

# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

APPLICATION ID

HDC2025-00208

DEODERTY INCORMATION							
PROPERTY INFORMATION							
ADDRESS(ES): 8325 E Jefferson Ave,							
HISTORIC DISTRICT: Indian Village							
SCOPE OF WORK: (Check ALL that apply)							
Windows/ Walls/ Painting Doors Siding New F		Porch/Deck/Balcony					
Demolition Signage Building		landscape, trees, fences, patios, etc.)					
BRIEF PROJECT DESCRIPTION: 8325 East Jefferson was built as a single-family residence in 1901. Although now vacant, the building was most recently used as a low-cost commercial retail space. While maintaining all exterior and interior historic characteristics of the building, we intend to convert the building into a luxurious 8-bedroom bed and breakfast.							
APPLICANT IDENTIFICATION							
TYPE OF APPLICANT: Property Owner/Homeowner							
NAME: Niall Berkery	COMPANY NAME: Neumo						
ADDRESS: 1497 Pilgrim Avenue	CITY: Birmingham	<b>STATE</b> : MI <b>ZIP</b> : 48009					
<b>PHONE:</b> +1 (248) 946-2062	EMAIL: niall.berkery@gmail.	com					
I AGREE TO AND AFFIRM THE FOLLOW	/ING:						
I understand that the failure to upload all required project and/or a denied application.		extended review times for my					
I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.							
I hereby certify that I am the legal owner and occupant true and correct.	of the subject property and that the	ne information on this application is					
DocuSigned by:	Neumo						
Mall Berkery							
( C	04/23/2025						
SIGNATURE 1497 Pilgrim Avenue	DATE	irmingham MI 48009					

NOTE: Based on the scope of work, additional documentation may be required. See www/detroitmi.gov/hdc

for scope-specific requirements.

### PROJECT DETAILS - TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

### **ePLANS PERMIT NUMBER:**

(only applicable if you've already applied for permits through ePLANS)

SLU2025-00017

### **GENERAL**

### 1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

The building has been vacant for 2 years. It is structurally sound, but is in a state of disrepair inside and out, with old broken windows and a leaking roof. The building lacks modern electrical, plumbing, and mechanical systems, no air conditioning, as well as poor condition of the walls, floors, and ceilings. The windows and doors are also very old and inefficient by today's standards.

### 2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



### 3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

The building will be converted into a Bed and Breakfast with 8 bedrooms, each with an ensuite bathroom. The basement will be converted into a spa for guests of the B&B.

See attached plans for details.



### 4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

All exterior and interior historic characteristics of the building will be maintained.

Interior walls will be moved to allow ensuite bathrooms for each bedroom.

Mechanical, electrical, and plumbing will be upgraded.

Exterior windows will be replaced with energy-efficient windows that match the existing style. Exact replacement windows have not been identified.

Damage to the exterior will be repaired and painted in colors allowed by HDC.

### 5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

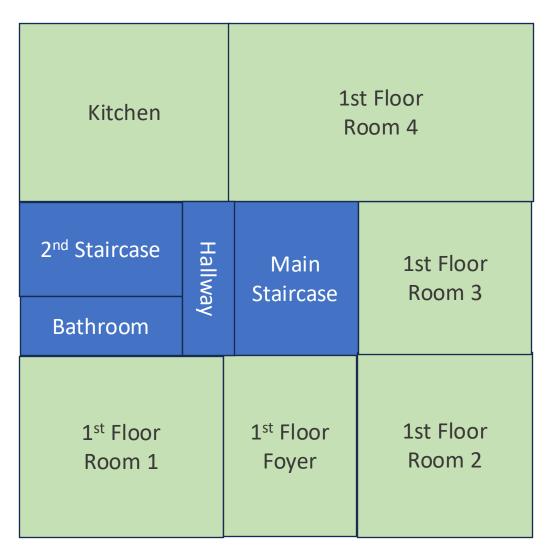
# ADDITIONAL DETAILS

6. WINDOWS/DOORS  Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)	
8. SITE IMPROVEMENTS If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.	

# Photographs and Layout of the Property

8325 E Jefferson Detroit MI 48214

# **Building Layout**



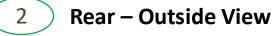
2<sup>nd</sup> Floor Room 6 2<sup>nd</sup> Floor Hallway Room 5 Bathroom 2<sup>nd</sup> Floor Main 2<sup>nd</sup> Staircase Room 4 Staircase Hallway 2<sup>nd</sup> Floor 2<sup>nd</sup> Floor Room 1 Room 3 2<sup>nd</sup> Floor Room 2

1<sup>st</sup> Floor Layout

**2nd Floor Layout** 

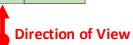
# 1 Front – Outside View

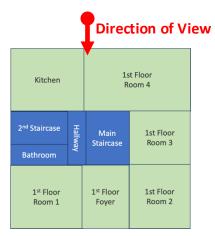






Kitchen		1st Floor Room 4	
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	1st Floor Room 3
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2







# Front Left Side – Outside View

# 4

# **Front Door- Outside View**



# Front right Side – Outside View



Kitchen			it Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	1st Floor Room 3
Bathroom	Ŋ		
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2

**Direction of View** 



Kitchen			st Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main	1st Floor
Bathroom		Staircase	Room 3
1 <sup>st</sup> Floor		1 <sup>st</sup> Floor	1st Floor
Room 1		Foyer	Room 2





Kitchen			at Floor oom 4
2 <sup>nd</sup> Staircase Bathroom	Hallway	Main Staircase	1st Floor Room 3
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2





# 6 Left Side – Outside View







Kitchen			st Floor oom 4	
2 <sup>nd</sup> Staircase Bathroom	Hallway	Main Staircase	1st Floor Room 3	
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2	D o





Kitchen			it Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	1st Floor Room 3
Bathroom			
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2



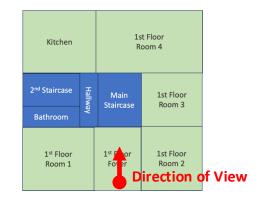


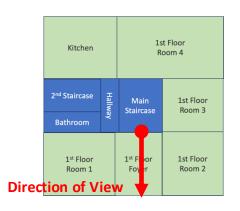
Foyer - 1<sup>st</sup> Floor













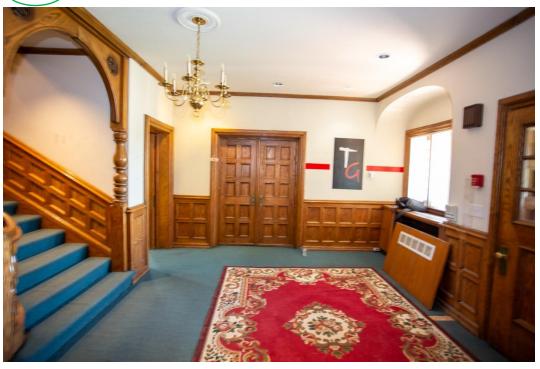


Foyer - 1<sup>st</sup> Floor





Foyer – 1<sup>st</sup> Floor



Kitchen			st Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	1st Floor Room 3
1st Floor Room 1		15 Floor loyer	1st Floor Room 2





**Direction of View** 



Room 1 - 1<sup>st</sup> Floor





Room 1 – 1<sup>st</sup> Floor



Kitchen			st Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	1st Floor Room 3
Bathroom	~		
1 <sup>st</sup> Floo Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2



1st Floor Kitchen Room 4 Main Staircase 1st Floor 1st Floor Room 2

**Direction of View** 



Room 2 - 1<sup>st</sup> Floor





Room 2 – 1<sup>st</sup> Floor



Kitchen			it Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	1st Floor Room 3
Bathroom			
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	St Floor Roon, 2



**Direction of View** 

Room 3 - 1<sup>st</sup> Floor







Kitchen			st Floor oom 4
2 <sup>nd</sup> Staircase	Hallway	Main Staircase	Room 3
Bathroom	ау	Stancasc	Nooni 3
1 <sup>st</sup> Floor Room 1		1 <sup>st</sup> Floor Foyer	1st Floor Room 2



Direction of View



Room 4- 1st Floor











Direction of View

# Kitchen- 1st Floor







Kitchen		1st Floor Room 4		
2 <sup>nd</sup> Staircase	Hallway	Main	1st Floor	
Bathroom		Staircase	Room 3	
1 <sup>st</sup> Floor		1 <sup>st</sup> Floor	1st Floor	
Room 1		Foyer	Room 2	



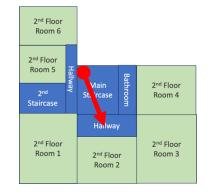
# 22 Main Staircase – From 1<sup>st</sup> Floor



# 23 Main Staircase – to 2<sup>nd</sup> Floor



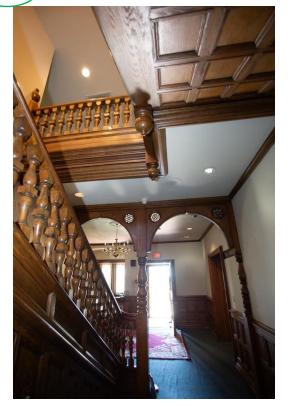




**Direction of View** 



Hall way - 1st<sup>t</sup> Floor 24



Front Door- 1st<sup>t</sup> Floor



Kitchen		1st Floor Room 4			
2 <sup>nd</sup> Staircase	Hallway	Main	1st Floor		
Bathroom		Staircase	Room 3		
1 <sup>st</sup> Floor		1 <sup>st</sup> Floor	1st Floor		
Room 1		Foyer	Room 2		
Direction A					

26

Bathroom – 1<sup>st</sup> Floor









**Direction** of View



of View

Room 1 - 2<sup>nd</sup> Floor











Direction of View



**Direction of View** 

Room 2 - 2<sup>nd</sup> Floor





# Room 2 – 2<sup>nd</sup> Floor







Direction of View

**Direction of View** 

Room 3 - 2<sup>nd</sup> Floor





# Room 3 – 2<sup>nd</sup> Floor







**Direction of View** 

Room 4 - 2<sup>nd</sup> Floor





# Room 4 – 2<sup>nd</sup> Floor







**Direction of View** 



**Direction of View** 

Room 5 - 2<sup>nd</sup> Floor

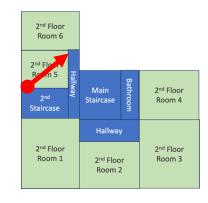




# Room 5 – 2<sup>nd</sup> Floor









Room 6 - 2<sup>nd</sup> Floor





Room 6 – 2<sup>nd</sup> Floor







**Direction of View** 

**Direction of View** 

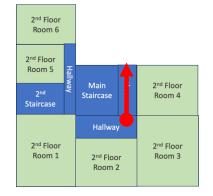
# Bathroom – 2<sup>nd</sup> Floor





# Hall way- 2<sup>nd</sup> Floor







w N

**Direction of View** 

# BERKERY ESTATE NIALL & MELVIE BERKERY

8325 E JEFFERSON AVE DETROIT, MI 48214



# **PROJECT INFORMATION**

Melvie & Niall Berkery Location: 8325 Jefferson

Detroit, MI 48214

# **PROJECT DESCRIPTION:**

AN EXISTINTING VACANT STRUCTURE WILL BE CONVERTED INTO A LUXURY BED & BREAKFAST. THE BUILDING WAS MOST RECENTLY USED AS AN OFFICE BUILDING BUT WAS ORIGINALLY CONSTRUCTED AS A SINGLE FAMILY HOME. THE UPPER TWO FLOORS OF THE STRUCTURE WILL BE DEDICATED TO THE BED AND BREAKFAST FUNCTIONS. A MAJORITY OF THE HISTORIC DESIGN ELEMENTS WILL BE MAINTAINED AND RESTORED AS NECESSARY. EXISTING BEDROOMS WILL BE UPDATED WITH EN-SUITE RESTROOMS ADDED AS NEEDED. THE BASEMENT WILL BE CONVERTED TO A SMALL SPA SPACE FOR USE BY THE BED & BREAKFAST'S PATRONS. THE SPA WILL INCLUDE TWO MASSAGE ROOMS, SAUNA, & HYDROTHERAPY ROOM.

# **BUILDIING SUMMARY:**

# **EXISTING GROSS BUILDING AREAS:**

VACANT / FORMER BUSINESS USE 2,414 SFG FIRST FLOOR: VACANT / FORMER BUSINESS USE 2,002 SFG THIRD FLOOR: VACANT / FORMER BUSINESS USE 1,849 SFG MECHANICAL AND GENERAL STORAGE 1,766 SFG BASEMENT: TOTAL EXISTING GROSS BUILDING AREA

NO PROPOSED CHANGES IN OVERALL BUILDING AREAS.

# SHEET LIST

SHEET NAME

SHEET

NUMBER

1CS	COVER SHEET
2CS	CODE SHEET
3CSP	EXISTING/DEMO SITE PLAN
4CSP	ARCHITECTURAL SITE PLAN
5CSP	SITE DETAILS
A-1.1	DEMOLITION PLANS
A-2.0	PROPOSED FLOOR PLANS
A-2.1	PROPOSED FLOOR PLANS
A-3.0	PROPOSED EXTERIOR ELEVATIONS
A-3.1	REAR ELEVATION UPDATES
A-5.0	PROPOSED REFLECTED CEILING PLANS
A-5.1	ENLARGED REFLECTED CEILING PLANS
A-8.0	SCHEDULES
E-0	BASEMENT AND FIRST FLOOR POWER PLANS
E-1	SECOND AND THIRD FLOOR POWER PLAN

	I-1.0	FIRST FLOOR - ENTRANCE
	I-1.1	FIRST FLOOR - PARLOR
	I-1.2	FIRST FLOOR - KITCHEN AND DINING
	I-1.3	SECOND FLOOR - LOBBY
	I-2.0	FIRST FLOOR - GUEST ROOM 1
	I-2.1	FIRST FLOOR - GUEST ROOM 2
	I-2.2	FIRST FLOOR - ADA GUEST ROOM 3
	I-2.3	SECOND FLOOR - GUEST ROOM 4
	I-2.4	SECOND FLOOR - GUEST ROOM 5
	I-2.5	SECOND FLOOR - GUEST ROOM 6
ANS	I-3.0	LOWER LEVEL - LOBBY
ANS	I-3.1	LOWER LEVEL - BATHROOMS
	I-3.2	LOWER LEVEL - HYDRO ROOM AND SAUNA
ER PLANS	I-3.3	LOWER LEVEL - MASSAGE ROOMS
PLAN	I-3.4	LOWER LEVEL - SALT ROOM
	S-100	SPEC SHEET

SHEET

NUMBER

SHEET LIST

SHEET NAME

# **VICINITY MAP** 8325 E JEFFERSON AVE DETROIT, MI 48214

GENERAL SYMBOLS				
	SECTION WITH SECTION NUMBER & NAME			
	DETAIL WITH DETAIL NUMBER & NAME			
$\bigcirc$	WINDOW TYPE			
	DOOR TYPE			
	LEVEL WITH NAME & HEIGHT			
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	REVISION			
	NORTH DESIGNATION			

INT.

MAX.

MECH.

MET.

O.C.

OPNG.

PL.S.

RFG.

ACOUST. ACOUSTICAL ACOUSTICAL CEILING TILE **ADJACENT** ABOVE FINISHED FLOOR ALUMINUM ANOD. ANNODIZED BUILDING BLOCK BLOCKING **BOTTOM OF** BOTTOM OF FOOTING CEMENT **CUBIC FEET PER MINUTE** CENTERLINE CLEANOUT COL. COLUMN CORNER GUARD CONST. CONSTRUCTION CORRUGATED **CERAMIC TILE** DIAMETER DIMENSION DOOR OPENING DRAWING **ELEVATION EACH WAY EXISTING EXISTING** EXPANSION/EXPOSED **EXTERIOR** F.D. FLOOR DRAIN FOUNDATION FIBER REINFORCED PANELS F.O. FACE OF F.O.S. FACE OF STUD FOOTING

GALVANIZED **HARDWARE HOLLOW METAL** INSIDE DIAMETER INSULATION **INTERIOR** LAVATORY LONG LEG OUTSTANDING LONG LEG VERTICAL MAXIMUM MECHANICAL **MEZZANINE** MISCELLANEOUS IRON MINIMUM **MISCELLANEOUS** 

MASONRY OPENING NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE PLATE GLASS PLATE STEEL PLASTIC LAMINATE PLASTER

PREFABRICATED PREFAB. PROJECT POUNDS PER SQUARE FOOT PAINT/POINT RISER RETURN AIR RUBBER BASE ROOF CONDUCTOR RUBBER FLOORING REINFORCED/REINFORCING REQUIRED ROOFING ROOM **ROOF SUMP** RUBBER TILE SANITARY SCHEDULE SHEET

SCHED. SIM. SIMILAR SPEC. SPECIFICATION SERVICE SINK/STAINLESS STEEL STL. STD. STANDARD STORAGE STRUCTURAL STRUCT. SUSPENDED

SW. SWITCH SYMMETRICAL SYM. TOP AND BOTTOM TELEPHONE TERR. TERRAZZO T&G THRES. THRESHOLD T.O. T.O.F.

TONGUE AND GROOVE THICK/THICKNESS TOP OF FOOTING T.O.S. TOP OF STEEL TYPICAL UNDERCUT UNLESS NOTED OHTERWISE UNDERSIDE VINYL BASE VINYL COBE BASE

U.N.O. U/S V.B. V.C.B. VINYL COMPOSITE TILE V.I.F. VERIFY IN FIELD V.S.B. VINYL STRAIGHT BASE VERT. VERTICAL WD. WAINS. WAINSCOT

WATER CLOSET WEIGHT

WOOD WINDOW W.W.F. WELDED WIRE FABRIC W.W.M. WOVEN WIRE MESH

Web: infuzarchitects.com

**GENERAL CONTRACTOR** XXXXXXX

Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

NO. DESCRIPTION Commercial Set

MELVIE

SHEET NUMBER

**DISCLAIMER:** ALL CONDITIONS DEPICTED ARE BASED ON KNOWLEDGE DISCOVERED UPON FIELD MEASURE (OR CONVEYED BY OWNER). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCOVERIES EXPOSED UPON DEMOLITION / NEW CONSTRUCTION THAT DIFFER FROM CONDITIONS DEPICTED HEREIN.

Docusign Envelope ID: C877CF13-941F-431C-BF9A-18C5D52C720C

# **BUILDING CODE SUMMARY**

# PROJECT INFORMATION

Melvie & Niall Berkery Location: 8325 Jefferson Detroit, MI 48214

# **PROJECT DESCRIPTION:**

PROJECT DETAILS: THE BERKERY ESTATE OFFERS LUXURIOUS BED AND BREAKFAST ACCOMMODATIONS NEAR DOWNTOWN DETROIT, COMPLETE WITH A FULL-SERVICE SALON FOR ULTIMATE PAMPERING. ADDITIONALLY, A PENTHOUSE RESIDENCE IS AVAILABLE FOR EXCLUSIVE RESIDENTIAL LIVING. THE CLIENT WANTS TO ADD POSSIBLY 4 BATHROOMS.

GENERAL SCOPE OF WORK: THE ARCHITECT SHALL VISIT THE SITE FOR A FIELD INVESTIGATION/MEASURE AND PHOTO SURVEY. FROM FIELD INFORMATION, A 3D/BIM CAD MODEL OF THE BUILDING WILL BE CONSTRUCTED. THE ARCHITECT WILL PROVIDE CONCEPT/SCHEMATIC DESIGN STUDIES OF THE RENOVATION OF THE EXISTING INTERIOR AND EXTERIOR OF THE SPACE. TEST FIT FLOOR PLAN(S) WILL BE GENERATED DEPICTING THE FUNCTIONALITY OF PROGRAMMED SPACES, CIRCULATION, AND A LAYOUT OF FURNISHINGS WITH INTERIOR DESIGN INTENT INJECTING A CONTEMPORARY DESIGN INTO SPACES, WHERE APPLICABLE. CONSTRUCTION DOCUMENTS WILL BE PROVIDED FOR THE EXISTING BUILDING IMPROVEMENTS. THERE WILL BE MECHANICAL ELECTRICAL, AND PLUMBING SCHEMATIC DESIGNS PROVIDED, AND WILL BE RESOLVED IN CONJUNCTION WITH THE CLIENT'S MECHANICAL CONTRACTOR. SITE AND LANDSCAPE DESIGN TO INCLUDE ARTWORK, SCULPTURES, HARDSCAPE, SOFTSCAPE, AND LIGHTING CONCEPTS WILL BE PROVIDED BY THE ARCHITECT TO CONVEY A MORE CONTEMPORARY DEVELOPMENT. VISUALIZATIONS/RENDERING OF EXTERIOR INCLUDED

### **BUILDIING SUMMARY:**

# **EXISTING GROSS BUILDING AREAS:**

FIRST FLOOR: VACANT / FORMER BUSINESS USE 2,414 SFG SECOND FLOOR: VACANT / FORMER BUSINESS USE 2,002 SFG THIRD FLOOR: VACANT / FORMER BUSINESS USE 1,849 SFG MECHANICAL AND GENERAL STORAGE BASEMENT: <u>1,766 SFG</u> TOTAL EXISTING GROSS BUILDING AREA 8.031 SFG

NO PROPOSED CHANGES IN OVERALL BUILDING AREAS.

### **ZONING REQUIREMENTS**

LOCAL AUTHORITY: CITY OF DETROIT

LOCAL ORDINANCE: DETROIT ZONING ORDINANCE (30 JANUARY 2024)

B-4: GENERAL BUSINESS DISTRICT ZONING CLASSIFICATION:

GATEWAY RADIAL THOROUGHFARE OVERLAY; THE GATEWAY RADIAL OVERLAY DISTRICT:

THOROUGHFARE OVERLAY AREAS CONSIST OF PROPERTY ABUTTING THOSE MAJOR RADIAL STREETS, WITHIN AND LEADING TO THE CENTRAL BUSINESS DISTRICT, UPON WHICH THE MASTER PLAN OF POLICIES HAS GENERALLY PROPOSED A REZONING FROM B4 GENERAL BUSINESS DISTRICT TO A SPECIAL DEVELOPMENT ZONING DISTRICT. (SEC 50-11-361) (5)EAST JEFFERSON AVENUE BETWEEN WATER WORKS PARK (GARLAND AVENUE/MARQUETTE AVENUE) AND THE CHRYSLER FREEWAY (I-375).

PROHIBITED USES

**USE CLASSIFICATION:** SEC. 50-9-106. - BY-RIGHT RETAIL, SERVICE, AND COMMERCIAL USES (16)RECREATION, INDOOR, COMMERCIAL AND HEALTH CLUB NOT

EXCEEDING 10,000 SQUARE FEET OF GROSS FLOOR AREA

SEC. 50-9-112. - CONDITIONAL RETAIL, SERVICE, AND COMMERCIAL USES (6)BED AND BREAKFAST INN

### **REQUIRED PARKING:** HIGH FREQUENCY TRANSIT CORRIDOR NO. 9; CONSISTING OF: EAST AND WEST JEFFERSON BETWEEN WASHINGTON AND ALTER. (SEC 50-16-242)

SEC. 50-14-49. - RETAIL, SERVICE, AND COMMERCIAL USES WHERE THE USE IS LOCATED WITHIN 0.50 MILES OF A HIGH-FREQUENCY TRANSIT CORRIDOR: 0.75 OF THE MINIMUM REQUIRED OFF-STREET SPACES SPECIFIED IN SECTIONS 50-14-50 THROUGH SECTION 50-14-60.

SEC. 50-14-54. - PUBLIC ACCOMMODATION BED AND BREAKFAST INN 3 PER 4 GUESTROOMS + 2 PER DWELLING UNIT 8 GUESTROOMS = 6 SPACES

1 DWELLING = 2 SPACES 8 SPACES REQUIRED

HEALTH CLUB 1 PER 200 GSF 1000 GSF = 5 SPACES

SEC. 50-14-55. - RECREATION AND ENTERTAINMENT, INDOOR

TOTAL SPACES REQUIRED = 13 \* 0.75 = 10 SPACES REQUIRED

1 @ 12'X35'

1 PER 400 GSF

SEC. 50-14-52. - OFFICE **EXISTING PARKING:** 

OFFICE, BUSINESS OR PROFESSIONAL

14 SPACES REQUIRED 5409 GSF / 400 = 13.52 = 11 EXISTING SPACES PROVIDED

OFF STREET LOADING: (SECT. 50-14-114) SPACES REQUIRED:

# **BUILDING CODE REQUIREMENTS:**

**GOVERNING CODES:** 

2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB)

2021 MICHIGAN MECHANICAL CODE (MMC) 2021 MICHIGAN PLUMBING CODE (MPC)

2023 NATIONAL ELECTRICAL CODE (NEC) 2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)

2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

**LEVEL OF ALTERATIONS:** CHANGE OF OCCUPANCY

**USE AND OCCUPANCY:** NON-SEPARATED MIXED-USE 1ST, 2ND & 3RD FLOOR / PRIMARY USE: RESIDENTIAL GROUP R-1 / BED & BREAKFAST

BASEMENT: BUSINESS GROUP B / SPA

ALLOWABLE HEIGHTS AND AREAS: (MBC TABLES 504.3, 504.4 AND 506.2)

CONSTRUCTION TYPE: TYPE VB / NS (NOT SPRINKLERED) ALLOWABLE HEIGHT: 2 STORIES / 40 FEET **ACTUAL HEIGHT:** 

3 STORIES / 39 FEET ALLOWABLE AREA: B - 9,000SF R-1 - 7,000SF ACTUAL AREA: 2,414 GSF PER FLOOR

FIRE RESISTANCE RATINGS: (MBC TABLES 601 & 602) CONSTRUCTION TYPE: TYPE VB PRIMARY STRUCTURAL FRAME 0 HOURS EXTERIOR BEARING WALLS: 0 HOURS

INTERIOR BEARING WALLS: 0 HOURS **INTERIOR NON-BEARING WALLS:** 0 HOURS 0 HOURS FLOOR CONSTRUCTION: **ROOF CONSTRUCTION:** 0 HOURS

**FIRE AND SMOKE PROTECTION FEATURES:** 

NONE REQUIRED FIRE WALLS (MBC SECT. 706): FIRE BARRIERS (MBC SECT. 707): INTERIOR EXIT STAIRWAYS / 1 HOUR (MBC SECT. 1023.2) FIRE PARTITIONS (MBC SECT. 708): 1 HR REQUIRED WHERE SEPARATING SLEEPING UNITS ½ HOUR WITH SPRINKLER (708.3.2)

SMOKE BARRIERS (MBC SECT. 709): NONE REQUIRED SMOKE PARTITIONS (MBC SECT. 710): NONE REQUIRED

RATED FLOOR ASSEMBLIES (MBC SECT. 712): 1 HR SEPARATING SLEEPING UNITS 1/2 HR SEPARATING SLEEPING UNITS IF SPRINKLED (711.2.4.3) 1 HR / B TO R SEPARATION IF SPRINKLED

2 HR / B TO R SEPARATION IF NS (MBC TABLE 508.4) SHAFT ENCLOSURES (MBC SECT. 713.4): 1 HR / LESS THAN 4 STORIES

**INTERIOR FINISHES:** (MBC TABLE 803.11) INTERIOR EXIT STAIRWAYS/PASSAGEWAYS CLASS A CORRIDORS, EXIT ACCESS ENCLOSURES CLASS B

**FIRE PROTECTION SYSTEMS:** 

ROOMS AND ENCLOSED SPACES

AUTOMATIC FIRE SUPPRESSION SYSTEM: (MBC SECT. 903.2.8) 903.2.8 GROUP R. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.

CLASS C

[F] 903.3.1.2 NFPA 13R SPRINKLER SYSTEMS. AUTOMATIC SPRINKLER SYSTEMS IN GROUP R OCCUPANCIES UP TO AND INCLUDING FOUR STORIES IN HEIGHT

NOT REQUIRED FOR GROUP B AREAS

# PORTABLE FIRE EXTINGUISHERS (MBC SECT. 906 / TABLE 906.3(1))

PORTABLE FIRE EXTINGUISHERS: LOW HAZARD / TYPE 2-A / MAXIMUM TRAVEL DISTANCE = 75 FT./ MAXIMUM 3000 SF PER UNIT

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT (906.1)

# FIRE ALARM AND DETECTION SYSTEM: (MBC SECT. 907)

FIRE ALARM AND DETECTION SYSTEM: NOT REQUIRED IF SUPPRESSION SYSTEM PROVIDED (MBC SECT. 907.2.8.1-2.2.1)

AN AUTOMATIC SMOKE DETECTION SYSTEM IS REQUIRED THROUGHOUT ALL CORRIDORS SERVING SLEEPING UNITS (MBC 907.2.8.2) SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 907.2.11

IN SLEEPING AREAS

IN EVERY ROOM IN THE PATH OF THE MEANS OF EGRESS TO THE DOOR LEADING FROM THE SLEEPING UNIT

GROUP B: NOT REQUIRED (<100 OCCUPANTS BELOW GRADE MBC 907.2.2)</li>

### **MEANS OF EGRESS**

**OCCUPANT LOAD:** (MBC TABLE 1004.1.2)

		USE GROUP	<b>AREA/OCCUPANT</b>	<b>USABLE AREA</b>	<b>OCCUPANTS</b>
•	GROUND FLOOR:	R-1/ RESIDENTIAL	200 SF/P GROSS	2,700 SFN	14
•	SECOND FLOOR:	R-1/RESIDENTIAL	200 SF/P GROSS	2,000 SFG	10
•	THIRD FLOOR:	R-1/RESIDENTIAL	200 SF/P GROSS	2,000 SFG	10
•	BASEMENT:	<b>B/OUTPATIENT AREAS</b>	100 SF/P GROSS	2,000 SFG	20
	TOTAL OCCUPANT LO	DAD:			54

**EGRESS CAPACITY:** (MBC SECT. 1005.3.1 AND 1005.3.2)

GROUND FLOOR/MINIMUM WIDTH: 14 OCCUPANTS X 0.2IN. = 2.2 INCHES SECOND FLOOR/MINIMUM WIDTH: 10 OCCUPANTS X 0.3IN. = 1.8 INCHES THIRD FLOOR/MINIMUM WIDTH: 10 OCCUPANTS X 0.3IN. = 1.8 INCHES BASEMENT/MINIMUM WIDTH: 20 OCCUPANTS X 0.3IN. = 1.8 INCHES

MINIMUM CLEAR DOOR OPENING: 32 INCHES (MBC SECT. 1010.1.1) MINIMUM CLEAR STAIR WIDTH: 44 INCHES / OCCUPANT LOAD > 50P. (MBC SECT. 1011.2) 36 INCHES / OCCUPANT LOAD < 50P. (MBC SECT. 1011.2.1

MINIMUM CORRIDOR WIDTH: 44 INCHES / OCCUPANT LOAD > 50P. (MBC TABLE 1020.2)

36 INCHES / OCCUPANT LOAD < 50P. (MBC TABLE 1020.2)

# MAXIMUM COMMON PATH OF TRAVEL

**REQUIRED NUMBER OF EXITS:** (MBC SECT. 1006 / TABLE 1006.2.1)

• GROUND FLOOR: 2 EXITS REQUIRED / 2 PROVIDED 1 EXITS REQUIRED / 1 PROVIDED SECOND FLOOR:

THIRD FLOOR: 2 EXITS REQUIRED / 1 PROVIDED

THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS AND COMMON PATH OF EGRESS TRAVEL DISTANCE DOES NOT EXCEED THE VALUES IN TABLE 1006.3.2(1) OR 1006.3.2(2) MAXIMUM OCCUPANT LOAD PER STORY = 10 & MAX PATH OF TRAVEL = 75'

EXEMPTIONS MAY BE ACHIEVABLE FOR HISTORIC BUILDINGS

BASEMENT: 1 EXIT REQUIRED / 1 PROVIDED

ROOMS, AREAS AND SPACES COMPLYING WITH SECTION 1006,2.1 WITH EXITS THAT

DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF EXIT DISCHARGE, ARE PERMITTED TO HAVE ONE EXIT OR ACCESS TO A SINGLE EXIT (MBC 1006.3.2). MAXIMUM TRAVEL DISTANCE = 100' (<30 OCCUPANTS) PER TABLE 1006.2.1

FIRE RATED CONSTRUCTION:

• INTERIOR EXIT STAIRWAYS ENCLOSURE (MBC SECT. 1023): 1 HOUR 1 HOUR

• EXIT ACCESS CORRIDORS (MBC TABLE 1020.1): 1/2 HR WITH SPRINKLER SYSTEM

ACCESSIBLE MEANS OF EGRESS:

 ONE ACCESSIBLE MEANS OF EGRESS REQUIRED (MRCEB 1012.8.2) GROUND FLOOR: 1 ACCESSIBLE EXIT PROVIDED.

**PLUMBING FIXTURE REQUIREMENTS** 

**USE GROUP:** BUSINESS / B

OCCUPANT LOAD: BASEMENT: 20 PERSONS

**SEPARATE FACILITIES:** NOT REQUIRED / TENANT OCCUPANCY < 15 PERSONS (MPC 403.2)

WATER CLOSETS/URINALS REQUIRED: **REQUIRED FIXTURES:** 1 PER 25 OCCUPANTS

LAVATORIES REQUIRED: 1 PER 40 OCCUPANTS DRINKING FOUNTAINS REQUIRED: NONE REQUIRED (MPC 410.1)

SERVICE SINKS REQUIRED: 1 REQUIRED

WATER CLOSETS: 1 REQUIRED / 1 PROVIDED

FIXTURES PROVIDED: LAVATORIES: 1 REQUIRED / 1 PROVIDED

SERVICE SINKS REQUIRED: 1 REQUIRED / 1 PROVIDED

Email: infuzltd@comcast.net Web: infuzarchitects.com

> set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution. Revision Schedule

Unauthorized use of this drawing

Description 03/13/2025 Commercial Set

03/13/2025

 $\mathbf{\Omega}$ 

MEL RKER Ë≣ ∞ NIAL

COD

SHEET NUMBER

Ш

3/14/2025 1:36:34 PM

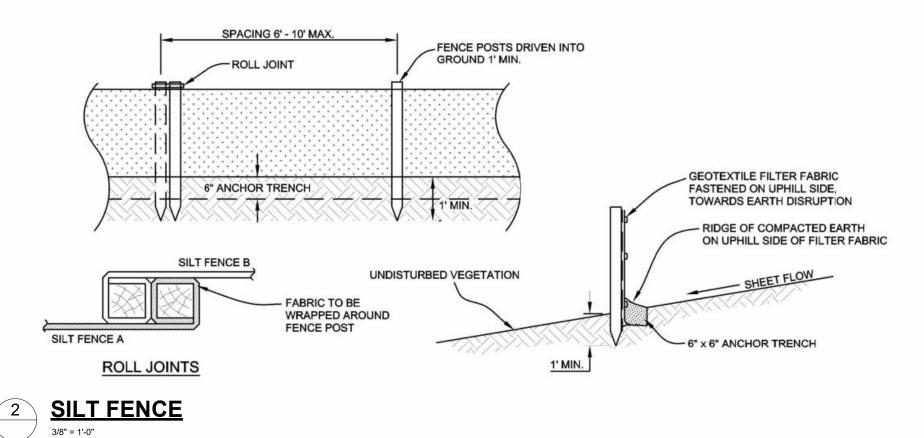






PROMPTLY.

**EXISTING SITE CONDITION PHOTOS** 



# SOIL EROSION/SEDIMENT CONTROL MAINTENANCE NOTES

THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED, THE SOIL EROSION AND SEDIMENTATION CONTROL AND THE LOCAL COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.

ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL COUNTY PUBLIC WORKS OFFICE.

EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.

STAGING OF THE WORK WILL BE DONE BY THE LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS, AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE. THE LANDOWNER OF LANDOWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENACE OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES.

THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL IMPLEMENT AND MAINTAIN THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS BEFORE, AND AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SOIL EROSION CONTROL MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE LOCAL PUBLIC WORKS OFFICE.

IF ANY SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE LOCAL COUNTY PUBLIC WORKS OFFICE SESC DIVISION HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE

INSTALL A CRUSHED CONCRETE ACCESS DRIVE PLACED ON GEOTEXTILE FABRIC AS INDICATED ON THE PLAN. THE ACCESS DRIVE MUST BE A MINIMUM OF 30'x60'x8".

- A. NEW LAYERS OF CRUSHED CONCRETE WILL BE ADDED AS OLD LAYERS BECOME COMPACTED. INSTALL SILT FENCE AS INDICATED ON THE PLAN AND AT ADDITIONAL AREA AS NECESSARY.
- A. SILT FENCE SHALL BE INSTALLED PER DETAIL.
- B. BUILD SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE
- HEIGHT OF THE SILT FENCE. C. IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY. D. SILT FENCE SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED
- INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL, SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
  - A. DRAIN GUARDS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS
  - OF RAINFALL AND DURING A PROLONGED RAIN EVENT.
  - B. BUILDUP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE. C. IF FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED

INLET SEDIMENT TRAPS AND ALL DITCH SEDIMENT TRAPS SHALL BE INSPECTED DAILY. THE SEDIMENT PITS SHALL BE CLEANED OUT WHEN HALF FULL, OR AS DIRECTED BY THE LOCAL COUNTY PUBLIC WORKS OFFICE.

IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD UNIFORMLY AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100 POUNDS (2-3 BALES) PER 1,000 SQUARE FEET. THIS MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OF OTHER MEANS AS APPROVED BY THE LOCAL COUNTY PUBLIC WORKS OFFICE. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH.

ALL DIRT TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY.

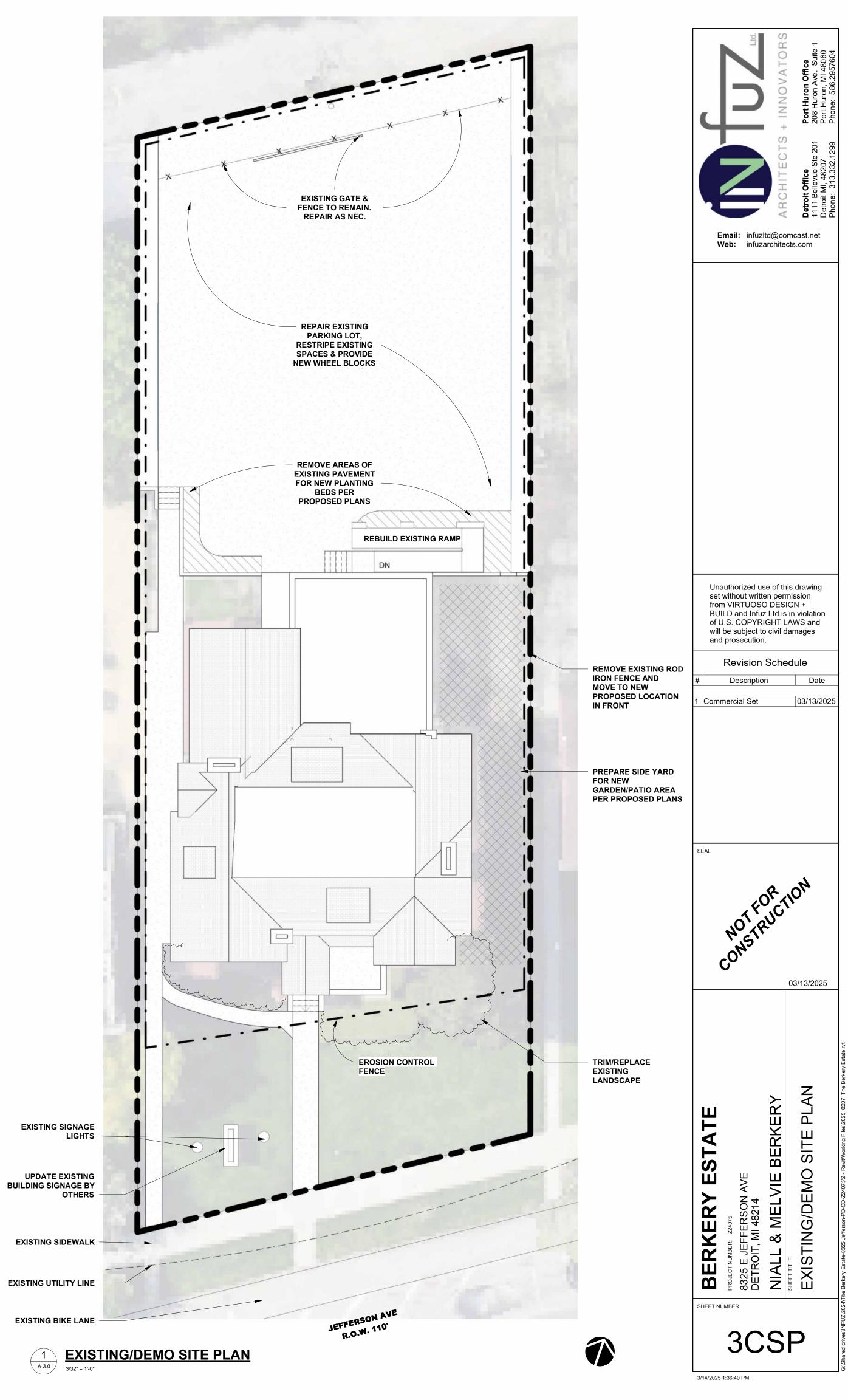
STREETS AND OR PARKING AREAS WILL BE SCRAPED ON A DAILY BASIS AND SWEPT AT A MINIMUM OF ONCE PER WEEK BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE.

DURING DRY PERIODS, ALL DISTURDED AREAS SHALL BE WATERED FOR DUST CONTROL.

PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

FINAL GRADE, ESTABLISH VEGETATION AND OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.

REMOVE ALL TEMPORARY SOIL EROSION DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.



### **GENERAL SITE NOTES:**

THE DRAWINGS HEREIN ARE FOR INFORMATIONAL PURPOSES AND CONVEYANCE OF DESIGN INTENT. INFORMATION DEPICTED IS NOT INTENDED TO BE CONSTRUED AS LEGAL SURVEY OR ENGINEERED CIVIL. REFER TO SUBMITTALS BY PROFESSIONAL CONSULTANTS FOR WORK BEYOND THE SCOPE DEPICTED HEREIN.

- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE A REGISTERED LAND SURVEYOR TIE OUT AND RESET ANY PROPERTY CORNERS OR SECTION CORNERS PLANNED TO BE DISTURBED BY CONSTRUCTION OF THIS PROJECT, AND SHALL HAVE A REGISTERED LAND SURVEYOR RE-ESTABLISH ANY PROPERTY CORNERS OR SECTION CORNERS INADVERTENTLY DISTURBED DURING CONSTRUCTION OF THIS PROJECT.
- ALL STREET, SANITARY SEWER, STORM SEWER AND WATERLINE CONSTRUCTION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF EXECUTION OF THE CONSTRUCTION. STREET PAVING SHALL NOT BEGIN UNTIL SUBGRADE COMPACTION TESTS ARE TAKEN AND THE CITY ENGINEER APPROVES THE RESULTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT PREPARED FOR THIS PROJECT AND APPROVED BY THE MUNICIPALITY 'S
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISSDIG. CALL TWO BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER 24 HOURS ADVANCED NOTICE. TEMPORARY EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR DURING CONSTRUCTION AS IDENTIFIED ON THE EROSION CONTROL PLAN. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SERVICE AND SCHEDULES. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION:
- ALL SIGNS, STRIPING AND TRAFFIC CONTROL DEVICE SHALL CONFORM TO, AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AND MDOT OR COUNTY STANDARDS, LATEST EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND CLEANING OF TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL MAINTAIN EXISTING PAVEMENT MARKINGS DURING CONSTRUCTION OPERATIONS, IN CONFORMANCE WITH CONSTRUCTION **DOCUMENTS**
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE SURFACE OR TEXTURE OF THE PAVEMENT OR EXISTING SURFACING. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY ARE NOT VISIBLE UNDER DAY OR NIGHT CONDITIONS.
- SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS, & SITE LIGHTING
- THE CONTRACTOR SHALL CONTACT THE LOCAL CONSTRUCTION INSPECTOR PRIOR TO ANY STREET CUT. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. ANY STREET PATCHING SHOWN ON THE DRAWINGS IS APPROXIMATE ACTUAL LIMITS OF STREET PATCH SHALL BE DETERMINED BY THE CONSTRUCTION INSPECTOR. PATCHING SHALL BE DONE IN CONFORMANCE WITH MUNICIPAL DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. IN ACCORDANCE WITH THE REFERENCED SPECIFICATIONS. THE ENGINEER SHALL MAKE THE DETERMINATION OF THE NEED FOR A COMPLETE OVERLAY. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASE OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTING
- OF MARKERS SHALL BE PERFORMED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. THE CONTRACTOR SHALL
- REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG
- THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER, WATER SERVICE OR
- ABANDONING AN EXISTING WATER SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE WORK. QUALITY CONTROL TEST RESULTS
- MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE MUNICIPALITY'S REQUIREMENTS THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE
- CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE OWNER'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED LOT STAKING AND CONSTRUCTION STAKING. THE CONTRACTOR SHALL
- COORDINATE THROUGH THE OWNER'S DESIGNATED REPRESENTATIVE TO ASSURE THAT THE SURVEYOR IS GIVEN ADEQUATE NOTICE AND INSTRUCTION IN ORDER TO COMPLETE THE SURVEY REQUIREMENTS FOR THE VARIOUS PHASES OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF RE-SURVEYING REQUIRED DUE TO THE CONTRACTOR'S, OR SUBCONTRACTOR'S, ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH RESCHEDULING THE SURVEYOR TO ACCOMMODATE THE CONTRACTOR 'S REQUESTS FOR UNSCHEDULED STAKING.
- THE CONTRACTOR SHALL PROVIDE AND IMPLEMENT A "TRAFFIC CONTROL PLAN" RELATED TO ALL CONSTRUCTION ACTIVITIES FOR THIS PROJECT THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH LOCAL AND STATE PERMITTING PROCESSES FOR "STORMWATER DISCHARGES ASSOCIATED WITH
- CONSTRUCTION ACTIVITY." WHEN DISCHARGING GROUNDWATER, ALL DEWATERING METHODS SHALL BE IN CONFORMANCE WITH ALL LAWS AND REGULATIONS OF THE STATE. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY
- OCCUR FROM STORMWATER RUNOFF AND /OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK. THE ENGINEER WHO HAS PREPARED CIVIL PLANS, BY EXECUTION AND/OR SEAL HEREON, DOES HEREBY AFFIRM RESPONSIBILITY FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF AN'
- SUCH RESPONSIBILITY. ALL PARKING LOT IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE ADA ACT AND PROVIDE FOR PARKING, SIGNAGE AND ACCESS, IT IS THE CONTRACTOR AND OWNER'S RESPONSIBILITY TO PROVIDE. PROVIDE DETECTABLE WARNING AT TRANSITION FROM SIDEWALK TO DRIVE AISLE. ACCESSIBLE

PARKING SPACES AND ACCESS AISLES SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS. CROSS SLOPE ALONG ENTIRE LENGTH OF

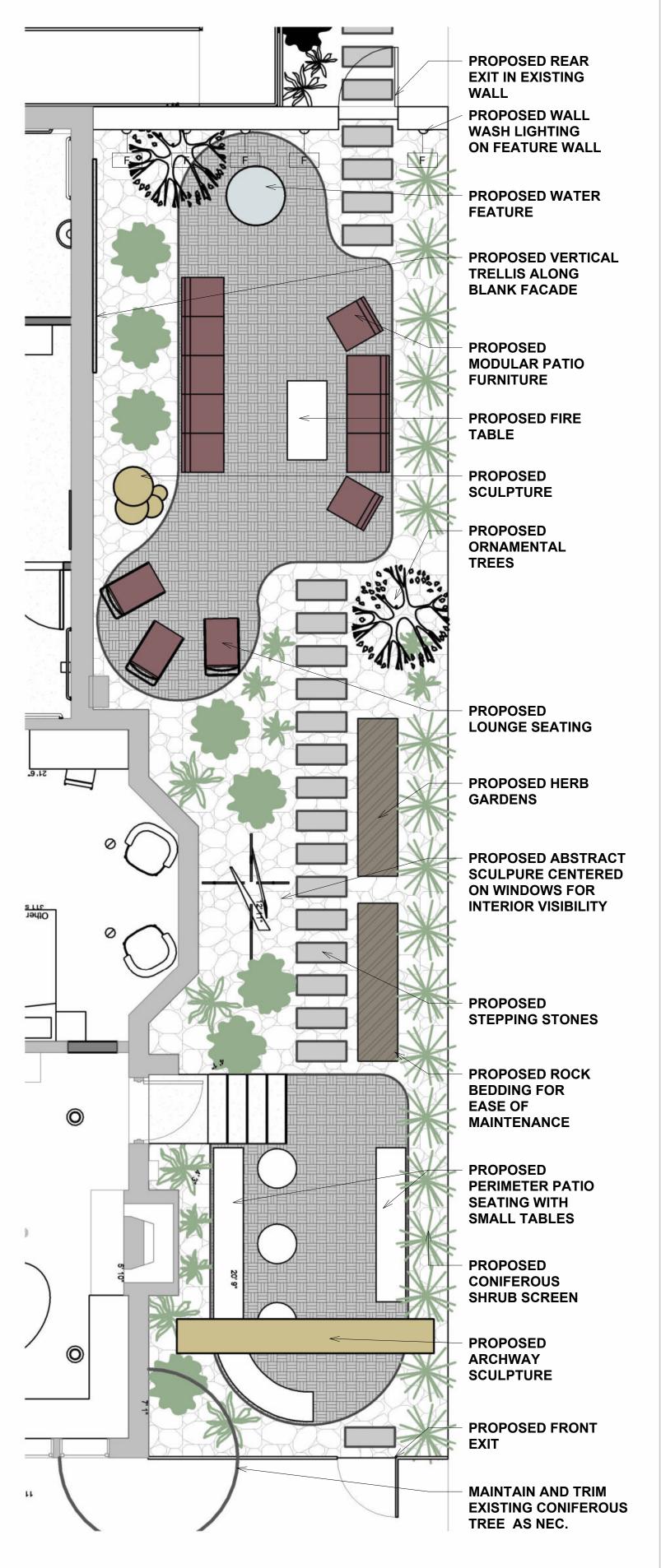
ACCESSIBLE ROUTE NOT TO EXCEED 2%. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SCOPE.

LIGHTING FIXTURE SCHEDULE								
Type Mark	Count	Count Description Comments						
Α	114	RECESSED DOWNLIGHT						
В	20	SCONCE						
С	3	EXTERIOR POST LIGHT FIXTURE						
D	12	BATHROOM EXHAUST FAN						
E	11	UTILITARIAN FLUSH MOUNT FIXTURE PULL-SWITCH						
F	5	EXTERIOR GROUND UP-LIGHT WALL WASH						
G	2	REAR EXTERIOR GOOSE NECK						
Н	4	REAR EXTERIOR SCONCE						

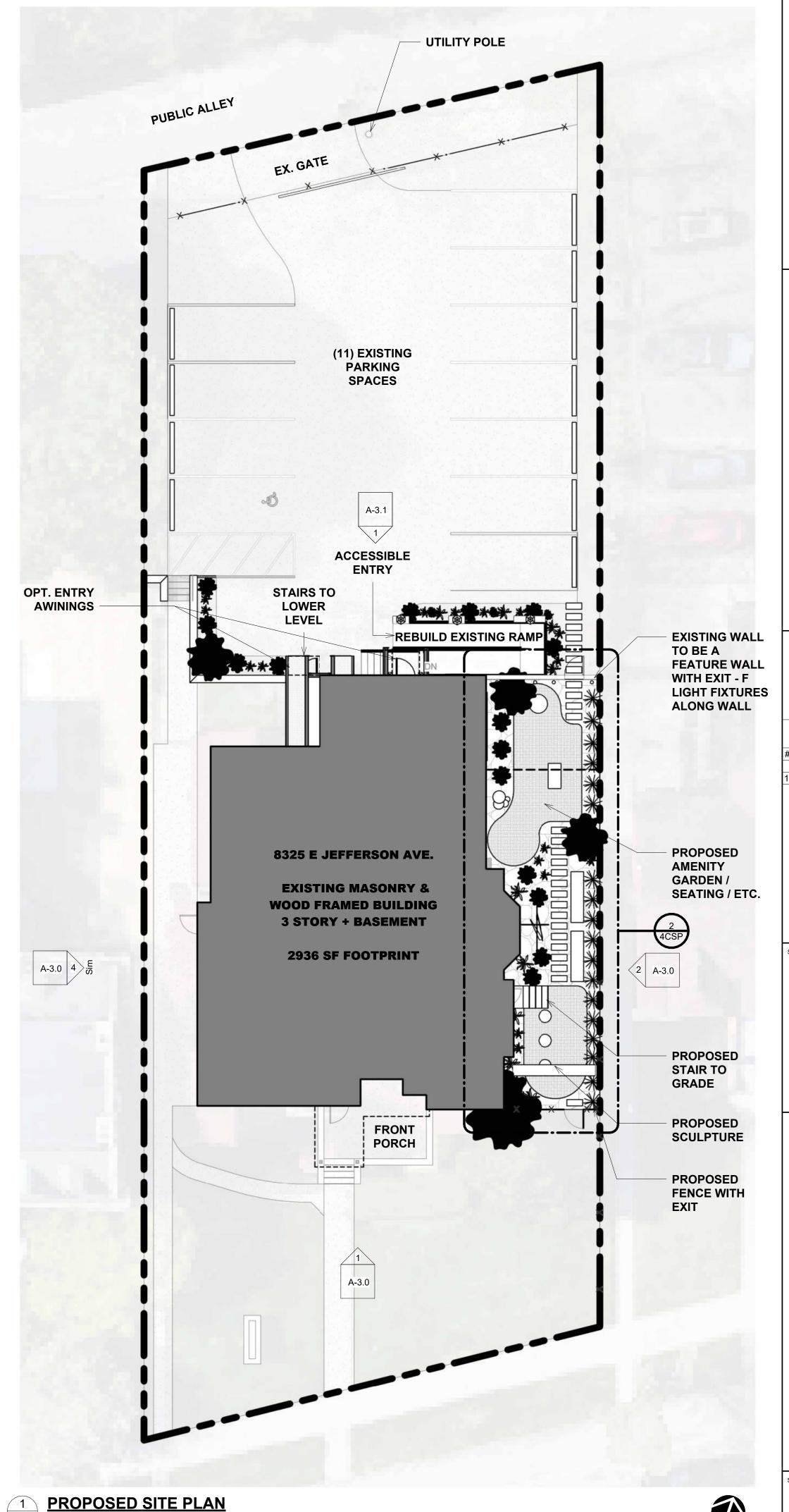


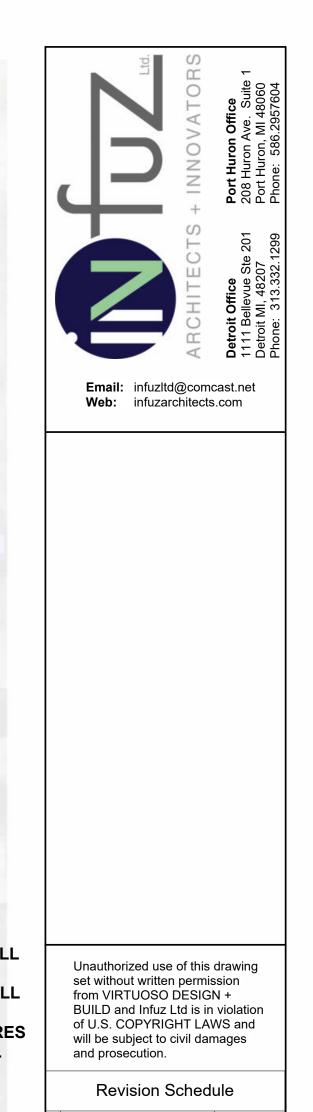


# ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. REFER TO SITE PLAN BY CIVIL ENGINEER FOR ALL CIVIL ENGINEERING INFORMATION. ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO. ALL LANDSCAPE SELECTIONS BY OWNER/CONTRACTOR.









Description

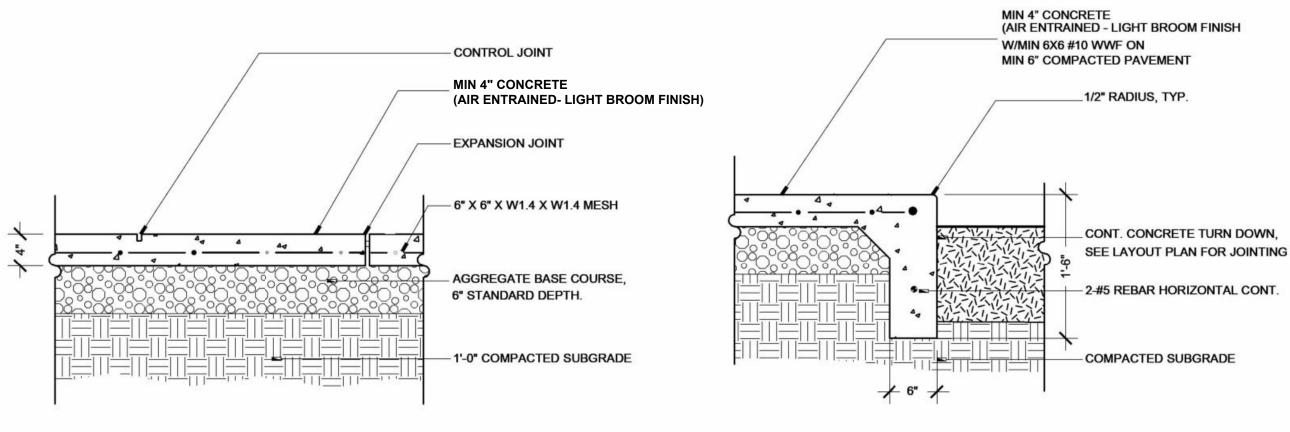
03/13/2025 Commercial Set

03/13/2025

 $\Box$ 

NIAL SHEET NUMBER

3/14/2025 1:36:52 PM

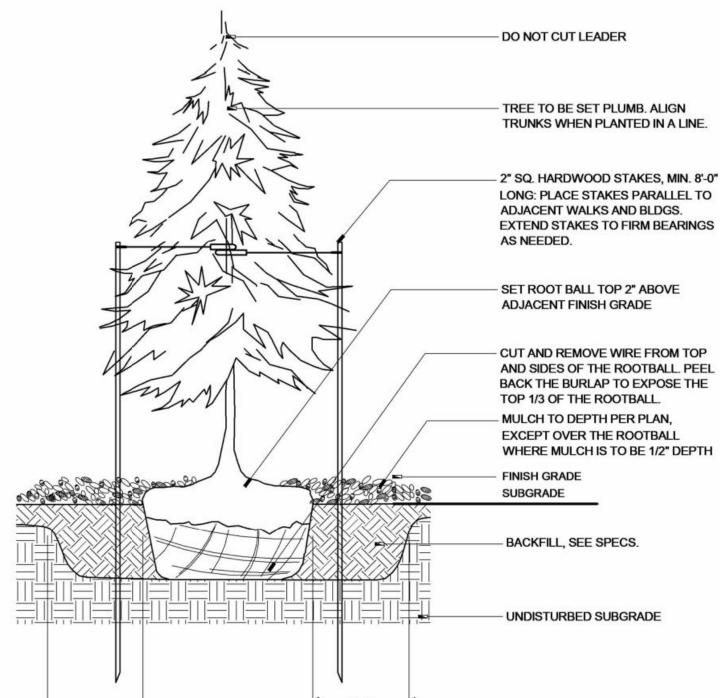


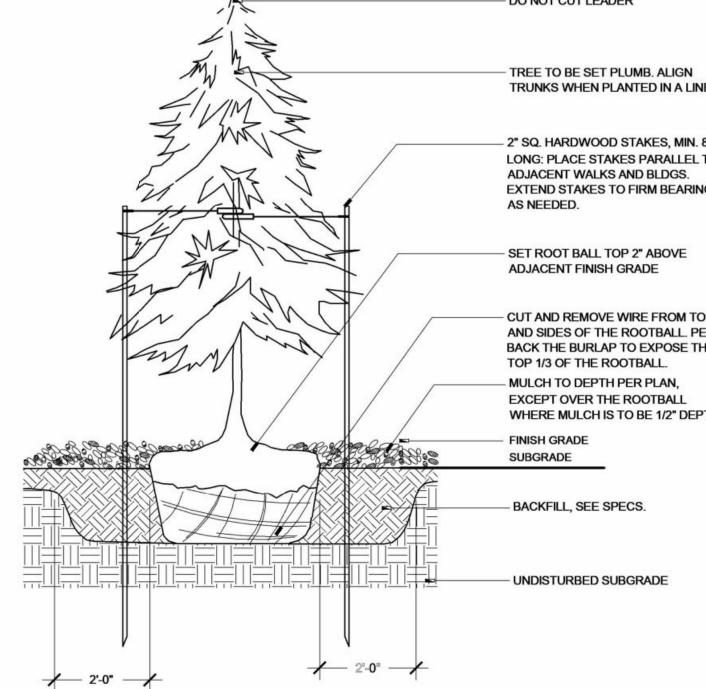
MULCH TO BE 4" DEPTH, EXCEPT OVEF THE ROOTBALL WHERE THE MULCH IS BE 1/2" DEPTH PECAN HULL MULCH LOOSEN HAIR ROOTS BY LIGHTLY SCRATCHING SIDES OF ROOTBALL BEFORE PLANTING FINISH GRADE BACKFILL AS PER SPECIFICATIONS UNDISTURBED EXISTING SUBGRADE TWICE WIDTH OF

# 1. SET PLANTS SO THAT THE TOP OF ROOT SYSTEM IS RAISED 1" ABOVE EXISTING GRADE OF SOIL (ALLOW FOR SETTLING OF EXCAVATED SOIL) **GROUND COVER OR PERENNIALS** SHALL BE SLIT IN THREE PLACES AND NON-BIODEGRADABLE POTS SHALL BE FINISH GRADE BACKFILL WITH EXCAVATED MATERIAL OR AS PER SPECIFICATIONS AND ROTOTILL INTO SOIL. DEPTH VARIES ACCORDING TO CONTAINER SIZE.

# BEFORE PLANTING, BIODEGRADABLE POTS REMOVED. (SCARIFY THE BOTTOM OF THE ROTOTILL PLANTING BED SOIL TO A DEPTH OF 6-8". SPREAD 2" OF COMPOST OVER BED ROOTBALL SLITS UNDISTURBED SUBGRADE

# PERENNIAL PLANTING SCALE: 1/2" = 1'-0"





# **EVERGREEN TREE PLANTING**

# LANDSCAPE PLANTING NOTES

SCALE: 1/2" = 1'-0"

SECTION

- Refer to Civil Engineer's utility and grading and drainage plans for utility location and drainage
- Refer to Civil Engineer's grading plans for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for
- direction as to how to proceed. Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to
- commencing work. Exact locations of plant materials to be approved by the Landscape Architect in the field prior to
- installation. Landscape Architect reserves the right to adjust plants to exact location in field. Verify plant counts and square footages: Quantities are provided as Owner information only. If
- quantities on plant list differ from graphic indications, then graphics shall prevail. Contact the local underground utility services for utility location and identification. Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The
- Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner. Trees shall bear same relation to finished grade as it bore to existing.
- Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by
- Landscape Architect.
- Provide matching forms and sizes for plant materials within each species and size designated on the
- Prune newly planted trees only as directed by Landscape Architect.
- Align and equally space in all directions trees and shrubs so designated per these notes and drawings. Finish grades of planter areas shall be 2 inches below adjacent paving or top of wall unless otherwise
- Provide specified edging as divider between planting beds
- Remove entire wire cage from rootball. Cut and remove burlap from top 1/3 of ball.
- Landscape Architect to review plant materials at source or by photographs prior to digging or shipping

# **PLANTING BED NOTES**

- Provide ground cover (Periwinkle-Vinca Minor and/or Pachysandra) at all planting bed areas.
- within 4 years of planting. Provide brown or black mulch annually till ground cover matures.

Contractor to provide sufficient planting material & spacing for continuous ground coverage

# **IRRIGATION NOTES**

1. See general conditions notes. 2. Locations of irrigation lines, valves, heads, and all other related irrigation appurtenances shown on these drawings are diagrammatic only. The exact location of the above need to be

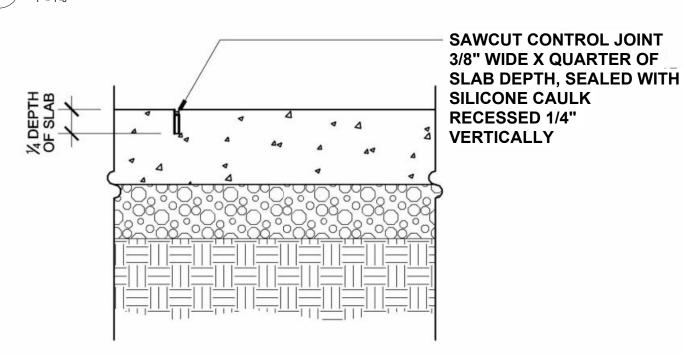
approved by the Landscape Architect. 3. Refer to Irrigation Plans and Specifications for additional requirements.

# **CONCRETE PAVING**

# **CONCRETE TURN DOWN EDGE**

- 1) TYPICAL PAVERS ON AGGREGATE BASE REFER TO DETAIL
- (2) 3" SAND JOINT ADJACENT TO CURB
- (3) 6" DEPTH 2IAA AGGREGATE BASE COMPACTED TO 95% MODIFIED PROCTOR
- EXISTING SUBGRADE, COMPACT TOP 12" (MIN.) TO 95% MODIFIED PROCTOR, TYP.
- (5) COLORED CONCRETE STRAIGHT CURB WITH SMOOTH TROWEL FINISH SIZED AS SHOWN, I EASED FRONT AND BACK EDGE, I" VERT. AND HORIZ. EXPANSION JOINT BETWEEN POURS (MAX 10'O.C.) WHERE APPLICABLE, SEALANT COLOR TO MATCH COLORED CONCRETE - REFER
- (6) LANDSCAPE AREA REFER TO LANDSCAPE PLANS
- (1) NO. 4 BAR CONTINUOUS AS SHOWN, LAP SPLICE AS REQUIRED, 3" MIN. COVERAGE ON TOP BAR, 2" MIN. COVERAGE ON BOTTOM BAR, TYP.

# TYPICAL CONCRETE STRAIGHT CURB

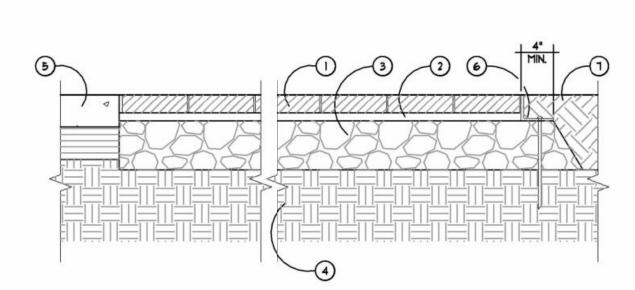


WASHED ANGULAR GRAVEL, COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT 4-6" COMPACTED SANDY GRAVEL BASE COURSE -1'-0" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR



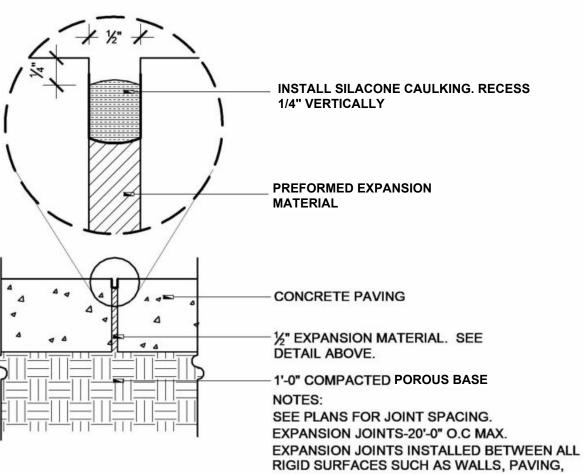
- CLAY BRICK PAVERS WITH TYPICAL SAND JOINTS REFER TO SPECIFICATIONS FOR TYPE AND PLANS FOR PATTERN
- (2) I" MIN. SAND LEVELING BED, SCREED LEVEL, TYP.
- (3) 6" DEPTH 21AA AGGREGATE BASE COMPACTED TO 95%
- MODIFIED PROCTOR 4 EXISTING SUBGRADE, COMPACT TOP 12" (MIN.) TO 95% MODIFIED PROCTOR, TYP. OR ENGINEERED FILL
- COMPACTED AND INSTALLED PER GEOTECH DOCUMENTS
- 5) ADJACENT CONCRETE PAVEMENT REFER TO TYPICAL CONCRETE PAVEMENT DETAIL
- (6) PAVER EDGE RESTRAINT WITH 10" GALVANIZED SPIKE -
- REFER TO SPECS
- (1) ADJACENT PLANTED AREA

PROVIDE 3/8" SAND JOINT BETWEEN PAYERS AND CONCRETE PAVEMENT, CURBS, BUILDINGS, OR WALLS.



# PAVERS ON AGGREGATE

**CONTROL JOINT** 

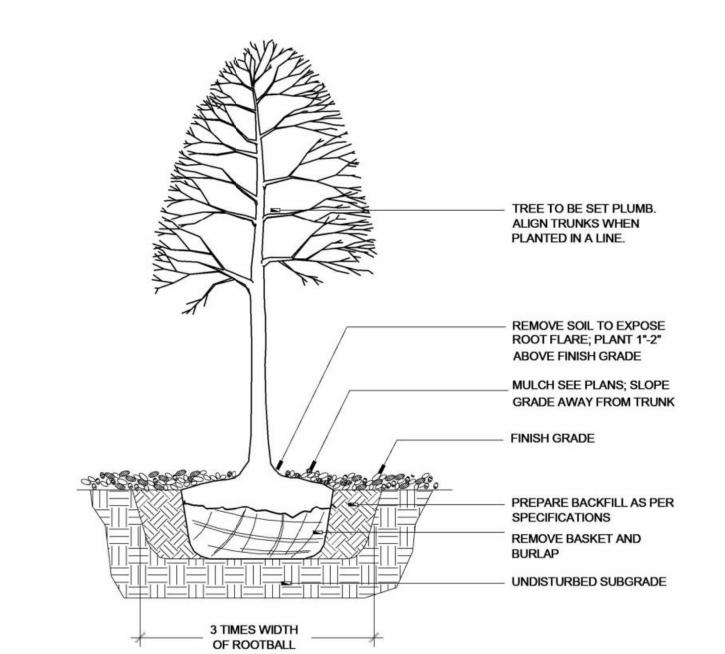


**EXPANSION JOIN** 

CURBS, BOULDERS, ETC.



ROOTBALL MIN. SHRUB PLANTING SCALE: 1/2" = 1'-0" SECTION



TREE PLANTING SCALE: 1/2" = 1'-0"

SOIL PREPARATION 1. Soil preparation of a landscape design is a critical factor in creating a healthy and long-lasting landscape. Remove existing topsoil and stockpile on site. Topsoil to be incorporated back into the soil at a later date. Contractor to conduct a soil evaluation to determine the soil's composition, compaction rate, nutrient qualities, organic content, PH levels, and water holding capabilities. The ideal particle soil mix is approximately 45% sand, 40% silt, 10% clay and 5% organic material with a PH level near seven.

2. Prior to the installation of the landscape and irrigation system, contractor to prepare soil to ensure a proper environment for plant root development. 3. Contractor to de-compact soils in planting areas by roto-tilling, disking or ripping to a depth of 6 -

4. When performing soil de-compaction, multiple passes across the area will be required and, when possible, should be at varying angles to ensure adequate coverage. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier.

5. After initial soil de-compaction procedures are performed, soil amendments should be added. The addition of soil amendments is determined from soil tests conducted prior to work commencing. Soil amendment may include inorganic material such as sand, silt or clay, which help improve soil texture. Organic material such as compost, manure, and peat moss may also be used and help improve soil structure. Other amendments such as fertilizer improve nutrient content and sulfur adjusts the soil PH level. Sulfur shall be incorporated at the rate of one pound of sulfur per 100

square feet. 6. All amendments should be mixed thoroughly with existing soil and an additional soil test will be taken to ensure proper soil conditions prior to planting. 7. During the remainder of the landscape installation, various areas of the site may be re-compacted the soil. Prior to the installation of plant material in these areas, the compaction shall be reduced

TREE PRESERVATION PLANTING NOTES

storage under trees.

to 80% or less using previously described methods.

1. All trees to be preserved as indicated on the Landscape Demolition Plan shall be protected by 6' main link fence. The fence shall be located at a 5 ft. radius from the edge of the trunk. The fence shall be firmly anchored into the ground and shall remain upright and intact until all construction activity is complete. Construction activities or storage shall not occur within these protected areas. The Contractor shall stake the protective fencing location. The location of the protective fencing shall be approved onsite by the Landscape Architect prior to the start of any site work. 2. When excavation near a tree to be protected must be carried out, damage can be limited by root pruning.

Root pruning shall be completed before grading is started and shall occur beneath the protective fencing as shown on the plan. 3. Root pruning shall be performed, when required, with a trencher such as a telephone cable puller or a "Ditch Witch" prior to adjacent excavation. The trenching shall be to a minimum depth of 24" or the depth of excavation. The contractor shall stake the limit of root pruning as per the plan. Limits of trenching shall be approved by the Landscape Architect prior to any trenching in the field. Do not trench for irrigation or electrical within drip lines of existing trees. Coordinate all trenching required for utility work

4. The best method to avoid soil compaction is to KEEP OFF. This includes restricting all traffic both vehicular and pedestrian from crossing over the root zones, and restricting even temporary material

 $\Box$ ∞ NIAL SIT

3/14/2025 1:36:58 PM

Ш

**RKERY** 

Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation

Email: infuzltd@comcast.net

Web: infuzarchitects.com

SECTION

SECTION

will be subject to civil damages and prosecution. Revision Schedule

of U.S. COPYRIGHT LAWS and

Description 03/13/2025 Commercial Set

03/13/2025

SHEET NUMBER

# **DEMOLITION NOTES:**

### **REGULATORY REQUIREMENTS:**

COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. OBTAIN AND PAY FOR ALL PERMITS REQUIRED. WHERE TOXIC SUBSTANCES ARE SUSPECTED TO BE PRESENT, PARTICULARLY LEAD PAINT AND ASBESTOS, A CERTIFIED REMOVAL ENTITY SHALL BE RETAINED AND FOLLOW

GOVERNING AGENCY GUIDELINES FOR REMOVAL AND DISPOSAL. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY FEDERAL, STATE, AND LOCAL LAW TO INSURE PUBLIC AND WORKER SAFETY. COMPLY WITH OSHA AND EPA REQUIREMENTS.

AS PART OF THE PROJECT SCOPE. THE CONTRACTOR SHALL PREPARE ALL DRAWINGS, DOCUMENTS, AND APPLICATIONS AND SHALL OBTAIN ALL GOVERNMENT AGENCY APPROVALS AND PERMITS REQUIRED FOR DEMOLITION ACTIVITIES. CONDUCT DEMOLITION OPERATIONS AND REMOVE MATERIALS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED

AND UTILIZED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR UTILIZED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.

CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.

ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

MAINTAIN TEMPORARY PROTECTION TO PEOPLE AT EXTERIOR AREAS OF THE EXISTING BUILDING WHERE DECORATIVE MEDALLION REMOVAL WORK IS BEING

PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING THAT ARE DESIGNATED TO REMAIN IN PLACE. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR

STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF BUILDINGS TO BE DEMOLISHED AND ADJACENT BUILDINGS TO REMAIN.

STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.

VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF DEMOLITION AND RECYCLING REQUIRED.

SURVEY CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.

RETAIN A LICENSED AND QUALIFIED STRUCTURAL ENGINEER TO PROVIDE ANALYSIS, INCLUDING CALCULATIONS, NECESSARY TO ENSURE THE SAFE EXECUTION OF THE DEMOLITION WORK. BEARING WALLS, STRUCTURAL STEEL, CONCRETE FOUNDATIONS AND SUPPORTED SLABS WITH STRUCTURAL FRAMING SHALL NOT BE ALTERED WITHOUT A FIELD INVESTIGATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER.

DEMOLITION DRAWINGS INDICATE GENERAL AREAS OF DEMOLITION ONLY. EXTENT OF REMOVAL OF EXISTING CONSTRUCTION MATERIALS TO BE DETERMINED BY FIELD INVESTIGATION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL ELECTRICAL, AND PLUMBING DOCUMENTS AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL TO BE

RELOCATED PER DRAWINGS, COORDINATE WITH CONTRACTORS AS REQUIRED. COORDINATE REMOVAL OF EXISTING ITEMS WITH PROPOSED FRAMING DETAILS, INTERIOR ELEVATIONS, AND DETAILS. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED PRIOR TO STRUCTURAL DEMOLITION.

PATCH AND REPAIR EXISTING MATERIALS TO REMAIN AS REQUIRED WHERE REMOVAL OF EXISTING CONSTRUCTION OR WHERE REQUIREMENTS OF NEW CONSTRUCTION NECESSITATES CUTTING OR ALTERING EXISTING MATERIALS. EXISTING WALLS, FLOORS, AND CEILING TO REMAIN INTACT AS IS INDICATED ON DRAWINGS. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS, CONTRACTOR IS RESPONSIBLE FOR THE PATCH AND REPAIR OF ALL DAMAGE ARISING FROM DEMOLITION OPERATIONS AS REQUIRED TO MATCH EXISTING.

ALL DEMOLITION WORK SHALL ATTEMPT TO SALVAGE ADJACENT AREAS AND RE-USABLE MATERIALS TO THE EXTENTS POSSIBLE. VERIFY OWNER'S INTENT TO REUSE OR STORE ANY BUILDING COMPONENTS PRIOR TO DISPOSAL. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED. SALVAGED. REINSTALLED. OR OTHERWISE INDICATED TO REMAIN PROPERTY OF OWNER, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER.

EVERY ATTEMPT SHALL BE MADE BY THE DEMOLITION CONTRACTOR TO SEPARATE BUILDING MATERIALS INTO RECYCLABLE CONTENT. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS

AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD

SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST

PROVIDE TEMPORARY AND SECURE WATERPROOF ENCLOSURE DURING

CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED TO RECEIVE NEW WORK AND NEW FINISHES AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.

ALL SALVAGED ITEMS TO BE CLEANED, REPAIRS, OR PATCHED AS NECESSARY PRIOR TO NEW INSTALLATION. REMOVE ANY DAMAGED MASONRY AT REMAINING WALLS. PROVIDE NEW INFILL TO

REMOVE EXISTING MECHANICAL AND PLUMBING SYSTEMS, VENTS, FIXTURES, DRAINS, AND DUCTWORK NOT INDICATED FOR REUSE. DO NOT ABANDON ITEMS IN PLACE UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION.

# DISPOSAL PRACTICES AND HAULING:

LEGALLY TRANSPORT AND DISPOSE OF MATERIALS THAT CANNOT BE DELIVERED TO A SOURCE-SEPARATED OR MIXED RECYCLING FACILITY TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE

USE A PERMITTED WASTE HAULER OR CONTRACTOR'S TRUCKING SERVICES AND PERSONNEL. TO CONFIRM VALID PERMITTED STATUS OF WASTE HAULERS, CONTACT THE APPROPRIATE WASTE MANAGEMENT AGENCY.

BECOME FAMILIAR WITH THE CONDITIONS FOR ACCEPTANCE OF NEW CONSTRUC-TION, EXCAVATION AND DEMOLITION MATERIALS AT RECYCLING FACILITIES, PRIOR TO

DELIVER TO FACILITIES THAT CAN LEGALLY ACCEPT NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS FOR PURPOSE OF RE-USE, RECYCLING, COMPOSTING, OR DISPOSAL

DO NOT BURN, BURY OR OTHERWISE DISPOSE OF RUBBISH AND WASTE MATERIALS ON PROJECT SITE. DEMOLISH CONCRETE AND MASONRY IN SIZES THAT WILL BE SUITABLE FOR ACCEPTANCE AT RECYCLING OR DISPOSAL FACILITIES.

# ELECTRICAL DEMOLITION:

SAFETY-RELATED WORK PRACTICES SHALL BE EMPLOYED TO PREVENT ELECTRIC SHOCK OR ELECTRICAL CONTACTS, WHEN WORK IS PERFORMED NEAR OR ON EQUIPMENT OR CIRCUITS WHICH ARE OR MAY BE ENERGIZED. LIVE PARTS SHALL BE DE-ENERGIZED BEFORE WORK COMMENCES ON THEM. ONLY QUALIFIED ELECTRICIAN MAY WORK ON ENERGIZED CIRCUITS OR EQUIPMENT.

THE CIRCUITS AND EQUIPMENT TO BE WORKED ON SHALL BE DISCONNECTED FROM ALL ELECTRIC ENERGY SOURCES. ELECTRIC EQUIPMENT OR CIRCUITS WHICH HAVE BEEN DE-ENERGIZED SHALL BE LOCKED OUT OR TAGGED OR BOTH.

A QUALIFIED ELECTRICIAN SHALL USE TEST EQUIPMENT (VOLT-OHM METER, ETC.) AND SHALL VERIFY THAT THE CIRCUIT AND EQUIPMENT ARE DE-ENERGIZED. IF THE CIRCUIT IS OVER 600 VOLTS, THE TEST EQUIPMENT SHALL BE CHECKED FOR PROPER OPERATION IMMEDIATELY BEFORE AND IMMEDIATELY AFTER THIS TEST. STORED ELECTRIC ENERGY WHICH MIGHT ENDANGER PERSONNEL SHALL BE

RELEASED. CAPACITORS SHALL BE DISCHARGED AND HIGH CAPACITANCE ELEMENTS SHALL BE SHORT-CIRCUITED AND GROUNDED, IF THE STORED ELECTRIC ENERGY MIGHT ENDANGER PERSONNEL. A QUALIFIED ELECTRICIAN SHALL CONDUCT TESTS AND VISUAL INSPECTIONS TO VERIFY THAT ALL TOOLS, ELECTRICAL JUMPERS, SHORTS, GROUNDS, AND OTHER SUCH DEVICES HAVE BEEN REMOVED, SO THAT THE CIRCUITS AND EQUIPMENT CAN

BE SAFETY ENERGIZED. CAP, TERMINATE, OR REMOVE ALL MISCELLANEOUS POWER WIRES, OUTLETS, AND

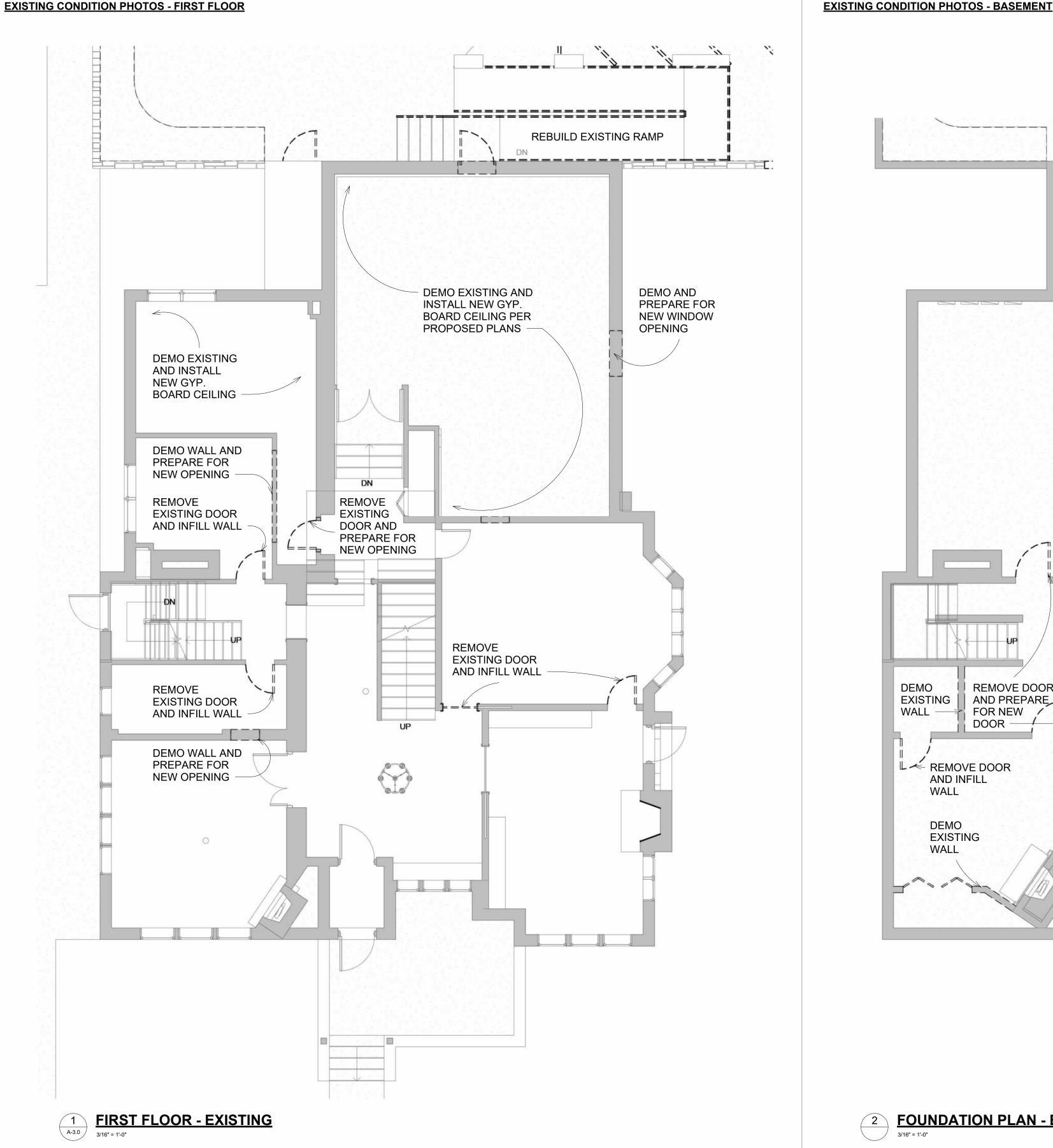
SWITCHES AS REQUIRED DURING CONSTRUCTION AND DEMOLITION DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL LIGHTING FIXTURES, LOW VOLTAGES TRANSFORMERS, WIRING DEVICES IN ENTIRETY. ALL CONDUIT, WIRING, CABLING, ETC. SHALL BE REMOVED BACK TO THE SOURCE.

ALL GAS TO BE SHUT OFF TO AREAS OF DEMOLITION BY A QUALIFIED CONTRACTOR. TEST FOR LEAKS PRIOR TO COMMENCING WORK.

WHERE APPLICABLE, PROVIDE NEW SHUT OFF VALVES WHERE PIPING REACHES AREA OF DEMOLITION.



**EXISTING CONDITION PHOTOS - FIRST FLOOR** 





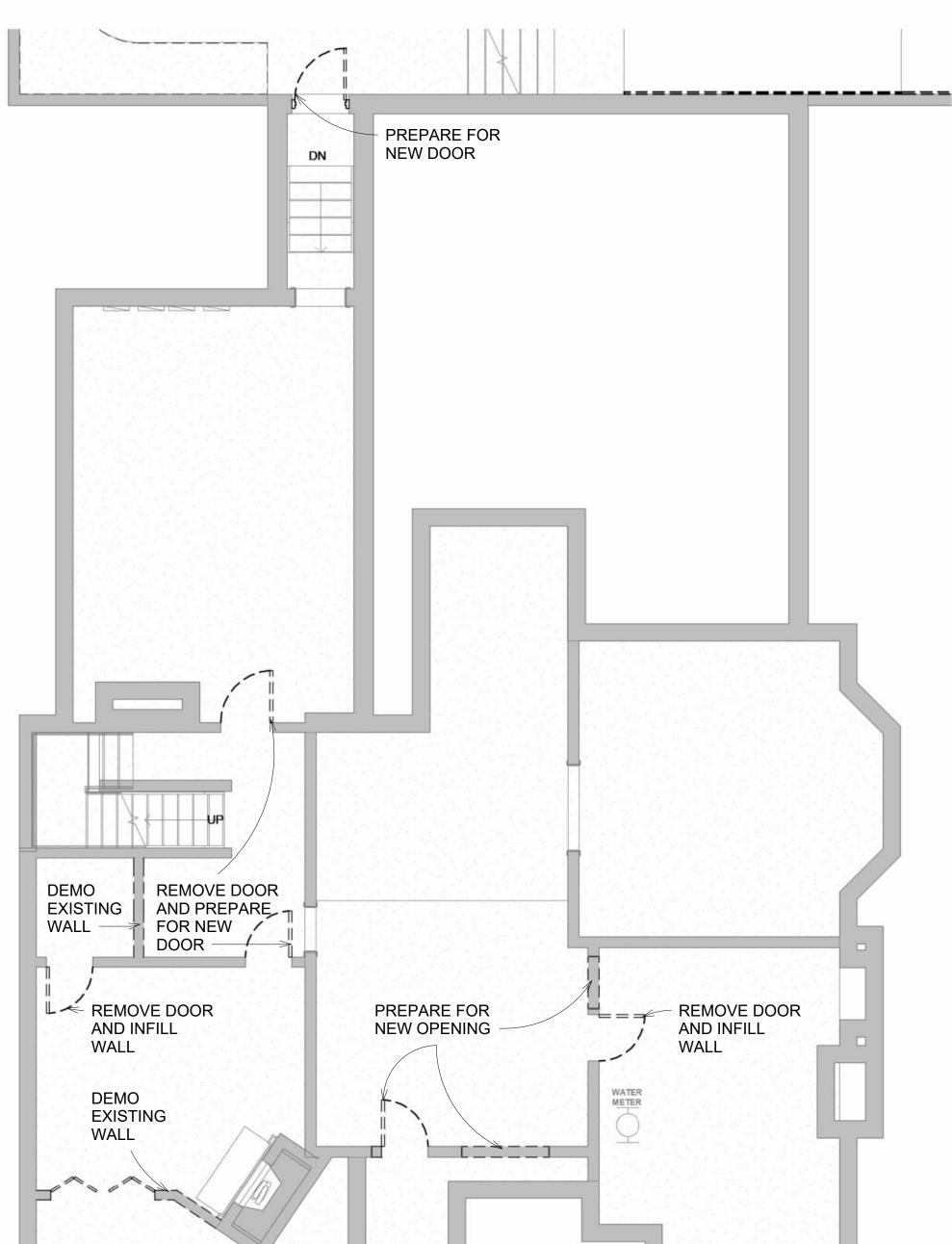






Email: infuzltd@comcast.net

Web: infuzarchitects.com



**FOUNDATION PLAN - EXISTING** 

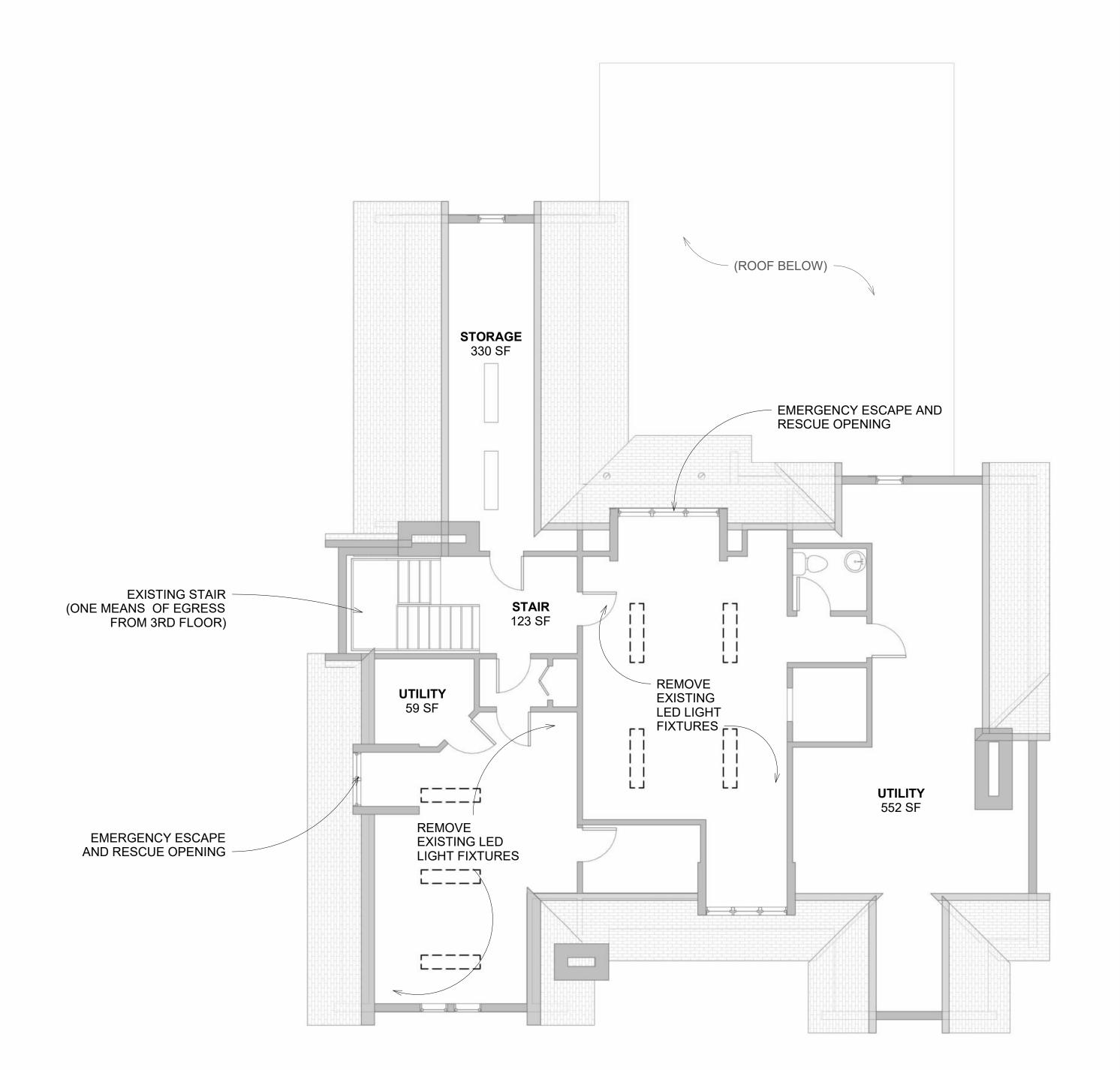
Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution. Revision Schedule Description 03/13/2025 Commercial Set 03/13/2025 NIAL

SHEET NUMBER

3/14/2025 1:37:07 PM



**EXISTING CONDITION PHOTOS - THIRD FLOOR** 



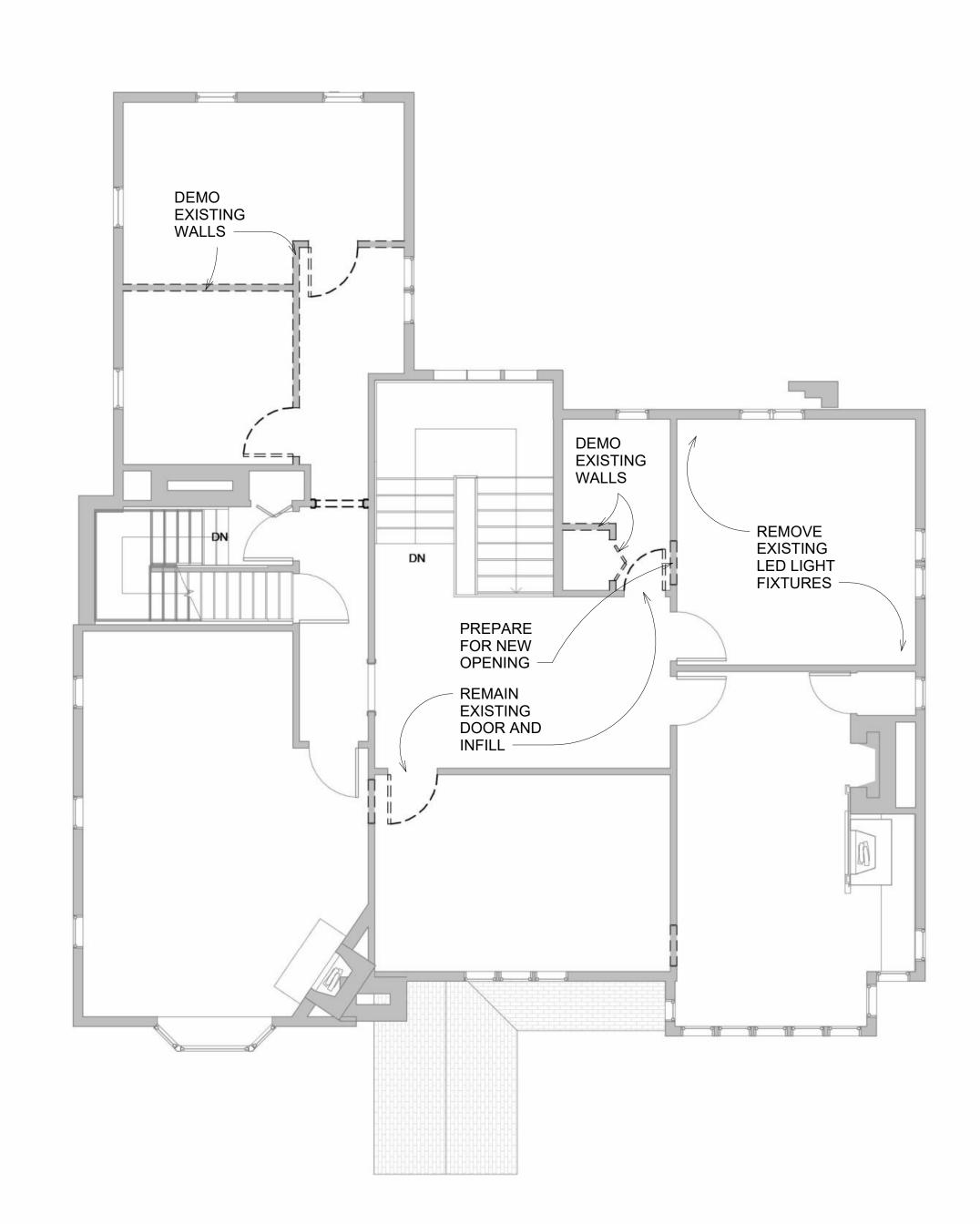
2
A-3.0

A-3.0

THIRD FLOOR / ATTIC - EXISTING
3/16" = 1'-0"



**EXISTING CONDITION PHOTOS - SECOND FLOOR** 







Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

Description

03/13/2025 Commercial Set

03/13/2025

BERKERY

BERKERY ESTATE
PROJECT NUMBER: 224075
8325 E JEFFERSON AVE
DETROIT, MI 48214
NIALL & MELVIE BERKERY
SHEET TITLE
DEMOLITION PLANS

A-1.1

3/14/2025 1:37:15 PM

SHEET NUMBER

### **GENERAL NOTE:**

EXISTING HISTORIC WINDOW OPENINGS TO BE VERIFIED FOR COMPLIANCE WITH EGRESS REQUIREMENTS. WHERE NECESSARY, HISTORIC REPLICA CASEMENT WINDOWS TO BE PROVIDED THAT MEET MINIMUM EGRESS REQUIREMENTS.

# LEGEND:

COMPLIANT EGRESS WINDOW



# **HISTORIC EGRESS NOTE**

NEW WINDOW SCHEDULE							
Type Mark	Count	Width	Height	Description	Comments		
4	2	2' - 0"	4' - 0"	NEW EGRESS WINDOWS	PROVIDE DOUBLE HUNG OR CASEMENT TO MATCH EXISTING HISTORIC WINDOW TYPES. VERIFY MIN.		

**EGRESS CLEARANCES** 

WALL SCHEDULE					
Type Mark	Area	Description	Function	Comments	
IW4	1884 SF	5/8" GYP. ON 2x4 WOOD STUDS @ 16" O.C. ON 5/8" GYP.	Interior		
IW6	57 SF	5/8" GYP. ON 2x6 WOOD STUDS @ 16" O.C. ON 5/8" GYP.	Interior		

# **GENERAL FRAMING NOTES:**

Grand total 1941 SF

- EXTEND ALL INTERIOR PARTITIONS UP TO CEILING STRUCTURE @ MIN. 8' O.C. U.N.O. COORDINATE OPENINGS AND VERTICAL SHAFTS WITH M/E/P AND FIRE TRADES.
- ALL GYP. BD. TO BE 5/8" AT CEILINGS AND MIN. 1/2" AT WALLS U.N.O. ALL DEMISING WALLS TO BE SECURED TO STRUCTURE ABOVE, SEALING ALL PENETRATIONS PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG DEMISING PARTITION.

- WALL CONSTRUCTION NOTES: PROVIDE DENSE OR FIBER REINFORCED GYPSUM INTERIOR PANELS TO BE USED AT
- ALL CORRIDOR AND HIGH IMPACT AREAS. WHERE EXISTING C.M.U. WALLS ARE TO BE FURRED FOR GYP. BD. FINISH, PROVIDE PROPER FURRING DEPTH FOR FLUSH TRANSITIONS TO ADJACENT WALLS.
- WHERE EXISTING C.M.U. WALLS ARE TO BE RENOVATED, TOOTH IN NEW AREAS AND PROVIDE CONSISTENT FINISH

# **LIGHT GUAGE METAL FRAMING:**

- ALL LIGHT GAUGE FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISI "SPECIFICATIONS FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- ALL MATERIAL SHALL CONFORM TO ASTM A446, WITH MINIMUM YIELD POINT OF 33 KSI FOR 18 GAUGE, AND 50 KSI FOR 16 GAUGE AND HEAVIER MATERIAL, AND SHALL HAVE GALVANIZED COATING TO ASTM A525-G90. ALL WELDING SHALL CONFORM TO AWS D1.3 SPECIFICATIONS FOR WELDING SHEET
- STEEL STRUCTURES, AND AWS D19.0 WELDING ZINC COATED STEEL ALL MATERIAL SHALL BE OF A MINIMUM 18 GAUGE THICKNESS, AND SHALL MEET THE DEFLECTION REQUIREMENTS OF THE FINISH MATERIALS TO BE ATTACHED TO THE
- LIGHT GAUGE FRAMING WORK. ALL STUDS AND JOISTS SHALL BE INSTALLED AT SPACING INDICATED ON THE
- DRAWINGS. EACH SIDE OF OPENINGS SHALL BE FRAMED WITH DOUBLE STUDS. ALL STUDS AND JOISTS SHALL HAVE A BRIDGING LINE INSTALLED AT A MAXIMUM
- SPACING OF 4'-0" AND 5'-0" RESPECTIVELY. ALL JOISTS SHALL HAVE WEB STIFFENERS AT REACTION POINTS AND CONCENTRATED
- STRUCTURAL CONNECTIONS OF LIGHT GAGE METAL FRAMING MEMBERS SHALL BE MADE PER MANUFACTURERS RECOMMENDATIONS, ADEQUATE TO CARRY THE IMPOSED LOADS, AND CONFORMING TO THE AISI AND AWS SPECIFICATIONS.
- CONNECTION DESIGN TO BE BASED ON REACTIONS GIVEN ON THE DRAWINGS OR AS LISTED IN THE MANUFACTURERS UNIFORM LOADING CAPACITY TABLES, WHICHEVER SUSPENDED CEILING GRID SYSTEM SHALL COMPLY WITH THE LATEST MICHIGAN
- BUILDING CODE AND GRID WORK SHALL BE SUPPORTED WITH A MINIMUM OF 2-12 GA. HANGER WIRES ATTACHED TO STRUCTURE ABOVE EXTERIOR CEE FRAMING TO BE STEELFORM 'DELTA STUDS' W/ 1/2" FOIL FACED RIGID
- SHEATHING. PROVIDE DOUBLE DEFLECTION OR SLOTTED TRACKS ON TOP OF ALL CEE ALL LIGHT GAUGE MTL. FRAMING TO FOLLOW PROCEDURES AND PRATICES AS

# RECOMMENDED BY 'THE 'STEEL STUD MANUFACTURERS ASSOCIATION'

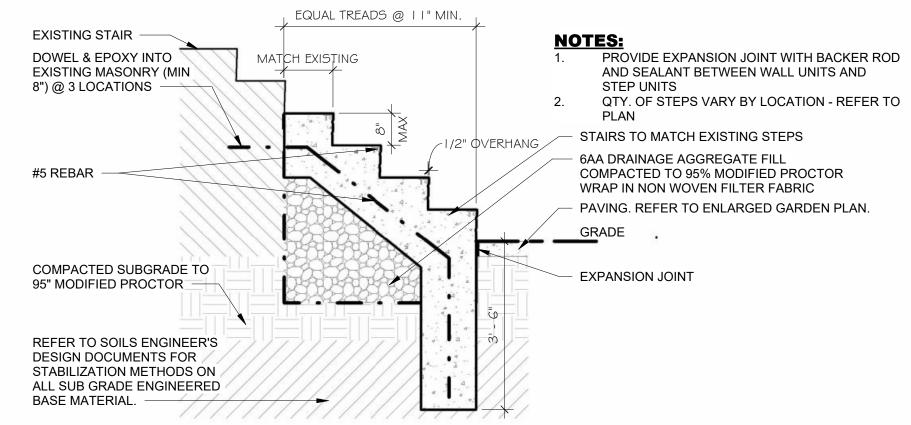
**FIRE STOPPING:** FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.

- CONCEALED WALL SPACES FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND
- HORIZONTAL. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES - FIRE BLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- STAIRWAYS FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES BETWEEN STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- ARCHITECTURAL TRIM FIRE BLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS AT MAXIMUM INTERVALS OF 20 FEET. IF NON-CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES OF SEPARATION BETWEEN SECTIONS.

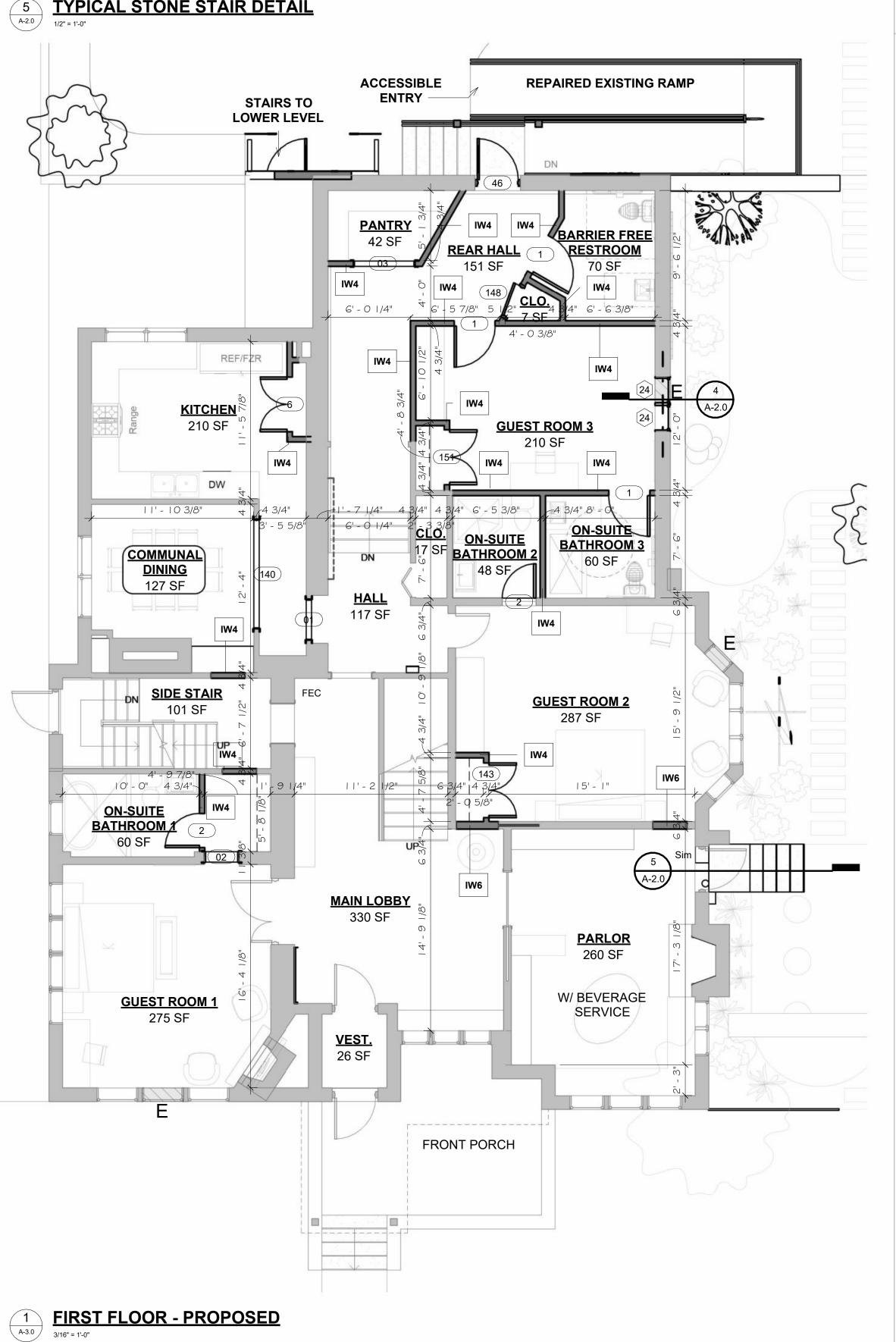
# **FIRE BLOCKING MATERIALS:**

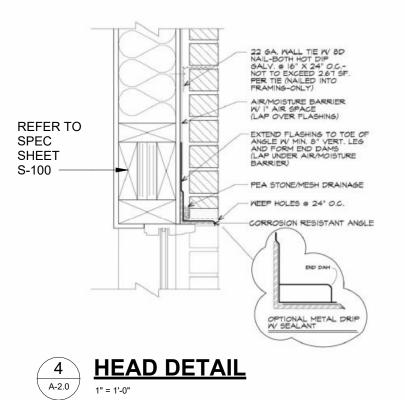
FIRE BLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD. GYPSUM BOARD, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK.

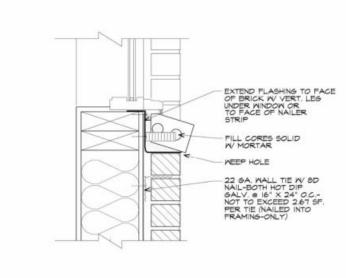
DRAFTSTOPPING (REQUIRED IN ENCLOSED AREAS AND ATTICS WHEN BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM) SHALL BE PROVIDED IN DIRECTION OF FRAMING, MAX. 3,000 SQ.FT. COMPARTMENT AREA U.N.O.



TYPICAL STONE STAIR DETAIL



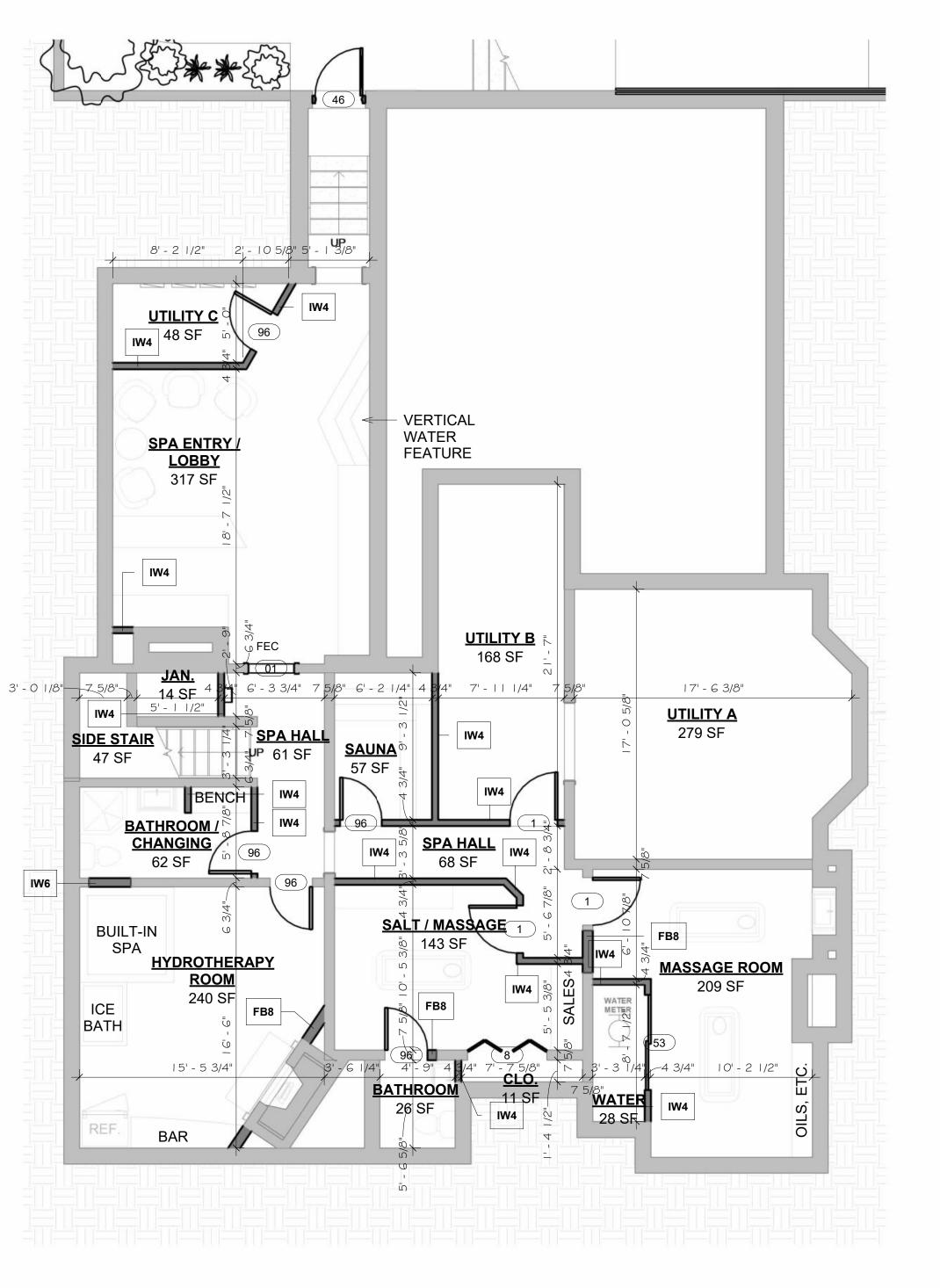








Email: infuzltd@comcast.net Web: infuzarchitects.com



POUNDATION PLAN - PROPOSED

3/16" = 1'-0"

PROPOSED **EXISTING** 



SHEET NUMBER

NIAL

BERKER

Unauthorized use of this drawing set without written permission

BUILD and Infuz Ltd is in violation

of U.S. COPYRIGHT LAWS and

will be subject to civil damages

Revision Schedule

03/13/2025

03/13/2025

and prosecution.

Commercial Set

Description

from VIRTUOSO DESIGN +

3/14/2025 1:37:23 PM

### **WINDOWS AND GLAZING NOTES:**

- PROVIDE FLASHING AT ALL WINDOW HEAD, JAMB AND SILL CONDITIONS.
- FIXED GLASS SIZES ARE SHOWN FOR REFERENCE ONLY. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION AND PROVIDE SEPARATE SHOP SUBMITTAL FOR ALL OPENINGS.
- PROVIDE APPROPRIATE SAFETY GLASS FOR ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH CURRENT BUILDING CODES INCLUDING ALL DOORS, GLAZED AREAS IN EXCESS OF 9 SQ. FT., WITHIN 5' OF TUBS AND GLAZING WITHIN 18" OF WALKING/SITTING SURFACES.
- PROVIDE FOR EGRESS OPENINGS WHERE CODE REQUIRES

### **DOOR NOTES (U.N.O.):**

- ALL DOORS AND HARDWARE SHALL COMPLY WITH APPLICABLE CODES, INCLUDING ADA-AG & MSBC BARRIER FREE SUBCODES AND SHALL BE CAPABLE OF OPERATION WITH THE USE OF (1) HAND
- ALL HOLLOW METAL DOOR FRAMES ARE TO BE 16 GAUGE KNOCK DOWN TYPE
- ALL FRAMES ARE TO RECEIVE THREE DOOR SILENCERS
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT INFO (FOR REVIEW) FOR ALL DOORS, FRAMES AND HARDWARE
- CONTRACTOR SHALL PROVIDE ALL MISC. HARDWARE REQ'D. FOR COMPLETE OPERATION OF EACH DOOR.
- ALL EXTERIOR DOORS TO HAVE SELF-CLOSING HARDWARE, THRESHOLDS, AND WEATHER STRIPPING.

DOOR THRESHOLDS SHALL NOT EXCEED ON-HALF INCH (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH (1/4") IN HEIGHT SHALL HAVE A 1:2 BEVEL.

- ALL LOCKS ARE TO BE KEYED PER THE REQUIREMENTS OF THE OWNER
- ALL HINGES BRUSHED ALUM. & BALL BRG.
- ALL DOORS TO BE SUPPLIED & INSTALLED WITH DOOR STOPS WITH SOLID BLOCKING FOR EACH LOCATION
- ALL GLASS IN DOORS MUST BE TEMPERED AS PER CODE
- STOREFRONT ENTRANCE DOORS TO BE KAWNEER OR EQUAL WITH FRAMING SYSTEM AS INDICATED ON SCHEDULE WITH CLOSERS, LOCK ASSEMBLIES, AND ALL OTHER HARDWARE REQUIRED FOR A COMPLETE INSTALLATION. COLOR TO BE SELECTED BY ARCHITECT.
- ALL EXTERIOR METAL DOORS SHALL BE INSULATED
- VERIFY ALL DOOR OPTIONS; INCLUDING HANDING, TYPE AND HARDWARE W/ OWNER SELECTIONS. PROVIDE BUMPERS/STOPS

	NEW DOOR SCHEDULE							
Type Mark	Count	Width	Height	Description	Function	w.s.	Hardware	Comments
1	8	3' - 0"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
01	2	3' - 0"	7' - 0"	CASED OPENING	Interior			
2	4	2' - 6"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
02	1	2' - 6"	7' - 0"	CASED OPENING	Interior			
03	1	4' - 6"	7' - 0"	CASED OPENING	Interior			
04	1	4' - 0"	7' - 0"	CASED OPENING	Interior			
6	1	4' - 0"	7' - 0"	DOUBLE SOLID WOOD DOORS	Interior			
06	2	2' - 8"	7' - 0"	CASED OPENING	Interior			
8	1	5' - 0"	7' - 0"	DOUBLE BI-FOLD CLOSET DOOR	Interior			
26	1	2' - 0"	7' - 0"	SINGLE BI-FOLD CLOSET DOOR	Interior			
46	2	3' - 0"	7' - 0"	SINGLE FULL-LITE GLASS DOOR	Exterior	Yes		
53	1	6' - 0"	7' - 0"	DOUBLE SLIDING CLOSET WOOD DOOR	Interior			
96	9	2' - 8"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
140	1	8' - 0"	7' - 0"	CASED OPENING	Interior			
143	2	4' - 0"	7' - 0"	DOUBLE SOLID WOOD DOORS	Interior			
148	1	2' - 6"	7' - 0"	SOLID WOOD SLAB DOOR	Interior			
151	1	4' - 0"	7' - 0"	DOUBLE SOLID WOOD DOORS	Interior			

# **DOOR NOTES (U.N.O.):**

- ALL DOORS AND HARDWARE SHALL COMPLY WITH APPLICABLE CODES, INCLUDING ADA-AG&MSBC BARRIER FREE SUBCODES
- AND SHALL BE CAPABLE OF OPERATION WITH THE USE OF (1) HAND.
- ALL HOLLOW METAL DOOR FRAMES ARE TO BE 16 GAUGE KNOCK DOWN TYPE. ALL FRAMES ARE TO RECEIVE THREE DOOR SILENCERS
- CONTRACTOR SHALL SUBMIT SHOP DRWG'S & CATALOG CUTS (FOR REVIEW) FOR ALL DOORS, FRAMES AND HARDWARE.
- CONTRACTOR SHALL PROVIDE ALL MISC. HARDWARE REQ'D. FOR COMPLETÉ OPERATION OF EACH DOOR. ALL EXTERIOR DOORS TO HAVE SELF-CLOSING HARDWARE; THRESHOLDS AND WEATHER STRIPPING.
- DOOR THRESHOLDS SHALL NOT EXCEED ON-HALF INCH (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH (1/4") IN HEIGHT SHALL HAVE A 1:2 BEVEL.
- ALL LOCKS ARE TO BE KEYED PER THE REQUIREMENTS OF THE OWNER.
- ALL HINGES BRUSHED ALUM. & BALL BRG.
- ALL DOORS TO BE SUPPLIED & INSTALLED WITH DOOR STOPS WITH SOLID BLOCKING FOR EACH LOCATION. ALL GLASS IN DOORS MUST BE TEMPERED AS PER CODE
- STOREFRONT ENTRANCE DOORS TO BE KAWNEER OR EQUAL WITH FRAMING SYSTEM AS INDICATED ON SCHEDULE WITH CLOSERS, LOCK ASSEMBLIES, AND ALL OTHER HARDWARE REQUIRED FOR A COMPLETE INSTALLATION.
- ALL EXTERIOR METAL DOORS SHALL BE INSULATED.
- VER. ALL DOOR OPTIONS; INCLUDING HANDING, TYPE AND HARDWARE W/ OWNER SELECTIONS. PROVIDE BUMPERS/STOPS

- **HARDWARE NOTES:** LOCK AND LATCH SETSTO BE 'YALE' SERIES WITH LEVER HANDLE AND SATIN CHROME FINISH (U.N.O.)
- ALL DOORS TO RECEIVES 'IVES' OR APPROVED EQUAL DOMED FLOOR STOPOR CONVEX WALL STOP ANSI 156.16. ALL DOORS TO HAVE APPROPRIATE DOOR STOPS.
- PANIC HARDWARE SHALL CONSIST OF PANIC BAR (HRIZONTAL BAR) AND LATCHING DEVICE WITH PROPER LATCH BOLT LENGTH, STEEL BALL BEARING HINGES AND CLOSER.
- PROVIDE PANIC HARDWARE ON ALL EXTERIOR DOORS. IT IS 'YALE' MANUFACTURER OR APPROVED EQUAL PANIC HARDWARE SHALL HAVE THE ACTIVATING MEMBER MOUNTED AT A HIGHT OF NOT LESS THAN 30 INCHES & 44 INCHES
- DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
- VERIFY ALL HARDWARE FINISHES AND LOCK REQUIREMENTS WITH OWNER DOOR SUPPLIER TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL.

**ABBREVIATIONS:** AL/GL GLASS IN ALUM. FRAME

SOLID CORE WOOD SCWD.

ANOD. ANIDIZED STL. STEEL

STN. PTD. FACTORY FINISH PAINT

H.M./R.F. HOLLOW METAL / READY FRAME H.M. HOLLOW METAL

WD/GL GLASS IN WOOD FRAME STVN FACTORY FINISH STAINED VENEER

BRZ. PT. **BRONZE PAINT** 

**WINDOWS, GLAZING AND DOORS:** WINDOW SIZES AND OPERABILITY ARE SHOWN FOR REFERENCE ONLY.

WINDOW SUPPLIER SHALL CONFIRM ALL SIZES AND CONFIGURATIONS WITH OWNER PRIOR TO ORDER. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS.

**GENERAL NOTE:** 

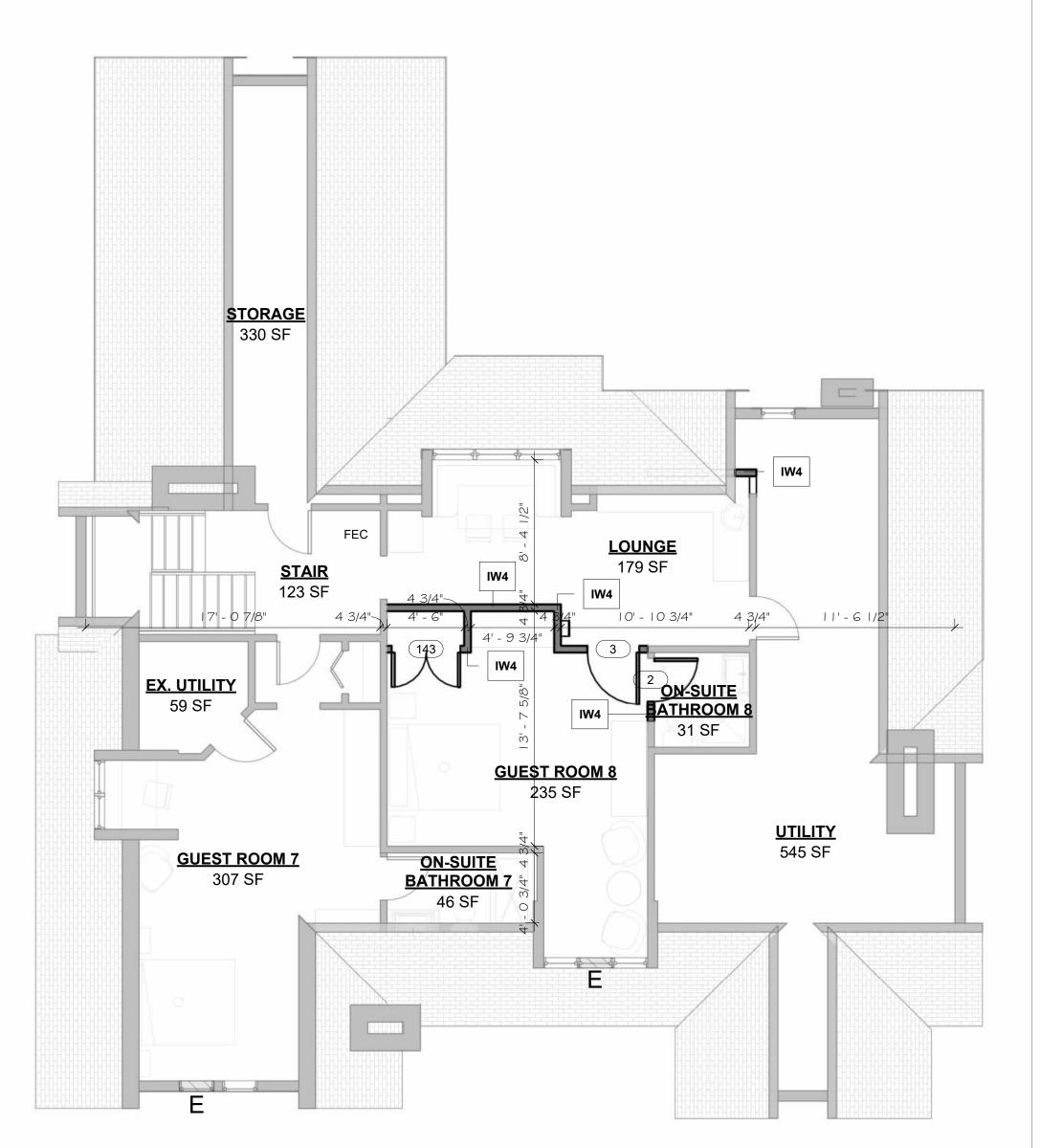
EXISTING HISTORIC WINDOW OPENINGS TO BE VERIFIED FOR COMPLIANCE WITH EGRESS REQUIREMENTS. WHERE NECESSARY, HISTORIC REPLICA CASEMENT WINDOWS TO BE PROVIDED THAT MEET MINIMUM EGRESS REQUIREMENTS.

# **LEGEND**:

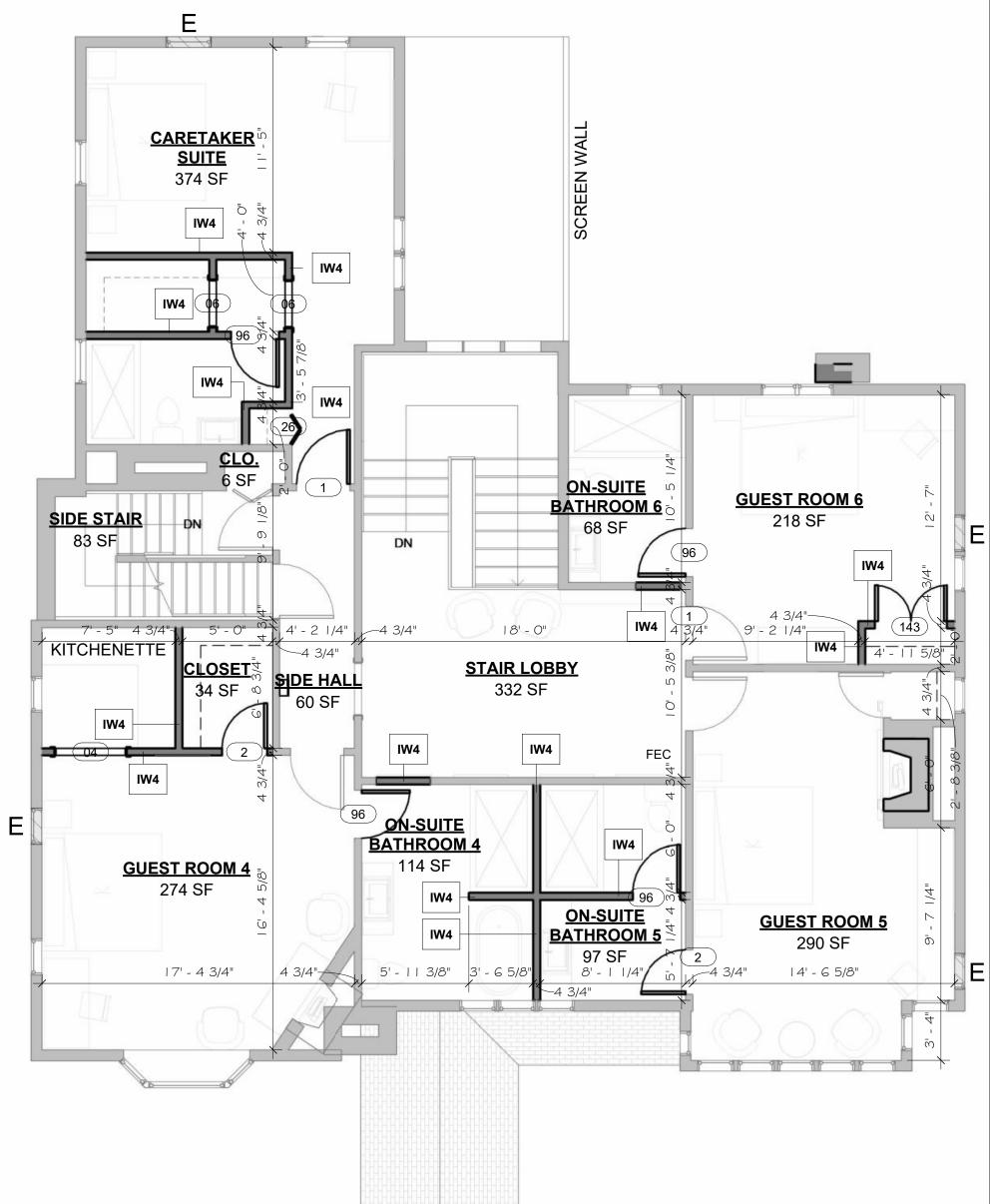
**COMPLIANT EGRESS WINDOW** 

E <u>HISTORIC EGRESS NOTE</u>













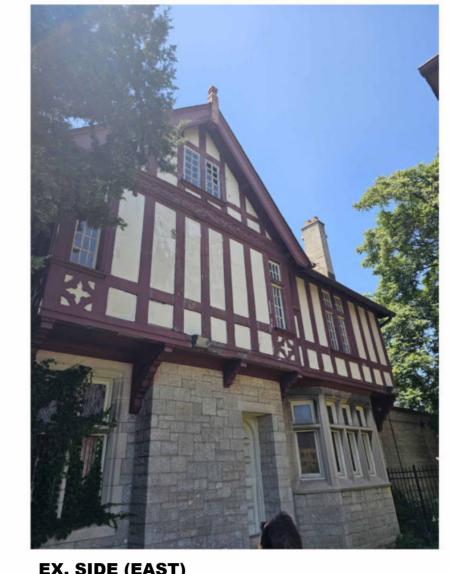
Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution. Revision Schedule Description 03/13/2025 Commercial Set 03/13/2025

SHEET NUMBER

3/14/2025 1:37:30 PM











Email: infuzltd@comcast.net Web: infuzarchitects.com

EX. SIDE (WEST)

EX. SIDE (EAST)

RESTORE ANY DAMANGE ON EXISTING WALL AND PREPARE FOR NEW VERTICAL TRELLIS. REFER TO SITE PLAN.

REPLACE EXISTING ASPHALT RESTORE EXISTING DORMER, SHINGLE ROOFING THROUGHOUT PROVIDE NEW CLADDING WITH NEW TO MATCH RESTORE EXISTING **DECORATIVE** RESTORE ALL EXISTING HISTORIC WOOD BARGE WOOD TRIM BOARDS & FASCIAS, TYP. REPLACE ANY MISSING **ELEMENTS WITH NEW TO** MATCH—— — ——— RESTORE ALL EXISTING REPLACE FORMERLY HISTORIC WOOD WINDOWS, TYP. REPLACED NON-**COMPLIANT VINYL** WINDOWS WITH **NEW HISTORIC** APPROPRIATE WINDOWS, TYP. RESTORE ALL EXISTING TUDOR STYLE TRIM WORK, TYP.

RESTORE EXISTING DORMER, PROVIDE **NEW CLADDING** REPLACE EXISTING ASPHALT SHINGLE RESTORE ALL EXISTING HISTORIC WOOD BARGE BOARDS & ROOFING FASCIAS, TYP. THROUGHOUT REPLACE ANY MISSING WITH NEW TO ELEMENTS WITH NEW TO MATCH MATCH -RESTORE ALL EXISTING TUDOR STYLE TRIM WORK, TYP. RESTORE ALL EXISTING HISTORIC WOOD WINDOWS, TYP. ATTIC 119' - 5" REPLACE EXISTING LIGHTING WITH NEW GOOSENECK **FIXTURES** RELOCATE EXISTING PANEL, VERIFY W OWNER/CONTRACTOR 2ND F.F. HEIGHT 110' - 8" RESTORE **EXISTING BRICK** REPAIR EXISTING RESTORE ANY DAMAGE ON EXISTING WALL 1ST F.F. HEIGHT 100' - 0"

RESTORE EXISTING MASONRY PILLARS REMOVE EXISTING FAUX AWNINGS 4
4CSP
WEST ELEVATION - PROPOSED
3/16" = 1'-0" 3
ACSP
NORTH ELEVATION -PROPOSED
3/16" = 1'-0" REPLACE EXISTING ASPHALT SHINGLE ROOFING THROUGHOUT WITH NEW TO MATCH RESTORE EXISTING DORMER, PROVIDE NEW CLADDING REPLACE EXISTING ASPHALT SHINGLE ROOFING THROUGHOUT WITH NEW TO MATCH RESTORE EXISTING RESTORE ALL EXISTING
HISTORIC WOOD BARGE RESTORE ALL EXISTING HISTORIC WOOD BARGE BOARDS & FASCIAS, TYP. DECORATIVE BOARDS & FASCIAS, TYP. REPLACE ANY MISSING ELEMENTS WITH NEW TO WOOD TRIM REPLACE ANY MISSING ELEMENTS WITH NEW TO MATCH MATCH ATTIC 119' - 5" RESTORE EXISTING RESTORE ALL EXISTING HISTORIC WOOD RESTORE ALL EXISTING
HISTORIC WOOD
WINDOWS, TYP. DECORATIVE WINDOWS, TYP. WOOD TRIM REPLACE FORMERLY REPLACED NON-RESTORE ALL EXISTING TUDOR STYLE TRIM COMPLIANT VINYL WORK, TYP. WINDOWS WITH NEW HISTORIC APPROPRIATE WINDOWS, TYP. 2ND F.F. HEIGHT 110' - 8" RESTORE ALL EXISTING TUDOR STYLE TRIM REPLACE FORMERLY WORK, TYP. REPLACED NON-RESTORE EXISTING BAY WINDOW & EXISTING REAR WALL AND PREPARE FOR NEW OPENING. REFER TO SITE PLAN. COMPLIANT VINYL WINDOWS WITH NEW HISTORIC APPROPRIATE WINDOWS, TYP. 1ST F.F. HEIGHT 100' - 0"

03/13/2025

Unauthorized use of this drawing

BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and

will be subject to civil damages

Revision Schedule

03/13/2025

and prosecution.

Commercial Set

Description

set without written permission from VIRTUOSO DESIGN +

> **EXTERIOR ELEVATIONS** BERKERY

& MELVIE BERKER PROPOSED 8325 E JEI DETROIT, NIALL & SHEET NUMBER

GRADE 97' - 0"

2
4CSP
EAST ELEVATION - PROPOSED
3/16" = 1'-0"

NEW PATIO CONCRETE STAIR

1
4CSP
SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"





RENDERING (OPT 1)

# **EXISTING NORTH ELEVATION (REAR)**





**RENDERING (OPT 2 - MANSARD ROOF)** 

Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

Description Date

Commercial Set 03/13/2025

NOT FOR TION CONSTRUCTION

03/13/2025

IE BERKERY

BERKERY ESTAT
PROJECT NUMBER: 224075
8325 E JEFFERSON AVE
DETROIT, MI 48214
NIALL & MELVIE BERKI

A-3.1

3/14/2025 1:38:00 PM

SHEET NUMBER

1
4CSP
NORTH ELEVATION - PROPOSED
3/16" = 1'-0"

### **GENERAL ELECTRICAL NOTES:**

- CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR AS INDICATED ON THE PLANS AND AS REQUIRED FOR A COMPLETE WORK LIGHTING AND POWER SYSTEM.
- ALL WORKMANSHIP, MATERIALS AND METHODS OF INSTALLATION SHALL BE GOVERNED BY THE REQUIREMENTS OF THESE SPECIFICATIONS, THE NATIONAL ELECTRICAL CODE, LATEST REVISION, LOCAL CODES, BARRIER FREE
- EXERCISE CARE IN INSTALLING SUPPORTS TO MAINTAIN STRUCTURAL DESIGNED QUALITY. ALLOW FOR EXPANSION MOVEMENTS AS REQUIRED IN ALL SUPPORTS, CABLES AND CONDUIT.
- VERIFY WALL SWITCH AND POWER OUTLETS LOCATIONS WITH OWNER AND LOCAL GOVERNING ENFORCEMENT OFFICIAL. WHERE NOT SPECIFIED ALL SWITCHES SHALL BE LOCATED 48" ABOVE FINISHED FLOOR TO CENTERLINE. CONVENIENCE RECEPTACLES SHALL BE LOCATED 18" ABOVE FINISHED FLOOR TO BOTTOM OF BOX, EXCEPT WHERE INDICATED ON PLANS TO BE OTHERWISE. ALL WALL SWITCH OUTLETS SHALL BE INSTALLED ON THE LOCK SIDE OF THE DOOR IMMEDIATELY ADJACENT TO DOOR FRAME. VERIFY DOOR SWINGS WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN WORK. WHERE GLASS PARTITIONS OR OTHER ARCHITECTURAL FEATURES PREVENT SUCH LOCATIONS, SWITCHES SHALL BE LOCATED IN HOLLOW METAL DOOR FRAMES.
- ALL RECEPTACLES LOCATIONS SHALL BE IN ACCORDANCE WITH THE LAYOUT SHOWN EXCEPTED AS OTHERWISE NOTED OR AS OTHERWISE REQUIRED BY CODES AND/OR AGENCIES HAVING JURISDICTION. ALL OUTLETS SHALL BE OF ADEQUATE SIZE AND TYPE AS REQUIRED FOR THE PARTICULAR LOCATION AND SERVICE INTENDED. RECEPTACLES SHALL NOT BE RATED LESS THAN 20 AMPS AND SHOULD BE LABELED ON THE INSIDE OF EACH FACE PLATE WITH PANEL AND CIRCUIT NUMBER DESIGNATION. CHECK ALL RECEPTACLE CIRCUITS FOR CONTINUITY AFTER COMPLETION.
- ALL WIRING SHALL BE RUN IN ELECTRICAL RACEWAY AS REQUIRED PER APPLICABLE CODES.
- VERIFY OWNER'S DESIRE FOR DIMMING AND OTHER CONTROLS SUCH AS PHOTO-SENSORS, TIMERS, ETC. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK ENUMERATED ABOVE AND ARE PARTLY DIAGRAMMATIC. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, NOT TO SERVE AS SHOP DRAWINGS. CONSULT EQUIPMENT SHOP DRAWINGS FOR CORRECT MEASUREMENTS WHEREVER POSSIBLE.
- THE ELECTRICAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT FIT OF THE WORK INSTALLED AND SHALL TAKE FIELD MEASUREMENTS NECESSARY FOR ORDERING MATERIALS AND FITTING THE INSTALLATION TO THE BUILDING CONSTRUCTION AND ARRANGEMENT.
- ELECTRICAL WORK SHALL BE COORDINATED WITH OTHER TRADES. CONSULT THE PLANS COVERING WORK FOR OTHER TRADES. THE FIELD LAYOUTS OF THE CONTRACTORS FOR THESE TRADES, AND THEIR SHOP DRAWINGS.
- THE CONTRACTOR SHALL BE AWARE AND RESPONSIBLE IN LAYING OUT THE ELECTRICAL WORK. CUTTING, CORE DRILLING, INSERTS AND CONDUIT OR CABLE SLEEVES AND PATCHING REQUIRED IN THE GENERAL CONSTRUCTION FOR THE COMPLETION OF THE WORK, SPECIFIED HEREIN, SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- STANDARD PLACEMENT HEIGHTS FOR FLOOR AND COUNTERTOP LEVEL OUTLETS SHALL ARE PLACED 15" AND 46" A.F.F. RESPECTIVELY.

### STANDARDS OF MATERIALS AND WORKMANSHIP

ALL MATERIALS SHALL BE NEW. THE ELECTRICAL AND PHYSICAL PROPERTIES OF ALL MATERIALS, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS OF EQUIPMENT, SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING RECOGNIZED AUTHORITIES:

NATIONAL ELECTRICAL CODE

AMERICAN NATIONAL STANDARDS INSTITUTE A.N.S.I. -INSTITUTE OF ELECTRICAL ELECTRONICS ENGINEERS I.E.E.E. -A.S.T.M. -AMERICAN SOCIETY FOR TESTING MATERIALS I.P.C.E.A. -INSULATED POWER CABLE ENGINEERS ASSOCIATION NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION

UNDERWRITERS' LABORATORIES, INC.

ALL WORK SHALL BE PERFORMED IN FIRST CLASS AND WORKMANLIKE MANNER, IN ACCORDANCE WITH THE LATEST ACCEPTED STANDARDS AND PRACTICES FOR THE TRADES INVOLVED. NONE BUT EXPERIENCED PERSONS IN THE WORK TO BE PERFORMED SHALL BE ALLOWED TO DO THE WORK. THIS APPLIES PARTICULARLY TO ITEMS SUCH AS CABLE SPLICING, CONTROL WORK, SYSTEMS CONNECTION, ETC.

CONDUIT SHALL BE EMT, PVC OR RIGID GALVANIZED STEEL. ALL CONDUIT INSTALLED UNDERGROUND SHALL BE PVC SCHEDULE 40 OR RIGID GALVANIZED STEEL AS NOTED. CONDUIT INSTALLED IN FINISHED AREAS SHALL BE CONCEALED. PROVIDE CONDUIT SLEEVES WHERE CONDUITS PASS THRU FLOORS, WALLS, ETC. ALL VOIDS BETWEEN SLEEVES AND HOLES AND CONDUITS PASSING THRU SHALL BE FIRESTOPPED. SPECSEAL 100 FIRE STOP SEALANT OR APPROVED

### **GROUNDING**

EQUAL.

- ALL METAL NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT, ENCLOSURES, BASES, FRAMES, LIGHTING FIXTURES, WIREWAYS AND SUPPORTS SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST N.E.C. AND LOCAL
- PROVIDE ANY SPECIAL GROUNDS REQUIRED BY THE LATEST N.E.C., UTILITIES, AND AS RECOMMENDED BY EQUIPMENT
- GROUND SERVICE EQUIPMENT TO BUILDING STEEL, GROUND RODS AND WATER SERVICE AS REQUIRED BY THE LATEST
- ALL FEEDER AND BRANCH CIRCUITS SERVING PANELS, LIGHTING, RECEPTACLES, MOTORS, MECHANICAL EQUIPMENT, ETC., INSTALLED IN EMT, MC, PVC OR RIGID GALVANIZED STEEL CONDUIT, SHALL BE INSTALLED WITH AN INSULATED (GREEN) GROUND CONDUCTOR.

- APPROVED EXIT SIGNS SHALL BE INSTALLED TO INDICATE THE LOCATION OF THE DESIGNATED MEANS OF EGRESS. ALL EXIT SIGNS SHALL HAVE CONSTANT ILLUMINATION.
- EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE FACILITY ACCORDING TO THE LATEST IFC/IBC AND NFPA, AS WELL AS CURRENT FIRE CODES. ELECTRICAL CONTRACTOR TO PROVIDE LIGHTING TO MEET FOOTCANDLE
- COMBINATION EXIT AND EMERGENCY LIGHTING UNITS MAY BE USED IN LIEU OF SEPARATE FIXTURES AS LONG AS ALL CODE REQUIREMENTS ARE MET
- THERE SHALL BE CLEAR MARKINGS OF ARROW/CHEVRON INDICATORS TO DISTINGUISH THE DIRECTION OF TRAVEL TO THE PATH OF EGRESS.
- ELECTRICAL CONTRACTOR TO VERIFY STYLE AND COLOR OF EXIT FIXTURES WITH OWNER. WHERE ACCEPTABLE, USE BLUE OR GREEN LED GLASS FIXTURES.
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

VERIFY WITH BUILDING OWNER THE INTENT TO PROVIDE A NATURAL GAS/LP GAS ENGINE GENERATOR SET, IN A WEATHERPROOF SOUND ENCLOSURE, OF THE LATEST COMMERCIAL TYPE AND DESIGN. IN A STAND-BY POWER CAPACITY, IT SHALL BE CAPABLE OF CONTINUOUS SERVICE AND RATED OUTPUT FOR THE DURATION OF ANY UTILITY POWER FAILURE. THE ENGINE GENERATOR MANUFACTURER AND ITS AUTHORIZED DEALER SHALL HAVE SOLE RESPONSIBILITY FOR THE PERFORMANCE OF THE ENGINE GENERATOR SET AND ITS ACCESSORIES. IT SHALL BE A NEW, FACTORY ASSEMBLED AND TESTED SET.

# TELEPHONE/DATA/CABLE TELEVISION SERVICE

VERIFY OWNER'S REQUIREMENTS FOR LOW VOLTAGE SYSTEM INCLUDING SECURITY SYSTEM, ALARMS, TELEPHONE AND/OR CABLE/SATELLITE TELEVISION SERVICE, AND COMPUTER NETWORK CABLE. TERMINATE SERVICE CONDUIT PER MANUFACTURER REQUIREMENTS.

	CEILING SCHEDULE	
Type Mark Area	Description	Comments

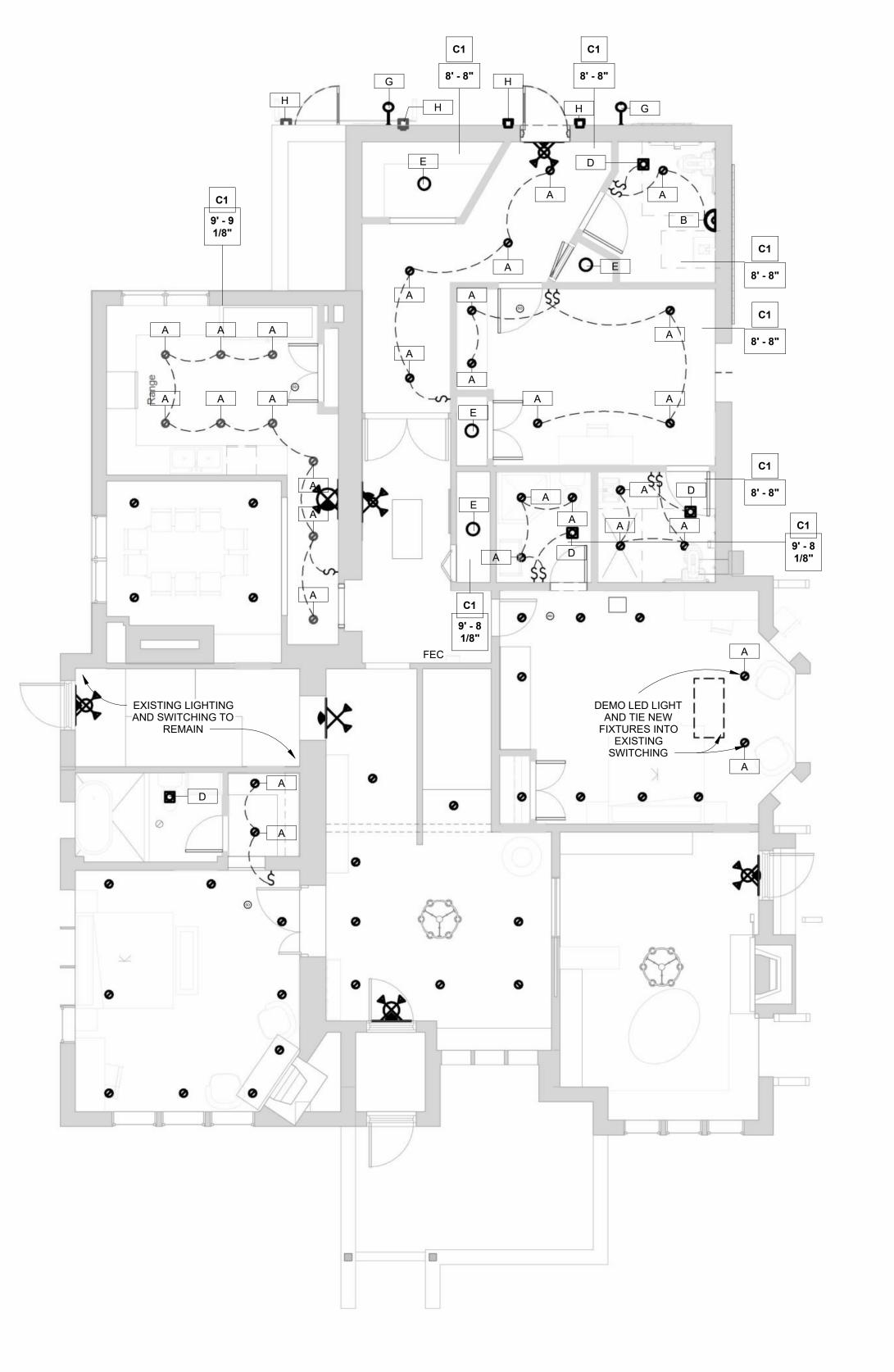
C1	2123 SF	NEW GYP. BOARD CEILING
Grand total	2123 SF	

LIGHTING FIXTURE SCHEDULE			
Type Mark	Count	Description	Comments
Α	114	RECESSED DOWNLIGHT	
В	20	SCONCE	
С	3	EXTERIOR POST LIGHT FIXTURE	
D	12	BATHROOM EXHAUST FAN	
E	11	UTILITARIAN FLUSH MOUNT FIXTURE PULL-SWITCH	
F	5	EXTERIOR GROUND UP-LIGHT WALL WASH	
G	2	REAR EXTERIOR GOOSE NECK	
Н	4	REAR EXTERIOR SCONCE	

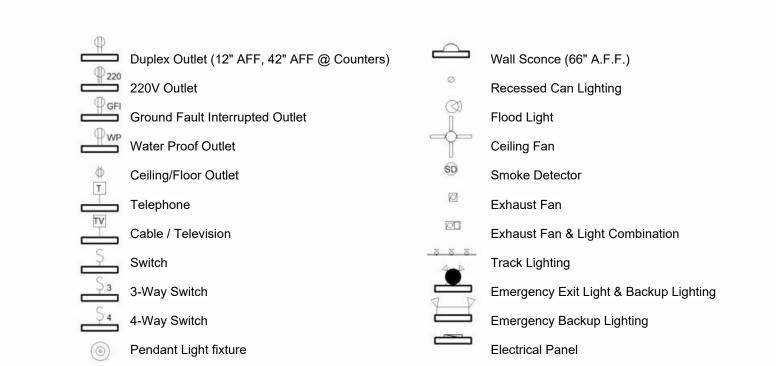
# Grand total 171

# **GENERAL ELECTRICAL AND LIGHTING NOTES**

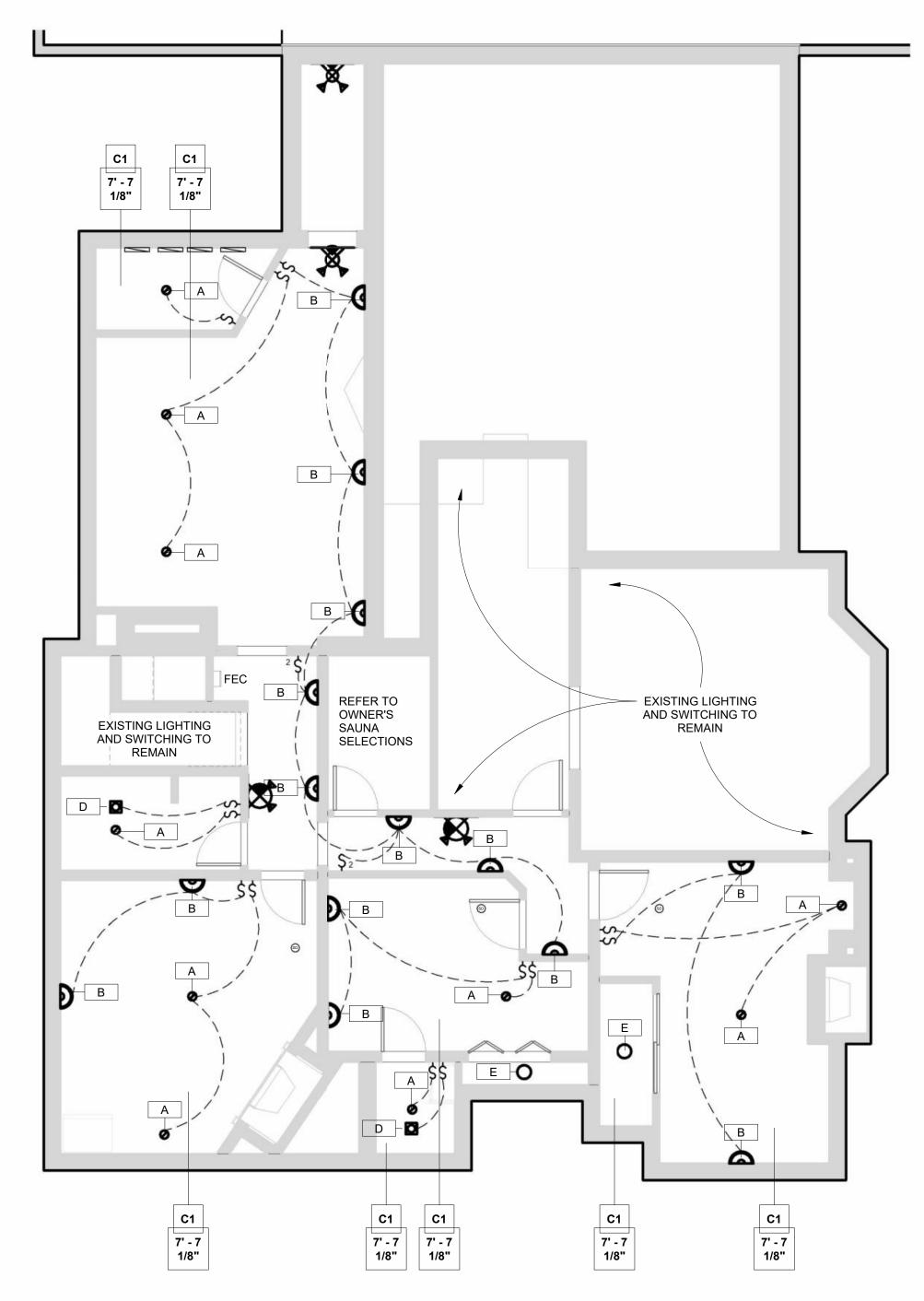
- ANY EXISTING LIGHTING SHOWN TO REMAIN WITH EXISTING SWITCHING NEW LIGHTING FIXTURES IN ROOMS WITH EXISTING LIGHTING TO BE TIED INTO EXISTING SWITCHING, ETC.
- EXISTING POWER TO BE VERIFIED ON SITE AND RE-USED WHERE POSSIBLE
- CEILINGS NOT TAGGED ARE EXISTING TO REMAIN







# **ELECTRICAL SYMBOLS**





Email: infuzltd@comcast.net Web: infuzarchitects.com

Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule Description

03/13/2025 Commercial Set

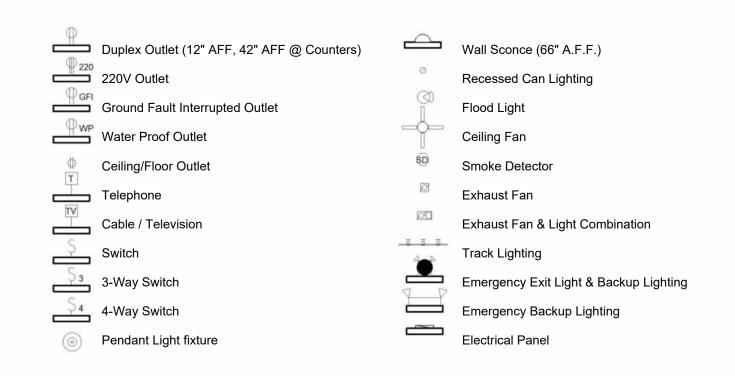
03/13/2025

CEILING BERKER ED

MEL NIALL

SHEET NUMBER

3/14/2025 1:38:05 PM



### ELECTRICAL SYMBOLS 1/8" = 1'-0"

CEILING SCHEDULE			
Type Mark	Area	Description	Comments
C1	2123 SF	NEW GYP. BOARD CEILING	

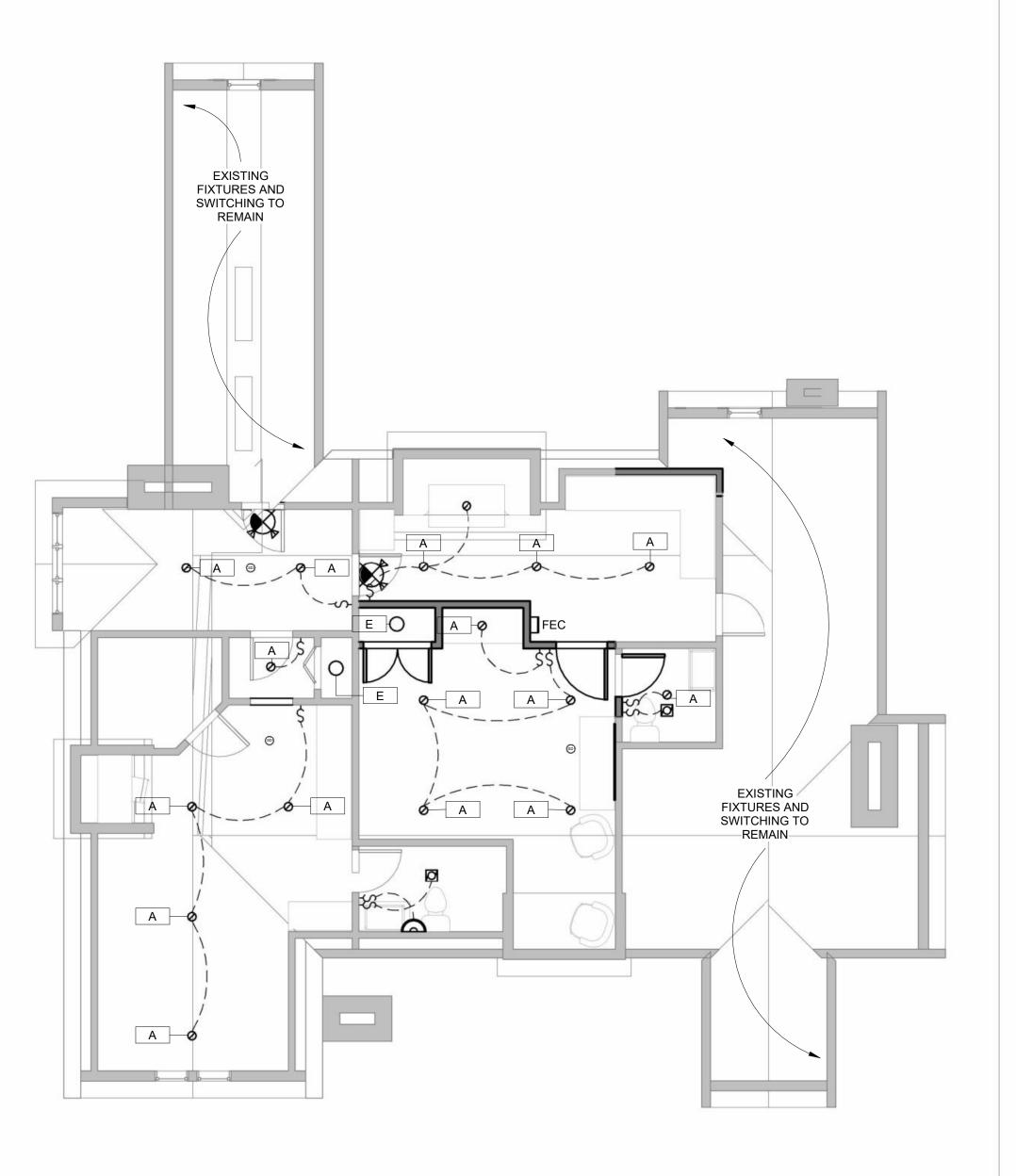
C1	2123 SF	NEW GYP. E
Grand total	2123 SF	

	LIGHTING FIXTURE SCHEDULE		
Type Mark	Count	Description	Comments
	1		
Α	114	RECESSED DOWNLIGHT	
В	20	SCONCE	
С	3	EXTERIOR POST LIGHT FIXTURE	
D	12	BATHROOM EXHAUST FAN	
E	11	UTILITARIAN FLUSH MOUNT FIXTURE PULL-SWITCH	
F	5	EXTERIOR GROUND UP-LIGHT WALL WASH	
G	2	REAR EXTERIOR GOOSE NECK	
Н	4	REAR EXTERIOR SCONCE	

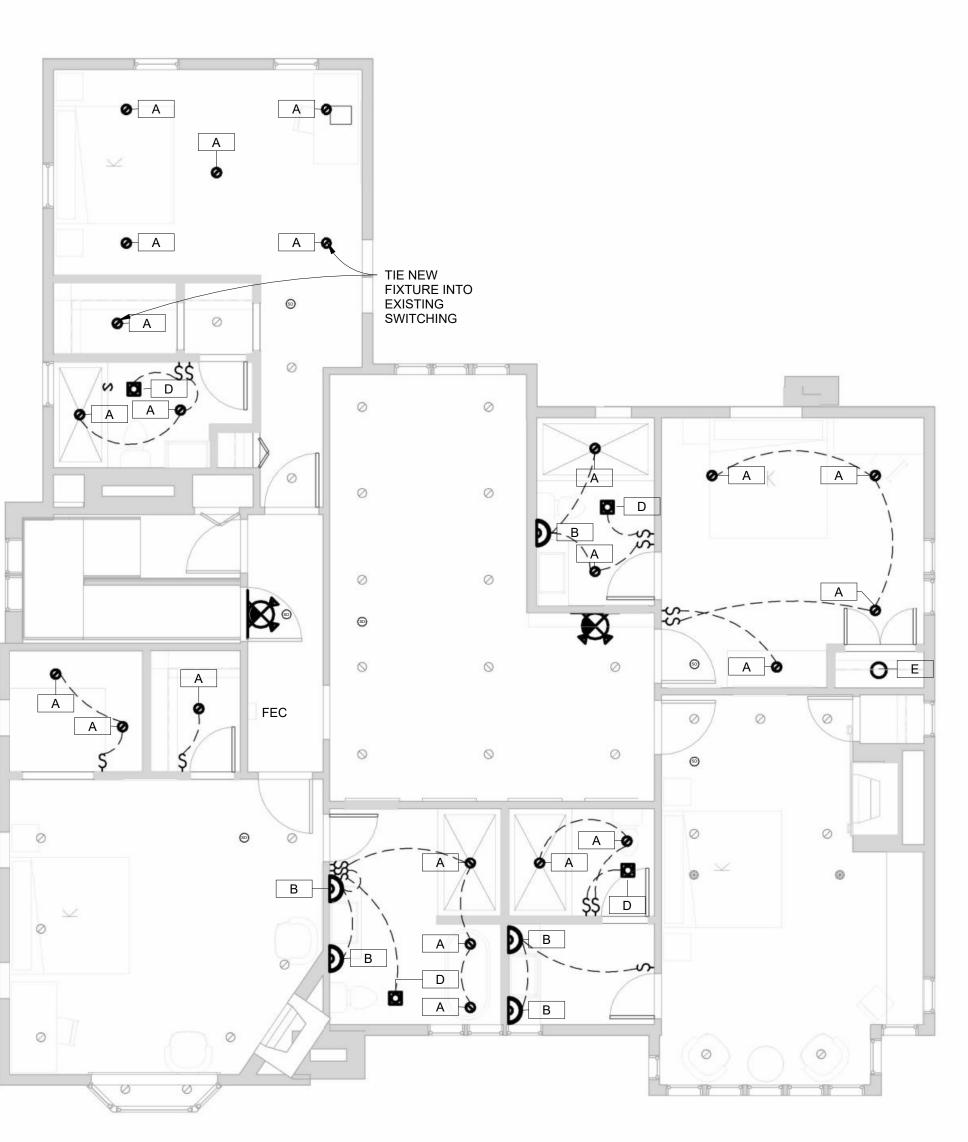
Grand total 171

### **GENERAL ELECTRICAL AND LIGHTING NOTES**

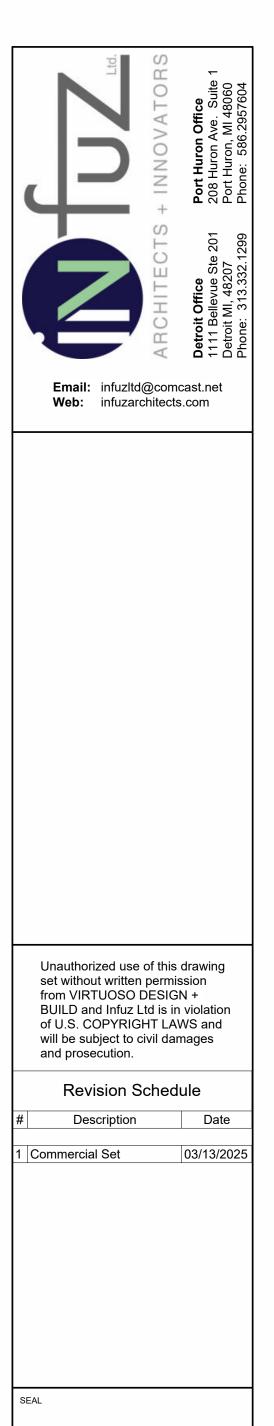
- ANY EXISTING LIGHTING SHOWN TO REMAIN WITH EXISTING SWITCHING
- NEW LIGHTING FIXTURES IN ROOMS WITH EXISTING LIGHTING TO BE TIED INTO EXISTING SWITCHING, ETC.
- EXISTING POWER TO BE VERIFIED ON SITE AND RE-USED WHERE POSSIBLE
- CEILINGS NOT TAGGED ARE EXISTING TO REMAIN











03/13/2025 PLANS

BERKERY BERKERY
PROJECT NUMBER: 224075
8325 E JEFFERSON A
DETROIT, MI 48214
NIALL & MELV
SHEET TITLE
ENLARGED RE

A-5.1

3/14/2025 1:38:11 PM

SHEET NUMBER

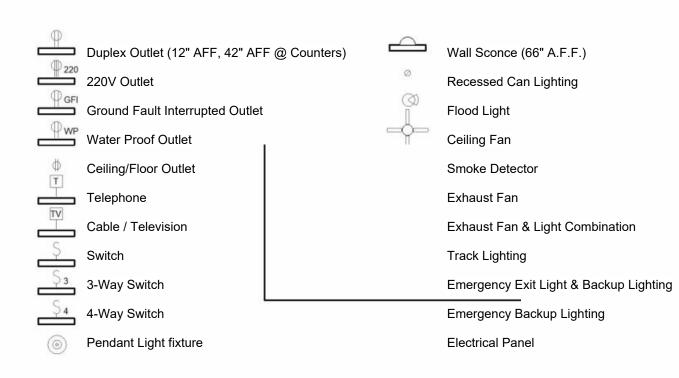
### **GENERAL ELECTRICAL AND LIGHTING NOTES**

- ANY EXISTING LIGHTING SHOWN TO REMAIN WITH EXISTING SWITCHING

- NEW LIGHTING FIXTURES IN ROOMS WITH EXISTING LIGHTING TO BE TIED INTO EXISTING SWITCHING, ETC.

- EXISTING POWER TO BE VERIFIED ON SITE AND RE-USED WHERE POSSIBLE

- CEILINGS NOT TAGGED ARE EXISTING TO REMAIN



### **ELECTRICAL SYMBOLS**

### **GENERAL ELECTRICAL NOTES:**

- CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR AS INDICATED ON THE PLANS AND AS REQUIRED FOR A COMPLETE WORK LIGHTING AND POWER SYSTEM.
- ALL WORKMANSHIP, MATERIALS AND METHODS OF INSTALLATION SHALL BE GOVERNED BY THE REQUIREMENTS OF THESE SPECIFICATIONS, THE NATIONAL ELECTRICAL CODE, LATEST REVISION, LOCAL CODES, BARRIER FREE CODES, AND OSHA.
- EXERCISE CARE IN INSTALLING SUPPORTS TO MAINTAIN STRUCTURAL DESIGNED QUALITY, ALLOW FOR EXPANSION MOVEMENTS AS REQUIRED IN ALL SUPPORTS, CABLES AND CONDUIT.
- VERIFY WALL SWITCH AND POWER OUTLETS LOCATIONS WITH OWNER AND LOCAL GOVERNING ENFORCEMENT OFFICIAL. WHERE NOT SPECIFIED ALL SWITCHES SHALL BE LOCATED 48" ABOVE FINISHED FLOOR TO CENTERLINE. CONVENIENCE RECEPTACLES SHALL BE LOCATED 18" ABOVE FINISHED FLOOR TO BOTTOM OF BOX, EXCEPT WHERE INDICATED ON PLANS TO BE OTHERWISE. ALL WALL SWITCH OUTLETS SHALL BE INSTALLED ON THE LOCK SIDE OF THE DOOR IMMEDIATELY ADJACENT TO DOOR FRAME. VERIFY DOOR SWINGS WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN WORK. WHERE GLASS PARTITIONS OR OTHER ARCHITECTURAL FEATURES PREVENT SUCH LOCATIONS, SWITCHES SHALL BE LOCATED IN HOLLOW METAL DOOR FRAMES.
- ALL RECEPTACLES LOCATIONS SHALL BE IN ACCORDANCE WITH THE LAYOUT SHOWN EXCEPTED AS OTHERWISE NOTED OR AS OTHERWISE REQUIRED BY CODES AND/OR AGENCIES HAVING JURISDICTION. ALL OUTLETS SHALL BE OF ADEQUATE SIZE AND TYPE AS REQUIRED FOR THE PARTICULAR LOCATION AND SERVICE INTENDED. RECEPTACLES SHALL NOT BE RATED LESS THAN 20 AMPS AND SHOULD BE LABELED ON THE INSIDE OF EACH FACE PLATE WITH PANEL AND CIRCUIT NUMBER DESIGNATION. CHECK ALL RECEPTACLE CIRCUITS FOR CONTINUITY AFTER COMPLETION.
- ALL WIRING SHALL BE RUN IN ELECTRICAL RACEWAY AS REQUIRED PER APPLICABLE CODES. VERIFY OWNER'S DESIRE FOR DIMMING AND OTHER CONTROLS SUCH AS PHOTO-SENSORS, TIMERS, ETC. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK ENUMERATED ABOVE AND ARE PARTLY DIAGRAMMATIC. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, NOT TO SERVE AS SHOP DRAWINGS. CONSULT EQUIPMENT SHOP DRAWINGS FOR CORRECT
- MEASUREMENTS WHEREVER POSSIBLE. THE ELECTRICAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT FIT OF THE WORK INSTALLED AND SHALL TAKE FIELD MEASUREMENTS NECESSARY FOR ORDERING MATERIALS AND FITTING THE INSTALLATION TO THE BUILDING CONSTRUCTION AND ARRANGEMENT.
- ELECTRICAL WORK SHALL BE COORDINATED WITH OTHER TRADES. CONSULT THE PLANS COVERING WORK FOR OTHER TRADES. THE FIELD LAYOUTS OF THE CONTRACTORS FOR THESE TRADES, AND THEIR SHOP DRAWINGS. THE CONTRACTOR SHALL BE AWARE AND RESPONSIBLE IN LAYING OUT THE ELECTRICAL WORK.
- CUTTING, CORE DRILLING, INSERTS AND CONDUIT OR CABLE SLEEVES AND PATCHING REQUIRED IN THE GENERAL CONSTRUCTION FOR THE COMPLETION OF THE WORK, SPECIFIED HEREIN, SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- STANDARD PLACEMENT HEIGHTS FOR FLOOR AND COUNTERTOP LEVEL OUTLETS SHALL ARE PLACED 15" AND 46" A.F.F. RESPECTIVELY.

### STANDARDS OF MATERIALS AND WORKMANSHIP

ALL MATERIALS SHALL BE NEW. THE ELECTRICAL AND PHYSICAL PROPERTIES OF ALL MATERIALS, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS OF EQUIPMENT, SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING RECOGNIZED AUTHORITIES:

> NATIONAL ELECTRICAL CODE A.N.S.I. -AMERICAN NATIONAL STANDARDS INSTITUTE I.E.E.E. -INSTITUTE OF ELECTRICAL ELECTRONICS ENGINEERS AMERICAN SOCIETY FOR TESTING MATERIALS A.S.T.M. -

I.P.C.E.A. -INSULATED POWER CABLE ENGINEERS ASSOCIATION N.E.M.A. -NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION UNDERWRITERS' LABORATORIES, INC.

ALL WORK SHALL BE PERFORMED IN FIRST CLASS AND WORKMANLIKE MANNER, IN ACCORDANCE WITH THE LATEST ACCEPTED STANDARDS AND PRACTICES FOR THE TRADES INVOLVED. NONE BUT EXPERIENCED PERSONS IN THE WORK TO BE PERFORMED SHALL BE ALLOWED TO DO THE WORK. THIS APPLIES PARTICULARLY TO ITEMS SUCH AS CABLE SPLICING, CONTROL WORK, SYSTEMS CONNECTION, ETC.

### CONDUIT

CONDUIT SHALL BE EMT, PVC OR RIGID GALVANIZED STEEL. ALL CONDUIT INSTALLED UNDERGROUND SHALL BE PVC SCHEDULE 40 OR RIGID GALVANIZED STEEL AS NOTED. CONDUIT INSTALLED IN FINISHED AREAS SHALL BE CONCEALED. PROVIDE CONDUIT SLEEVES WHERE CONDUITS PASS THRU FLOORS, WALLS, ETC. ALL VOIDS BETWEEN SLEEVES AND HOLES AND CONDUITS PASSING THRU SHALL BE FIRESTOPPED. SPECSEAL 100 FIRE STOP SEALANT OR APPROVED

- ALL METAL NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT, ENCLOSURES, BASES, FRAMES, LIGHTING FIXTURES, WIREWAYS AND SUPPORTS SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST N.E.C. AND LOCAL
- PROVIDE ANY SPECIAL GROUNDS REQUIRED BY THE LATEST N.E.C., UTILITIES, AND AS RECOMMENDED BY EQUIPMENT
- GROUND SERVICE EQUIPMENT TO BUILDING STEEL, GROUND RODS AND WATER SERVICE AS REQUIRED BY THE LATEST
- ALL FEEDER AND BRANCH CIRCUITS SERVING PANELS, LIGHTING, RECEPTACLES, MOTORS, MECHANICAL EQUIPMENT, ETC., INSTALLED IN EMT, MC, PVC OR RIGID GALVANIZED STEEL CONDUIT, SHALL BE INSTALLED WITH AN INSULATED (GREEN) GROUND CONDUCTOR.

### **EGRESS LIGHTING**

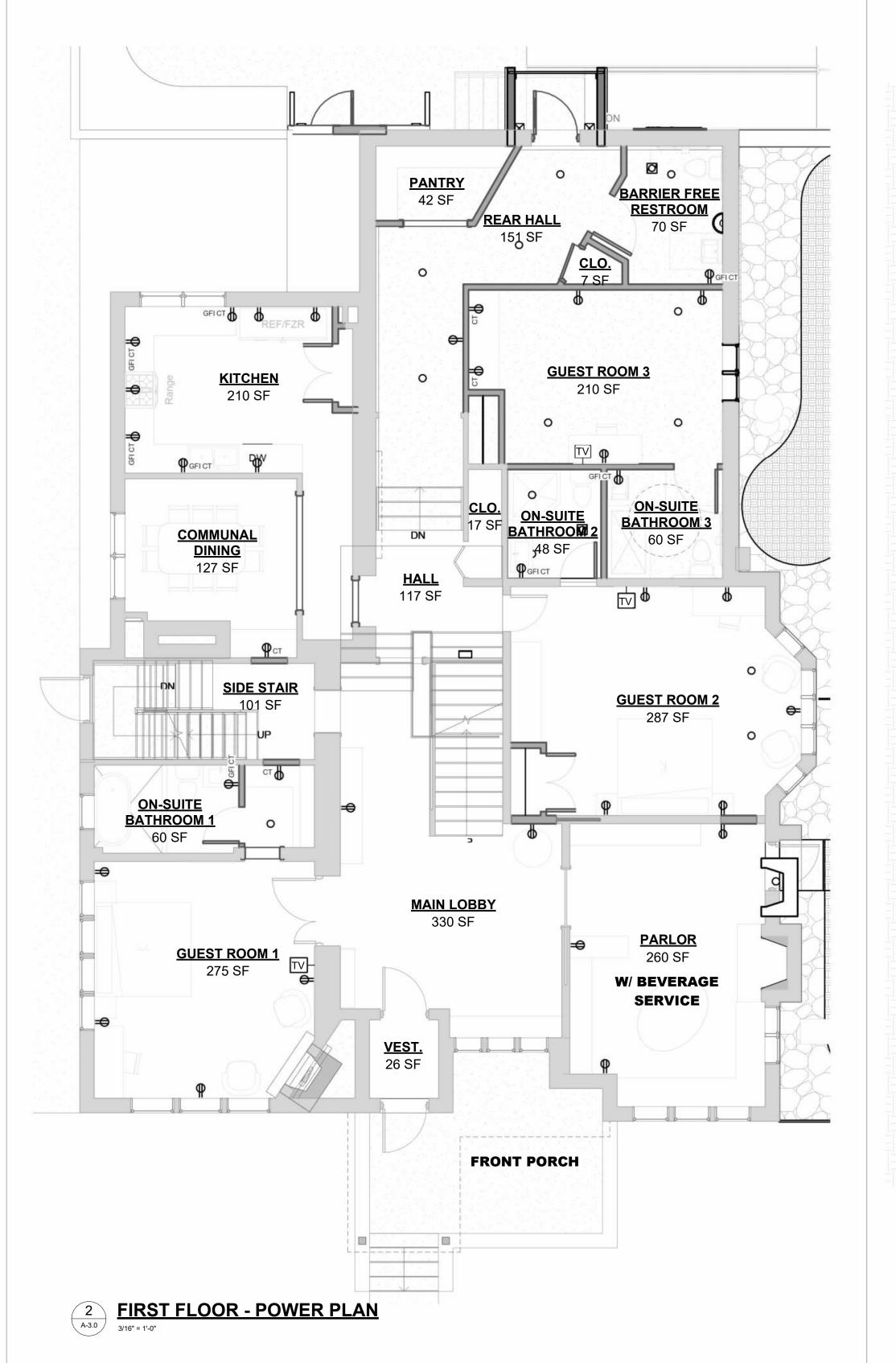
- APPROVED EXIT SIGNS SHALL BE INSTALLED TO INDICATE THE LOCATION OF THE DESIGNATED MEANS OF EGRESS. ALL
- EXIT SIGNS SHALL HAVE CONSTANT ILLUMINATION. EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE FACILITY ACCORDING TO THE LATEST IFC/IBC AND NFPA, AS WELL AS CURRENT FIRE CODES. ELECTRICAL CONTRACTOR TO PROVIDE LIGHTING TO MEET FOOTCANDLE
- COMBINATION EXIT AND EMERGENCY LIGHTING UNITS MAY BE USED IN LIEU OF SEPARATE FIXTURES AS LONG AS ALL CODE REQUIREMENTS ARE MET. THERE SHALL BE CLEAR MARKINGS OF ARROW/CHEVRON INDICATORS TO DISTINGUISH THE DIRECTION OF TRAVEL TO
- ELECTRICAL CONTRACTOR TO VERIFY STYLE AND COLOR OF EXIT FIXTURES WITH OWNER. WHERE ACCEPTABLE, USE
- BLUE OR GREEN LED GLASS FIXTURES. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL

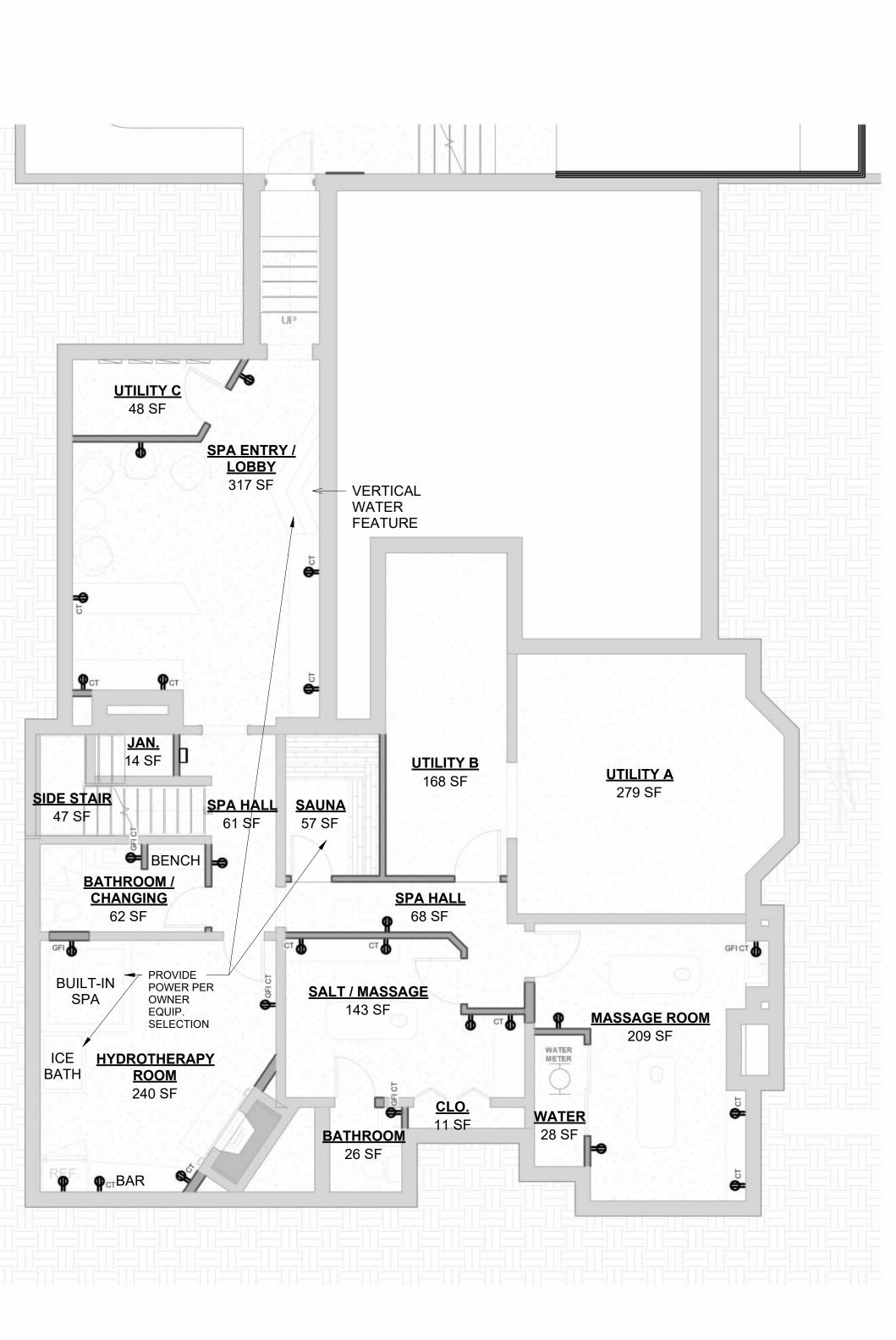
### **GENERATOR**

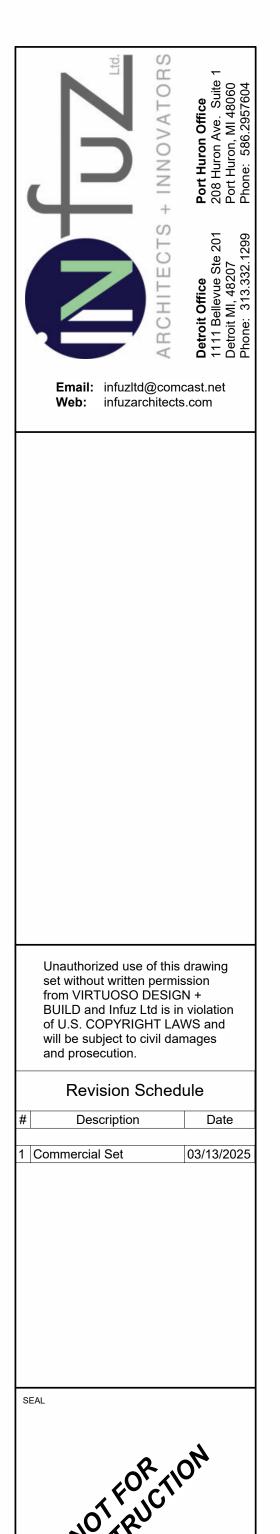
VERIFY WITH BUILDING OWNER THE INTENT TO PROVIDE A NATURAL GAS/LP GAS ENGINE GENERATOR SET, IN A WEATHERPROOF SOUND ENCLOSURE, OF THE LATEST COMMERCIAL TYPE AND DESIGN. IN A STAND-BY POWER CAPACITY, IT SHALL BE CAPABLE OF CONTINUOUS SERVICE AND RATED OUTPUT FOR THE DURATION OF ANY UTILITY POWER FAILURE. THE ENGINE GENERATOR MANUFACTURER AND ITS AUTHORIZED DEALER SHALL HAVE SOLE RESPONSIBILITY FOR THE PERFORMANCE OF THE ENGINE GENERATOR SET AND ITS ACCESSORIES. IT SHALL BE A NEW, FACTORY ASSEMBLED AND TESTED SET.

KNOWLEDGE OR EFFORT.

TELEPHONE/DATA/CABLE TELEVISION SERVICE VERIFY OWNER'S REQUIREMENTS FOR LOW VOLTAGE SYSTEM INCLUDING SECURITY SYSTEM, ALARMS, TELEPHONE AND/OR CABLE/SATELLITE TELEVISION SERVICE, AND COMPUTER NETWORK CABLE. TERMINATE SERVICE CONDUIT PER MANUFACTURER REQUIREMENTS.





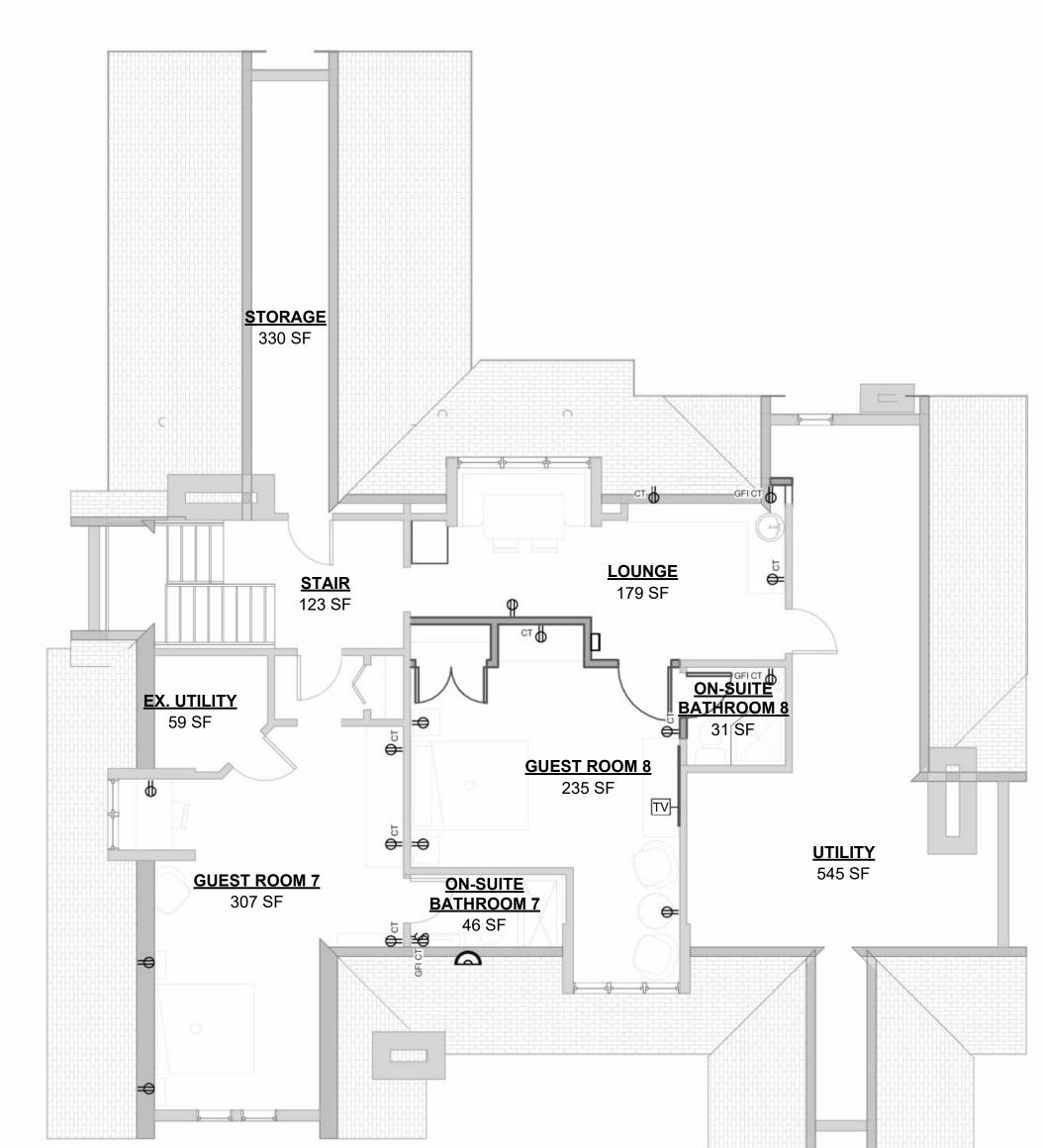


SHEET NUMBER

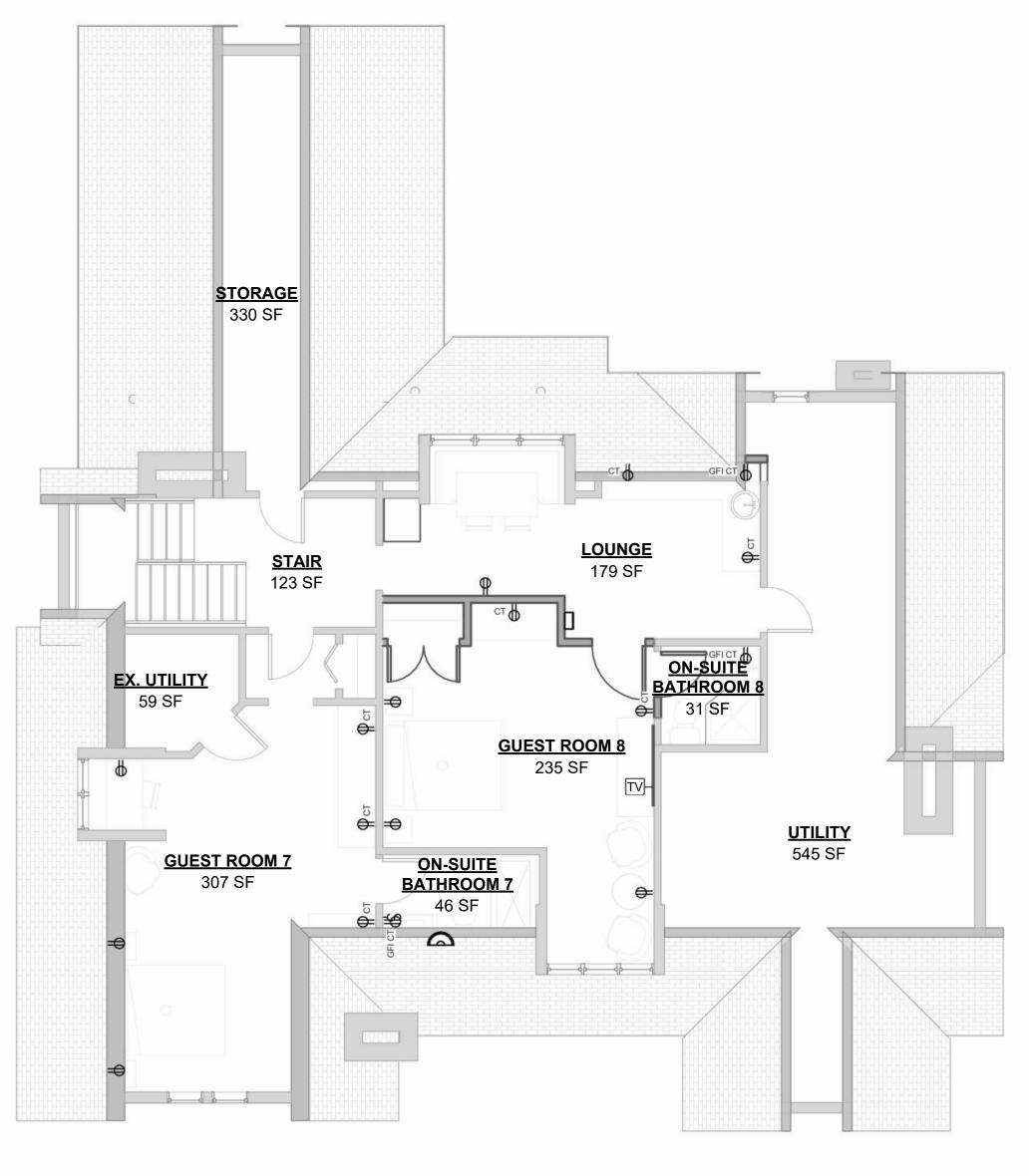
BERKE

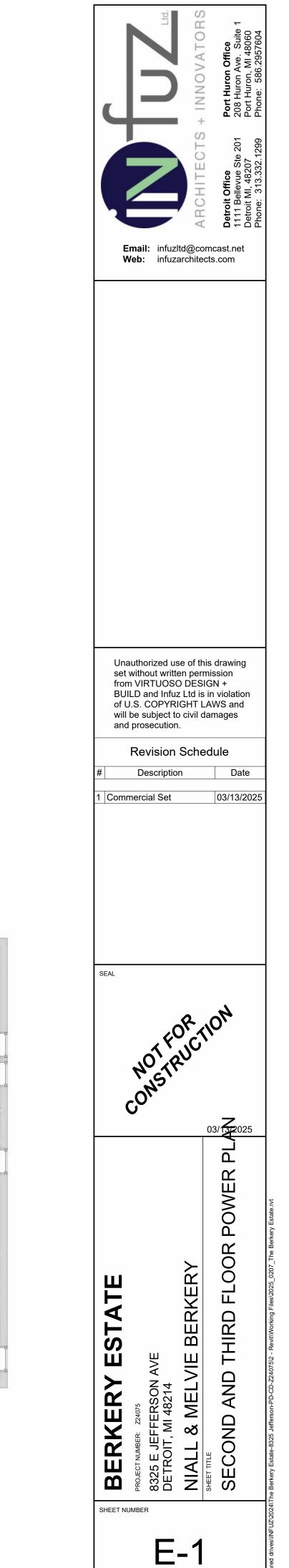
FOUNDATION PLAN - POWER PLAN
3/16" = 1'-0"

3/14/2025 1:38:17 PM









3/14/2025 1:38:23 PM

ELECTRICAL SYMBOLS

1/8" = 1'-0"

Duplex Outlet (12" AFF, 42" AFF @ Counters)

220V Outlet

Ground Fault Interrupted Outlet

Ceiling/Floor Outlet

WP Water Proof Outlet

Cable / Television

3-Way Switch
4-Way Switch

Pendant Light fixture

Telephone

Switch

Wall Sconce (66" A.F.F.)

Flood Light

Ceiling Fan

Exhaust Fan

Track Lighting

Electrical Panel

Emergency Backup Lighting

Smoke Detector

Recessed Can Lighting

Exhaust Fan & Light Combination

Emergency Exit Light & Backup Lighting

2
A-3.0
SECOND FLOOR - POWER PLAN
3/16" = 1'-0"

**CARETAKER** 

<u>SUITE</u> 374 SF

**CLO.** 6 SF

CLOSET SIDE HALL

KITCHENETTE 34 SF 60 SF

GUEST ROOM 4 274 SF

SIDE STAIR 83 SF

ON-SUITE BATHROOM 6

68 SF

ON-SUITE BATHROOM 5 97 SF

STAIR LOBBY 332 SF

ON-SUITE
BATHROOM 4
114 SF

GUEST ROOM 6 218 SF

GUEST ROOM 5 290 SF

# FIRST FLOOR ENTRANCE INSPIRATION

GOAL: KEEP EXISTING TRIM AND ENLIGHTEN SPACE THROUGH DESIGN ELEMENTS TO MAINTAIN HISTORIC CHARACTER.

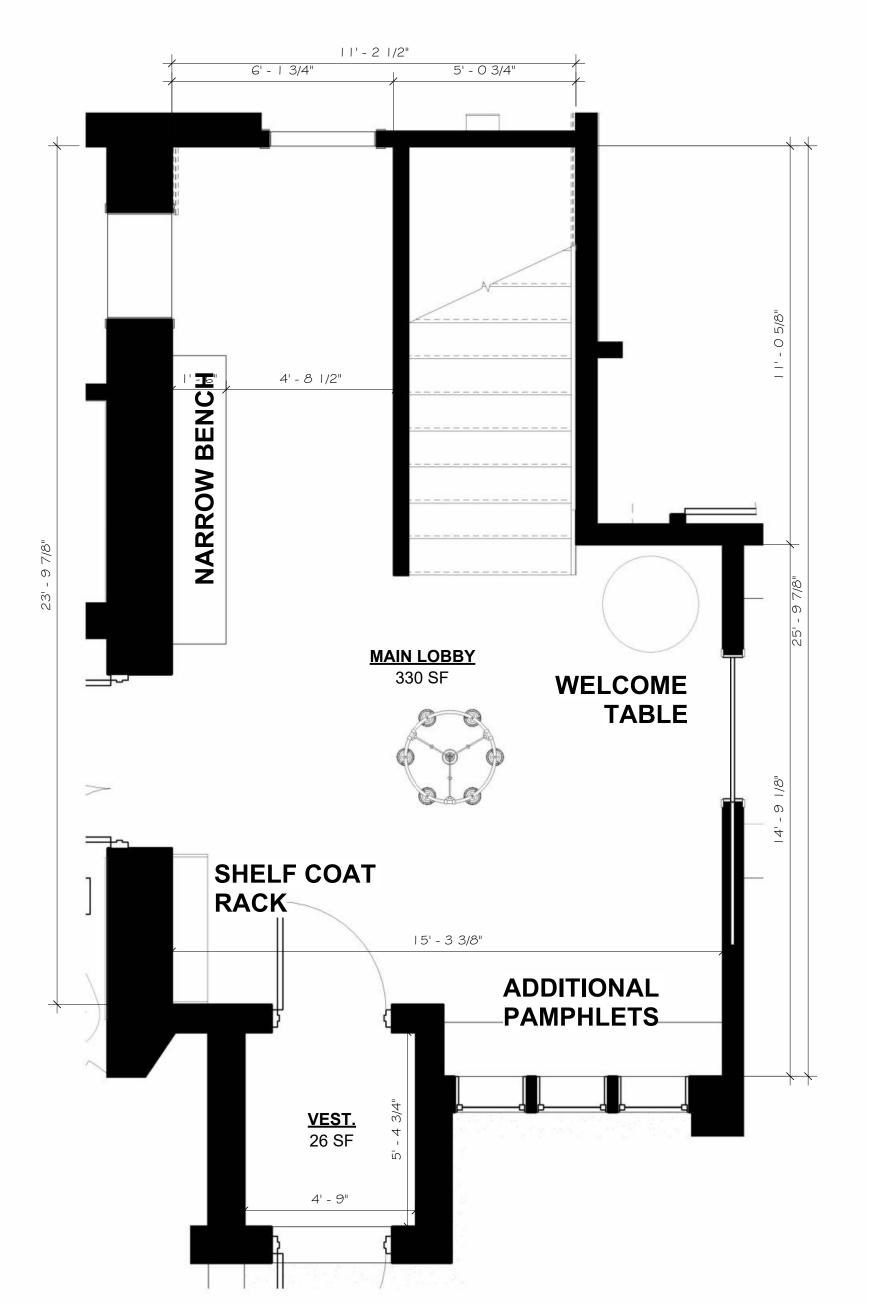
### **DESIGN ELEMENTS:**

- EMBRACE EXISTING WOOD TRIM
- CONTRAST WOOD TRIM W/ WHITE CEILING AND ACCENTS
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- REMOVE ANY INCANDESCENT LIGHTING AND REPLACE WITH DAYLIGHT TEMPERATURE LIGHTING





**INSPIRATION)N** 





### **AMENTITIES**:

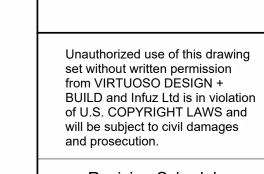
- PAMPHLETS TO PROMOTE LOCAL EATERIES AND ACTIVITIES
- WELCOME TABLE TO PROMOTE BED AND BREAKFAST







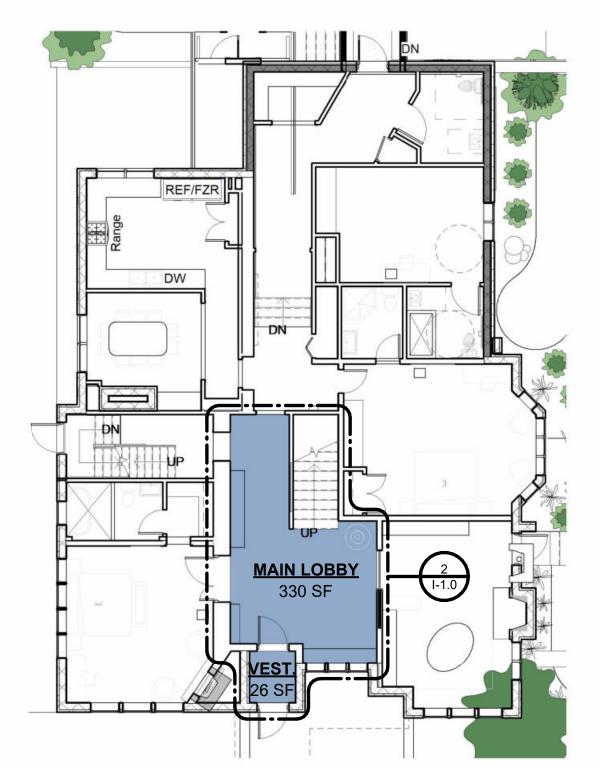
**EXISTING CONDITIONS** 



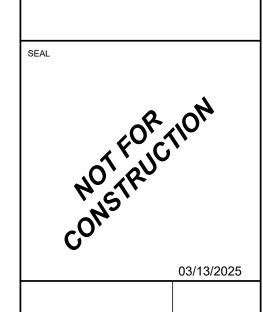
Revision Schedule

Description Da

1 Commercial Set 03/13/2025







SON AVE
214
ELVIE BERKERY
OR - FNTRANCE

PROJECT NUMBER: Z24075
8325 E JEFFERSON
DETROIT, MI 48214
NIALL & MEL
SHEET TITLE

I-1.0

s/14/2025 1:38:29 PM

### FIRST FLOOR PARLOR INSPIRATION

**GOAL:** KEEP EXISTING TRIM AND ENLIGHTEN SPACE THROUGH DESIGN ELEMENTS TO MAINTAIN HISTORIC CHARACTER.

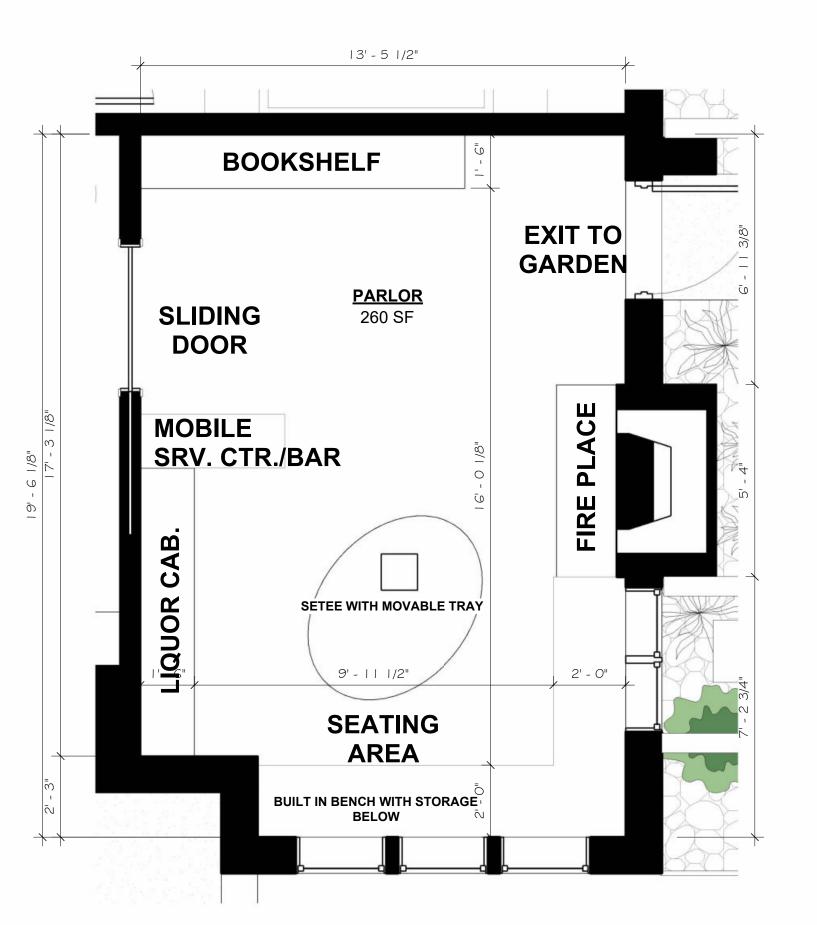
### **DESIGN ELEMENTS:**

- EMBRACE EXISTING WOOD TRIM
- CONTRAST WOOD TRIM W/ WHITE CEILING AND ACCENTS
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- REMOVE ANY INCANDESCENT LIGHTING AND REPLACE WITH DAYLIGHT TEMPERATURE LIGHTING





**INSPIRATION** 







### **AMENTITIES**:

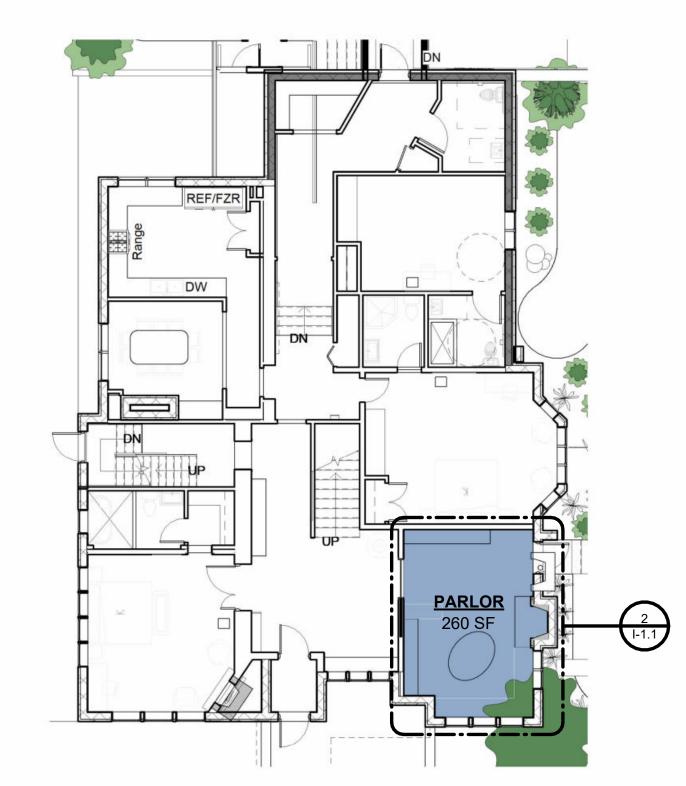
- LIBRARY
- **BUILT-IN BENCH** - WAITING AREA
- SETEE - SERVICE COUNTER FOR BOOKING AND COCKTAILS
- SEATING AREA FOR WAITING OCCUPANTS
- EXIT TO EXTERIOR GARDEN SPACE







**EXISTING CONDITIONS** 







Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

**I-1.1** 

### FIRST FLOOR KITCHEN AND DINING

### **DESIGN ELEMENTS:**

- ARCHWAY AND WALL TRIM TO ELEVATE SPACE
- CONTRASTING CABINETRY (MIX OF WHITE AND WOOD)
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- REMOVE ANY INCANDESCENT LIGHTING AND REPLACE WITH DAYLIGHT TEMPERATURE LIGHTING



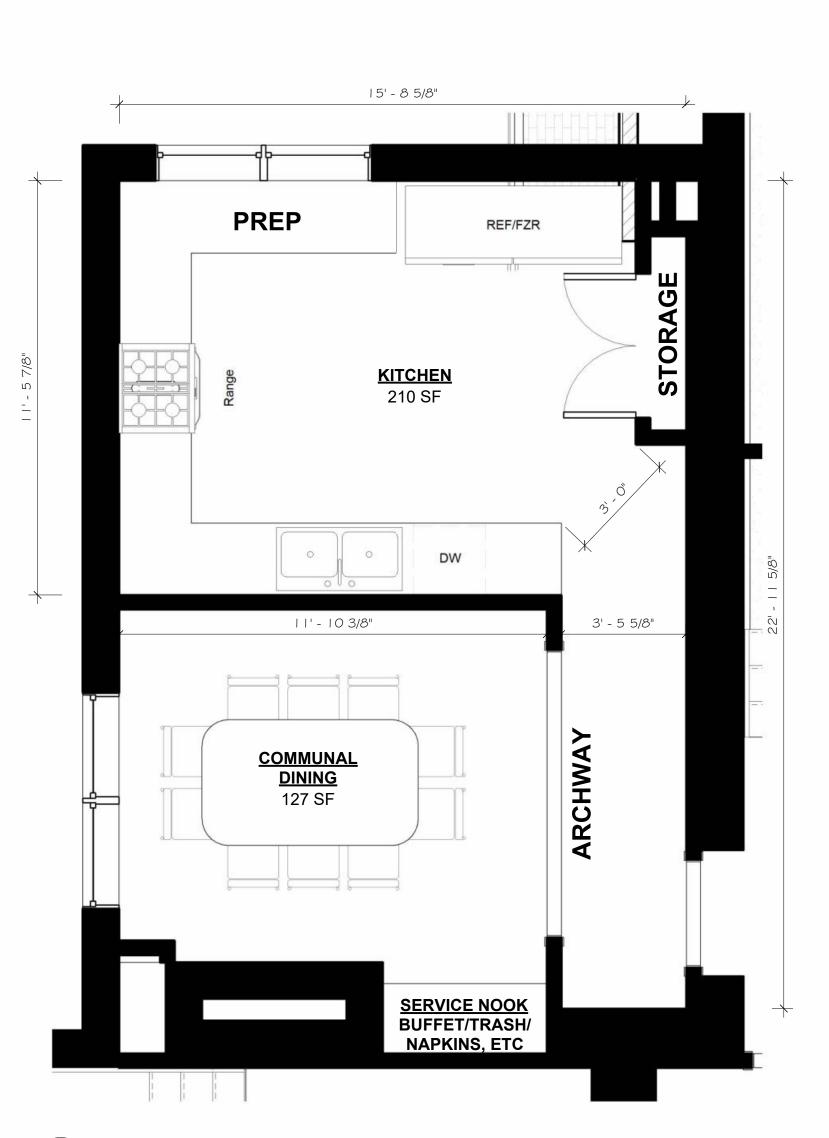


**DINING ROOM INSPIRATION** 





**KITCHEN** 



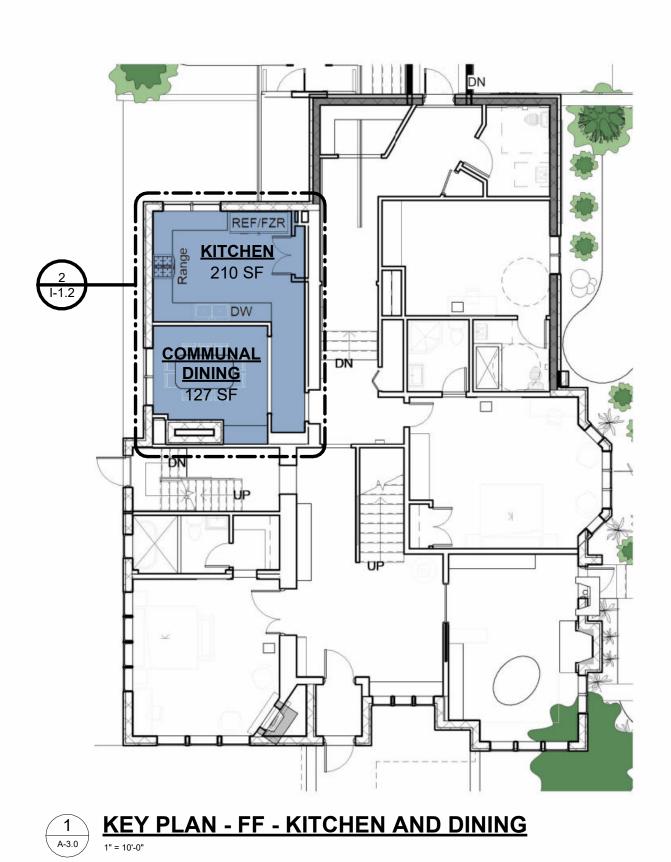








**EXISTING CONDITIONS** 







Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule Description

Commercial Set

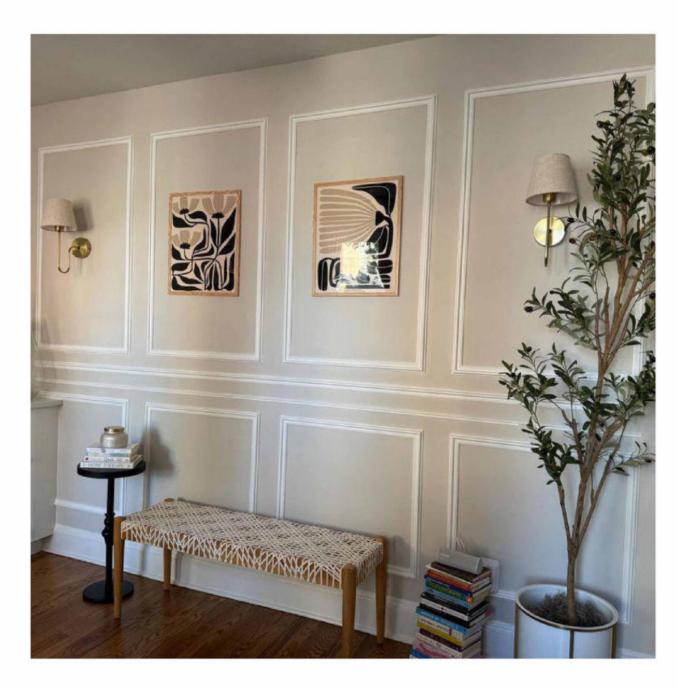
03/13/2025

I-1.2

# SECOND FLOOR LOBBY INSPIRATION

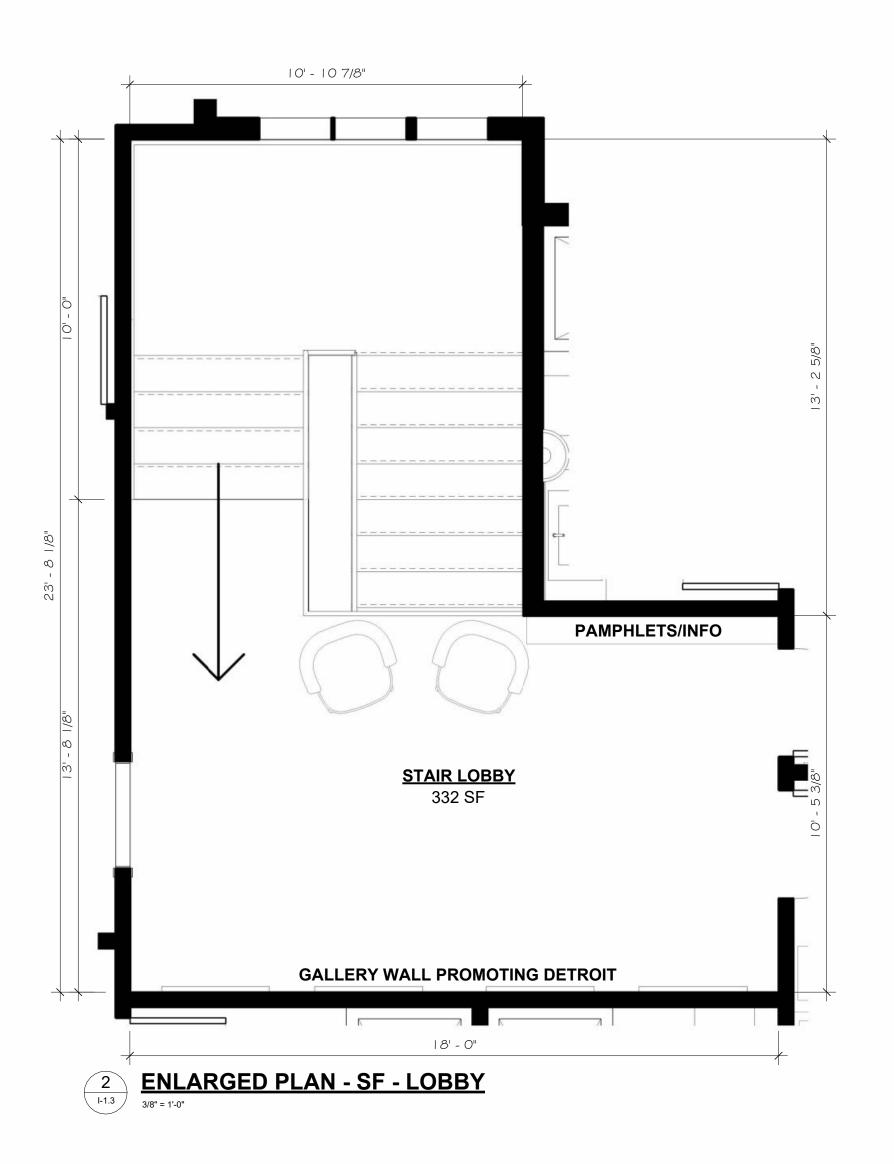
### **DESIGN ELEMENTS:**

- TRANSITION WOOD TRIM TO WHITE TRIM
- WALL TRIM TO ELEVATE SPACE
- LIGHT FLOORING AND AREA RUGS
- CONTEMPORARY LIGHT FIXTURES AND FURNITURE
- GALLERY WALL PROMOTING DETROIT COMMUNITIES





**INSPIRATION** 

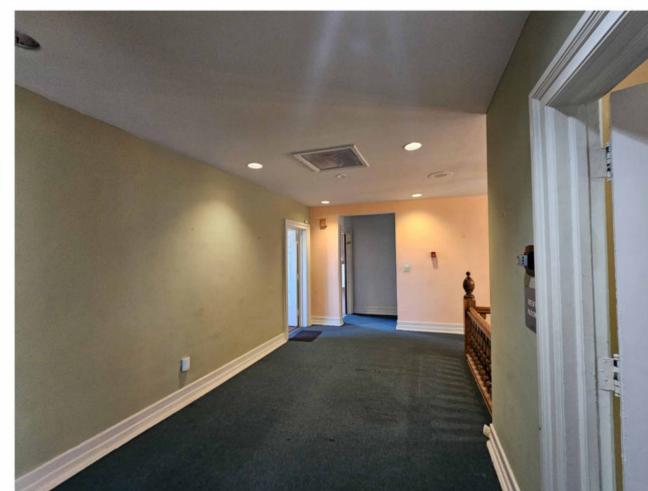


### **AMENTITIES**:

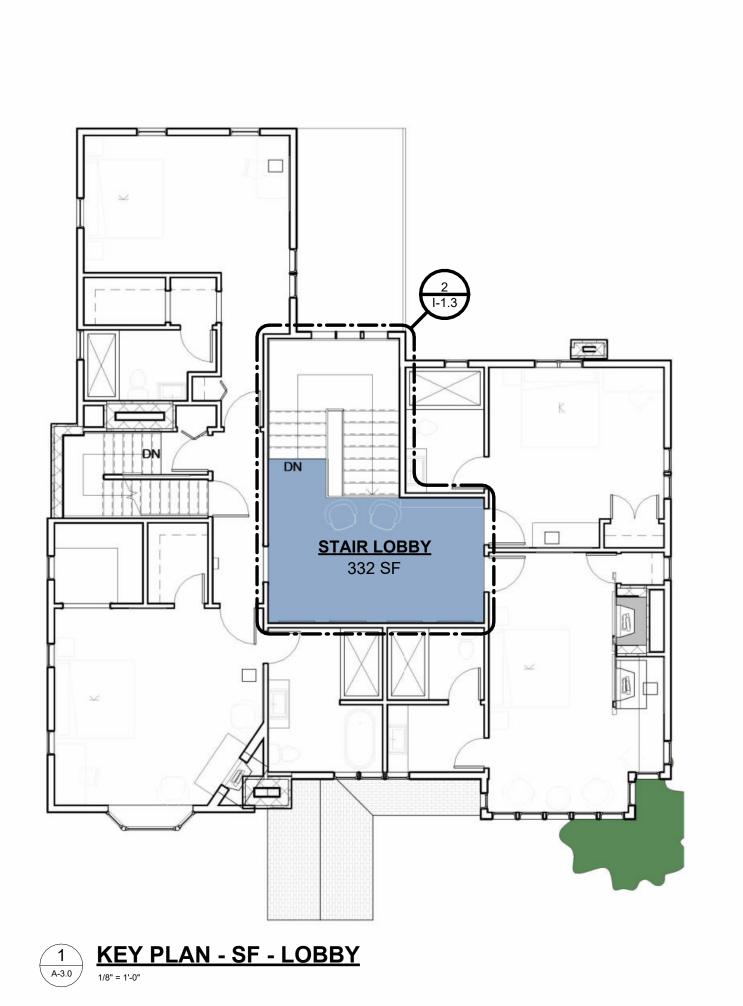
- DETROIT GALLERY WALL
- BENCH SEATING BELOW GALLERY WALL
- FREE FLOATING STOOLS FOR SEATING
- PAMPHLET/INFORMATION STAND CORRESPONDING TO DETROIT GALLERY WALL







### **EXISTING CONDITIONS**



Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

# Description Date

1 Commercial Set 03/13/202

NOT FOR TION NISTRUCTION

CONSTRUCTOR O3/13/2025

SON AVE ELVIE BERKERY 1. OOR - LOBBY

ERKERY E.

JECT NUMBER: Z24075

25 E JEFFERSON AVE
ETROIT, MI 48214

I-1.3

14/2025 1:38:48 PM

# FIRST FLOOR GUEST ROOM 1 PALM/COASTAL

### **DESIGN ELEMENTS:**

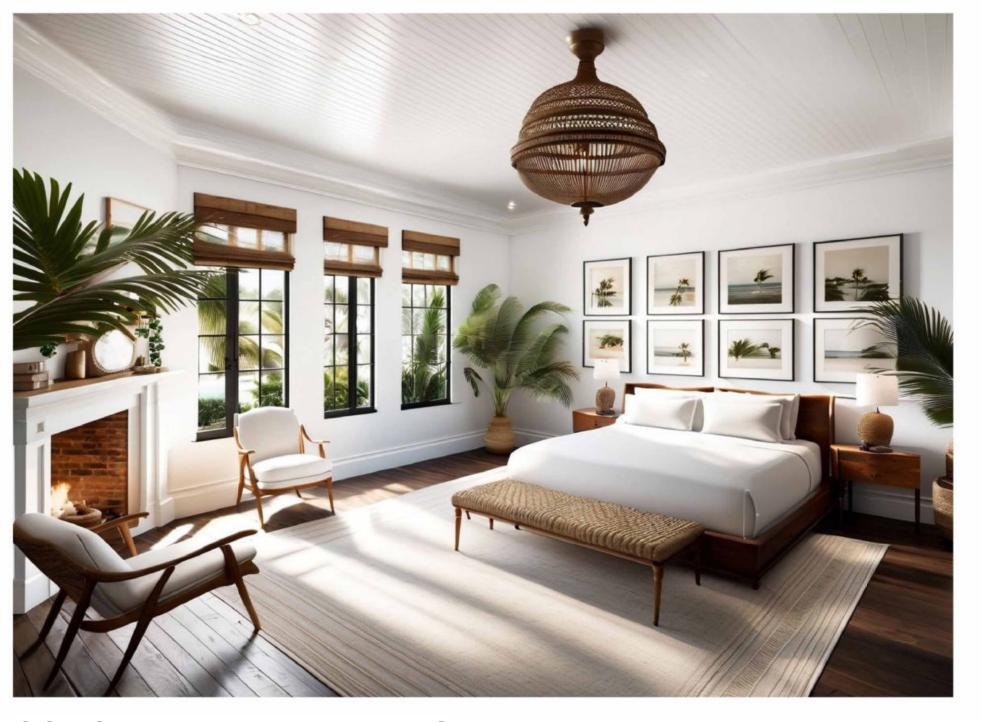
- WHITE, BROWN, AND GREEN COLOR PALETTE
- WHITE WALLS WITH A DARK ACCENTS AND ACCENT WALL
- PALM/COASTAL WALL DECALS WITH TROPICAL PLANTINGS
- PALM/COASTAL ARTWORK AND AREA RUG
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES





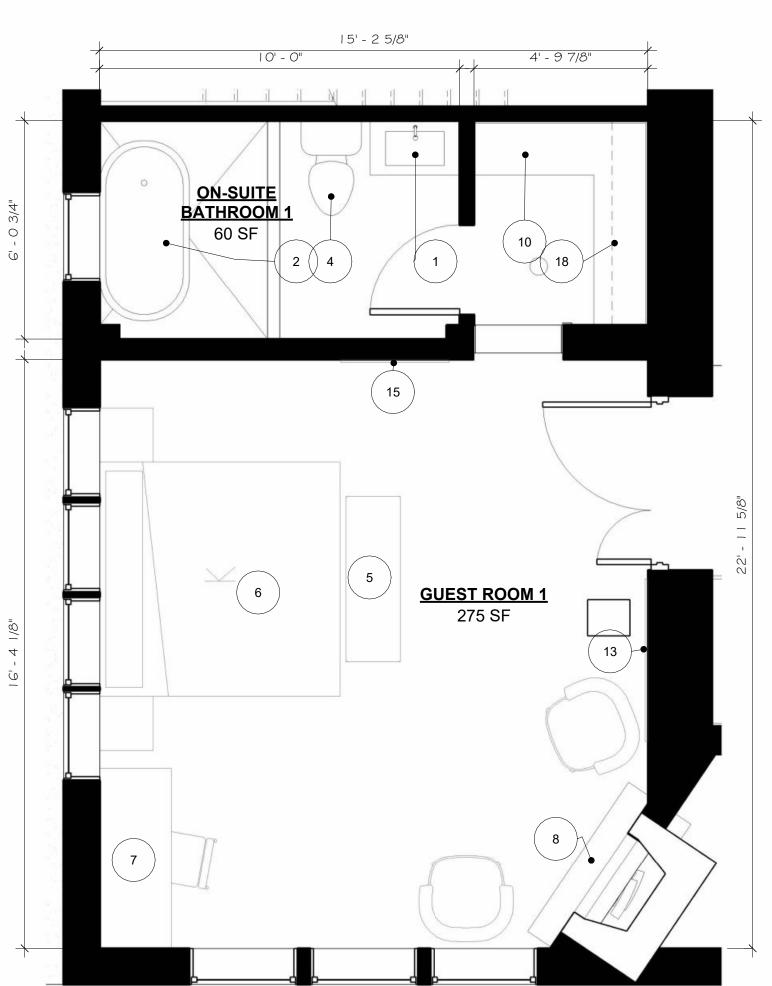


**INSPIRATION** 



### **CONCEPTUAL RENDERING**

	AMENITIES			
Key Value	Keynote Text			
1	VANITY WITH STORAGE			
2	FREE-STANDING TUB IN SHOWER AREA/WET ROOM			
4	TOILET WITH STORAGE ABOVE			
5	STORAGE			
6	KING BED WITH NIGHTSTANDS			
7	DESK			
8	FIREPLACE			
10	MINI-FRIDGE/BAR AREA			
13	FLAT-SCREEN TV			
15	FULL HEIGHT MIRROR			
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE			

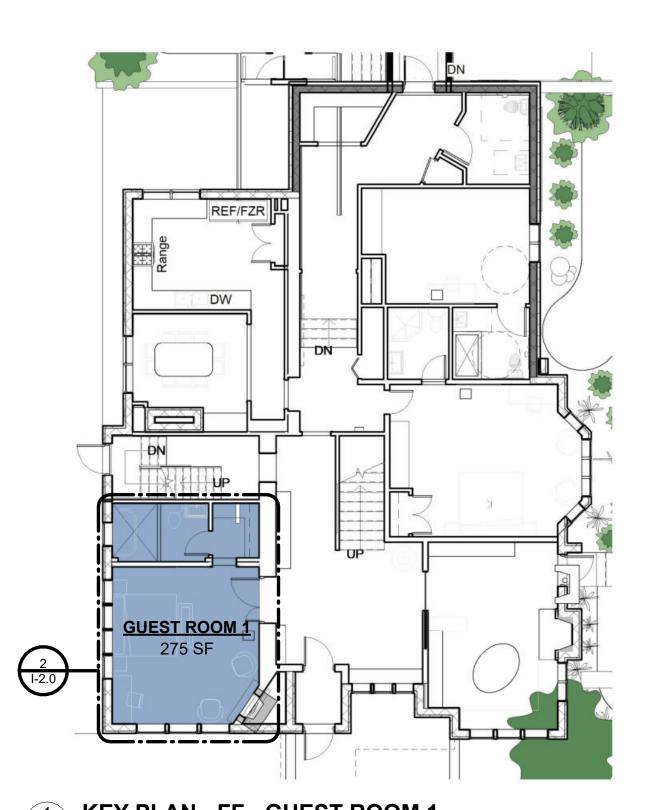








### **EXISTING CONDITIONS**







Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

Description Da

1 Commercial Set 03/13/202

NOT FOR TION CONSTRUCTION

03/13/20

ON AVE

14

:LVIE BERKERY

ECT NUMBER: 224075
25 E JEFFERSON AVE
TROIT, MI 48214

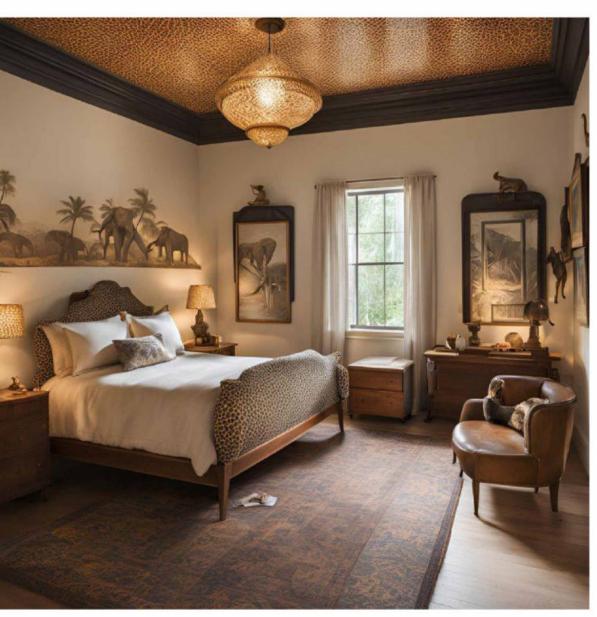
I-2.0

3/14/2025 1:38:54 PM

# FIRST FLOOR GUEST ROOM 2 SAFARI

### **DESIGN ELEMENTS:**

- WHITE, BROWN, AND GREEN COLOR PALETTE
- WHITE WALLS WITH A DARK ACCENTS AND ACCENT WALL
- ANIMAL PRINT, ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES



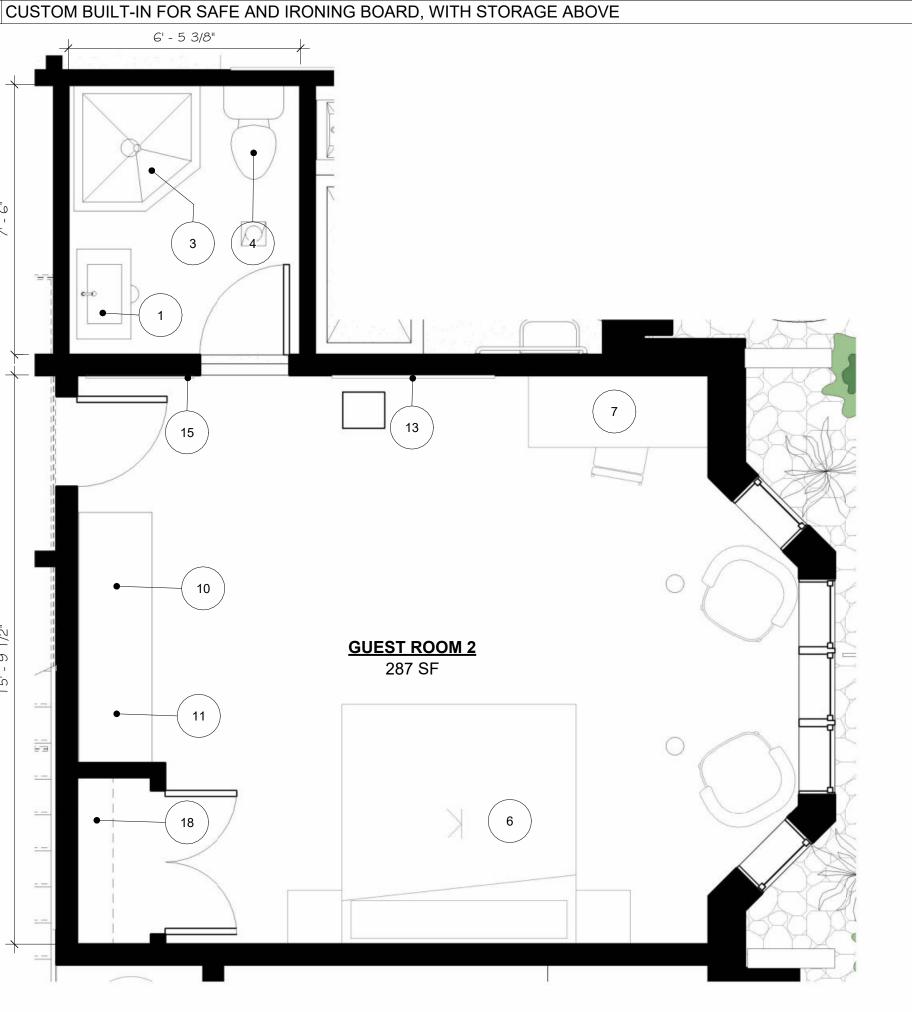


**INSPIRATION** 



### **CONCEPTUAL RENDERING**

	AMENITIES			
Key Value	Keynote Text			
1	VANITY WITH STORAGE			
3	WALK IN SHOWER			
4	TOILET WITH STORAGE ABOVE			
6	KING BED WITH NIGHTSTANDS			
7	DESK			
10	MINI-FRIDGE/BAR AREA			
11	WINE RACK AND LOCKABLE LIQUOR CABINET			
13	FLAT-SCREEN TV			
15	FULL HEIGHT MIRROR			
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE			











**EXISTING CONDITIONS** 



Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

# Description Date

1 Commercial Set 03/13/2025

NOT FOR TION CONSTRUCTION CONSTRUCTION 03/13/20

ERY ESTATE

ERSON AVE
1 48214

MELVIE BERKERY

LOOR - GUEST ROOM 2

NUMBER

1
A-3.0

KEY PLAN - FF - GUEST ROOM 2

1" = 10'-0"

I-2.1

# FIRST FLOOR GUEST ROOM 3 ASIAN/CHERRY BLOSSOM

### **DESIGN ELEMENTS:**

- WHITE, DEEP RED, DEEP GREEN, DEEP ORANGE COLOR PALETTE
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- ASIAN INSPIRED ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES





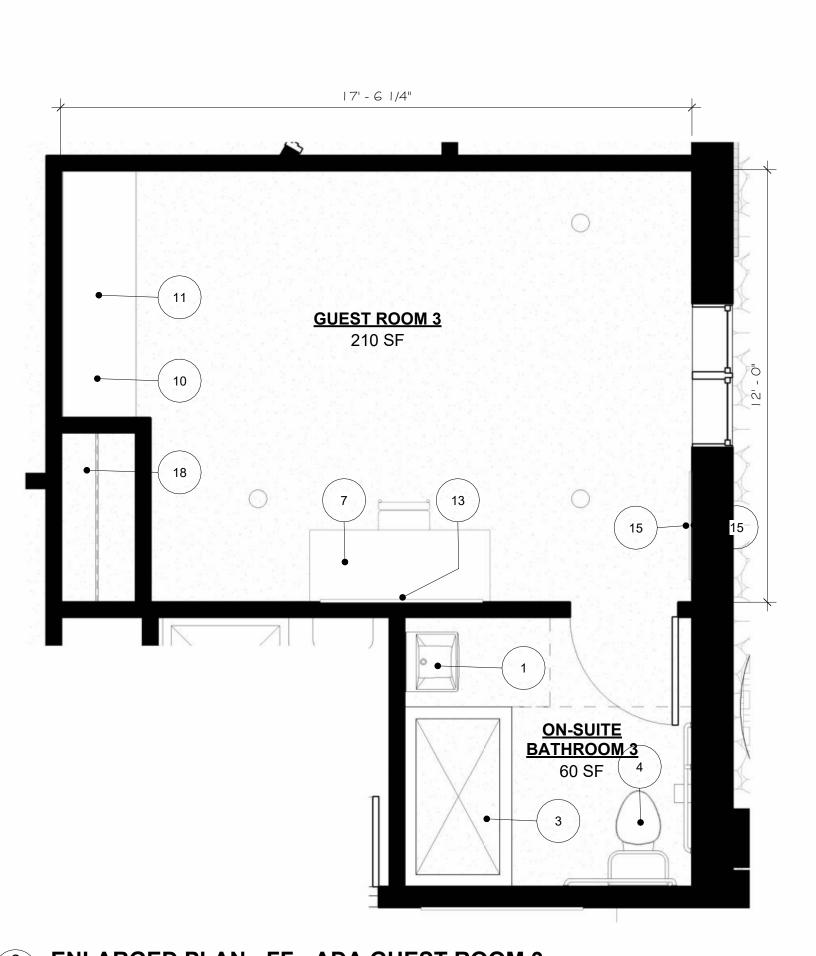


**INSPIRATION** 



### **CONCEPTUAL RENDERING**

	AMENITIES			
Key Value	Keynote Text			
1	VANITY WITH STORAGE			
3	WALK IN SHOWER			
4	TOILET WITH STORAGE ABOVE			
7	DESK			
10	MINI-FRIDGE/BAR AREA			
11	WINE RACK AND LOCKABLE LIQUOR CABINET			
13	FLAT-SCREEN TV			
15	FULL HEIGHT MIRROR			
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE			

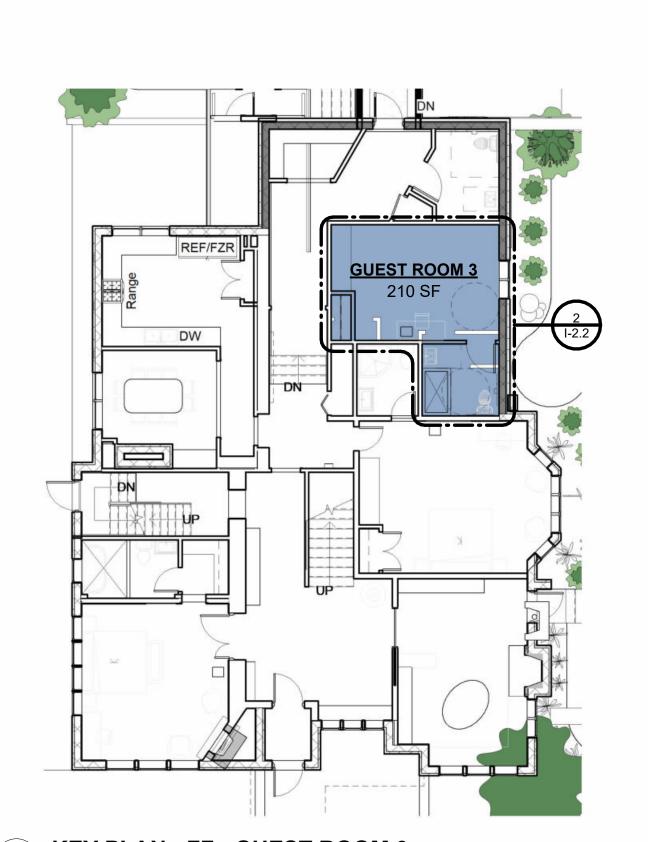


2
1-2.2
ENLARGED PLAN - FF - ADA GUEST ROOM 3
3/8" = 1'-0"





### **EXISTING CONDITIONS**







Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

Description Date

Commercial Set 03/13/2025

NOT FOR TION CONSTRUCTION

03/13/202 & & O

RSON AVE 18214

AELVIE BERKERY

SCHERKY ESCALOUMBER: 224075
325 E JEFFERSON AVERTROIT, MI 48214
VIALL & MELVIE

ON SER

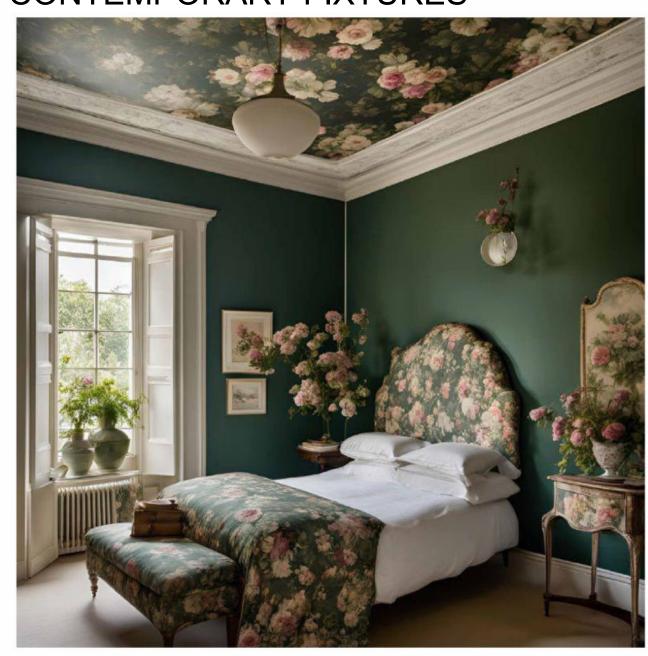
I-2.2

s/14/2025 1:39:07 PM

## SECOND FLOOR GUEST ROOM 4 GARDEN/FLORAL

### **DESIGN ELEMENTS:**

- WHITE, GREEN, DEEP RED, PLUSH COLOR PALETTE
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- FLORAL ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES



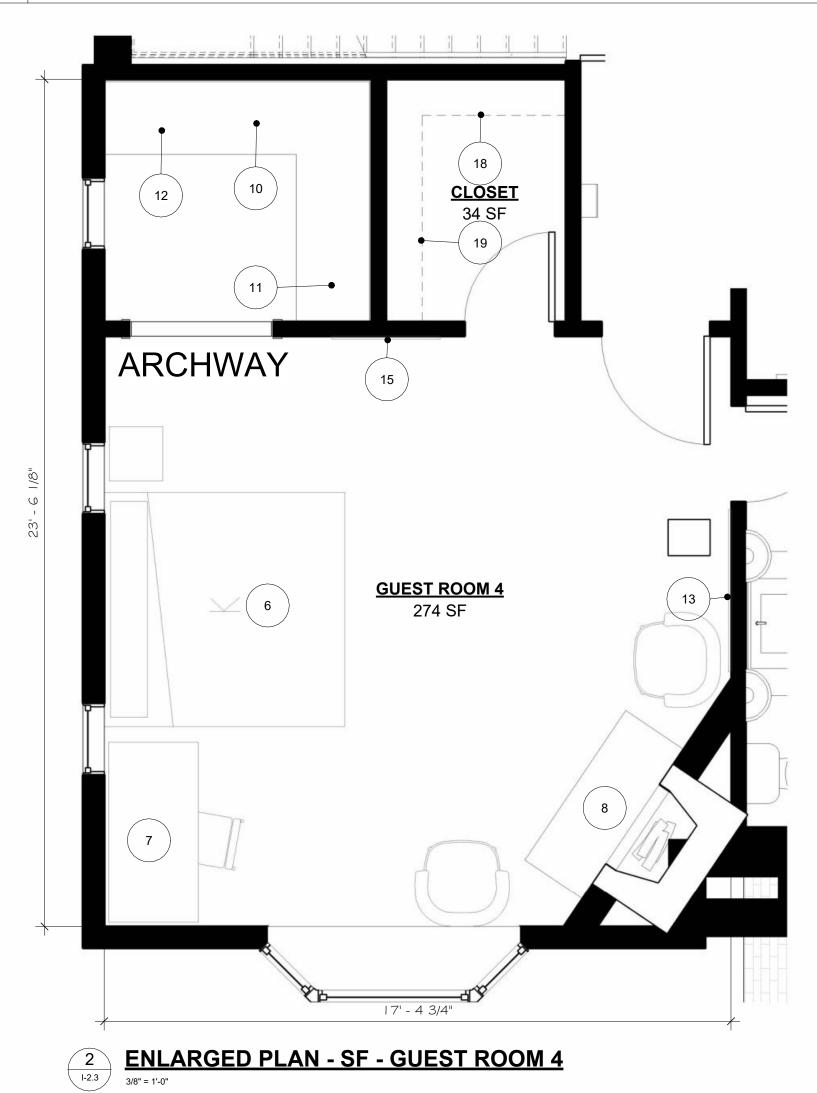


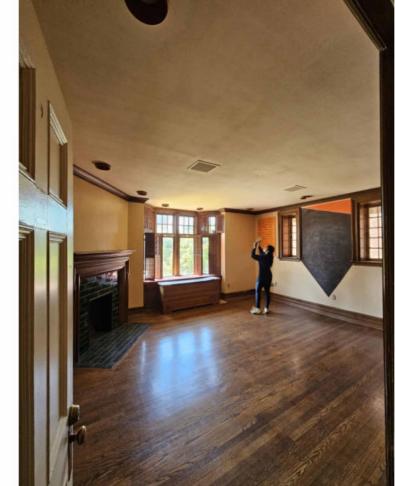
**INSPIRATION** 



### **CONCEPTUAL RENDERING**

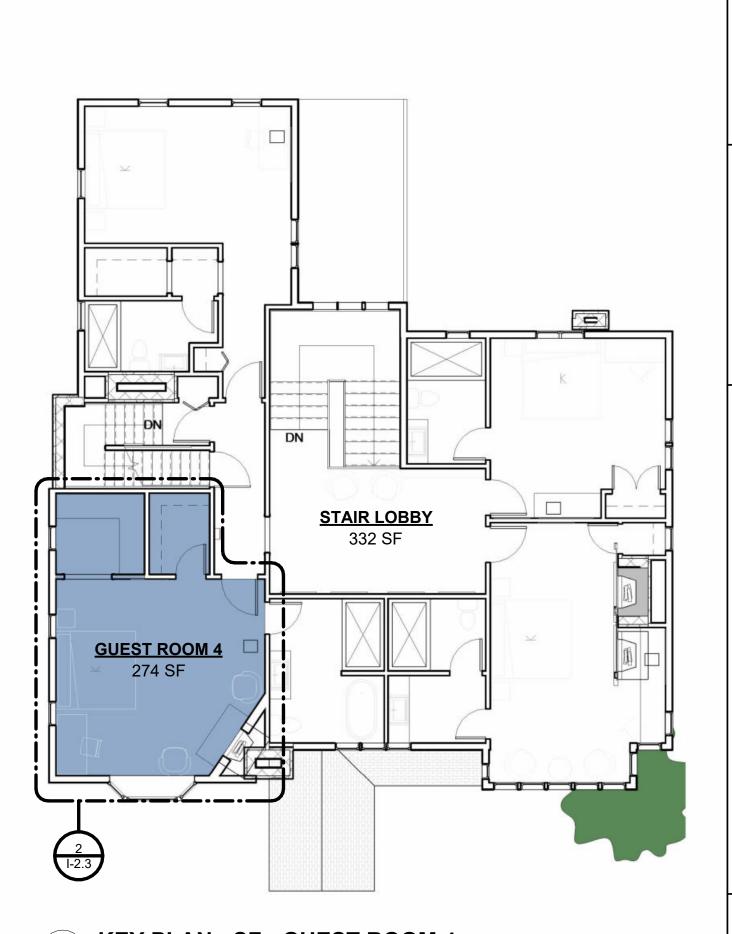
	AMENITIES			
Key Value	Keynote Text			
6	KING BED WITH NIGHTSTANDS			
7	DESK			
8	FIREPLACE			
10	MINI-FRIDGE/BAR AREA			
11	WINE RACK AND LOCKABLE LIQUOR CABINET			
12	SINK AND COFFEE STATION			
13	FLAT-SCREEN TV			
15	FULL HEIGHT MIRROR			
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE			
19	CUSTOM BUILT-IN STORAGE			

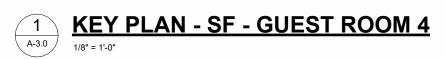






### **EXISTING CONDITIONS**







Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule

Description Commercial Set

# SECOND FLOOR GUEST ROOM 5 EUROPEAN

### **DESIGN ELEMENTS:**

- BROWNS, CREAMS, EARTHY COLOR PALETTE
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- EUROPEAN INSPIRED
- ARTWORK, AND SCULPTURES
- TRADITIONAL FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES





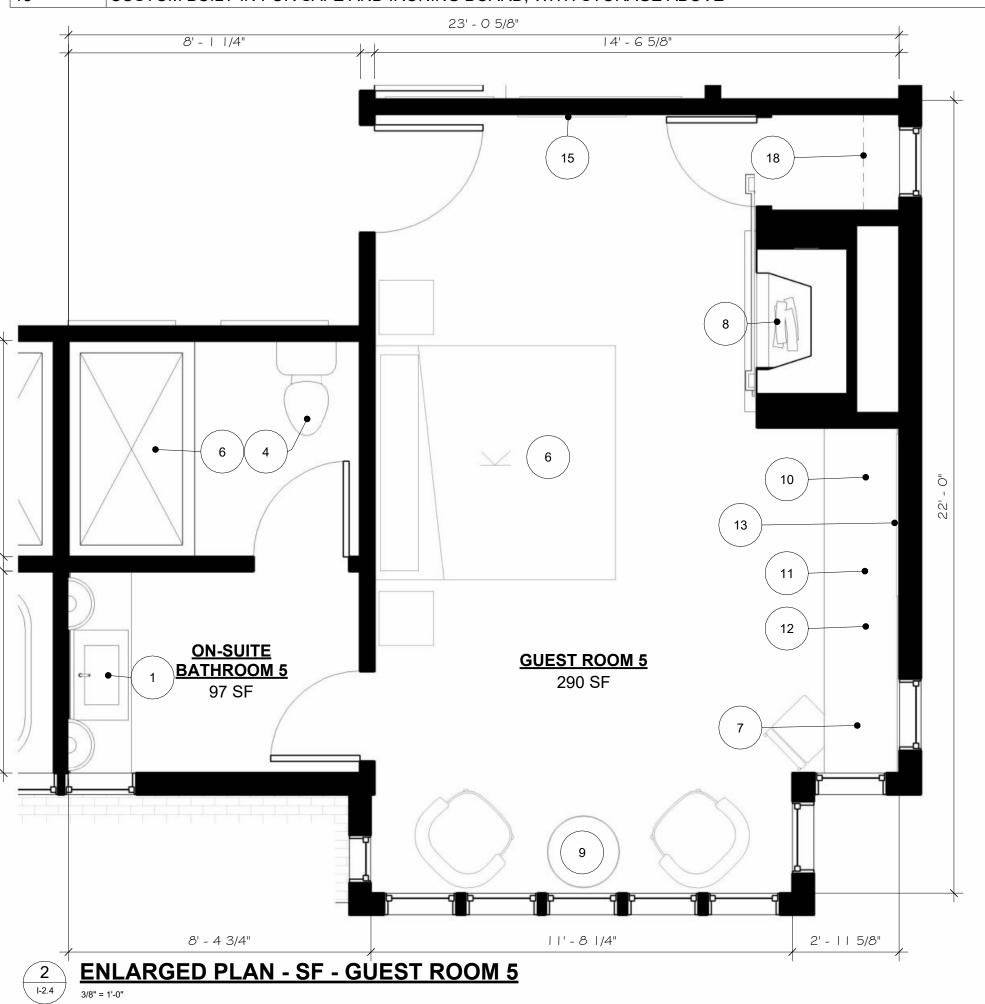


**INSPIRATION** 



### **CONCEPTUAL RENDRING**

	AMENITIES			
Key Value	Keynote Text			
1	VANITY WITH STORAGE			
4	TOILET WITH STORAGE ABOVE			
6	KING BED WITH NIGHTSTANDS			
7	DESK			
8	FIREPLACE			
9	SEATING AREA			
10	MINI-FRIDGE/BAR AREA			
11	WINE RACK AND LOCKABLE LIQUOR CABINET			
12	SINK AND COFFEE STATION			
13	FLAT-SCREEN TV			
15	FULL HEIGHT MIRROR			
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE			

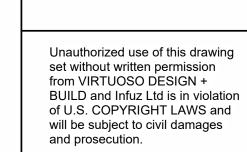






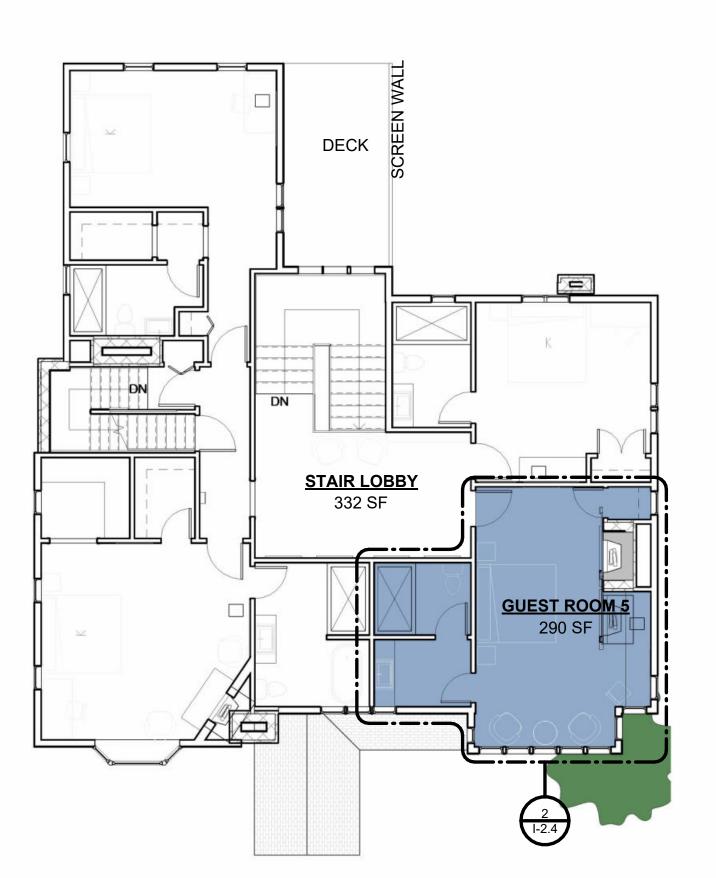


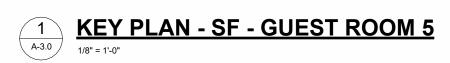
**EXISTING CONDITIONS** 

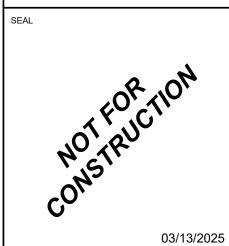


Revision Schedu	ıle
Description	Dat

Commercial Set







SERKERY - GUEST ROOM 5

I-2.4

# SECOND FLOOR GUEST ROOM 6 INSPIRATION ART DECO

### **DESIGN ELEMENTS:**

- WHITE, GRAY, DEEP ORANGE WITH POPS OF COLOR
- LIGHT WALLS WITH A DARK ACCENTS AND ACCENT WALL
- ART DECO INSPIRED ARTWORK, AND SCULPTURES
- HISTORIC BUT COMPLEMENTING FURNITURE WITH A MIX OF CONTEMPORARY FIXTURES





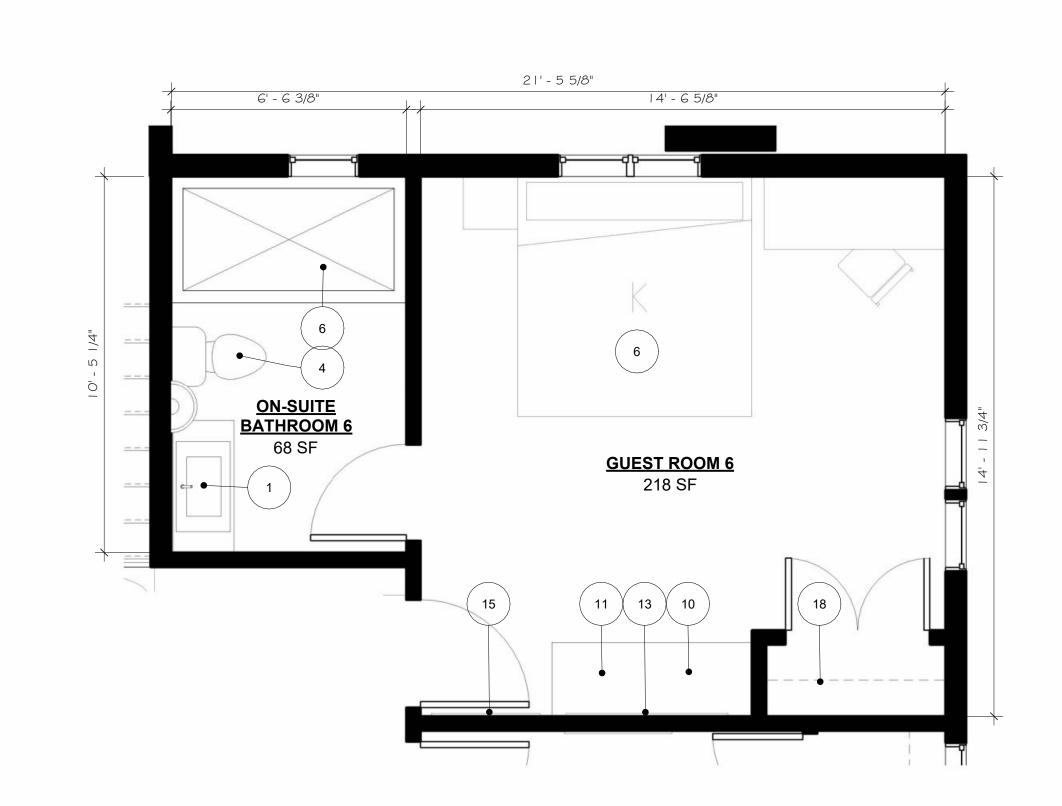


**INSPIRATION** 

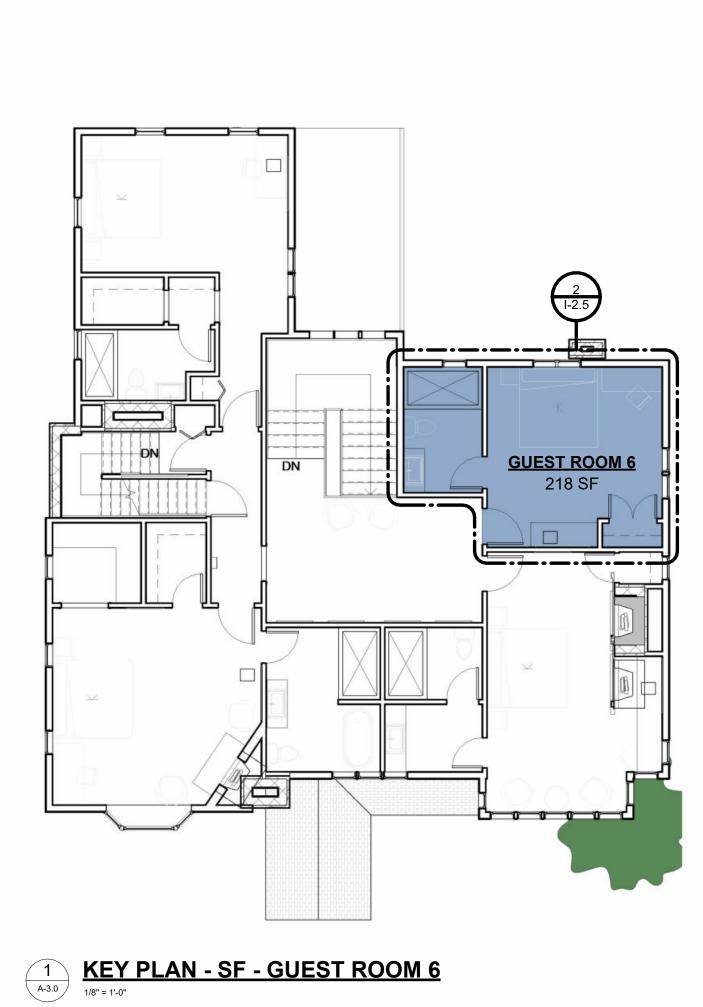


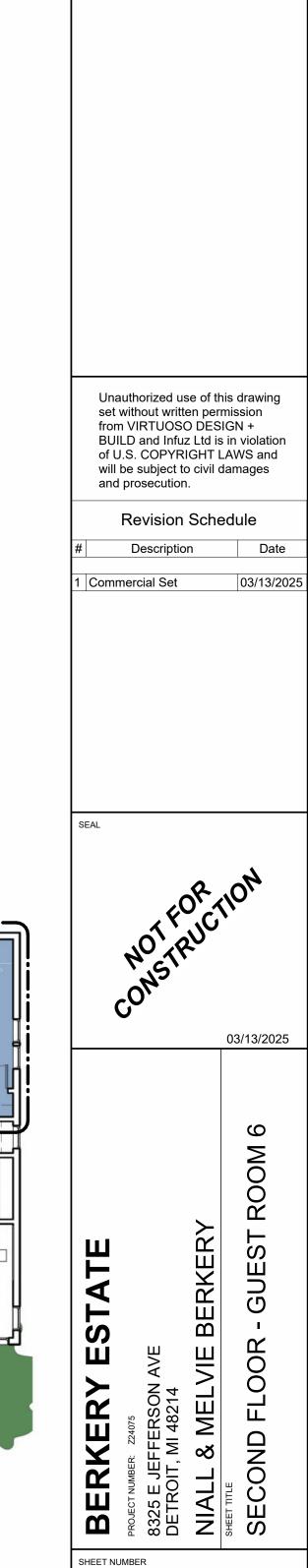
**CONCEPTUAL RENDERING** 

	AMENITIES			
Key Value	Keynote Text			
1	VANITY WITH STORAGE			
4	TOILET WITH STORAGE ABOVE			
6	KING BED WITH NIGHTSTANDS			
10	MINI-FRIDGE/BAR AREA			
11	WINE RACK AND LOCKABLE LIQUOR CABINET			
13	FLAT-SCREEN TV			
15	FULL HEIGHT MIRROR			
18	CUSTOM BUILT-IN FOR SAFE AND IRONING BOARD, WITH STORAGE ABOVE			



2 ENLARGED PLAN - SF - GUEST ROOM 6





ight in the image is a second of the image is

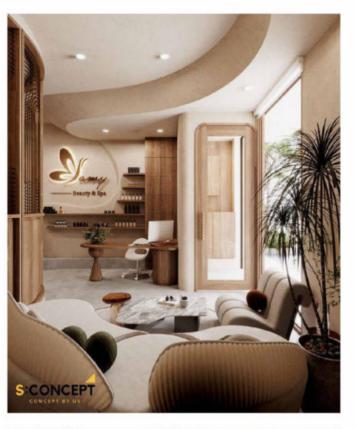
I-2.5

/14/2025 1:39:25 PM

## **LOWER LEVEL** LOBBY

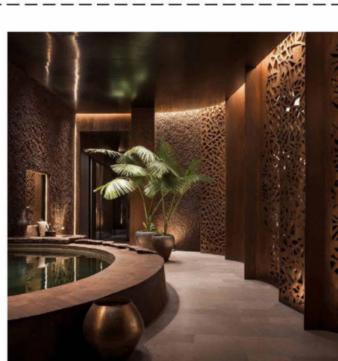
### **DESIGN ELEMENTS:**

- NATURAL EARTHY TONE AND PALETTE
- TEXTURED FEATURE WALLS
- ILLUMINATION ACCENTS DEFINING SPACE
- WATER FEATURE AND PLANTS



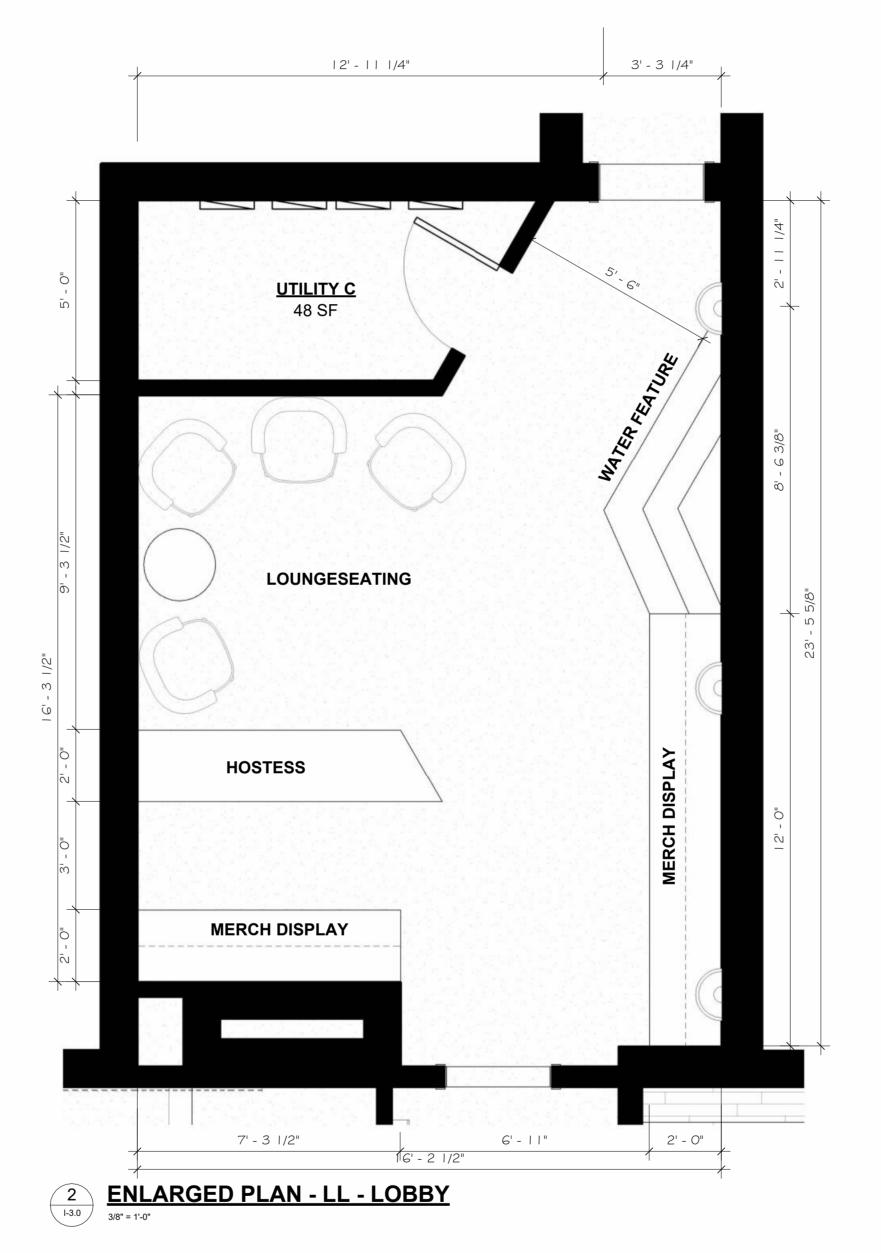


SCHEME LIGHTER





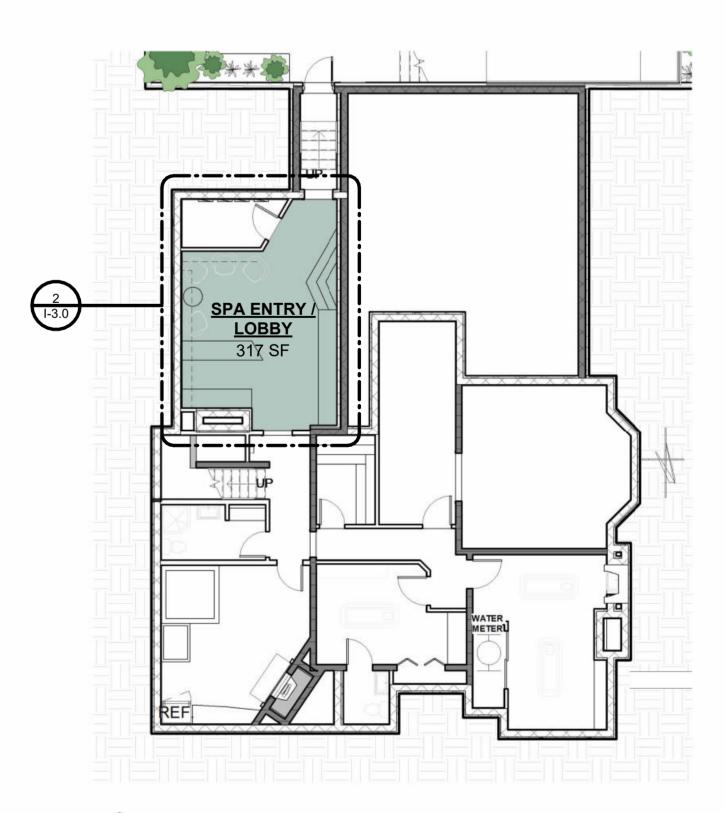
**INSPIRATION** 



### **AMENTITIES**:

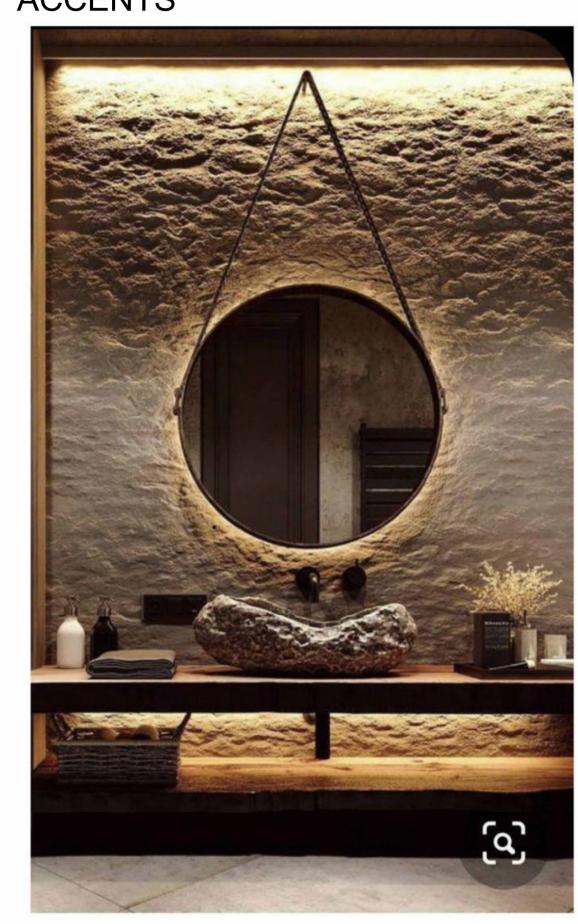
- SERVICE COUNTER FOR REFRESHMENTS
- DISPLAY OF MERCH FOR SALE
- WATER FEATURE TO ENHANCE RELAXATION
- SOFT SEATING FOR CONSULTATION

### **EXISTING CONDITIONS**



### **DESIGN ELEMENTS:**

- EARTHY NATURAL PALETTE
- FEATURE WALLS WITH ILLUMATING ACCENTS

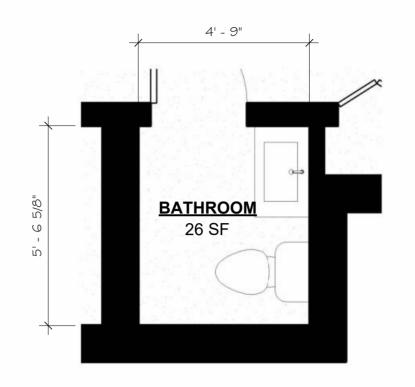


ARKER SCHEME 

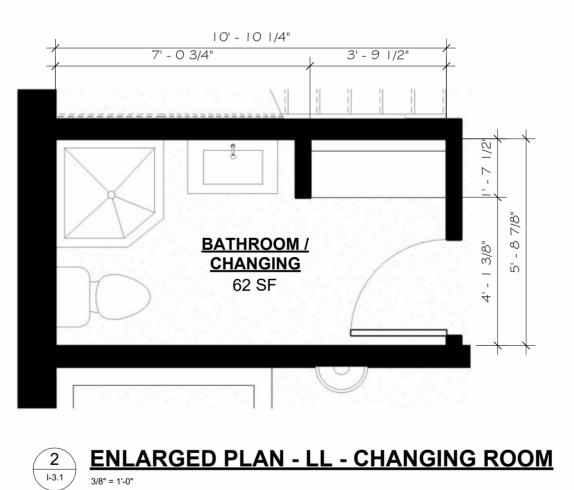


**INSPIRATION** 

LIGHTER SCHEME

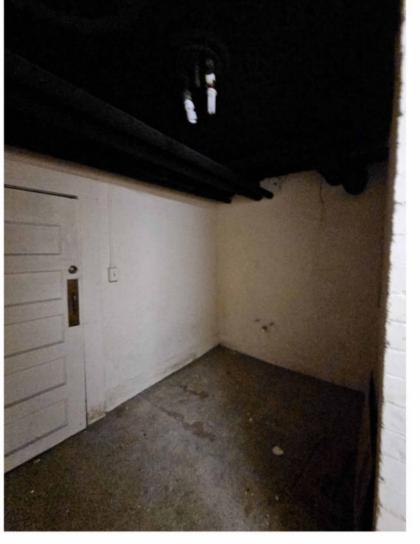






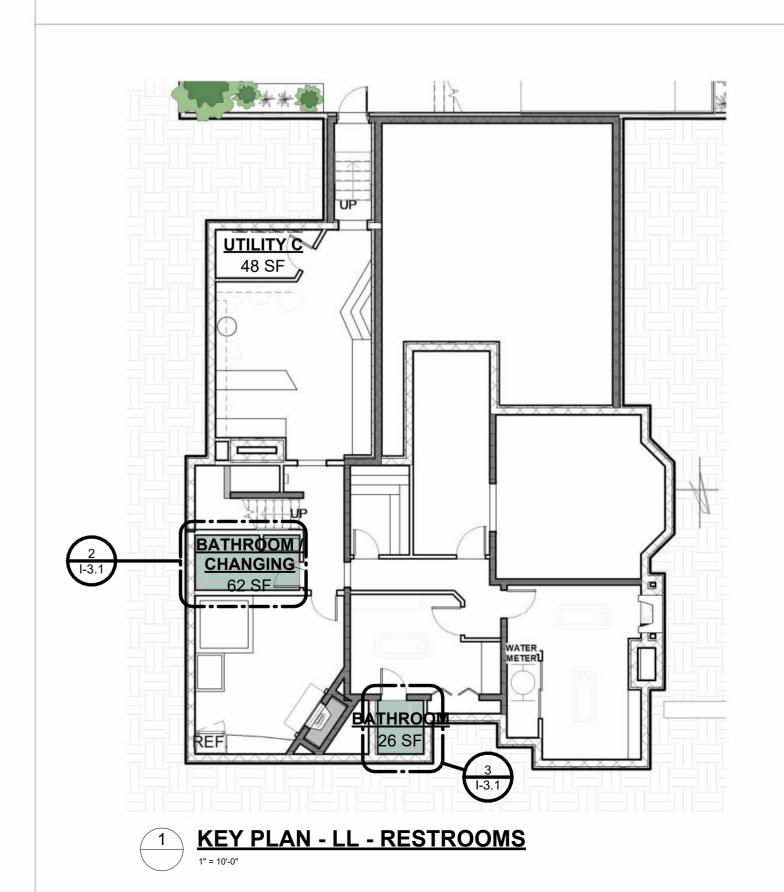
### **AMENTITIES**:

- ONE FULL BATHROOM AND ONE HALF
- STOCK COUNTER WITH SINK
- WALK-IN SHOWER AND LIN. CLOSET





### **EXISTING CONDITIONS**



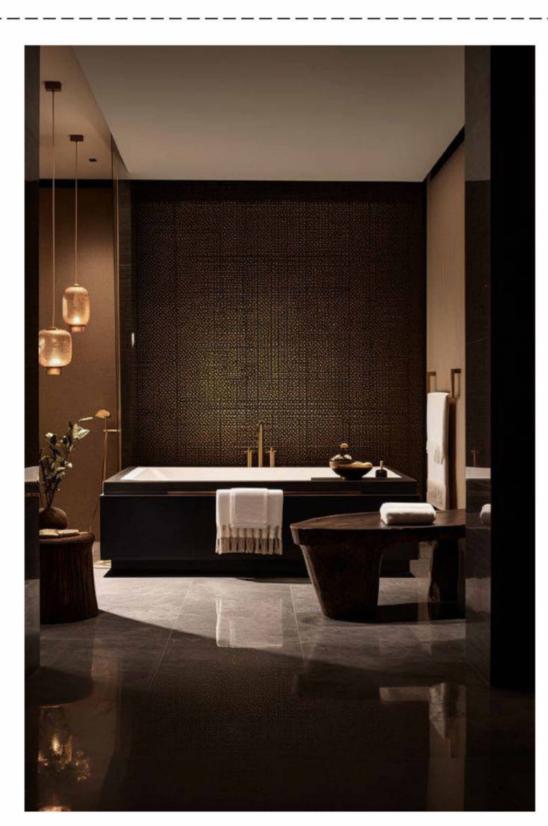
### **DESIGN ELEMENTS:**

- INDOOR OUTDOOR FEEL THROUGH FAUX SKYLIGHT
- TEXTURED FEATURE WALLS
- FEATURED FIRE PLACE
- WATER FEATURE WITH SPA

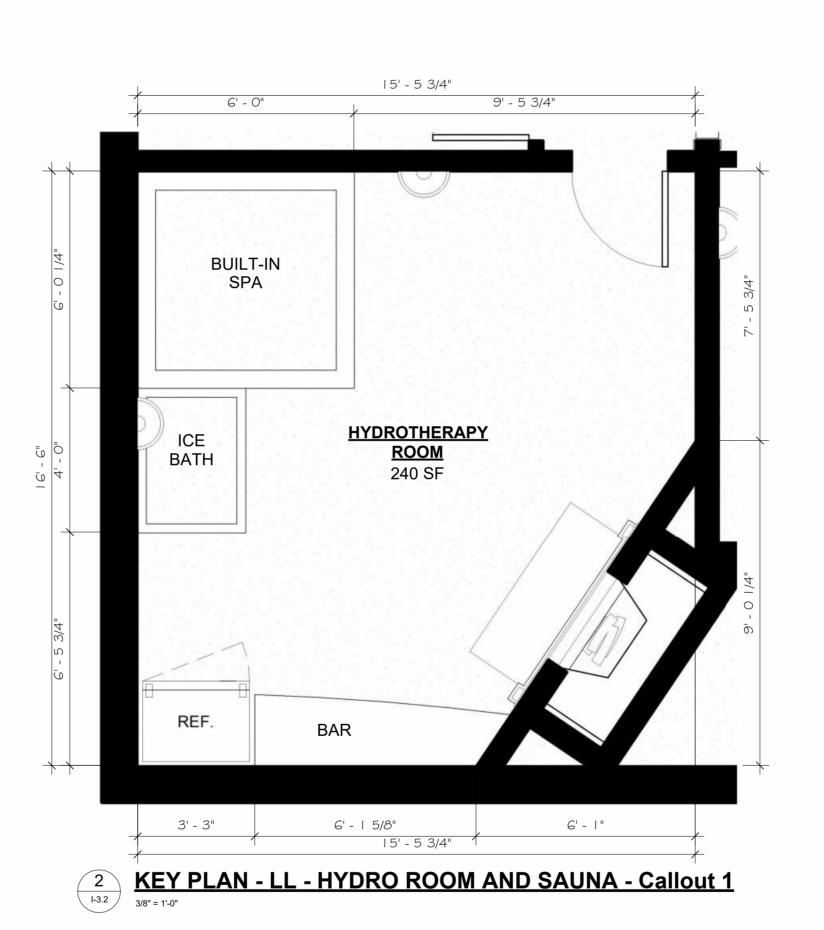


ER SCHEME LIGHT

DARKER SCHEME



**INSPIRATION** 



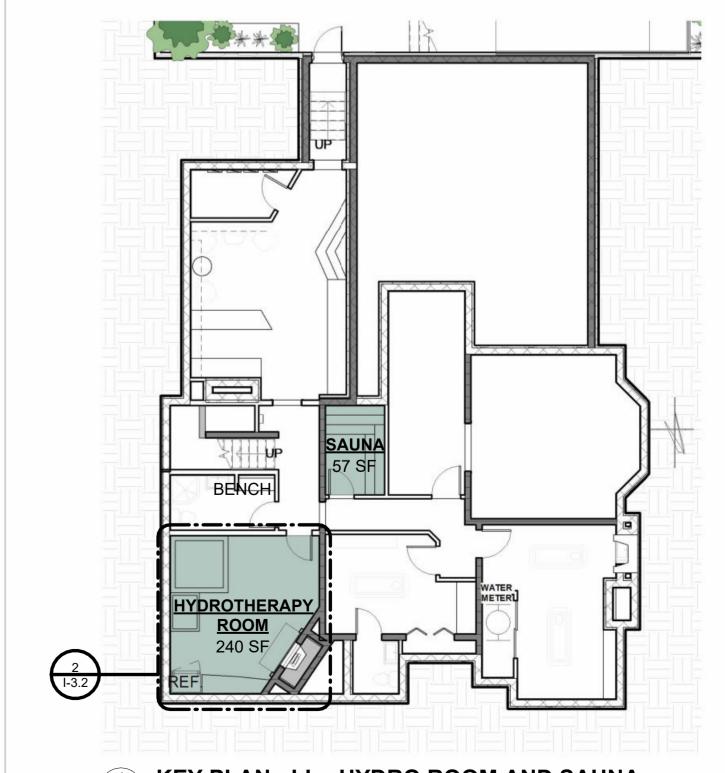
### **AMENTITIES**:

- BUILT-IN SPA
- ICE BATH
- FRIDGE AND BAR
- FIRE PLACE





**EXISTING CONDITIONS** 

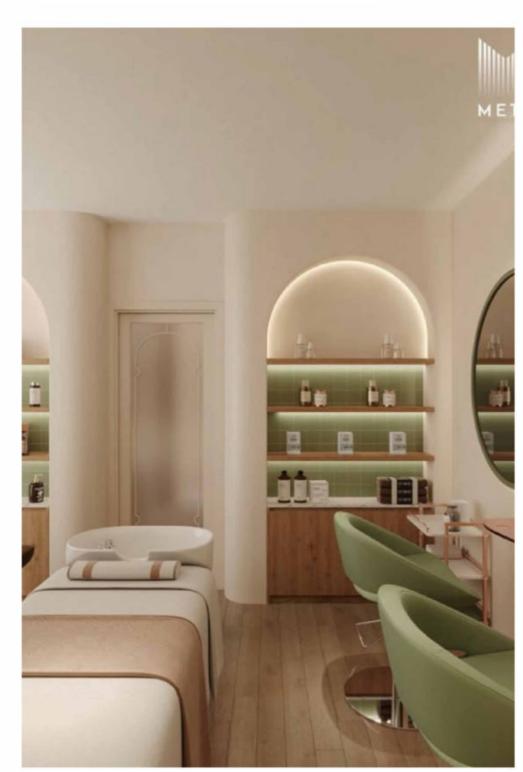


LOWER LEVEL -SAUNA

- **DESIGN ELEMENTS:** NATURAL EARTHY TONE AND PALETTE
- TEXTURED FEATURE WALL WITH ILLUMATION ACCENTS
- SERVICE COUNTER FOR OIL AND MATERIALS

### **AMENITIES:**

MASSAGE BEDS, RELAXING LIGHTING, NATURAL ELEMENTS



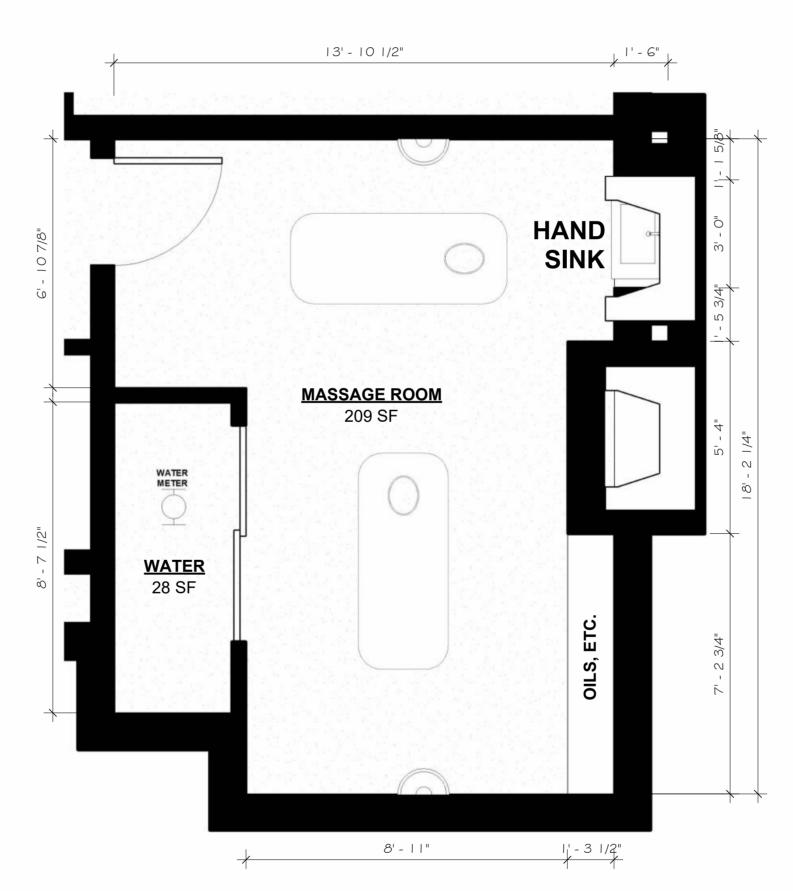


**INSPIRATION** 

DARKER SCHEME

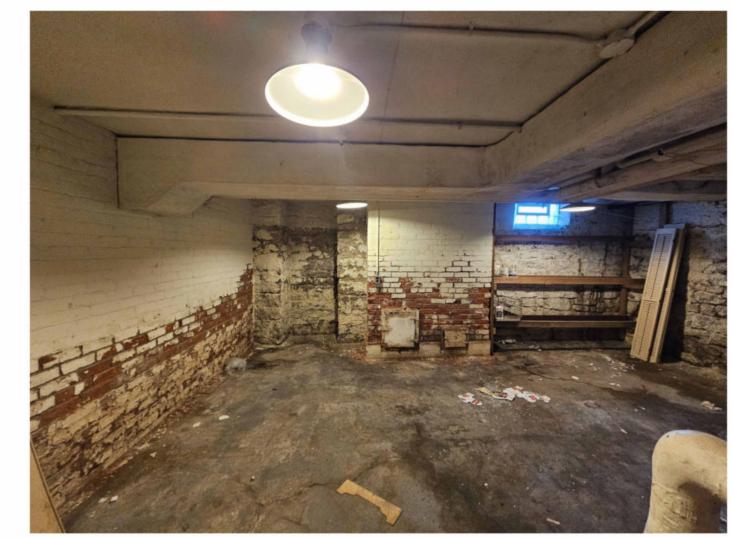
SCHEME

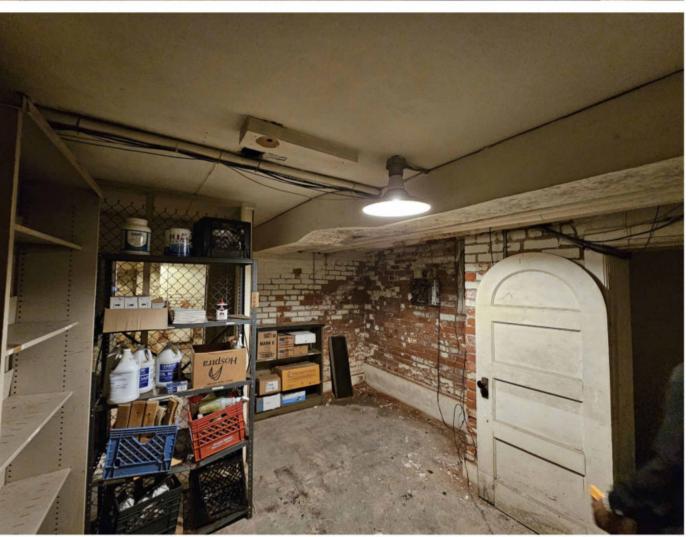
LIGHTER



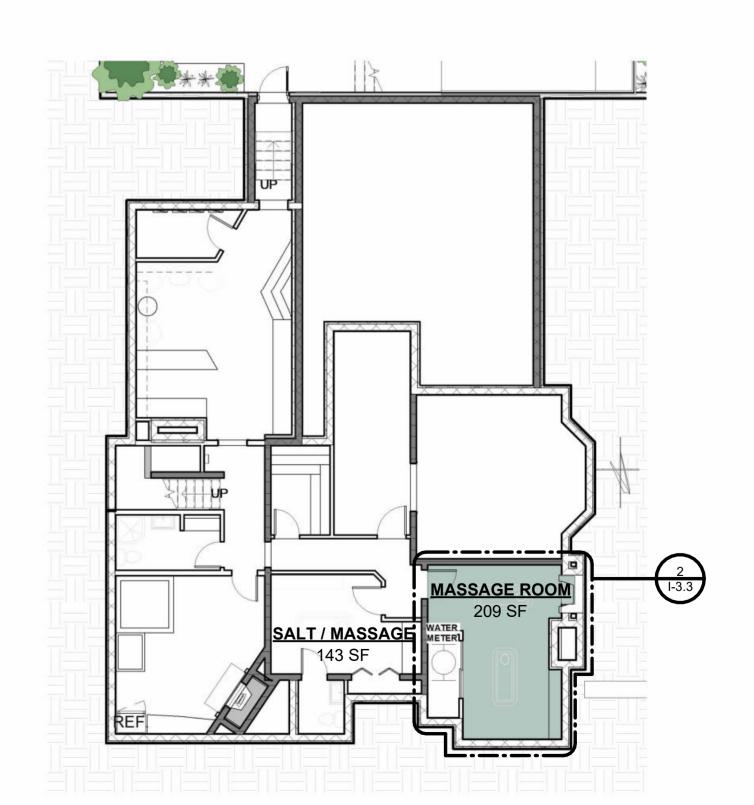
ENLARGED PLAN - LL - MASSAGE ROOM

3/8" = 1'-0"





**EXISTING CONDITIONS** 



1 KEY PLAN - LL - MASSAGE ROOMS

LOWER LEVEL - MASSAGE ROOMS

NIALL & MELVIE BERKERY

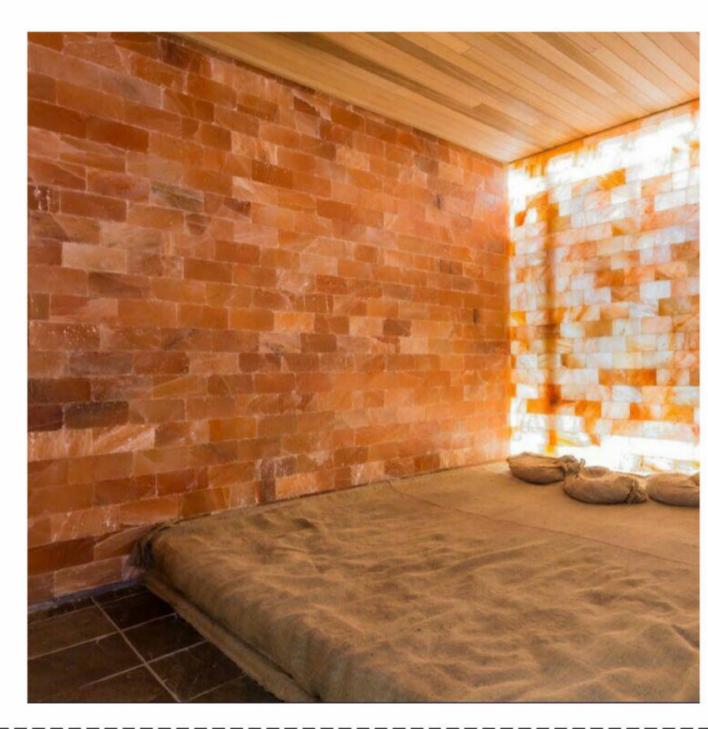
## **LOWER LEVEL** SALT ROOM

### **DESIGN ELEMENTS:**

- NATURAL EARTHY TONE AND PALETTE
- TEXTURED FEATURE WALL WITH **ILLUMATION ACCENTS**
- SERVICE COUNTER FOR OIL AND MATERIALS

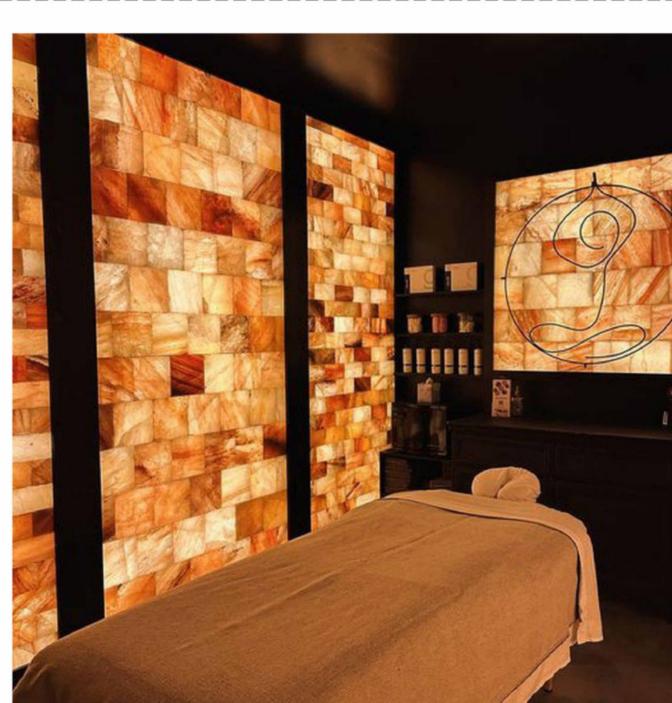
### **AMENITIES:**

MASSAGE BEDS, RELAXING LIGHTING, NATURAL ELEMENTS

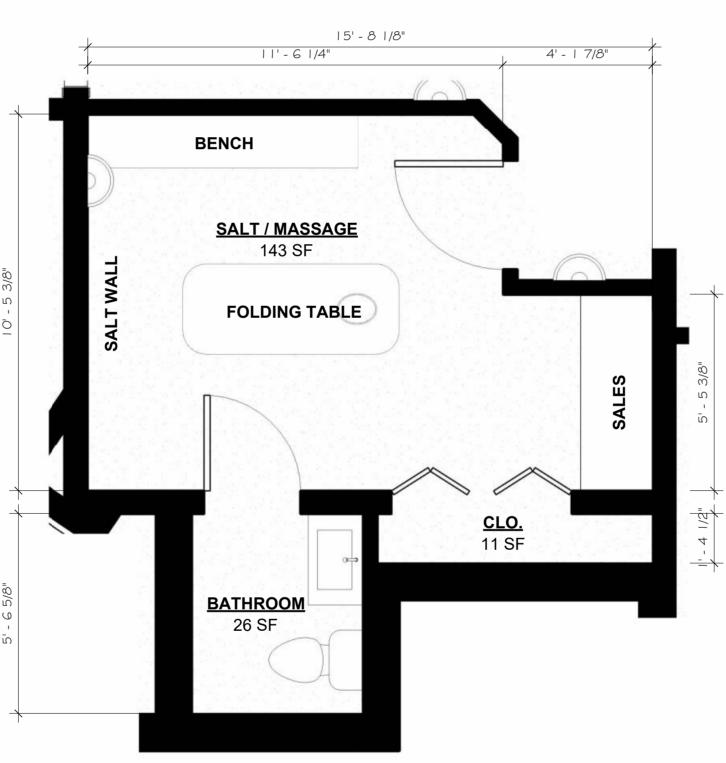


LIGHTER SCHEME

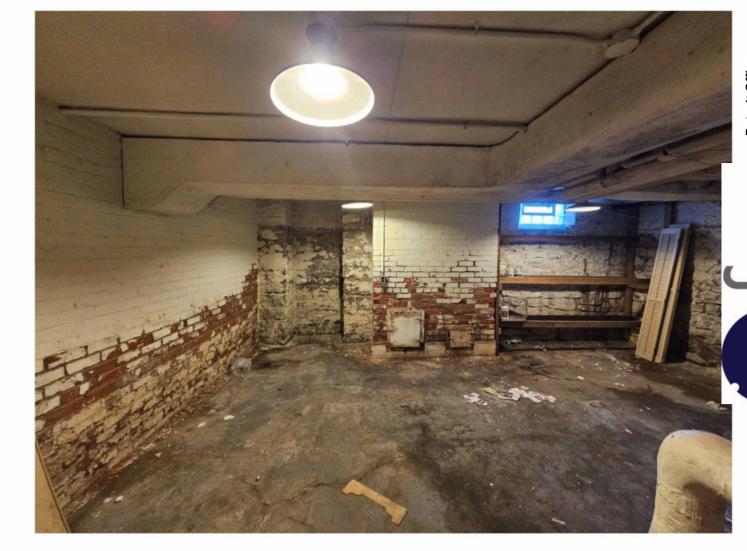
DARKER SCHEME



**INSPIRATION** 

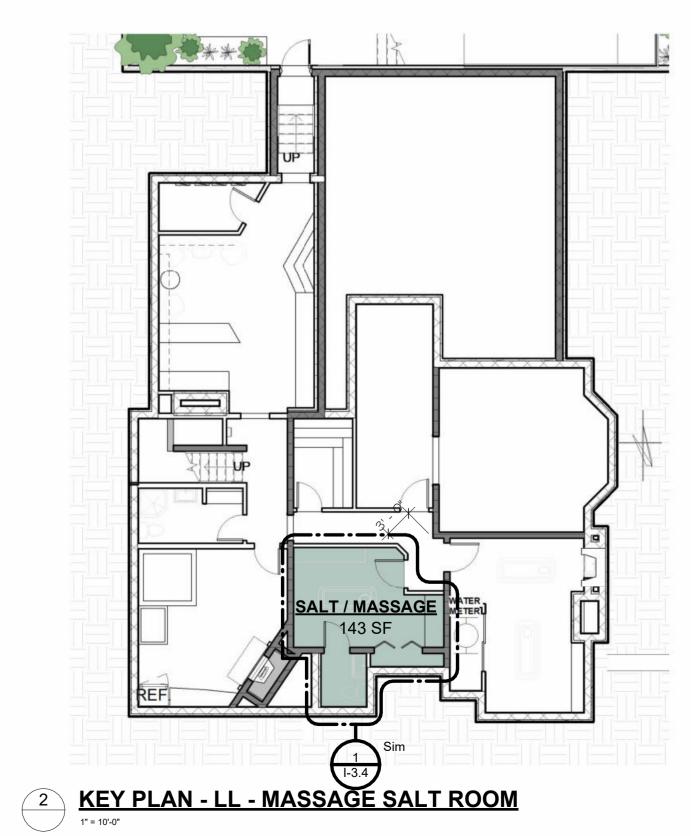








**EXISTING CONDITIONS** 



### **GENERAL NOTES:**

1. All construction to comply with the local building, plumbing, mechanical and electrical codes, ordinances and requirements as well as the State of Michigan Energy Code.

### **EXCAVATION, CONCRETE & STRUCTURAL STEEL:**

- 1. Footings are designed for an assumed soil pressure of 2,500 psf. If soil of this capacity is not found at the elevations indicated, footings shall be enlarged or lowered at the direction of a soils engineer.
- 2. Fill areas shall be stripped of topsoil and tilled with suitable material compacted to a minimum of 95% maximum density. Fills shall be in lifts thin enough to be compacted uniformly to this density. No fills to be made on frozen ground.
- 3. All excavation shall be accomplished in accordance with MIOSHA Standards. Excavations undertaken below the water table are to be kept in a virtually dry and workable condition by pumping as required.
- 4. Provide continuous 4" drain tile around perimeter of all basement areas with minimum 12" gravel cover (no fines). Termination/discharge of drain tile shall be in accordance with the local municipality.
- 5. Footings to be constructed at or below a frost penetration depth of three feet, six inches (3' - 6") or deeper as required to obtain solid bearing on undisturbed soil.
- 6. Concrete strength to be 3000 psi at 28 days, with 6% + 1% entrained air where exposed to weather. Concrete work and placement shall conform to the latest specifications of C.R.S.I. and A.C.I.
- 7. Before construction of concrete floor slab, remove all traces of topsoil and thoroughly compact the sub-grade. Provide minimum 4" thick layer of 1" dia. sharp stone as final base for interior concrete slabs.
- 8. All continuous wall footings to be minimum of 12" thick and project 4" each side of wall unless otherwise noted.
- 9. All reinforcing bars, dowels and ties shall conform to A.S.T.M. A615, Grade 60. Reinforcing steel shall be continuous and shall have minimum 30 bar diameter lap.
- 10. Welded wire fabrics A.S.T.M A-185, size as specified on Plans. Do not deviate except with written consent by the Architect.
- 11. All structural steel shall conform to the latest A.S.T.M. serial designation A36, steel tubing to be A.S.T.M. A-501, steel pipe A.S.T.M. A-53, Grade B.
- 12. Lintels over exterior openings (where required) shall conform to the following table unless otherwise specified:
- (1) 3-1/2 x 2-1/2 x 5/16 4'-0" opening width (or less)
- (1) 3-1/2 x 3-1/2 x 5/16 5'-0" opening width
- (1)  $4 \times 3-1/2 \times 5/16 6'-0''$  opening width (1) 4 x 3-1/2 x 5/16 - 7'-0" opening width
- (1) 4 x 3-1/2 x 5/16 8'-0" opening width
- (1) 4 x 3-1/2 x 5/16 9'-0" opening width
- (1) 7 x 4 x 7/16 13'-0" opening width
- 13. Steel pipe columns to be provided with minimum 1/2" x 10" x 10" base
- 14. Steel design, fabrication and erection to be in accordance with the latest A.I.S.C. Specifications.
- 15. All field connections to be made with 3/4" diameter H.S. bolts or equivalent welds. Shop connections to be welded (E700XX).
- 16. Provide temporary bracing as required to insure the stability of the structure until the permanent framing is in place.
- 17. Provide min. 2" x 24" rigid insulation at all perimeter slabs.
- 18. Waterproof all brick, block and poured concrete walls at any below grades condition unless noted otherwise.
- 19. Provide min. 6 mil vapor barrier under all concrete slabs.

### GENERAL FRAMING:

- 1. Rough wood framing to be according to National Lumber Manufacturers Association recommended Practice for Wood Framing. Store all lumber off the ground and protect from the elements.
- 2. Identify all framing lumber and plywood as to grades with appropriate agencies stamp, and store all grades separately from other grades.
- 3. Use extreme care in the off-loading of lumber to prevent damage, splitting, and breaking of materials.
- 4. Anchor sill plate on moisture resistance sill sealer to foundation wall 1/2" dia. A.B. @ 8'-0" o.c. maximum, or code approval metal sill straps @ 4' - 0" o.c. maximum, provide minimum (2) anchors per board maximum 12" from board ends (typical). Imbed anchor minimum 8" into poured concrete, minimum 15" into grouted masonry.
- 5. All sills which rest on concrete or masonry exterior walls and are less than 8" (203 mm) from exposed earth shall be of approved naturally-durable or pressure treated wood.
- 6. Sleepers and sills in a concrete of masonry slab which is in direct contact with earth shall be of approved naturally-durable or pressure-treated wood.

- 7. All structure lumber, joists and headers to be minimum Fb 1,250 for single members E = 1,600,000, Fv = 95, unless otherwise noted on Plans.
- 8. All studs to be 'stud' grade or better with minimum properties to meet or exceed the following unless otherwise noted.
- 2 x 4 studs 2 x 6 studs

Fb = 550 for single members Fb = 500 for single members E = 1,200,000 E = 1,200,000Fc = 425 Fc = 425

- 9. Micro-lam beams (ML), where indicated, shall be as manufactured by Truss Joist Corp. with Fb, = 2,800 psi, E =  $2.0 \times 10.6$ . Multiple members to be properly fastened together per manufacturers specifications but not less than (2) rows 16d nails at 12" o.c.
- 10. All flush framing connections to be with "Strong-Tie" or equal post caps, joist and beam hangers, framing anchors and rafter anchors.
- 11. Provide solid bearing under all beams and headers (full width). Provide (2) 2 x 4 jamb measured vertically above the nosing of treads along a stair. studs at openings 6'-0" and greater unless otherwise noted.
- 12. Header over exterior opening shall conform to the following table unless otherwise noted on Architectural Plans.
- (2)  $2 \times 6 = up \text{ to } 4'-0" \text{ opening width}$
- (2)  $2 \times 8 = up \text{ to } 5'-6'' \text{ opening width}$
- (2)  $2 \times 10 = up \text{ to 7'-0" opening width}$
- (2)  $2 \times 12 = up \text{ to } 8'-0" \text{ opening width}$
- 13. Truss design, installation and bracing per truss manufacturer's Shop Drawings and/or requirements. Truss supplier to provide documentation of compliance to city prior to erection of trusses. Engineered framing shall require design by manufacturer and should at any point including intermediate rails or balusters. be forwarded to Architect for review.
- 14. All Trusses shall be secured with Anchor Straps with a minimum uplift capacity of 500 lbs. per Truss connection. Truss Mfr. to provide cut sheets.
- 15. Provide all firestopping per the local code.
- 16. Provide solid blocking at all point load condition continuous to solid bearing at headers or foundation. Point loads below girder trusses and structural members spanning greater than 14' to be framed continuously with Dense Fir lumber or of equal structural values.
- 17. Exterior wood frame walls over 9'-0" in height shall be a min. 2 x 6. All studs shall be continuous from floor to framing above or ganged.
- 18. All structural mullions to have min. double stud construction continuous from floor to framing above. Window transom headers shall span between continuous studs with flush E. Handrails to have a diameter size of 1 1/2" min., 2" max.. hanger brackets as required.
- 19. Lower level (basement) exterior frame walls and interior bearing walls shall be minimum 2 x 6 framing at 16" o.c. with pressure treated base plates. Interior lower level (basement) partitions to have pressure treated plates.
- 20. Construct framing, plumb, true and rigid, ready to receive finish materials without additional furring. Align door bucks in the rough within 1/16" tolerance.
- 21. Furnish and set all permanent or temporary wood grounds shown or required to complete the project, consult with other Contractors requiring grounds and furring and set the garage floor. The door opening protectives shall be 1-3/4 " solid core such grounds as may be needed by them when as directed.
- 22. Grounds and furring shall be of proper width and thickness for the function they are to 7. Pre-fab fireplace, where utilized, shall be U.L. approved, and shall be perform. Set straight, plumb and true and secure rigidly in place.
- 23. Provide blocking in walls for hardware support such as grab bars, etc.

### **DESIGN LOADS:**

Roof Live Load = 30 PSF Attic Live Load = 20 PSF Dead Load = 20 PSF Design Total Load = 70 PSF

First Floor Live Load = 50 PSF Dead Load = 20 PSF Tile Load = 20 PSF Limit L.L. Deflection to I/480 or 0.375" max.

Second Floor (where applicable) Live Load = 40 PSF Dead Load = 20 PSF Tile Load = 20 PSF Limit L.L. Deflection to I/480 or 0.375" max.

Exterior Balconies Live Load = 100 PSF

\* ATTIC LOADS (BOTTOM CHORD TRUSS LOADS):

Live load need be applied to trusses or trussed rafters only in those portions of attic space having a clear height of forty-two (42") inches or more between bottom chord and any other member in trusses or trussed rafter construction. however, bottom chords of trusses or truss rafters shall be designs to sustain the imposed dead load of 10 psf, uniformly distributed over the entire Plan.

### GENERAL/MISCELLANEOUS CONSTRUCTION NOTES:

- 1. Asphalt shingle roofs with slope of (4:12) or more shall have an underlay of (1) layer 30# felt. Provide water and ice shield underlayment to a point 12" beyond the inside face of the exterior wall.
- 2. Provide approved metal wind bracing or structural sheathing at all corners.
- 3. Each sleeping room shall have at least one operable window or door to exterior which shall be operable from inside without the use of separate tools. Windows shall have a sill height of not more than 44" a.f.f. and shall have a net clear opening of 5.7 sq. ft. (5 sq. ft. minimum for grade floor windows). Minimum net clear opening height shall be 24". Minimum net clear opening width shall be 20".
- 4. Residential Guard Rails
- A. Interior guard railings within dwelling units shall not be less than 36" in height above finish floor. Hand rails shall not be less that 34" in height
- B. Exterior guard rails shall be minimum 42" high above finish deck surface,
- C. Open guard rails shall have intermediate rails balusters, or other construction such that a 4" diameter sphere cannot pass through any openings.
- D. Guard rails within dwellings shall be designed and constructed for a concentrated load of 300 pounds applied at any point and in any direction along the top tailing member.
- E. The infill of a guard rail system shall be designed and constructed for a horizontal concentrated load of 200 pounds applied in a (1) square foot area

### 5. Residential Handrails

A. Handrails shall be installed at 34", measured vertically, above the nosing of treads, or landings.

B. Handrails that form part of a guard rail shall be installed at a height of not less than 34" and not more than 42" above tread nosing.

C. Handrails within dwellings shall be designed and constructed for a concentrated load of 200 pounds applied at any point in any direction.

- D. Handrails shall be provided on at least one side of stairways of two risers or more having a width of less than 44". Provide additional handrails as required by code on wider stairways.

### 6. Garages:

Garages located beneath rooms in dwellings shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fireresistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 5/8" type "x" gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less that 4" above wood doors or approved equivalent.

- installed in strict accordance with manufacturers specifications and U.L. requirements.
- 8. Windows and Glazing:
- A. Provide flashing at all window head, jamb and sill conditions.
- B. Fixed glass sizes are shown for reference only. Glazing contractor shall field measure all openings prior to fabrication.
- C. Provide appropriate safety glass for all hazardous locations in accordance with current building codes including all doors, glazed areas in excess of 9 sq. ft. and glazing within 18" of walking surfaces.
- D. Provide egress window at each sleeping area and where basements require per bldg. official
- 9. A readily accessible opening not less than 22" x 30" shall be provided to any attic area having a clear height of over 30".
- 10. Insulation:
- A. Provide min. 3 1/2" batt at all bond and skylight shaft conditions (R-11).
- B. All insulation shall provide a vapor barrier.
- C. Provide free airflow from all soffits to the roof space maintaining ventilation to all concealed roof areas.

### 11. Roof Venting Calculation-to be used by roofing contractor:

Proposed:	
Attic areas = $4488$ sq. ft. (÷150)	
Vent areas = 29.92 x 144 = 430	08 sq. in.
	q. in. ea.
Provided:	•
Contin. ridge type @ 11 sq. in./ft.(min.) = 3	310 l.f.
Ridge jack type @ sq. in. ea.(min.) = u	
Gable end type (total) @ sq. in. = ur	
Power vent @	
	sq. in.
Total voltaling to mage	9
Contin. soffit type @ sq. in./ft = I.f.	
Louver type @ sq. in. ea. = units	2
T 1 7	
rotal venting @ soffit =sq	. 111.

### Add 30% for high slope.

Recommended Solar powered exhaust vents where applicable.

### Laminate Plastic:

All plastic laminate shall be general purpose "self-edged" type at all applications.

All colors shall be solid colors as selected by the tenant from the standard colors and patterns of the approved manufacturer

Plastic laminate core shall be 3/4" thick, 5-ply hardwood plywood, Type II Grade BD or better with minimum 3/4" thickness. Seal exposed edges and bottom.

### **MECHANICAL WORK:**

- 1. All mechanical and plumbing work is to comply with all local and state codes and the regulations of the local utility companies. 2. Gas piping shall be wrought iron or black steel with malleable iron or steel fittings or copper tube complying with the local plumbing code and Michigan Plumbing./Mechanical Code - latest edition.
- 3. Install all mechanical equipment according to their listings and governing codes.
- 4. Mechanical work to be design/build by contractor

### **ELECTRICAL WORK:**

- 1. All electrical work is to comply with N.E.C. (latest edition), local and state codes and the regulations of the local utility companies.
- 2. Provide temporary power and lighting during construction. Remove same after completion of work. Temporary service shall be as required.
- 3. Install all electrical equipment according to their listings and governing
- 4. All 125V, single phase, 15 and 20 amp receptacles installed in bathrooms shall have ground-fault circuit-interrupter protection for personnel.
- 5. All 1,250, single phase 15 or 20 amp receptacles installed in garages shall have ground-fault circuit interrupter protection for personnel, except those that are not readily accessible.
- 6. Provide waterproof ground fault circuit-interrupter for personnel at exterior electrical outlets (NEC, 210-8a3).
- 7. At least one 125 volt, single phase, 15 or 20 amp receptacle installed in a basement shall have ground-fault circuit-interrupter protection for personnel and it shall be so identified.
- 8. All 125V, single phase, 15 and 20 amp receptacles installed within 6 feet of a sink or laundry tray above a countertop surface shall have ground-fault circuit-interrupter protection for personnel.
- 9. Verify electrical requirements of all built-ins, and mechanical equipment with General Contractor.
- 10. Provide approved smoke detectors on every story of the dwelling including the basement. All detectors shall be installed in an approved location and shall be in the immediate vicinity of the bedrooms. All smoke detectors shall be electrical wired. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the dwelling.

Email: infuzltd@comcast.net Web: infuzarchitects.com

> Unauthorized use of this drawing set without written permission from VIRTUOSO DESIGN + BUILD and Infuz Ltd is in violation of U.S. COPYRIGHT LAWS and will be subject to civil damages and prosecution.

Revision Schedule Description

03/13/2025

BERKERY STATE

& MELVIE BERKERY

PROJECT NUMBER: 224075
8325 E JEFFERSON AV
DETROIT, MI 48214

NIALL & MELVI
SHEET TITLE

SPEC SHEET

Ш

SHEET NUMBER S-100

3/14/2025 2:51:53 PM

BERKERY ESTATE

∞

REAR ELEVATION UPDATES





### **EXISTING NORTH ELEVATION (REAR)**





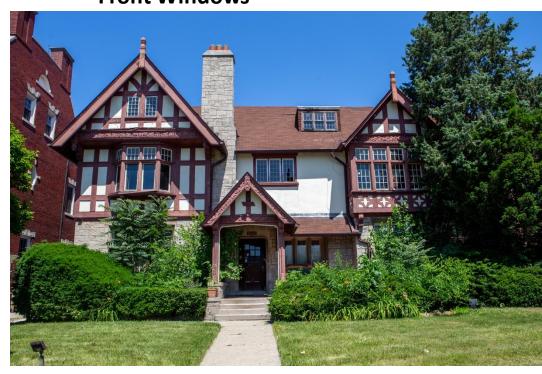
RENDERING (OPT 1)



RENDERING (OPT 2 - MANSARD ROOF)

### **Current Windows & Windows**

### **Front Windows**



### **Rear Windows**



### Plan:

- All windows will be replaced with energy-efficient windows matching the current size and style
- The existing front door will be maintained.

### **Current Windows**

**Left Side Windows** 



**Right Side Window** 





### **Replacement Windows**

We have not finalized our decision for replacement windows. But we are considering Pella Reserve - Traditional Series.

These have been approved on a case-by-case basis by the National Park Service for use on projects with historic tax credits, <sup>1</sup> which speaks to their authenticity