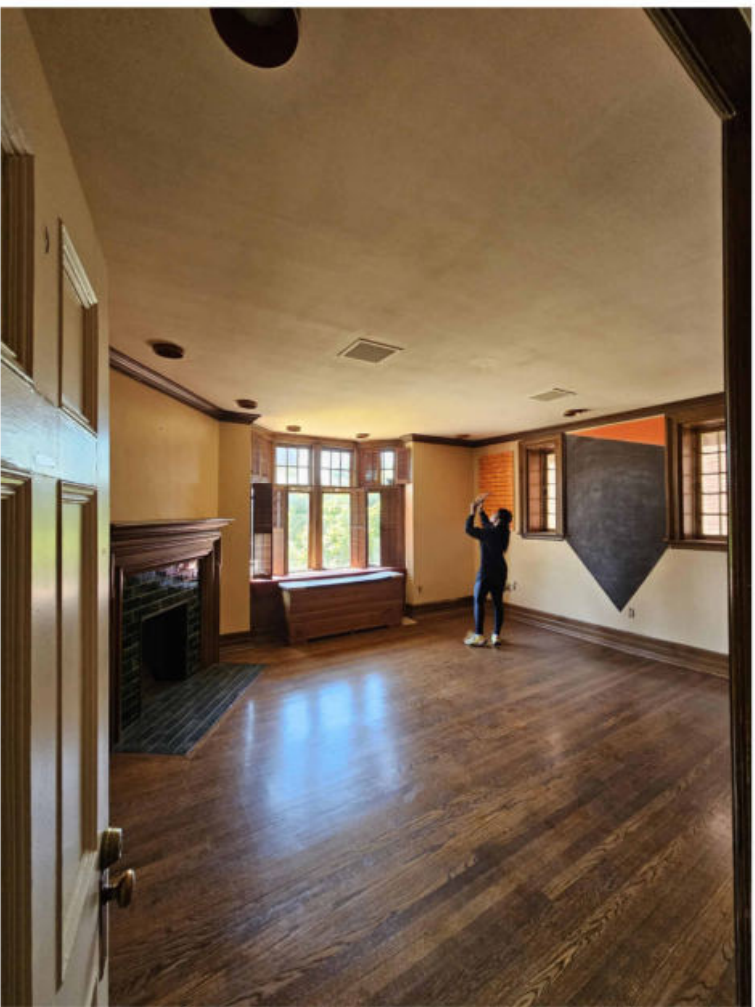
AMENITIES	
Key Value	Keynote Text
6	KING BED WITH NIGHTSTANDS
7	DESK
8	FIREPLACE
10	MINI-FRIDGE/BAR AREA
11	WINE RACK AND LOCKABLE LIQUOR CABINET
12	SINK AND COFFEE STATION
13	FLAT-SCREEN TV
15	FULL HEIGHT MIRROR
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE
19	CUSTOM BUILT-IN STORAGE



2 ENLARGED PLAN - SF - GUEST ROOM 4



1 KEY PLAN - SF - GUEST ROOM 4



EXISTING CONDITIONS

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1	Commercial Set	03/13/2025

SEAL

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03/13/2025

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PROJECT NUMBER: Z24075

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DETROIT, MI 48214

NIAL & MELVIE BERKERY

SHEET TITLE

SECOND FLOOR - GUEST ROOM 4

SHEET NUMBER

1-2.3

3/14/2025 1:38:13 PM

SECOND FLOOR

GUEST ROOM 5

EUROPEAN

DESIGN ELEMENTS:

- BROWNS, CREAMS, EARTHY COLOR PALETTE
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- EUROPEAN INSPIRED ARTWORK, AND SCULPTURES
- TRADITIONAL FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES

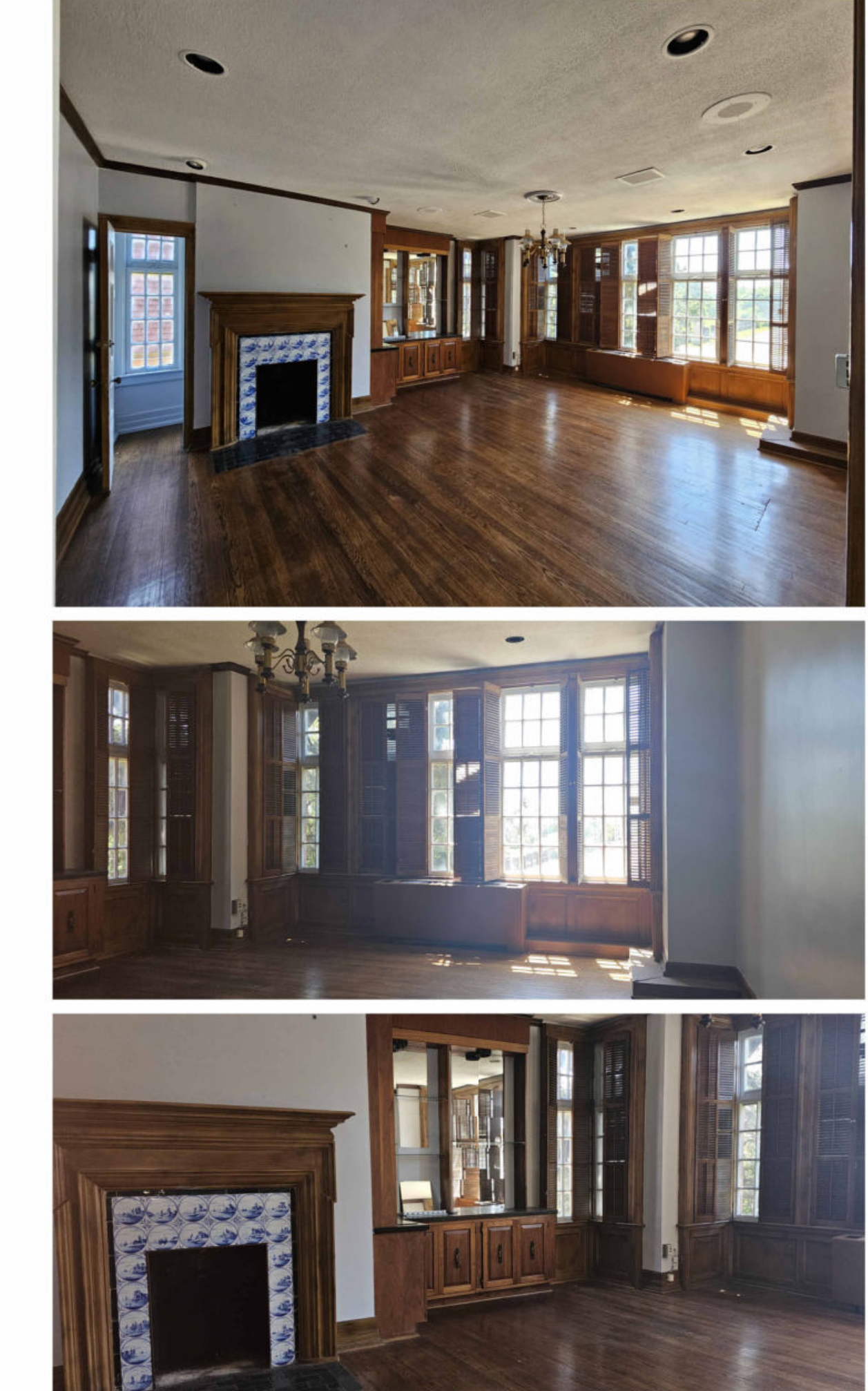
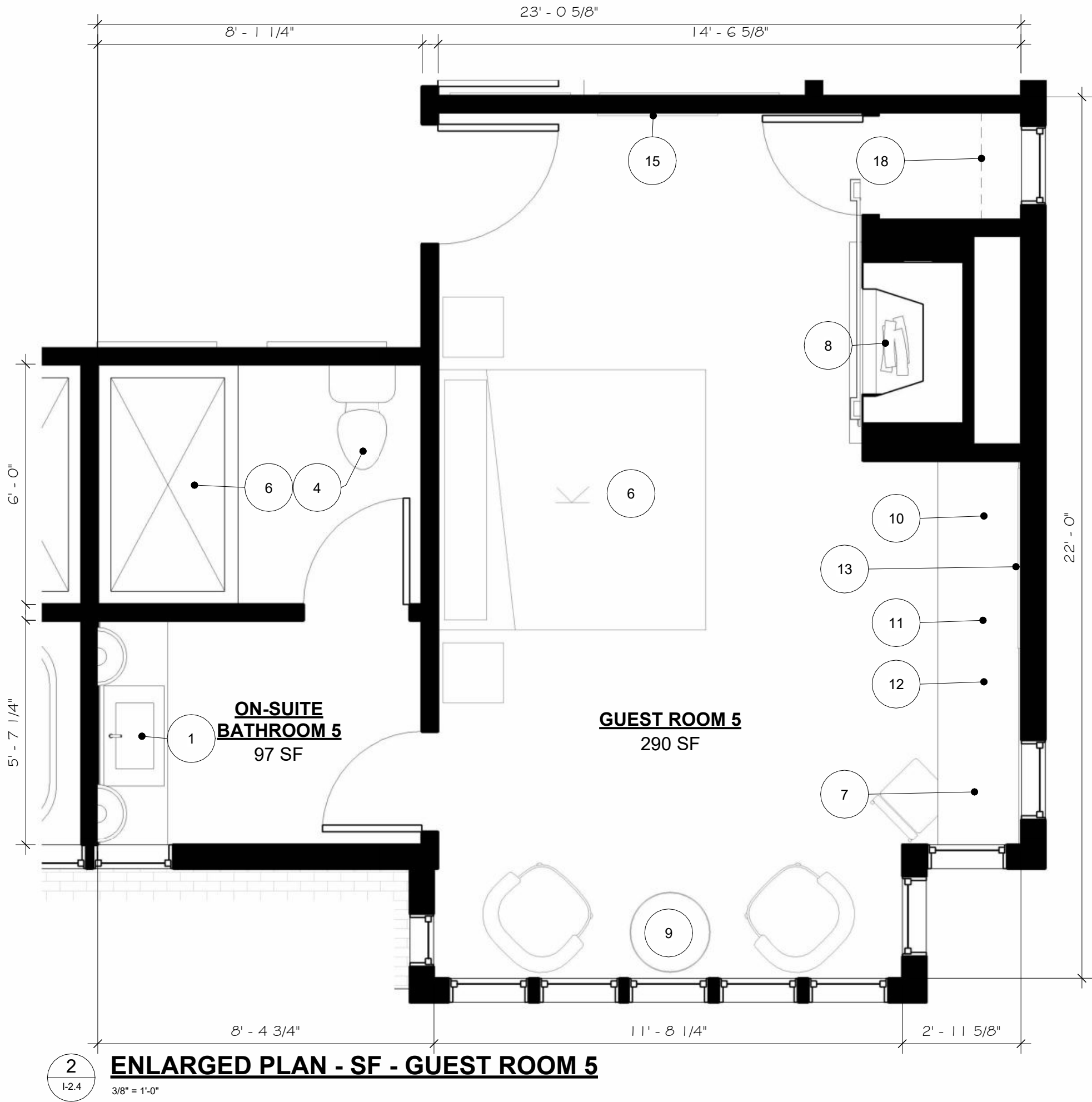


INSPIRATION

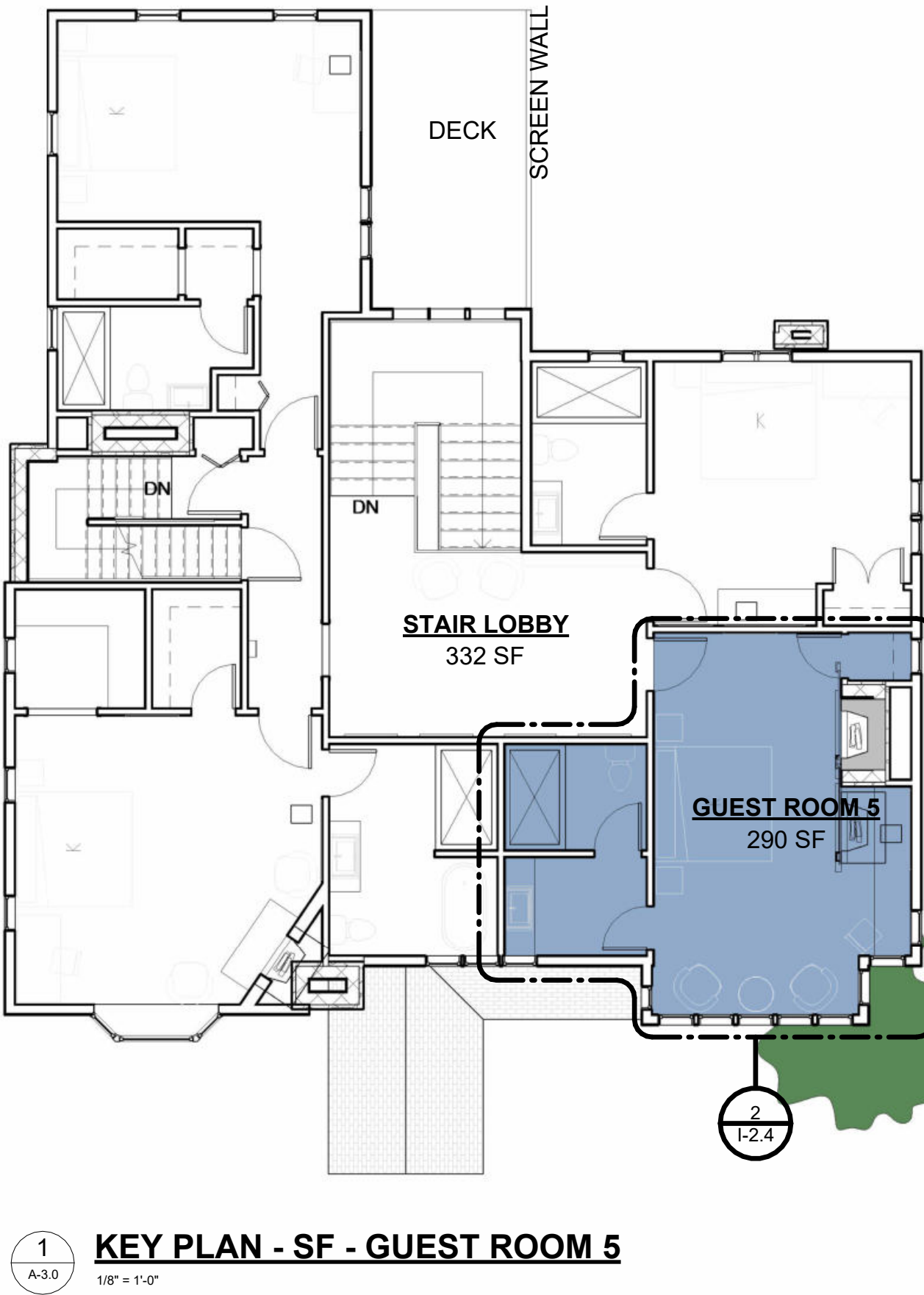


CONCEPTUAL RENDRING

AMENITIES	
Key Value	Keynote Text
1	VANITY WITH STORAGE
4	TOILET WITH STORAGE ABOVE
6	KING BED WITH NIGHTSTANDS
7	DESK
8	FIREPLACE
9	SEATING AREA
10	MINI-FRIDGE/BAR AREA
11	WINE RACK AND LOCKABLE LIQUOR CABINET
12	SINK AND COFFEE STATION
13	FLAT-SCREEN TV
15	FULL HEIGHT MIRROR
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE



EXISTING CONDITIONS



infuz

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Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

NOT FOR CONSTRUCTION

BERKERY ESTATE
PROJECT NUMBER: Z24075
8325 E. JEFFERSON AVE
DETROIT, MI 48214
NIAL & MELVIE BERKERY
SHEET TITLE
SECOND FLOOR - GUEST ROOM 5

1-2.4

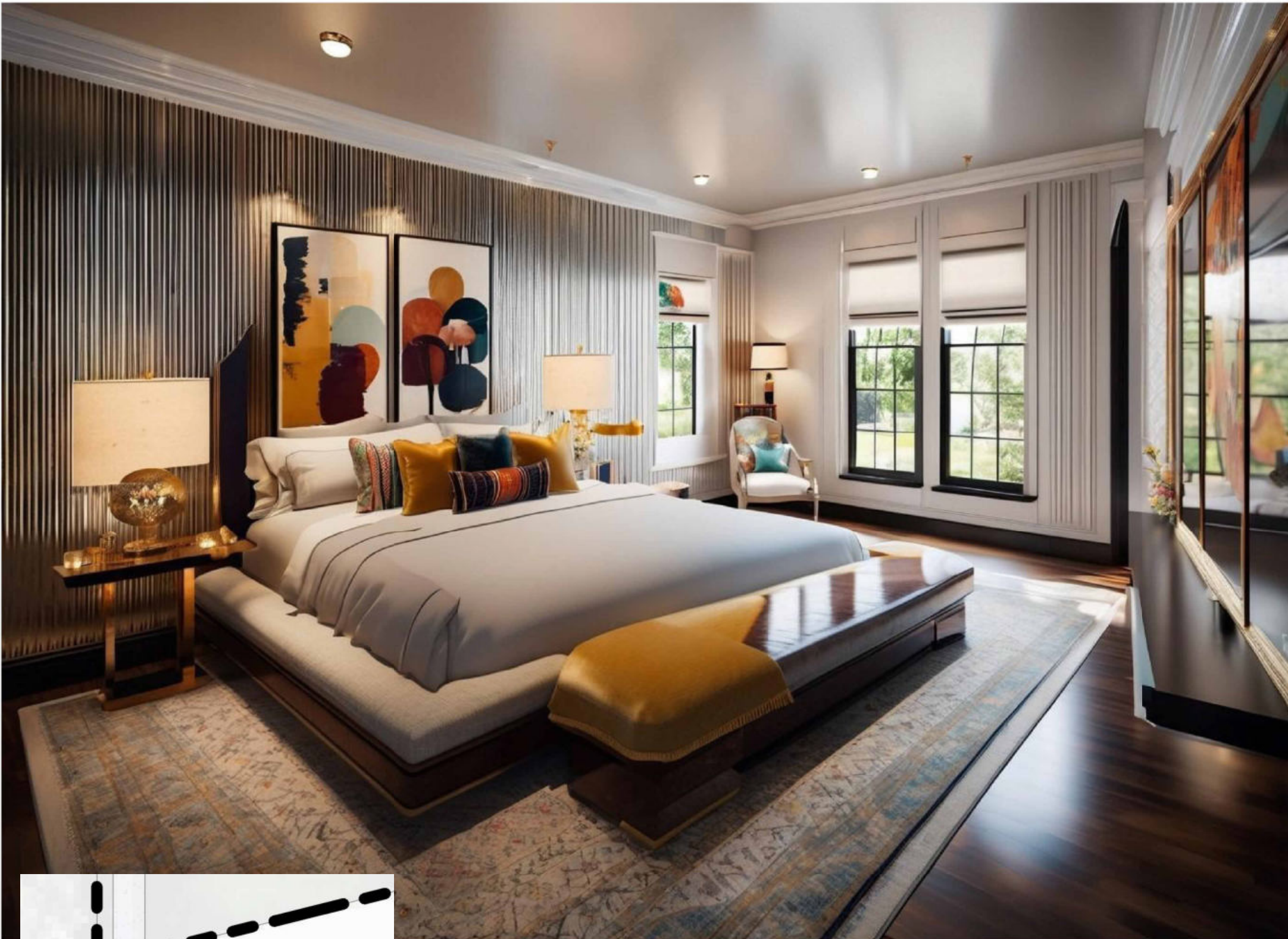
SECOND FLOOR GUEST ROOM 6 INSPIRATION ART DECO

DESIGN ELEMENTS:

- WHITE, GRAY, DEEP ORANGE WITH POPS OF COLOR
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- ART DECO INSPIRED ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES

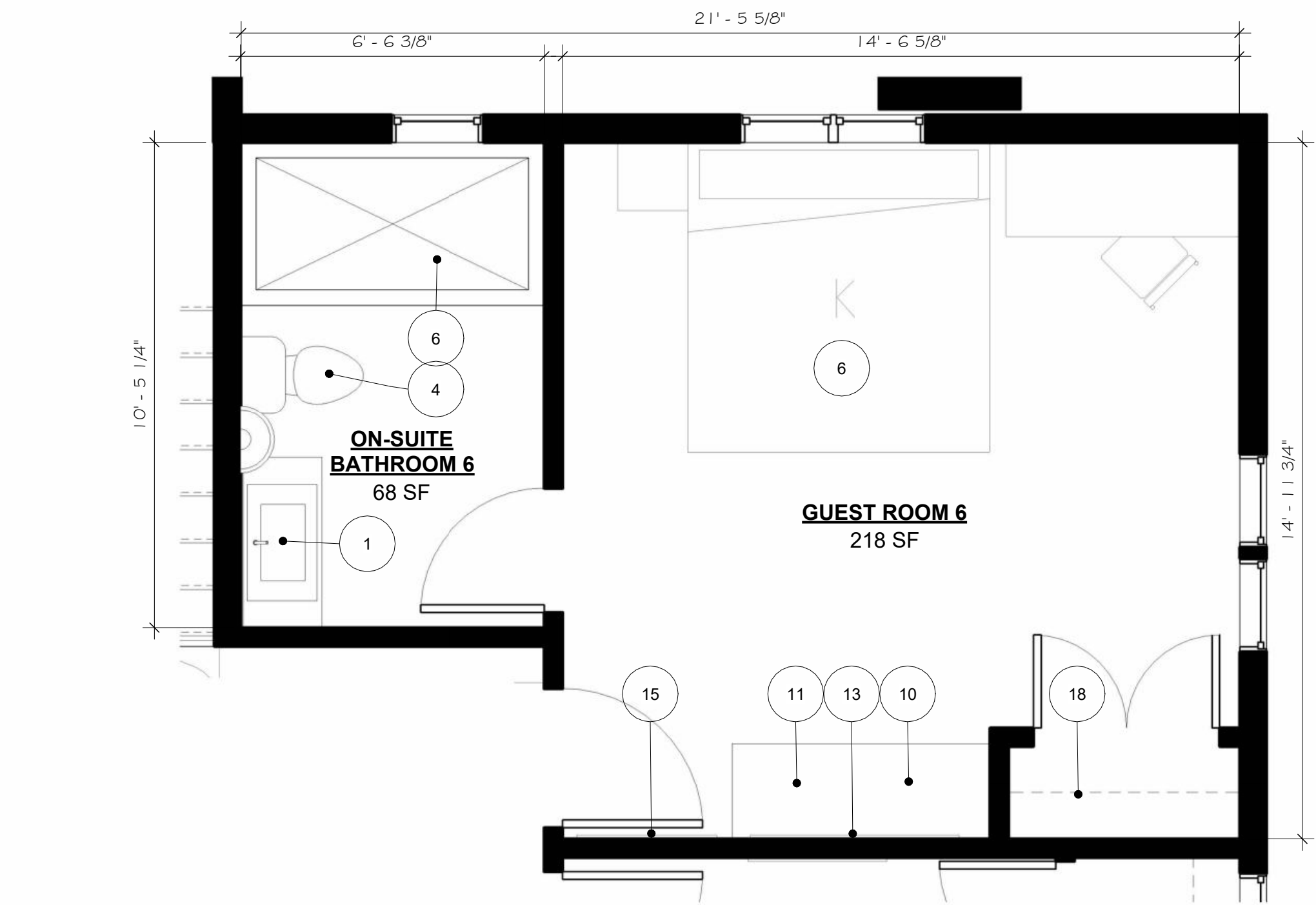


INSPIRATION

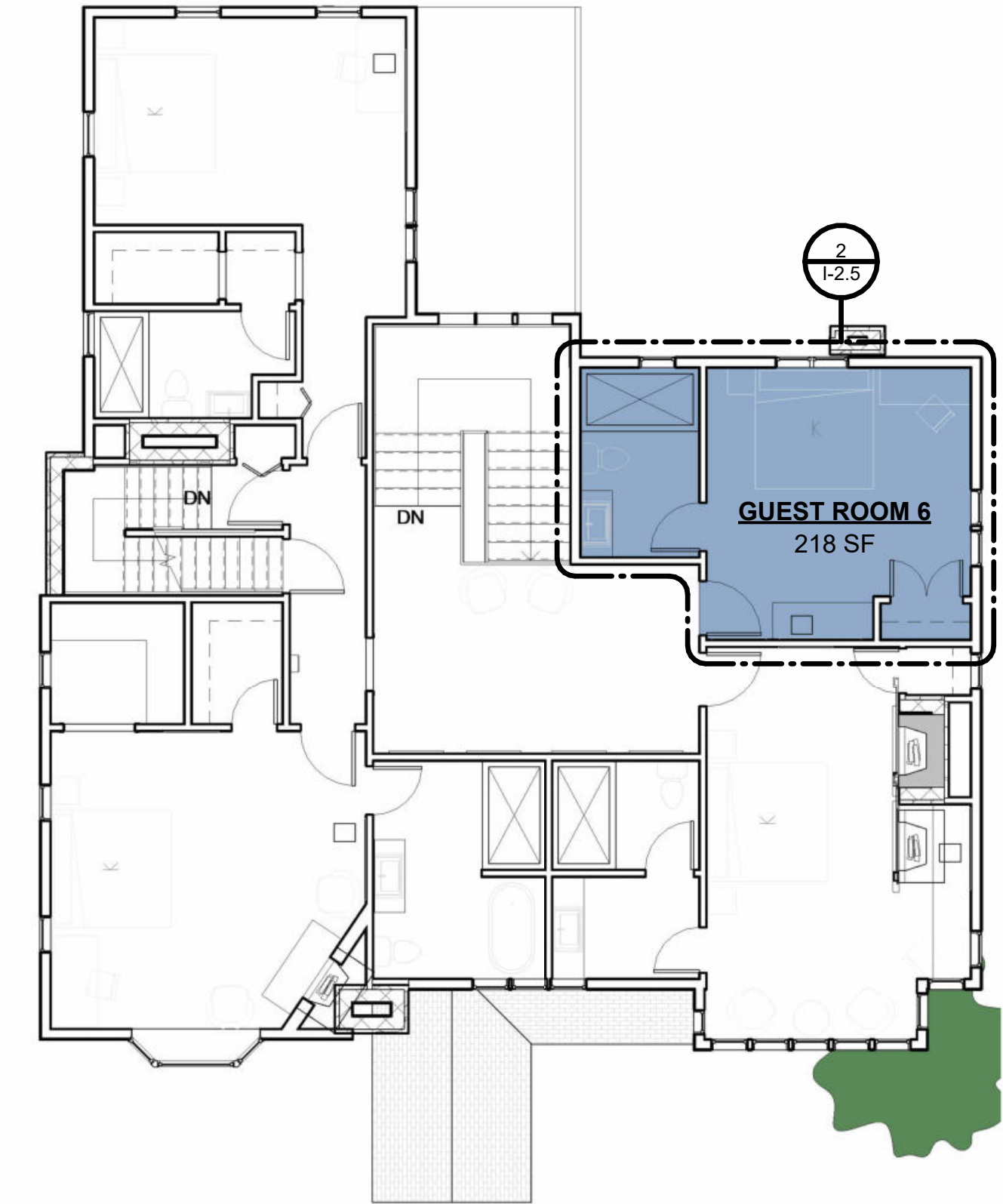


CONCEPTUAL RENDERING

AMENITIES	
Key Value	Keynote Text
1	VANITY WITH STORAGE
4	TOILET WITH STORAGE ABOVE
6	KING BED WITH NIGHTSTANDS
10	MINI-FRIDGE/BAR AREA
11	WINE RACK AND LOCKABLE LIQUOR CABINET
13	FLAT-SCREEN TV
15	FULL HEIGHT MIRROR
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE



2 ENLARGED PLAN - SF - GUEST ROOM 6
1/2.5 3/8" = 1'-0"



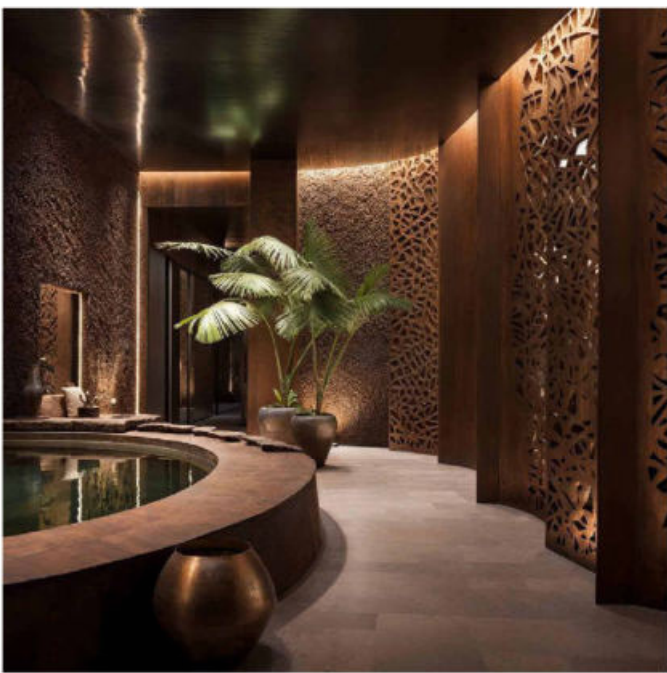
1 KEY PLAN - SF - GUEST ROOM 6
A-3.0 1/8" = 1'-0"

Revision Schedule		
#	Description	Date
1	Commercial Set	03/13/2025

LOWER LEVEL LOBBY

DESIGN ELEMENTS:

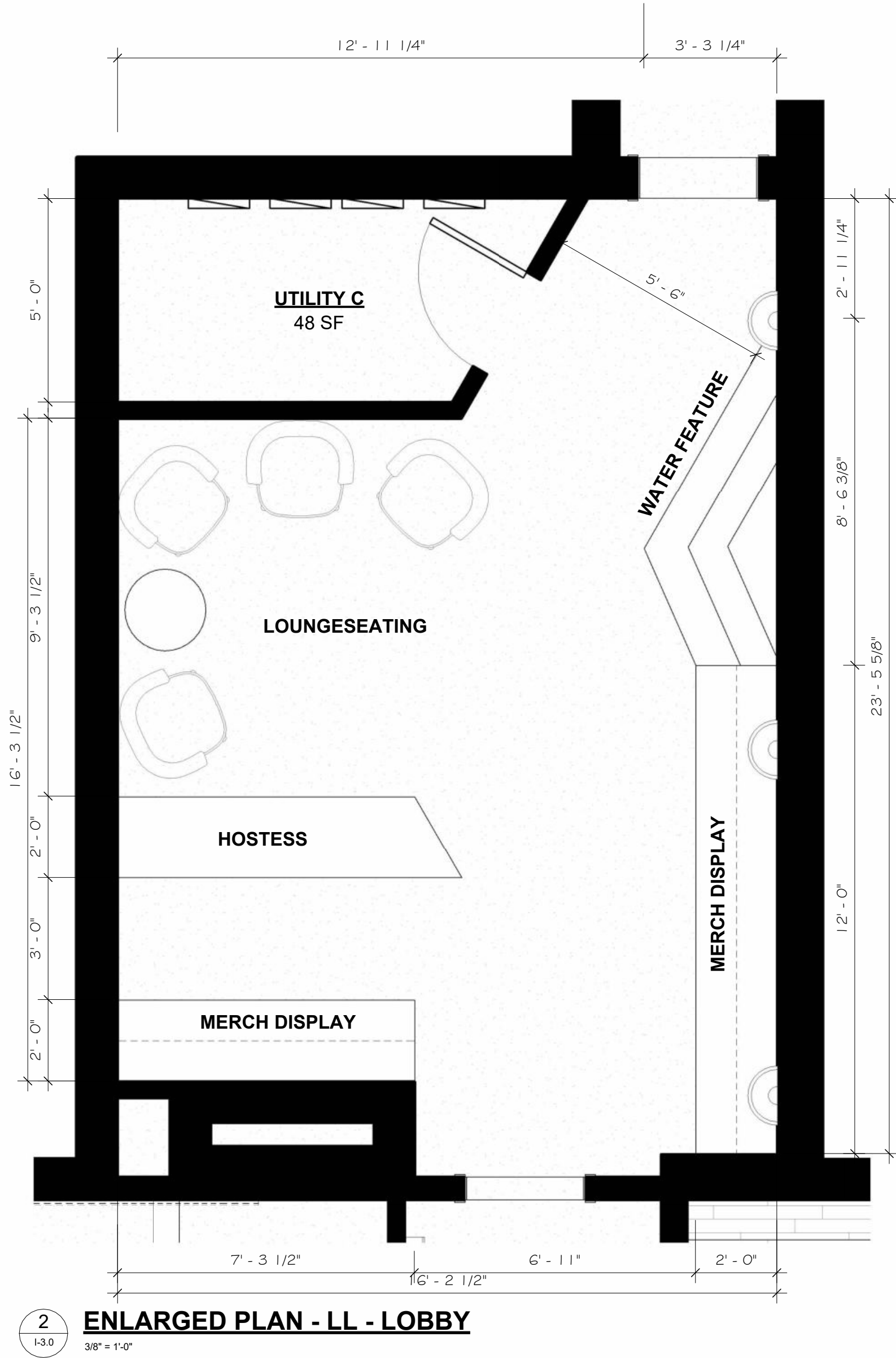
- NATURAL EARTHY TONE AND PALETTE
- TEXTURED FEATURE WALLS
- ILLUMINATION ACCENTS DEFINING SPACE
- WATER FEATURE AND PLANTS



INSPIRATION

LIGHTER SCHEME

DARKER SCHEME

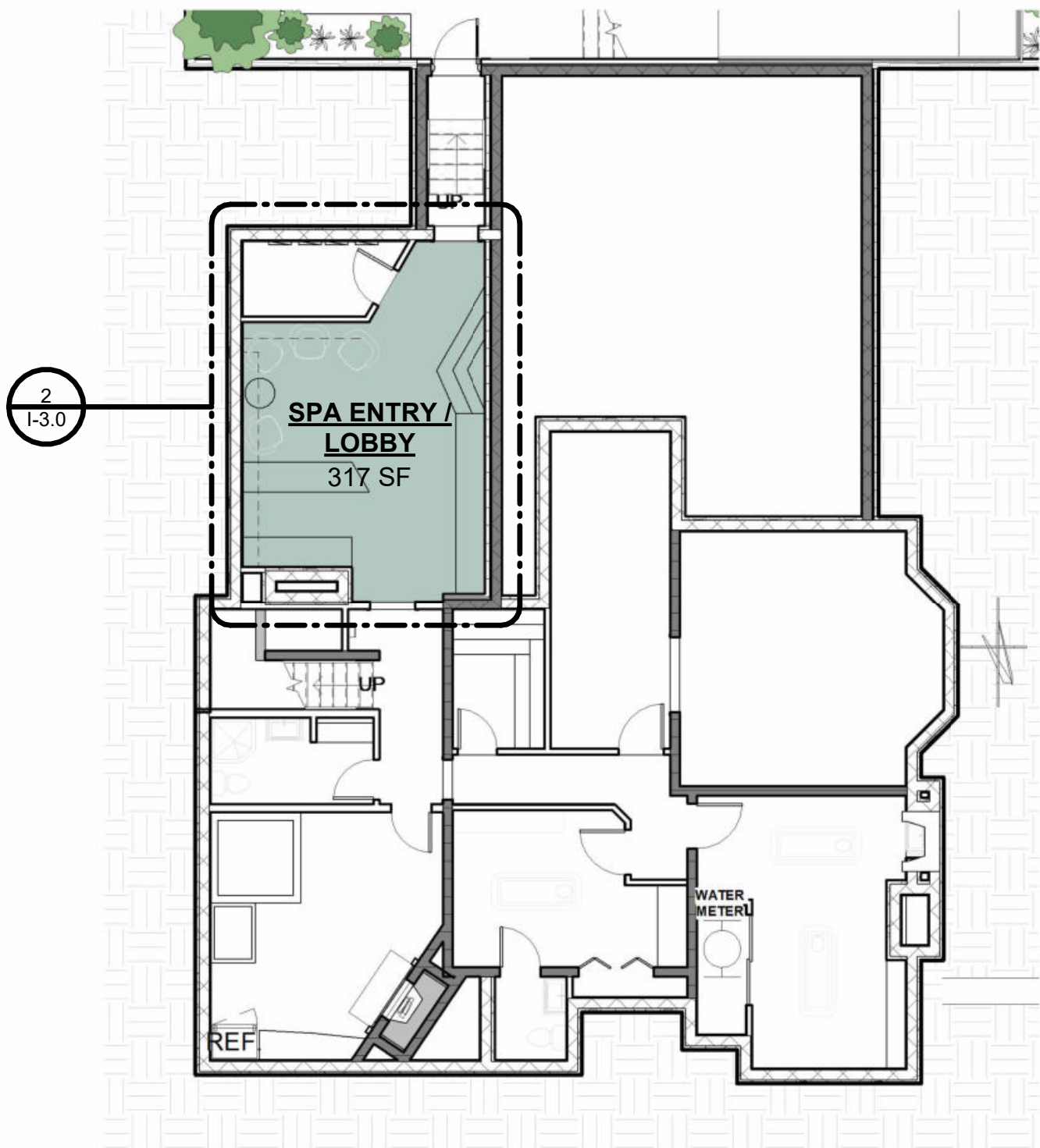


AMENTITIES:

- SERVICE COUNTER FOR REFRESHMENTS
- DISPLAY OF MERCH FOR SALE
- WATER FEATURE TO ENHANCE RELAXATION
- SOFT SEATING FOR CONSULTATION



EXISTING CONDITIONS



LOWER LEVEL BATHROOMS

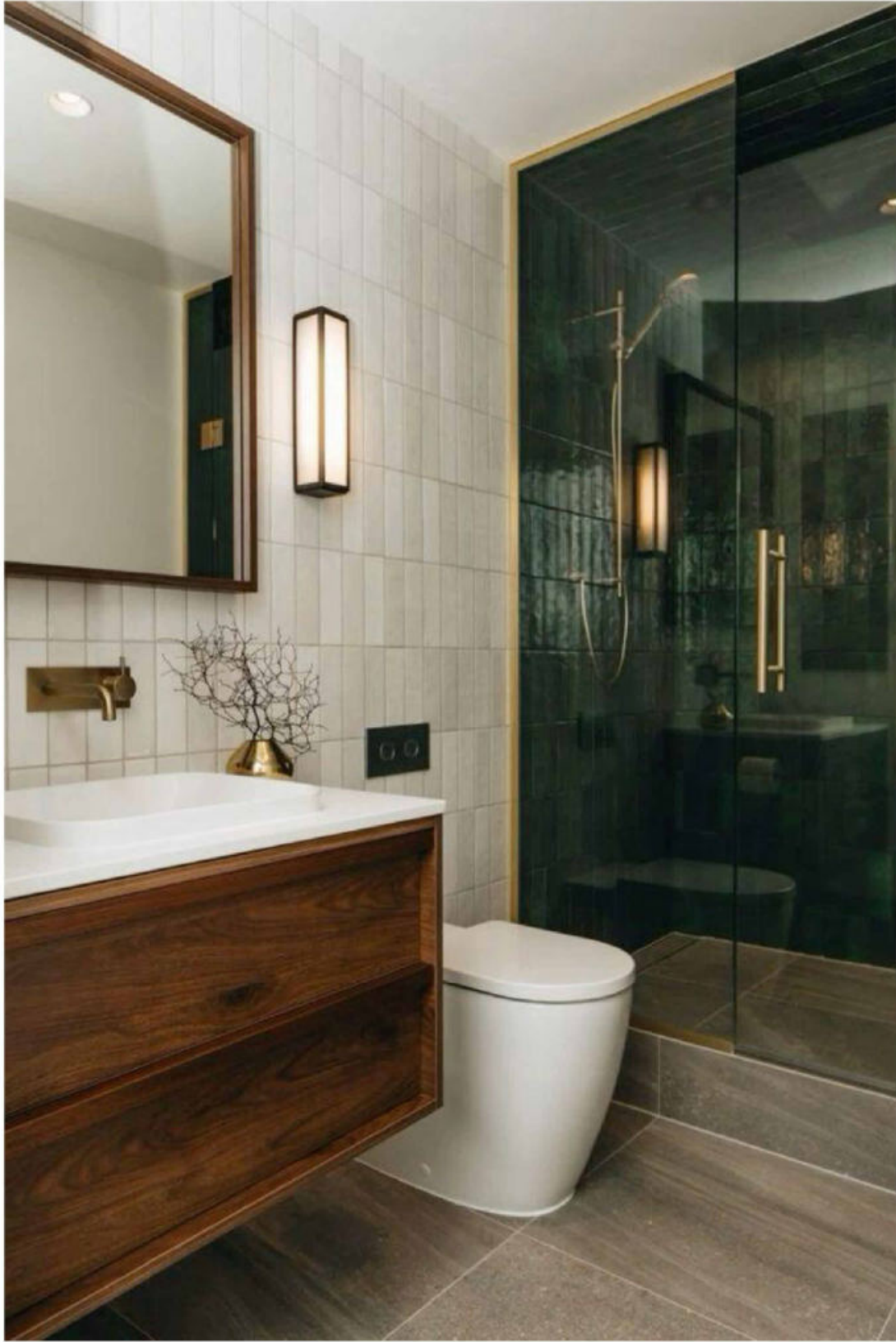
DESIGN ELEMENTS:

- EARTHY NATURAL PALETTE
- FEATURE WALLS WITH ILLUMINATING ACCENTS

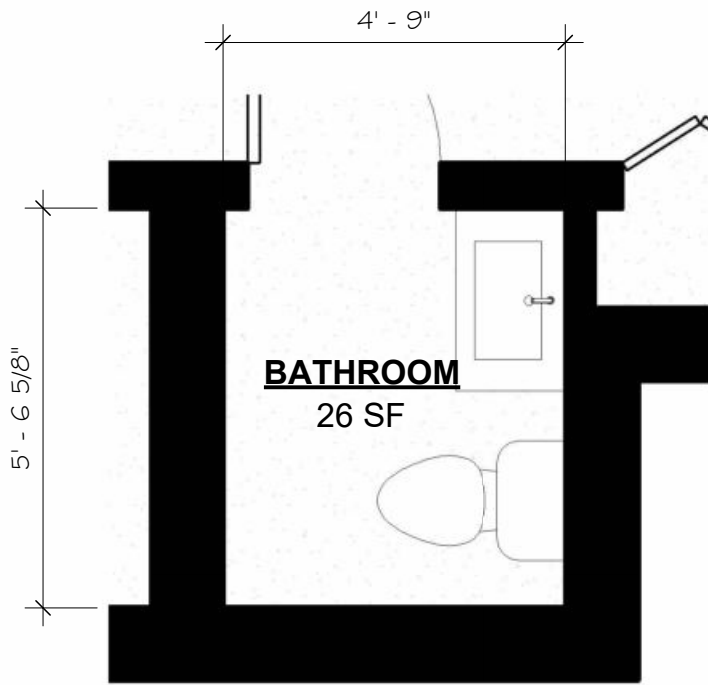
DARKER SCHEME



LIGHTER SCHEME

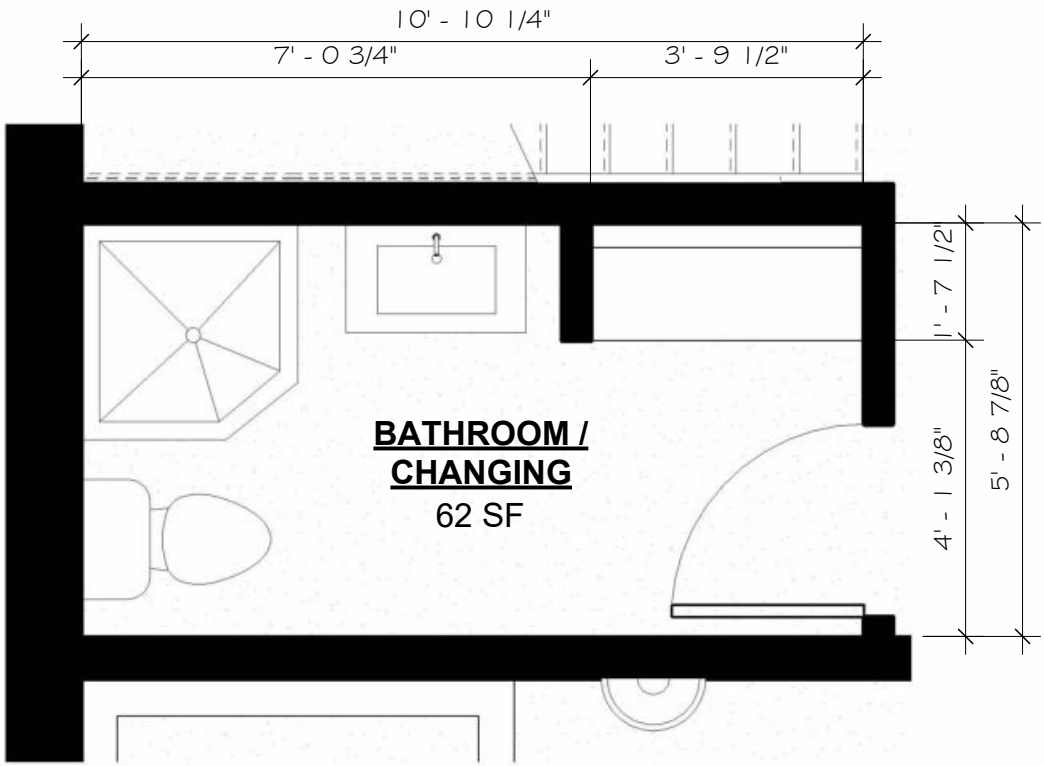


INSPIRATION



3
1-3.1
3/8" = 1'-0"

ENLARGED PLAN - LL - BATHROOM



2
1-3.1
3/8" = 1'-0"

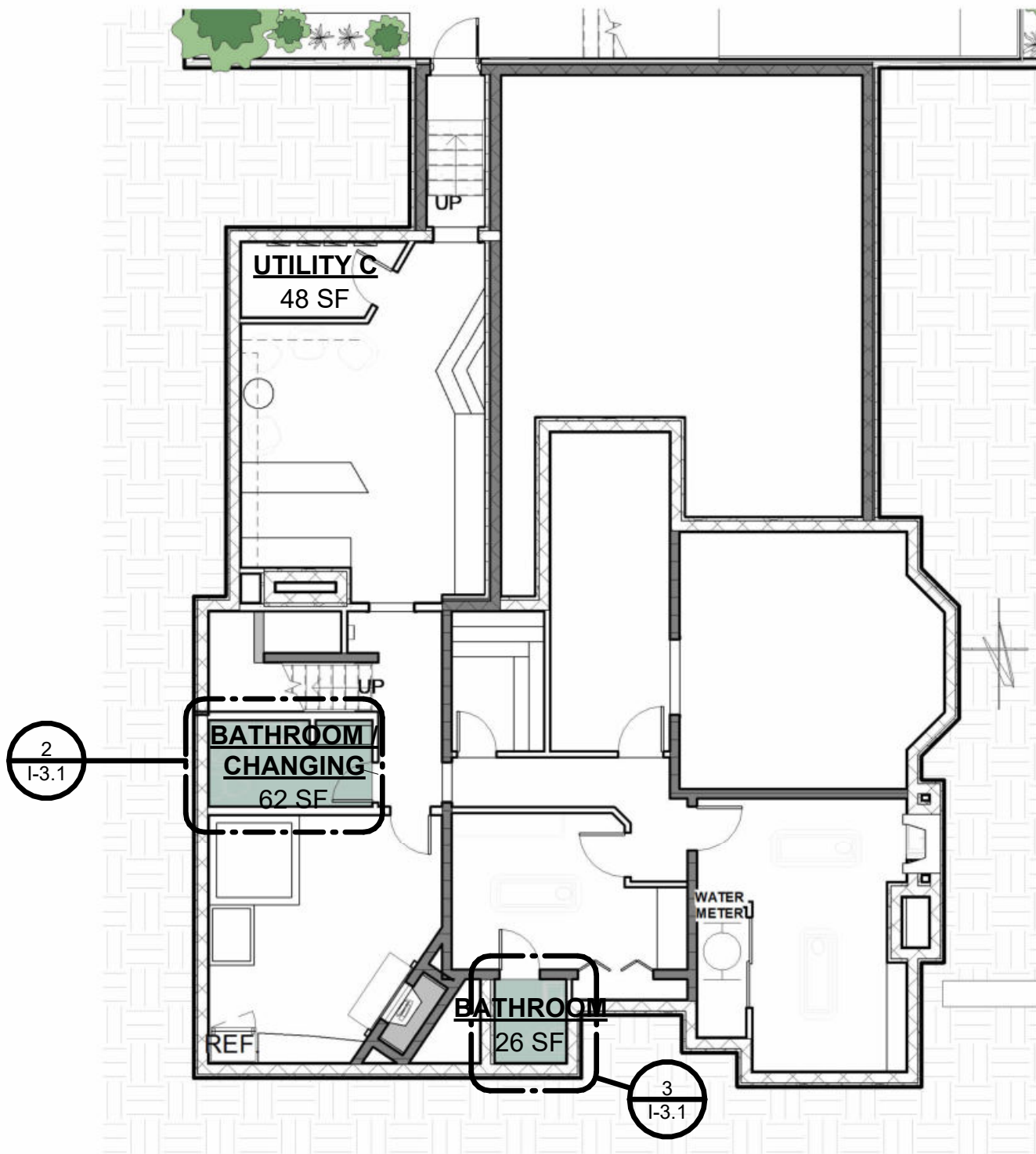
ENLARGED PLAN - LL - CHANGING ROOM

AMENTITIES:

- ONE FULL BATHROOM AND ONE HALF
- STOCK COUNTER WITH SINK
- WALK-IN SHOWER AND LIN. CLOSET



EXISTING CONDITIONS



1
1" = 10'-0"

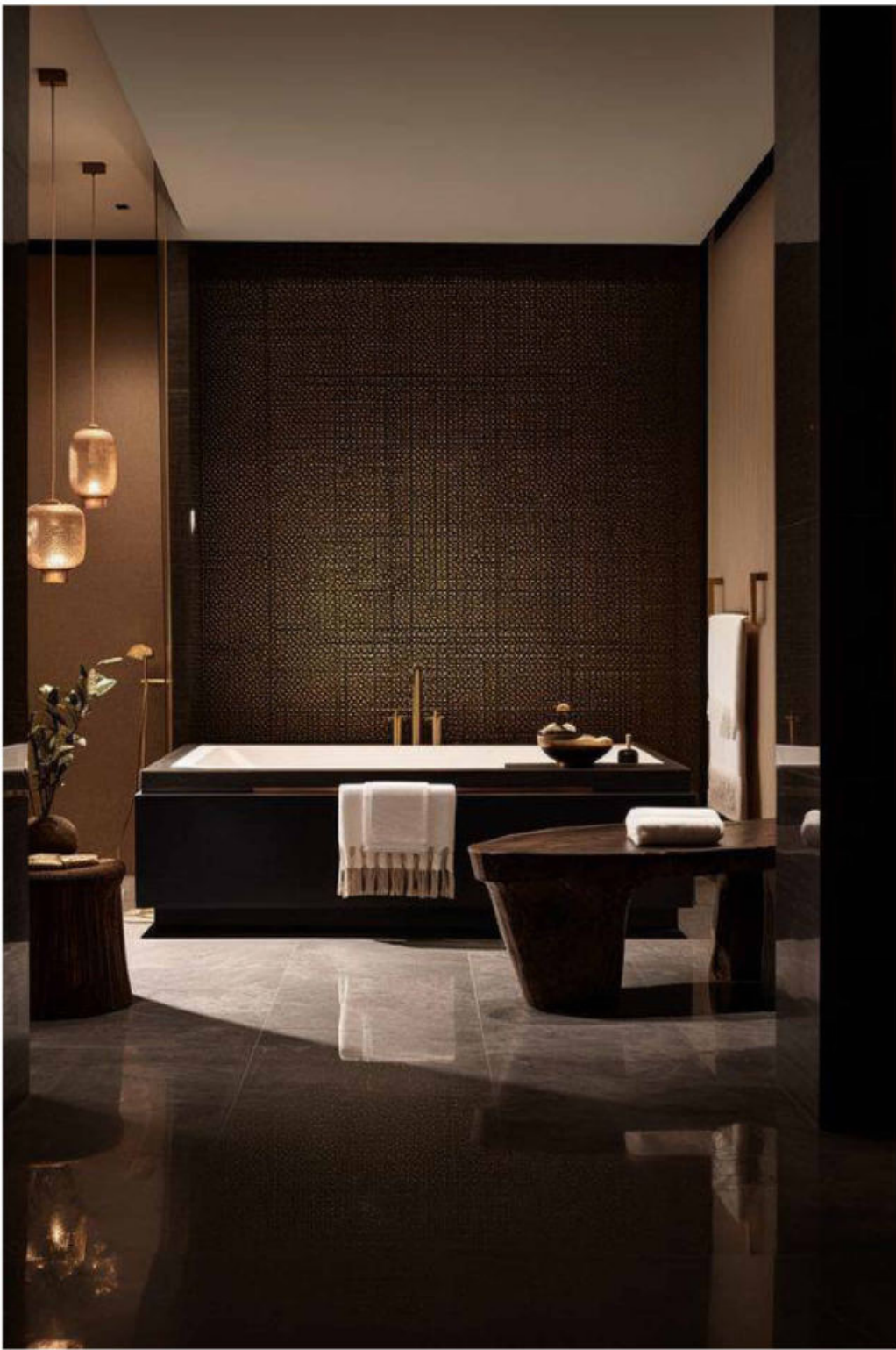
KEY PLAN - LL - RESTROOMS

LOWER LEVEL HYDRO ROOM/SAUNA INSPIRATION

- DESIGN ELEMENTS:**
- INDOOR OUTDOOR FEEL THROUGH FAUX SKYLIGHT
 - TEXTURED FEATURE WALLS
 - FEATURED FIRE PLACE
 - WATER FEATURE WITH SPA

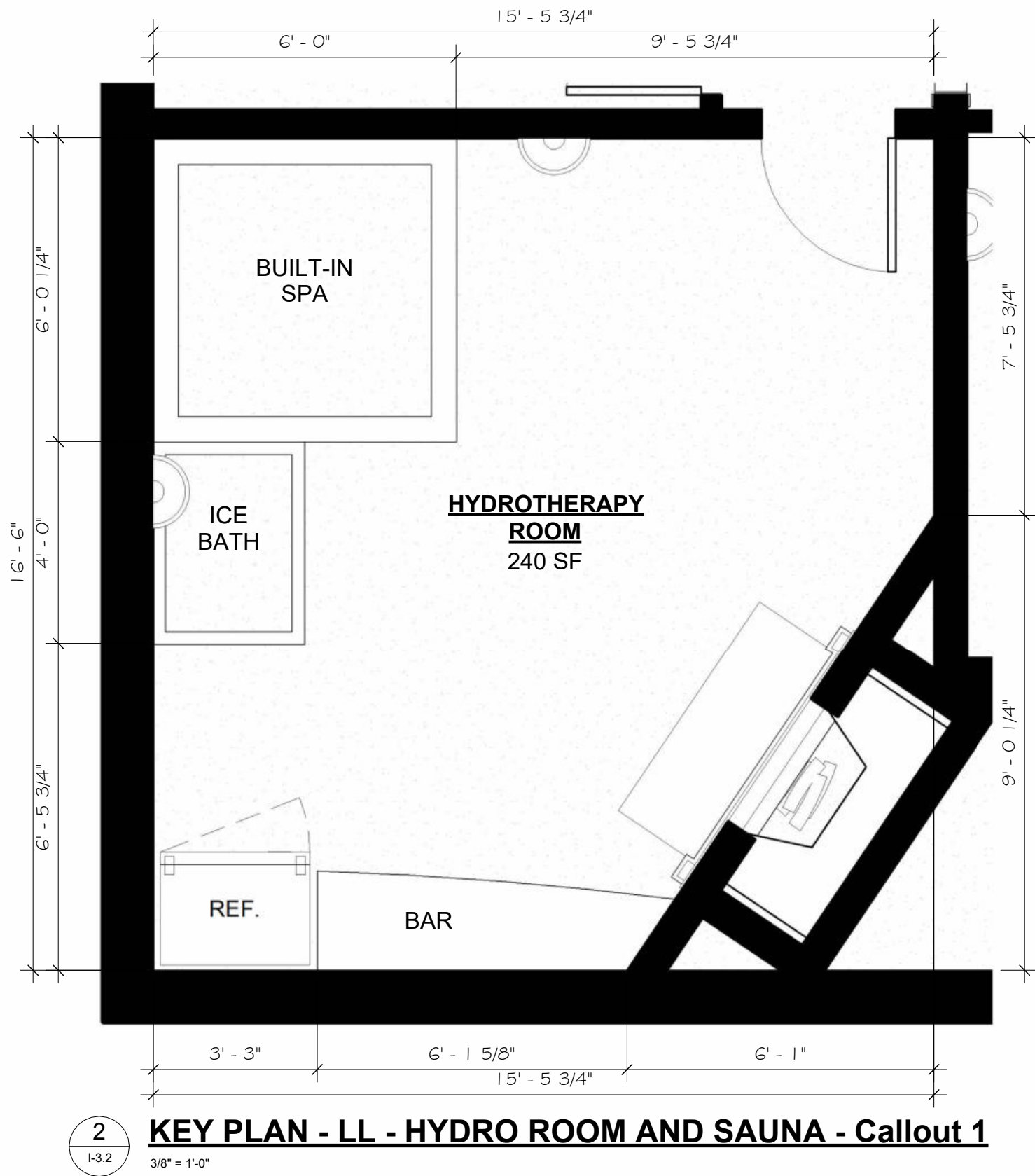


LIGHTER SCHEME



DARKER SCHEME

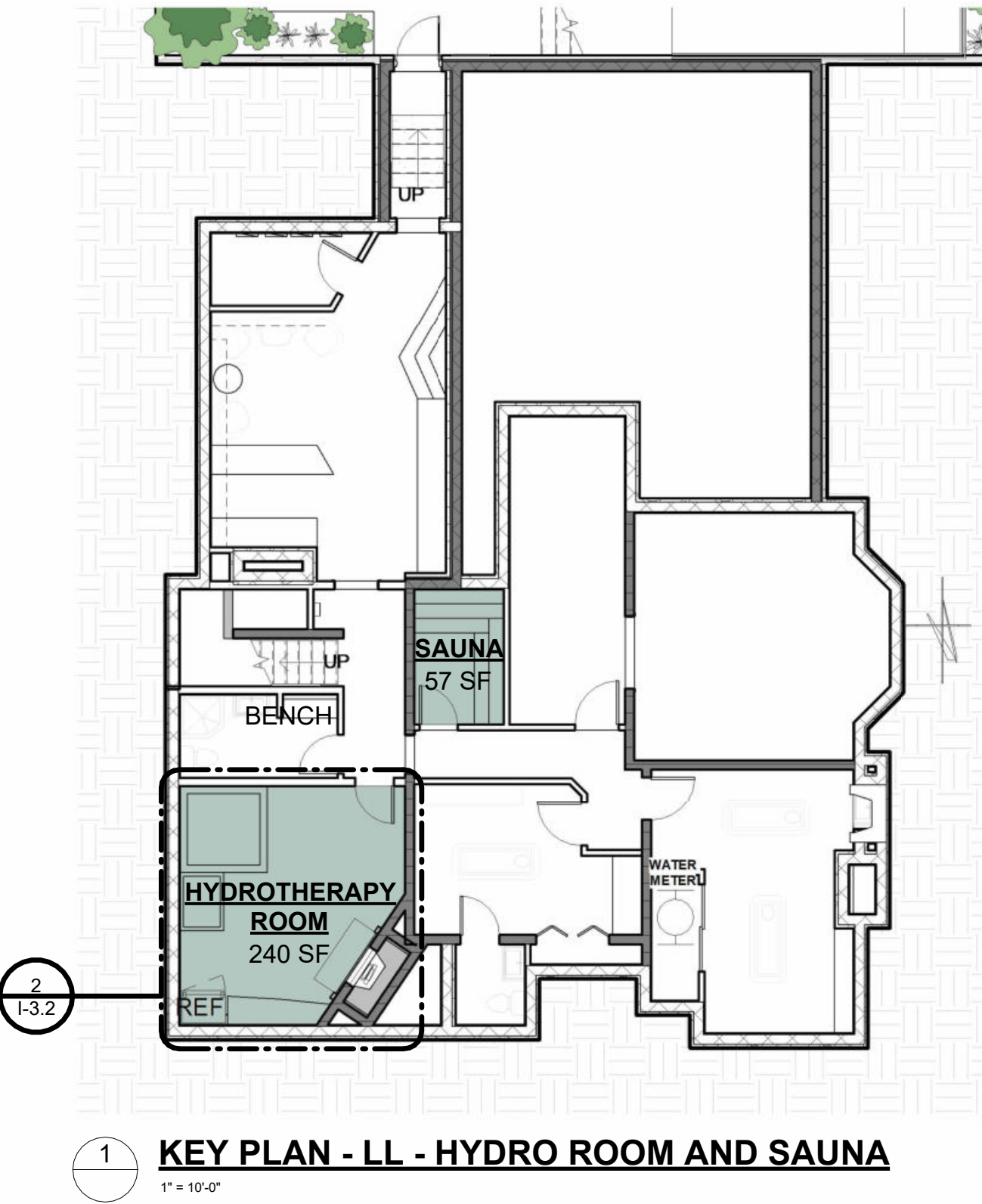
INSPIRATION



- AMENTITIES:**
- BUILT-IN SPA
 - ICE BATH
 - FRIDGE AND BAR
 - FIRE PLACE



EXISTING CONDITIONS



LOWER LEVEL MASSAGE ROOM

- DESIGN ELEMENTS:**
- NATURAL EARTHY TONE AND PALETTE
 - TEXTURED FEATURE WALL WITH ILLUMINATION ACCENTS
 - SERVICE COUNTER FOR OIL AND MATERIALS

- AMENITIES:**
- MASSAGE BEDS, RELAXING LIGHTING, NATURAL ELEMENTS

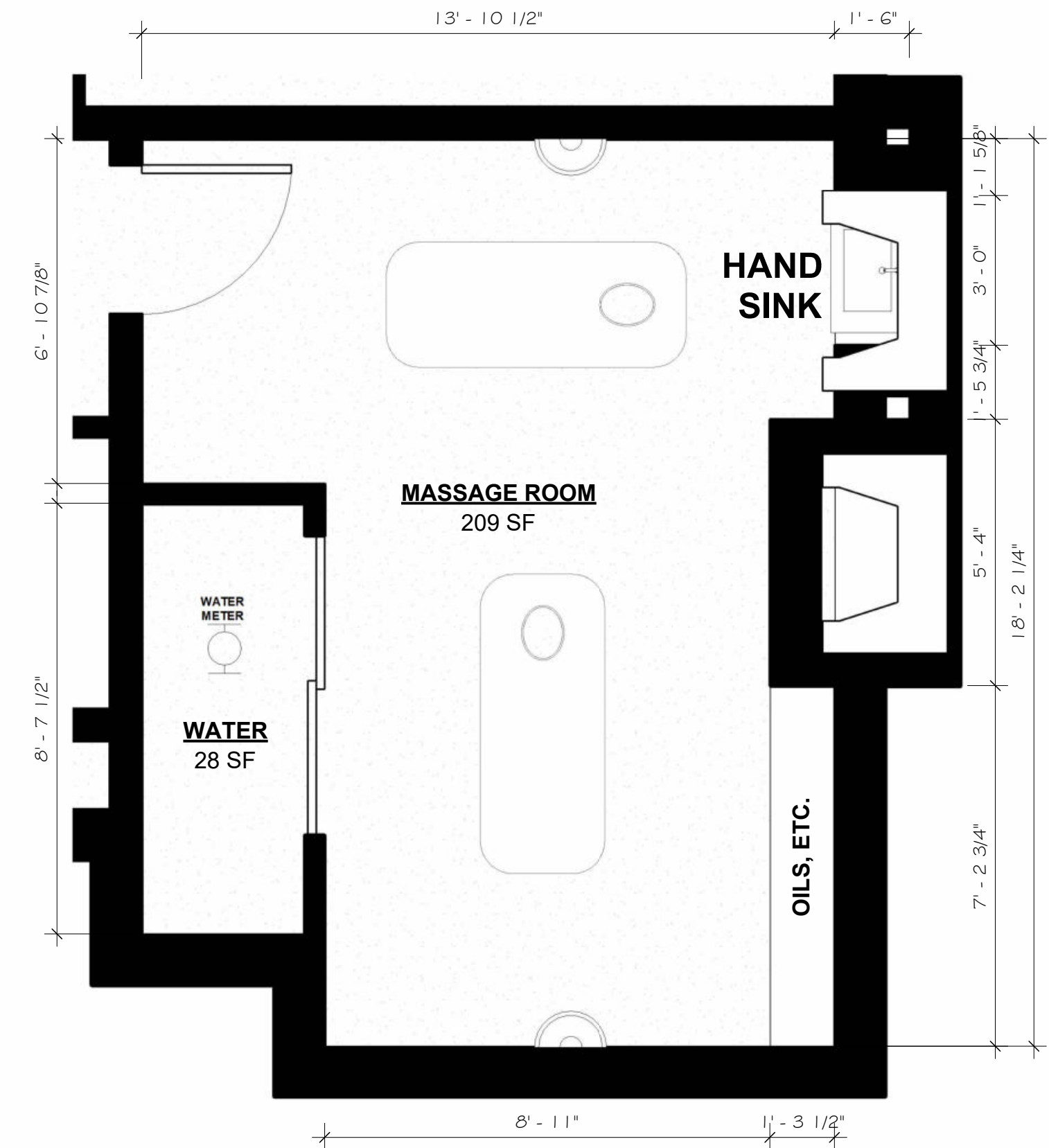
LIGHTER SCHEME



DARKER SCHEME



INSPIRATION

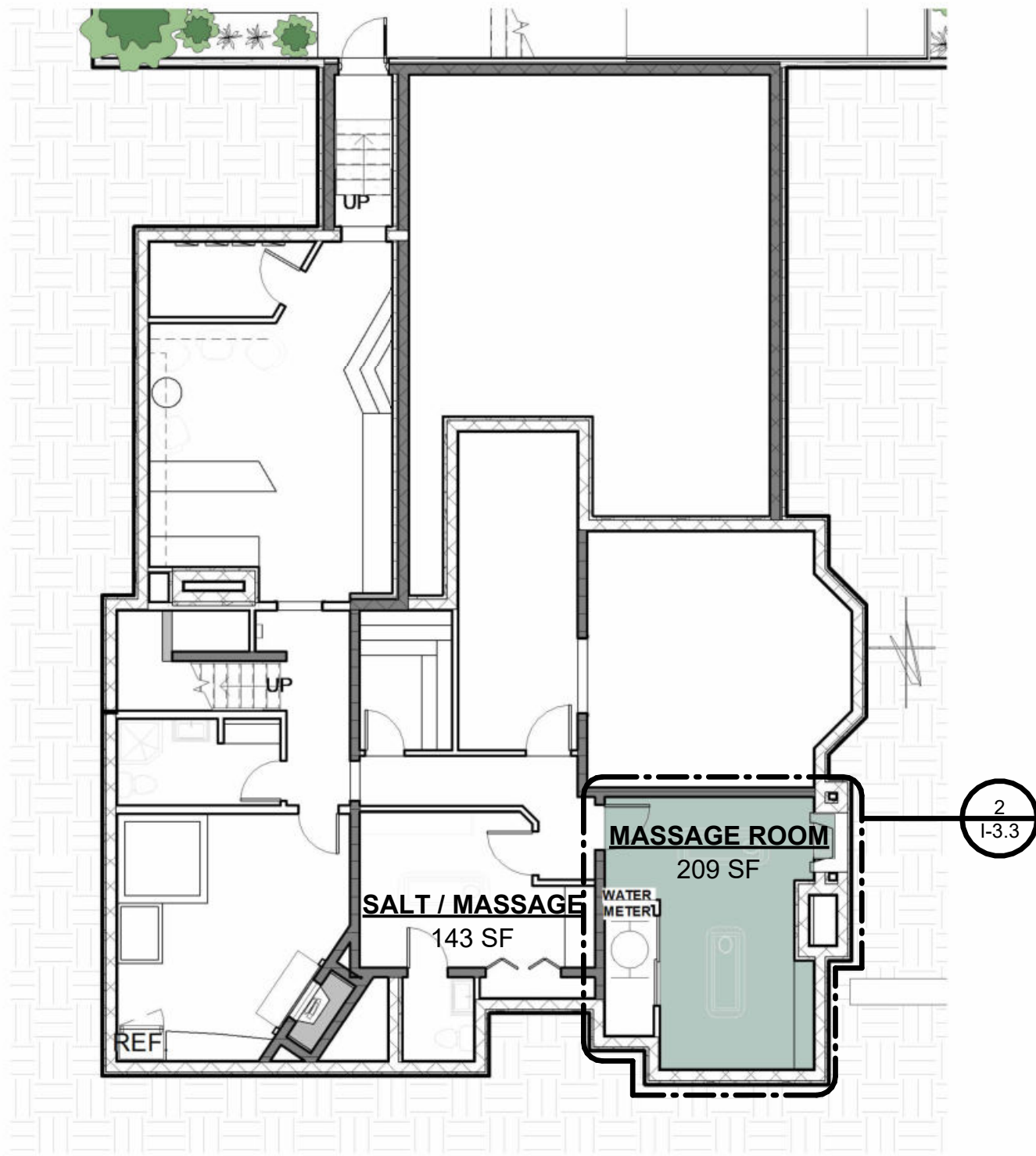


2
1:3.3
3/8" = 1'-0"

ENLARGED PLAN - LL - MASSAGE ROOM



EXISTING CONDITIONS



1
1" = 10'-0"

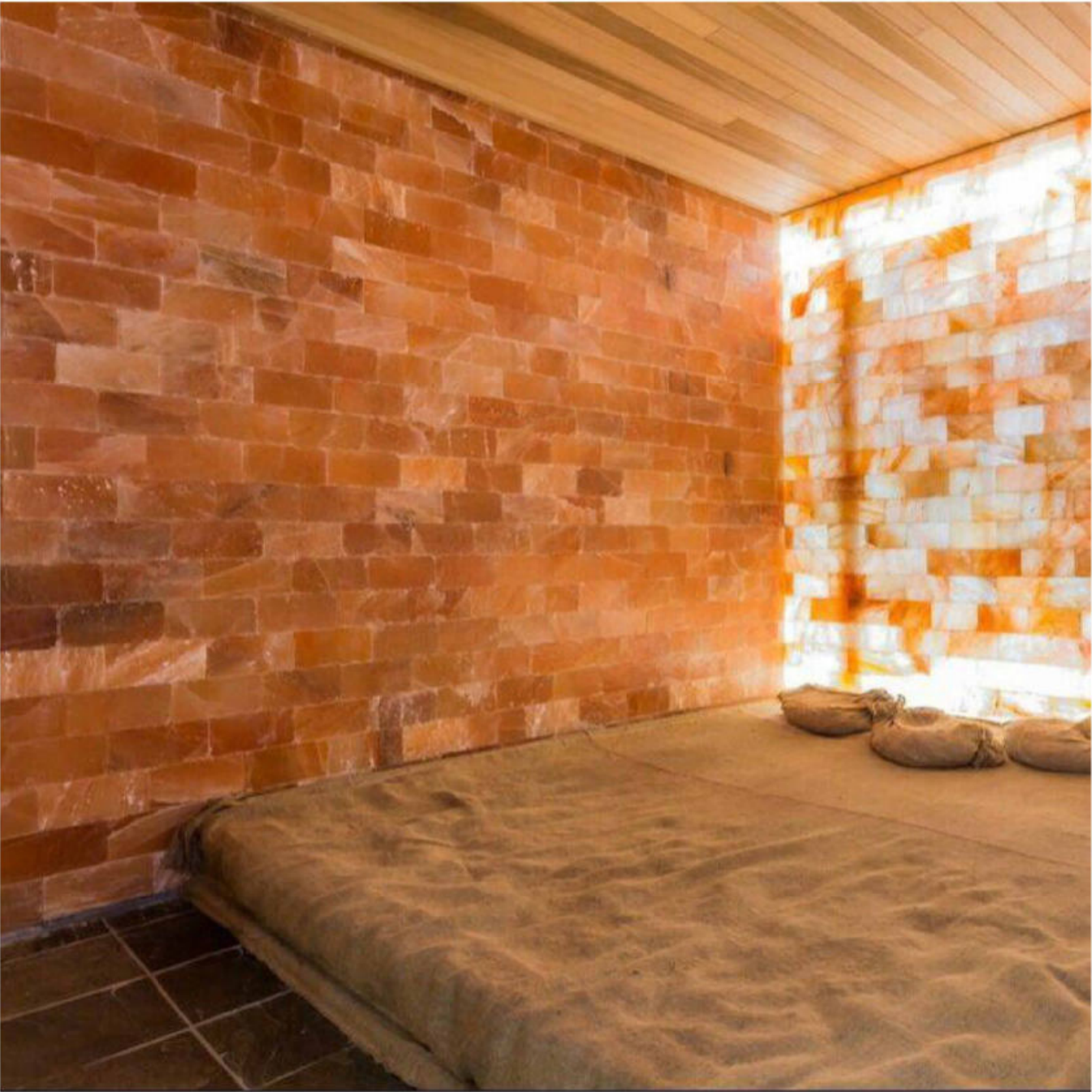
KEY PLAN - LL - MASSAGE ROOMS

LOWER LEVEL SALT ROOM

- DESIGN ELEMENTS:**
- NATURAL EARTHY TONE AND PALETTE
 - TEXTURED FEATURE WALL WITH ILLUMINATION ACCENTS
 - SERVICE COUNTER FOR OIL AND MATERIALS

- AMENITIES:**
- MASSAGE BEDS, RELAXING LIGHTING, NATURAL ELEMENTS

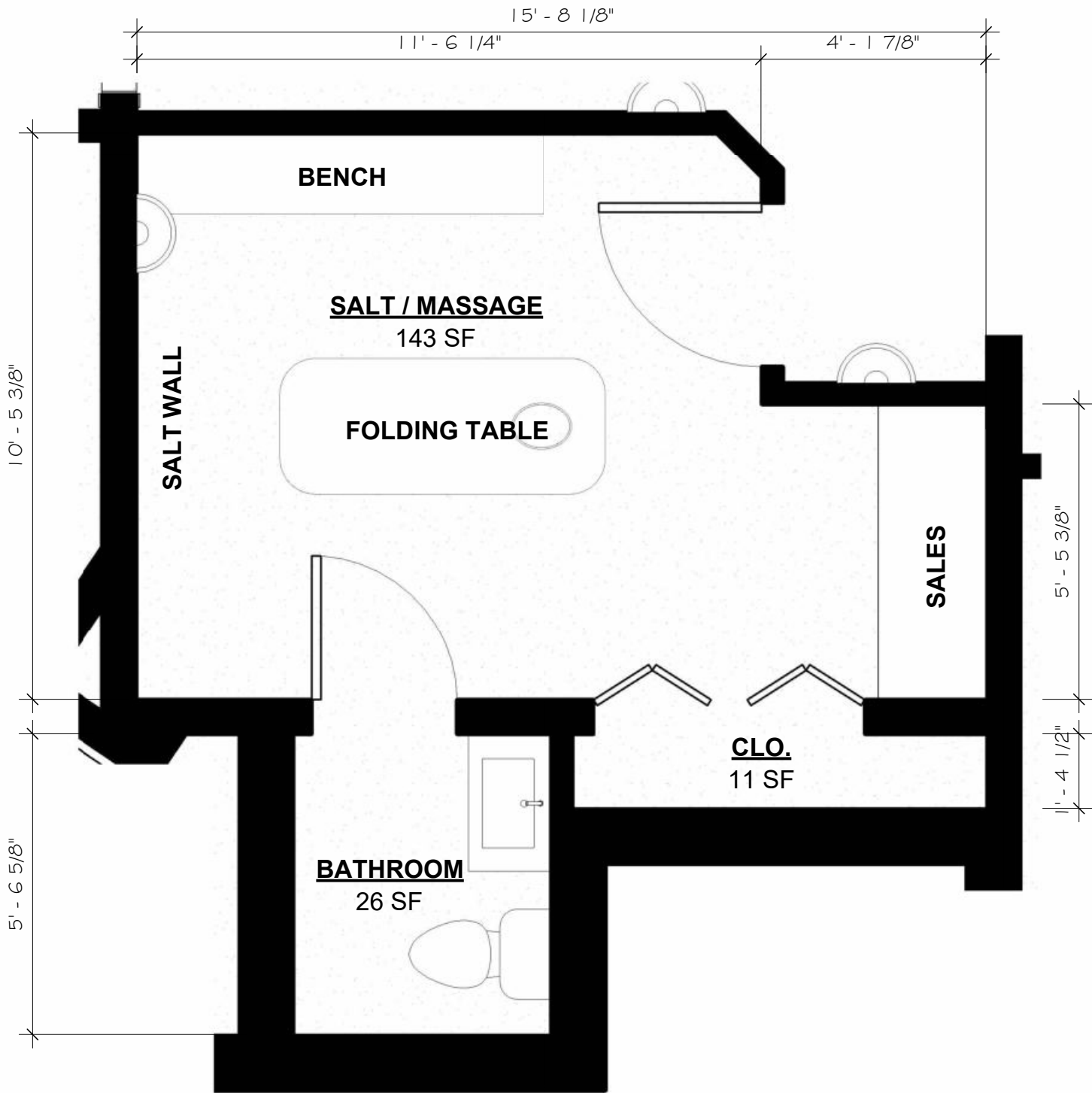
LIGHTER SCHEME



DARKER SCHEME



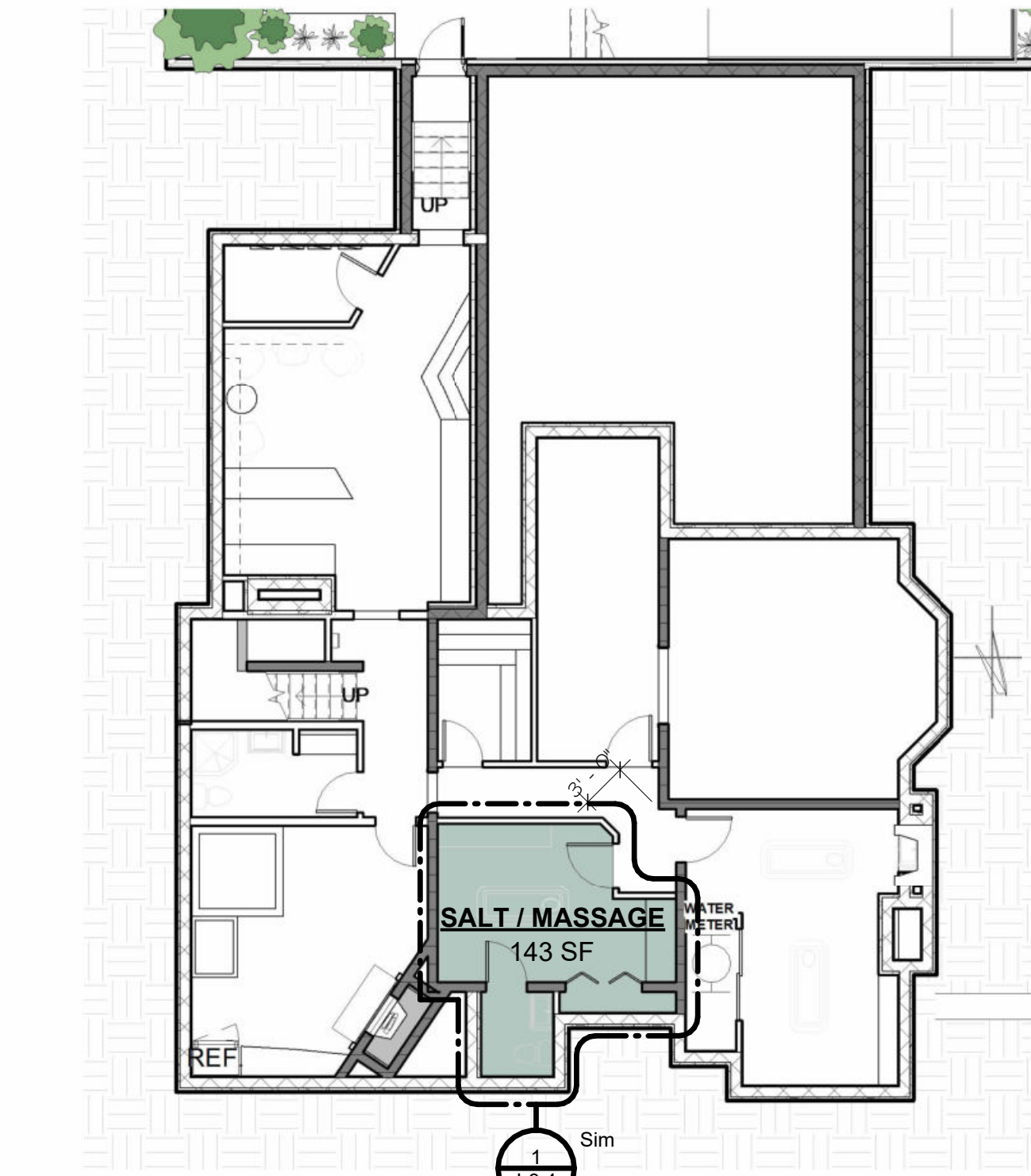
INSPIRATION



1 ENLARGED PLAN - LL - MASSAGE SALT ROOM
1-3.4
3/8" = 1'-0"



EXISTING CONDITIONS



2 KEY PLAN - LL - MASSAGE SALT ROOM
1-3.4
1" = 10'-0"

CONSOLIDATE POWER LINES IF POSSIBLE

REPLACE / RELOCATE LIGHTING

REMOVE AWNINGS

RELOCATE PANEL

RECONSTRUCT/REPAIR EXISTING STAIR, RAMP, & RAILINGS

NEW PAVING



EXISTING NORTH ELEVATION (REAR)



1 NORTH ELEVATION -PROPOSED - Dependent 1
A-106 3/16" = 1'-0"



RENDERING (OPT 1)



RENDERING (OPT 2 - MANSARD ROOF)

Current Windows & Windows

Front Windows



Rear Windows



Plan:

- All windows will be replaced with energy-efficient windows matching the current size and style
- The existing front door will be maintained.

Current Windows

Left Side Windows



Right Side Window



Replacement Windows

We have not finalized our decision for replacement windows. But we are considering Pella Reserve - Traditional Series.

These have been approved on a case-by-case basis by the National Park Service for use on projects with historic tax credits,¹ which speaks to their authenticity