

3261 SHERBOURNE RD., DETROIT, MI

PROJECT INFO:

PROSPECTIVE OWNER:

ROBIN GLASCO

PROJECT ADDRESS:

3261 SHERBOURNE RD.
DETROIT, MI 48221

DESIGNER:

VANGUARD DESIGN GROUP
25120 CULVER ST.
ST. CLAIR SHORES, MI 48061

CONTACT: BRYAN SHISHAKLY

PHONE: 506.878.3223

EMAIL: BRYAN@GUARDTHEVAN.COM

SCOPE OF WORK:

RESTORATION OF HISTORIC EXTERIOR AND CONSTRUCTION OF AN APPROX. 842 SQ. FT. REAR 2 STORY ADDITION. ADDITION TO INCLUDE EXPANDED KITCHEN AND LIVING SPACES, EXPANDED PRIMARY SUITE AND SECONDARY BEDROOM. ALL NECESSARY STRUCTURAL REPAIRS.

LEGAL DESCRIPTION:

S SHERBOURNE 429 SHERWOOD FOREST SUB L39 P11

PLATS, W & R 2/148 60x171.0A

BUILDING SUMMARY:

EXISTING GROSS BUILDING AREAS	
FIRST FLOOR:	1,553 SQ. FT.
SECOND FLOOR:	1,428 SQ. FT.
THIRD FLOOR:	493 SQ. FT.
BASEMENT:	1,338 SQ. FT.
TOTAL EXISTING GROSS BUILDING AREA	4,812 SQ. FT.

PROPOSED GROSS BUILDING AREAS	
FIRST FLOOR:	1,836 SQ. FT.
SECOND FLOOR:	1,826 SQ. FT.
THIRD FLOOR:	493 SQ. FT.
BASEMENT:	1,338 SQ. FT.
TOTAL PROPOSED GROSS BUILDING AREA	5,493 SQ. FT.

ZONING REQUIREMENTS:

LOCAL AUTHORITY:

CITY OF DETROIT

LOCAL ORDINANCE:

DETROIT ZONING ORDINANCE

ZONING CLASSIFICATION:

R-1 RESIDENTIAL

USE CLASSIFICATION:

SINGLE FAMILY DWELLING / BY RIGHT (§ 50-8-14)

REQUIRED SETBACKS:

	REQUIRED SETBACK	ACTUAL EXISTING SETBACK	ACTUAL PROPOSED SETBACK
FRONT:	20 FT.	50 FT.	NO CHANGE
SIDES:	4 FT. MIN.	4.7 FT.	NO CHANGE
	14 FT. COMBINED	17.8 FT.	NO CHANGE
REAR:	30 FT.	73 FT.	NO CHANGE

MINIMUM LOT SIZE:

AREA:	5000 SQ. FT.	ACTUAL AREA:	10520 SQ. FT.
WIDTH:	50 FT.	ACTUAL WIDTH:	62 FT.

MAXIMUM HEIGHT:

HEIGHT:	35 FT.	ACTUAL HEIGHT:	32.6 FT.
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LOT COVERAGE:

MAX PERCENTAGE ALLOWED:	35%
ACTUAL PERCENTAGE:	24.1%

BUILDING CODE REQUIREMENTS:

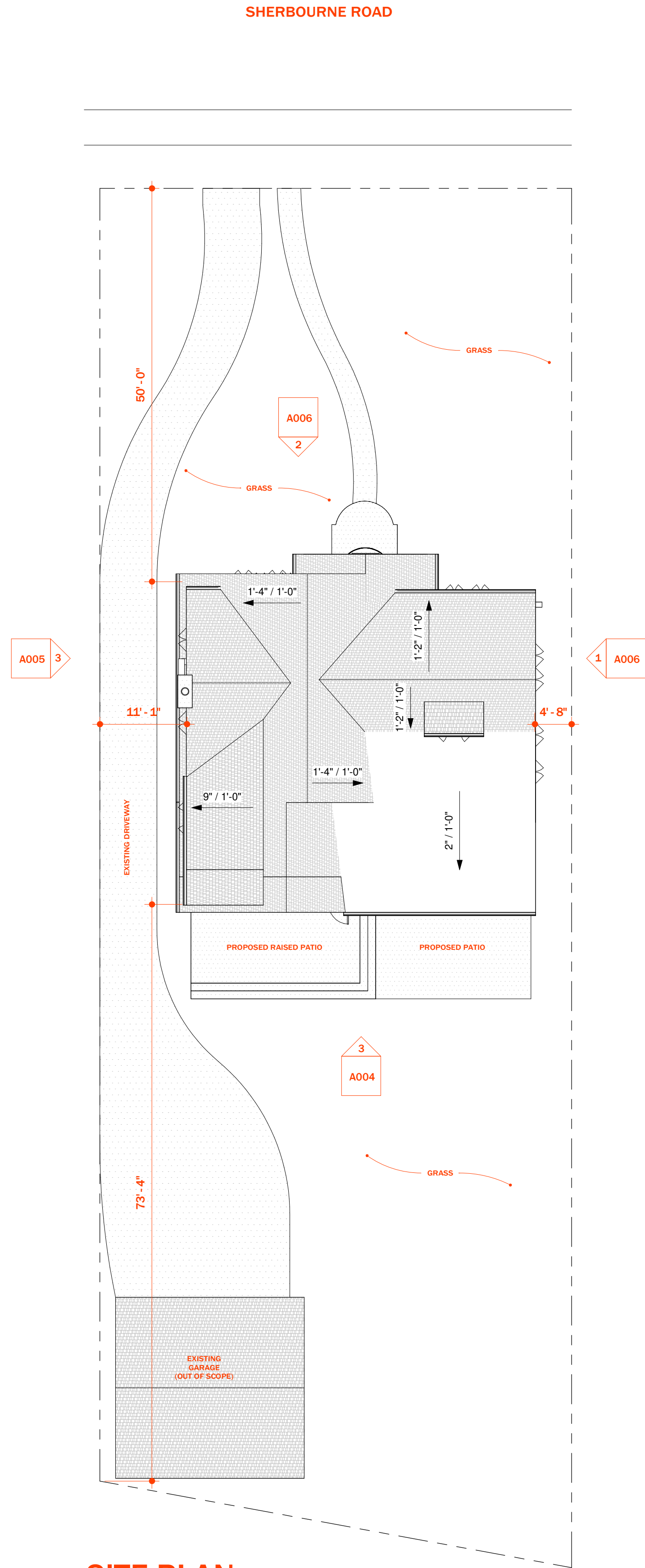
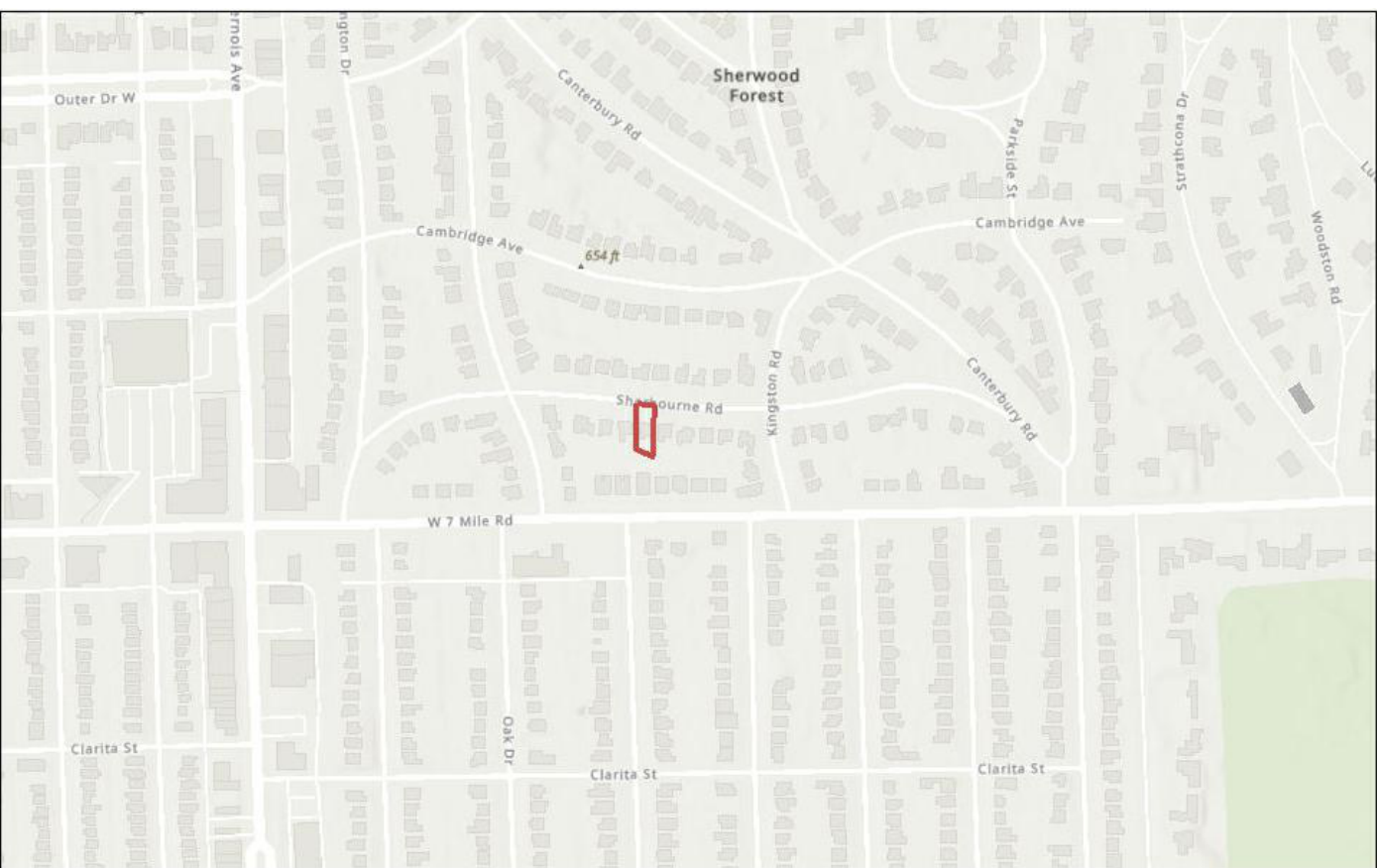
GOVERNING CODE:

2015 MICHIGAN RESIDENTIAL CODE (MRC 2015)

USE AND OCCUPANCY:

PRIMARY USE: R-1 RESIDENTIAL

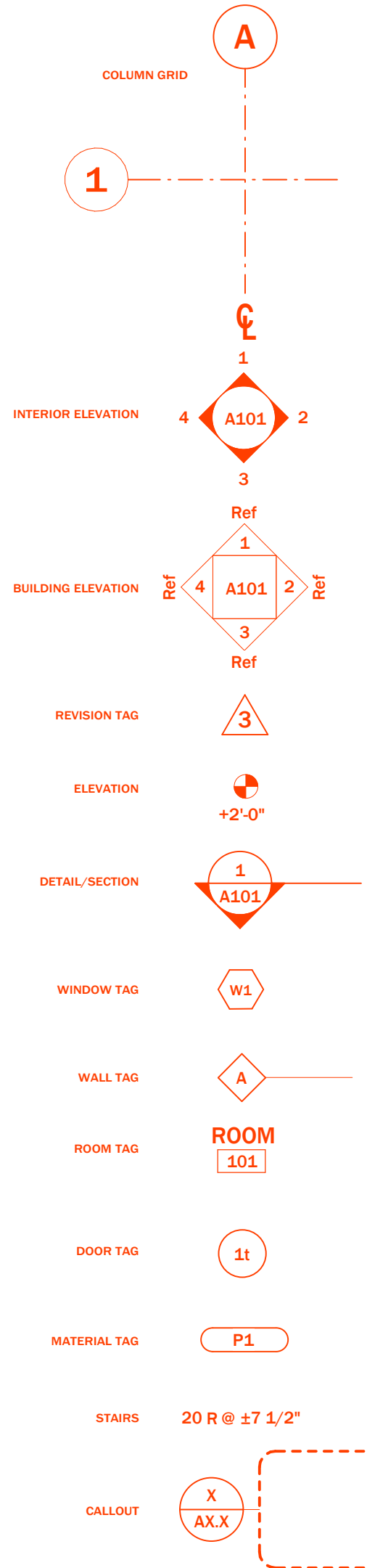
VICINITY MAP:



1 SITE PLAN
SCALE: 1" = 10'-0"

ABBREVIATIONS	
A	ALT ALTERNATE
A	ALUM ALUMINUM
A	APPROX APPROXIMATE
A	AVG AVERAGE
B	
B	B.O. BOTTOM OF
B	BDRM BEDROOM
B	BLKG BLOCKING
B	BOT BOTTOM
B	BRDG BRIDGE, BRIDGING
B	BRG BEARING
B	BRKT BRACKET
B	BSTMT BASSMENT
B	BTW BETWEEN
C	
C	CEM CEMENT
C	CL CENTER LINE
C	CLG CEILING
C	CNU CONCRETE MASONRY UNIT
C	CNTR CENTER
C	COL COLUMN
C	CONC CONCRETE
C	CONT CONTINUOUS
C	CRPT CARPET
C	CSMT CASEMENT
C	CT CERAMIC TILE
D	
D	DBL DOUBLE
D	DEMO DEMOLISH, DEMOLITION
D	DH DOUBLE HUNG
D	DN DOWN
D	DWL DOWEL
E	
E	EIPS EXTERIOR INSULATION & FINISH SYSTEM
E	EJ EXPANSION JOINT
E	ELIC ELECTRICAL
E	EQ EQUAL
E	EQUIP EQUIPMENT
E	EXIST EXISTING
F	
F	FDTN FOUNDATION
F	FF FINISHED FLOOR
F	FIXT FIXTURE
F	FLEX FLEXIBLE
F	FLG FLOORING
F	FTG FOOTING
F	FURN FURNISH, FURNITURE
G	
G	GFCI GROUND FAULT CIRCUIT INTERRUPTED
G	GLAZ GLAZING
G	GYP GYPSUM BOARD

ABBREVIATIONS	
H	HDR HEADER
H	HWWD HARDWOOD
H	HGT HEIGHT
H	HVAC HEATING, VENTILATING & AIR CONDITIONING
I	
I	INSUL INSULATION
J	
J	JST JOIST
L	
L	LAM LAMINATE, LAMINATED
M	
M	MECH MECHANICAL
M	MEMB MEMBRANE
M	MFG MANUFACTURER
M	MIN MINIMUM
M	MISC MISCELLANEOUS
N	
N	NAT NATURAL
N	NOM NOMINAL
O	
O	O.C. ON CENTER
P	
P	PERF PERFORATED
P	PERP PERPENDICULAR
P	PLYND PLYWOOD
P	PREFAB PREFABRICATED
P	PREFIN PREFINISHED
P	PMNT PAVEMENT
P	PWR POWER
R	
R	R RISER
R	REQD REQUIRED
S	
S	SF SQUARE FOOT / FEET
S	SPEC SPECIFICATIONS(S)
T	
T	T.O. TOP OF
T	THRU THROUGH
T	TRD THREAD
T	TYP TYPICAL
U	
U	UNDC UNDECKED
U	UNFIN UNFINISHED
U	UNO UNLESS NOTED OTHERWISE
V	
V	VCT VINYL COMPOSITION TILE
V	VIF VERIFY IN FIELD
W	
W	W/ WITH
W	W/O WITHOUT



ANNOTATIONS LEGEND

SCALE: 1/4" = 1'-0"



25120 Culver St, Clair Shores, MI 48061 EST. 2014

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RESIDENCE

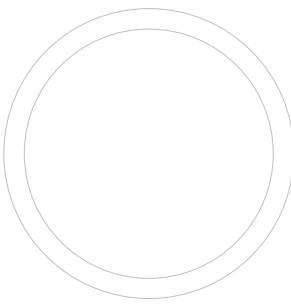
DETROIT, MICHIGAN

DATE	05/12/25
CLIENT	0260
PROJECT	0260
REVISION	REV 2A

NOTES

1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. THIS IS NOT A SEALED ARCHITECTURAL DRAWING

NOT FOR CONSTRUCTION

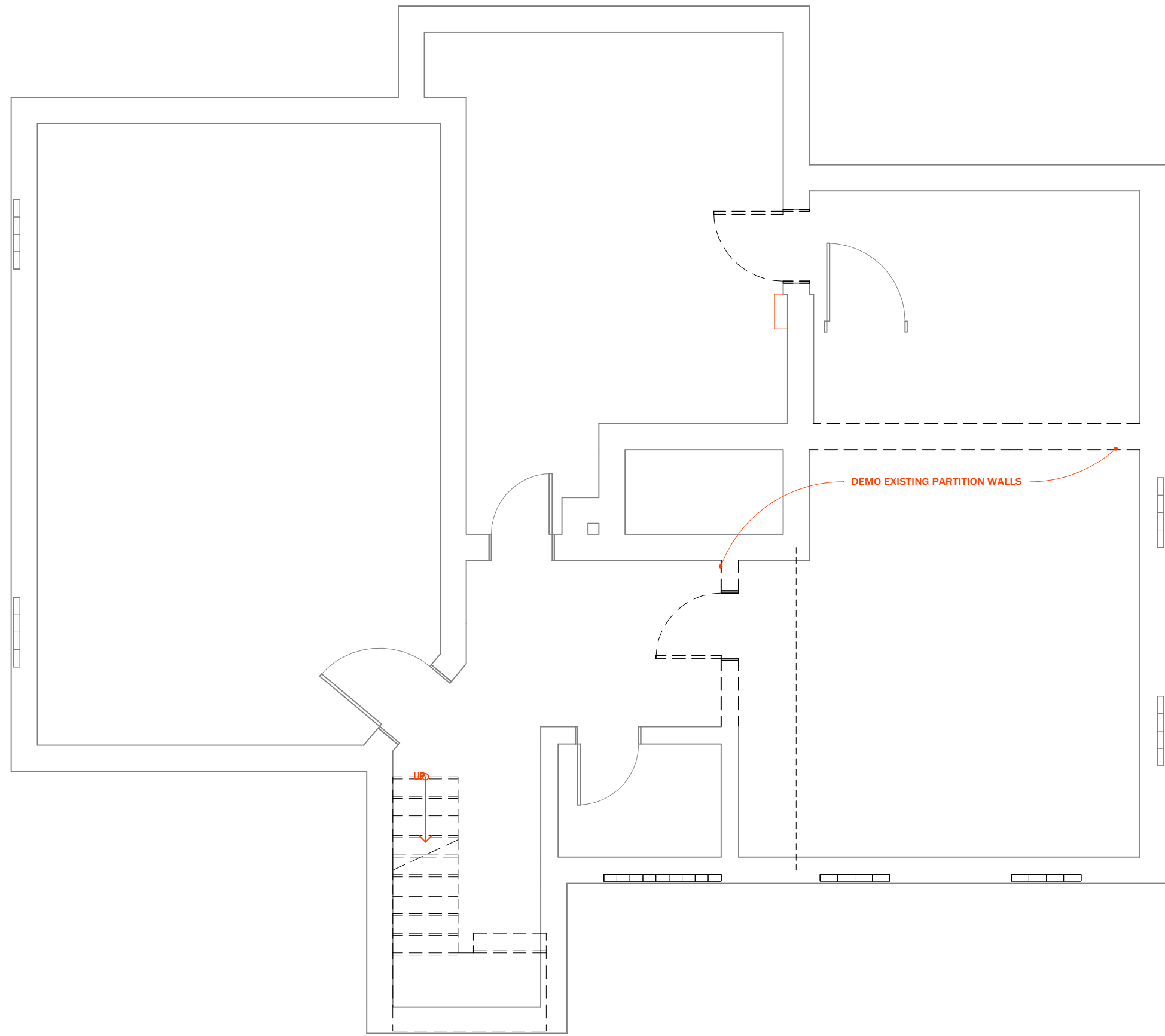


COVER SHEET

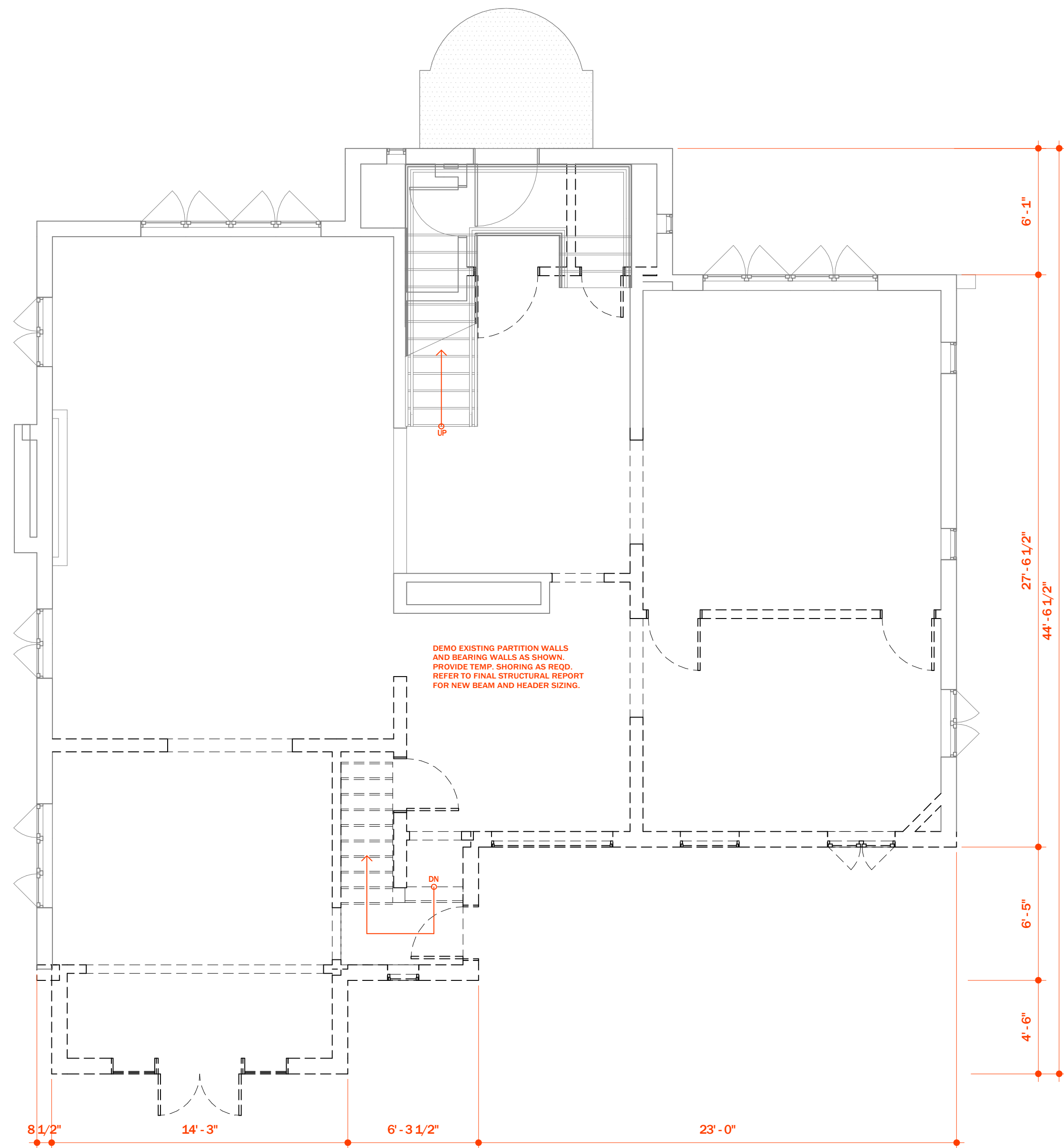
SCALE As indicated

A000

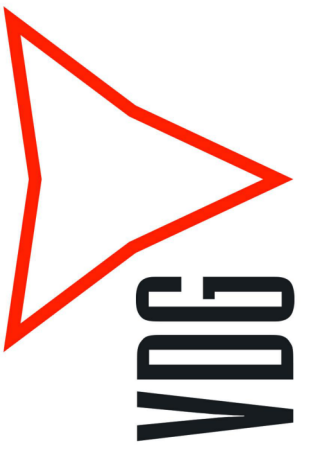
DRAWN B. SHISHAKLY



1 BSMT. - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



2 LEVEL 1 FF - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



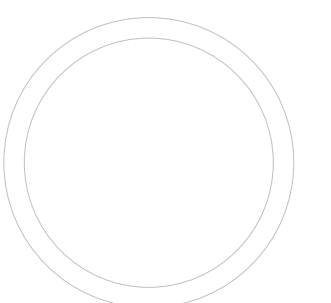
20200 Cedar St, East Shore, MI 48001 EST. 2014

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DATE 04/01/25
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PROJECT 0260
REVISION REV 2A

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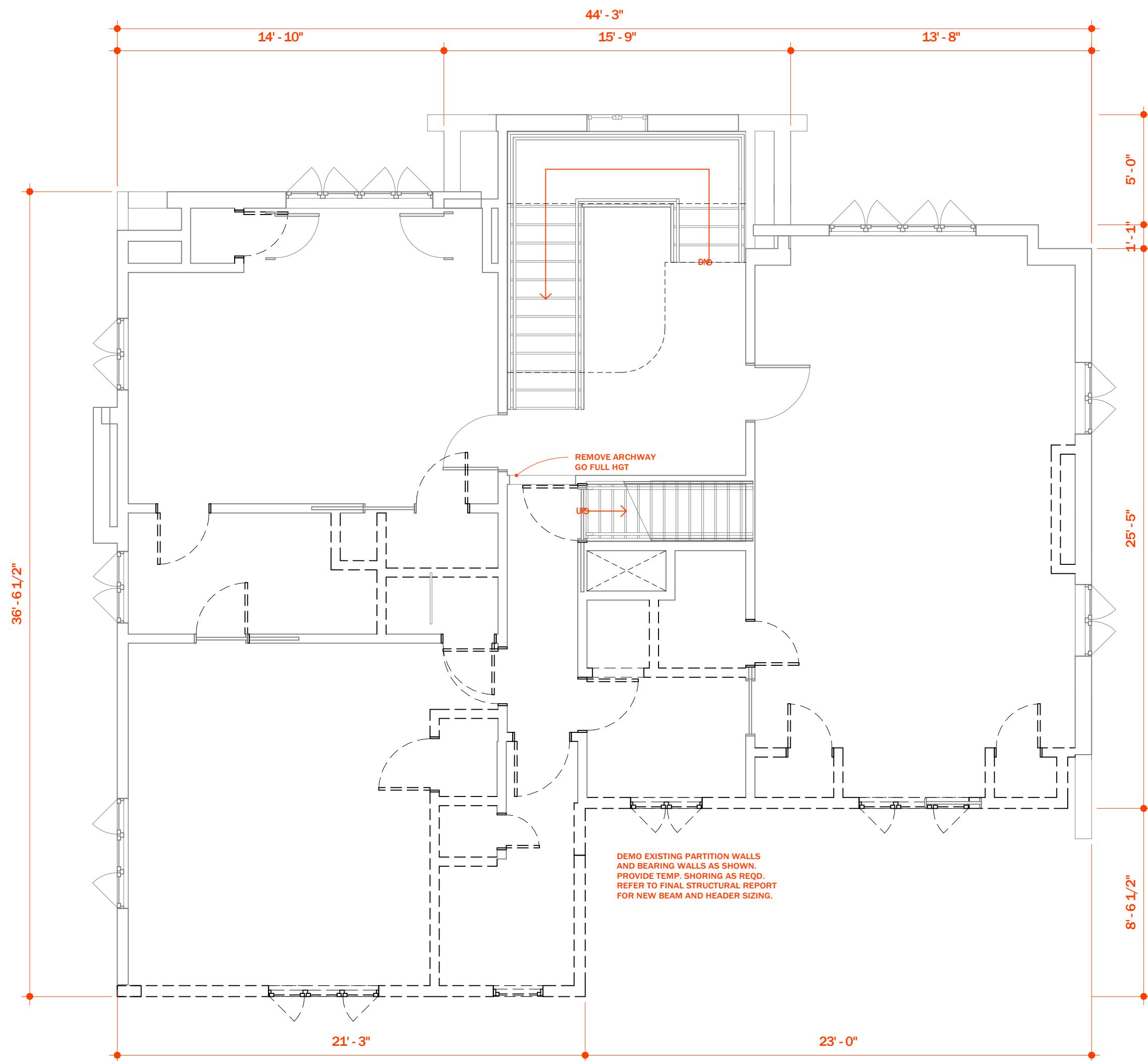


EXISTING
PLANS

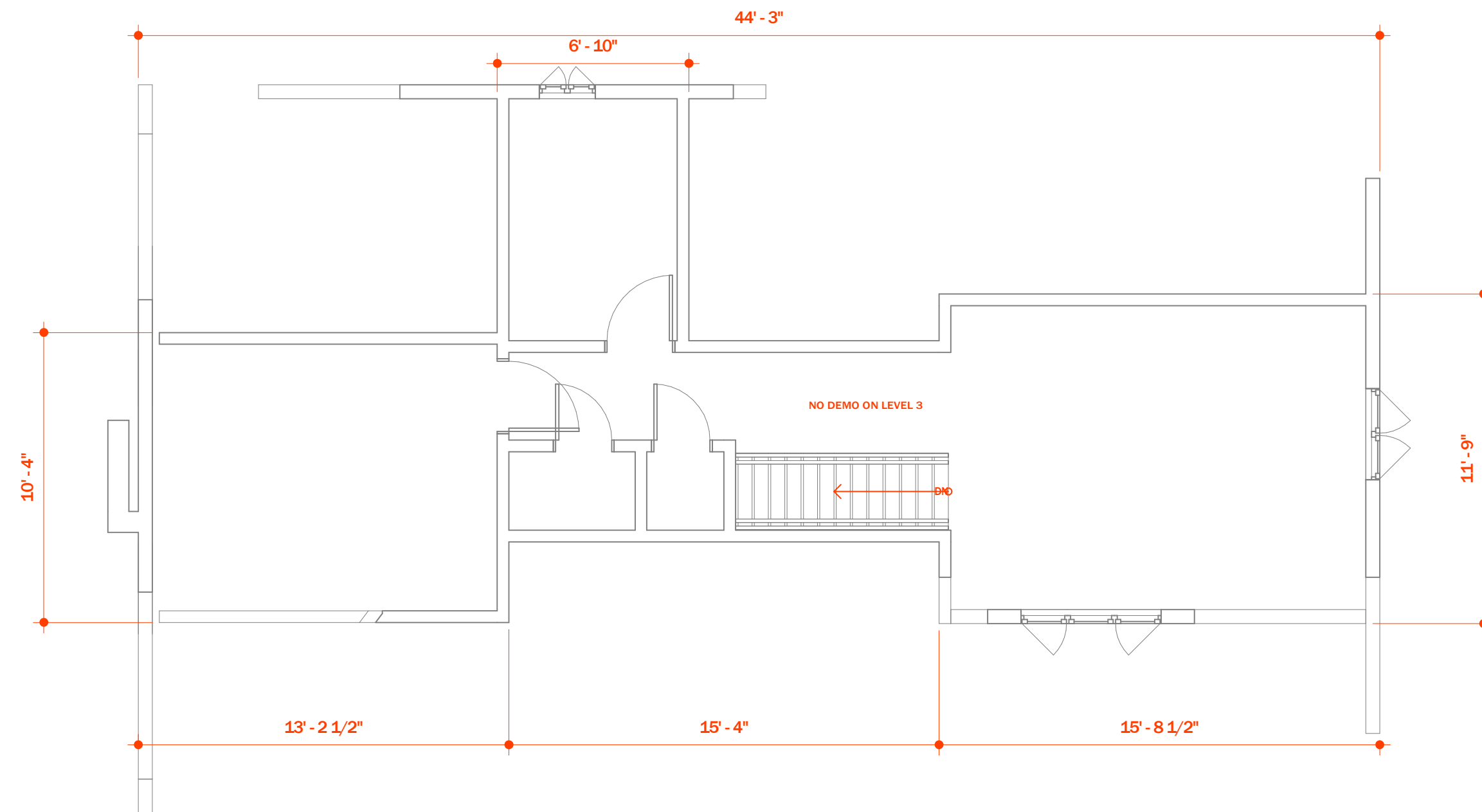
SCALE 1/4" = 1'-0"

A001

DRAWN B. SHISHAKLY



1 LEVEL 2 FF - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



2 LEVEL 3 FF - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



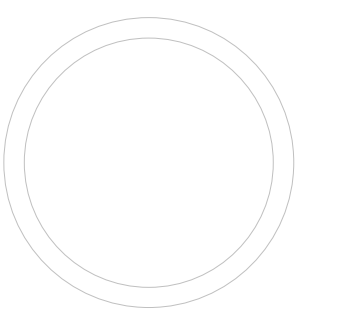
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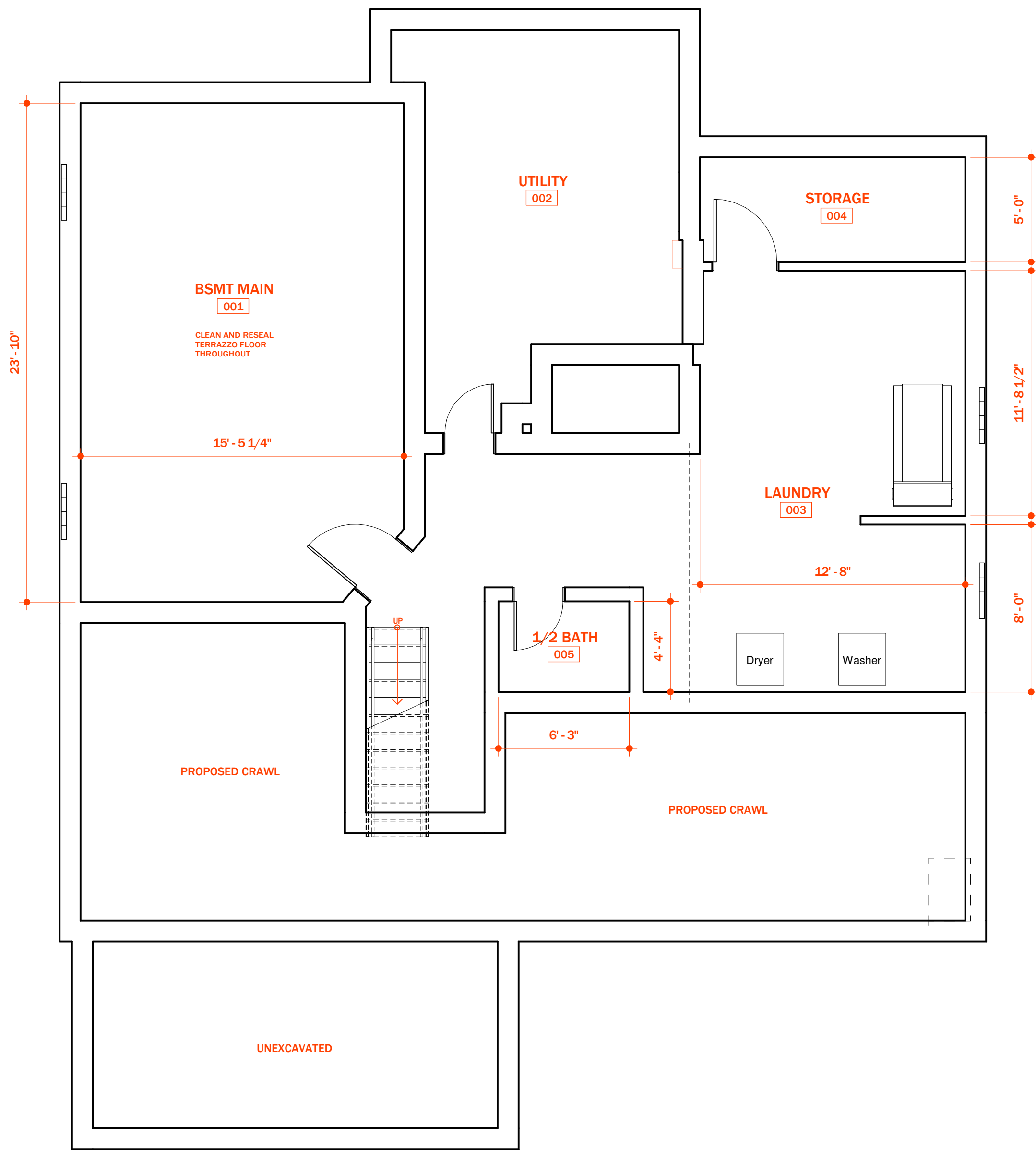


EXISTING
PLANS

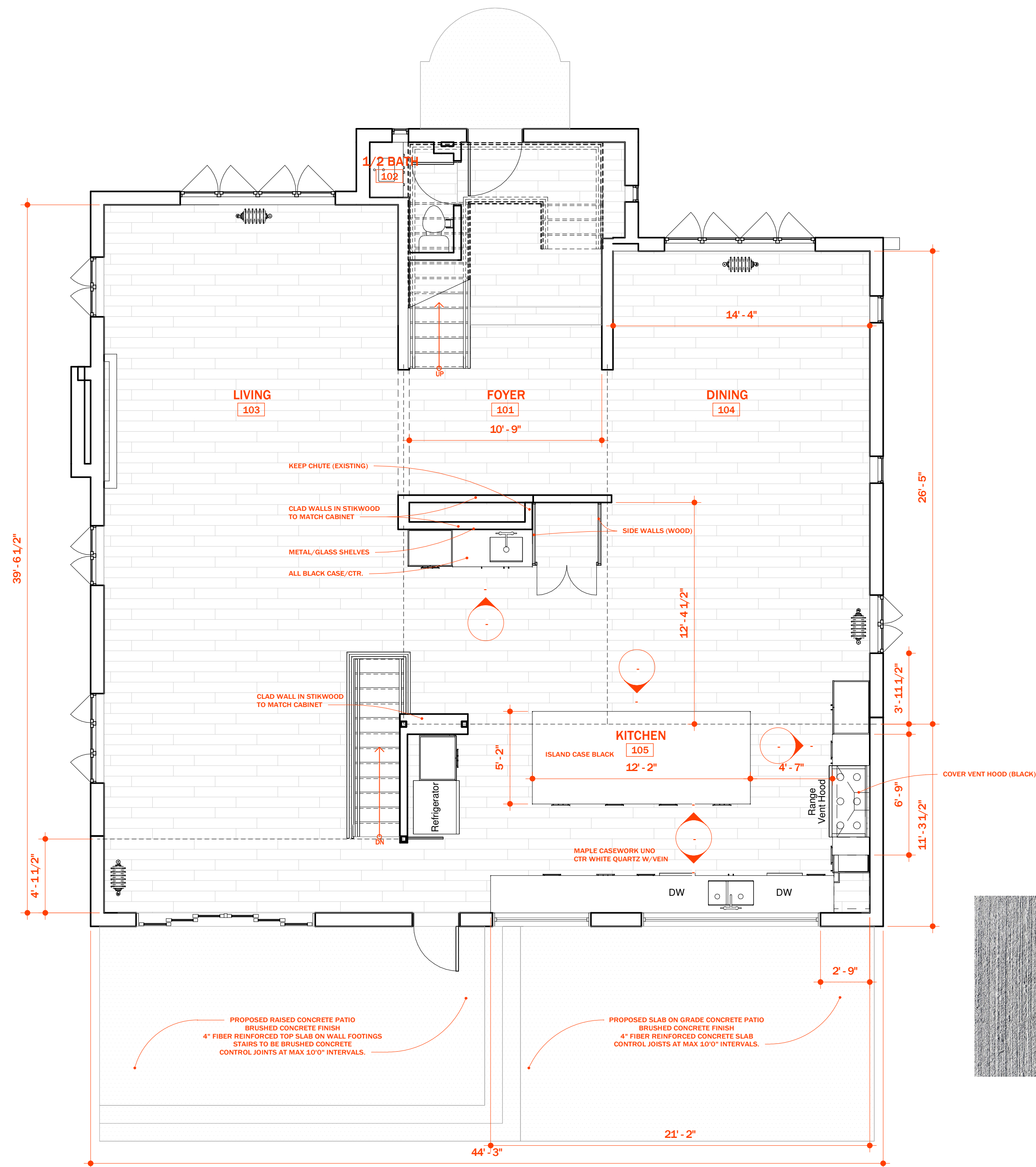
SCALE 1/4" = 1'-0"

A002

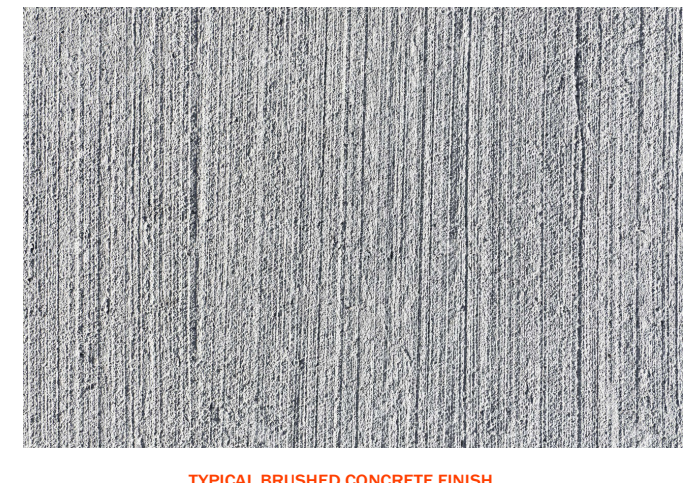
DRAWN B. SHISHAKLY



1 BSMT.
SCALE: 1/4" = 1'-0"



2 LEVEL 1 FF
SCALE: 1/4" = 1'-0"



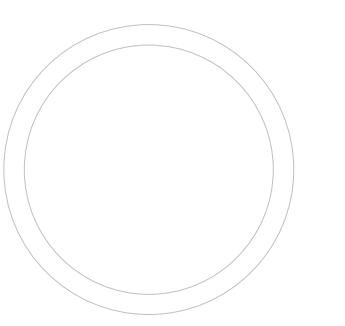
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DATE	04/01/25
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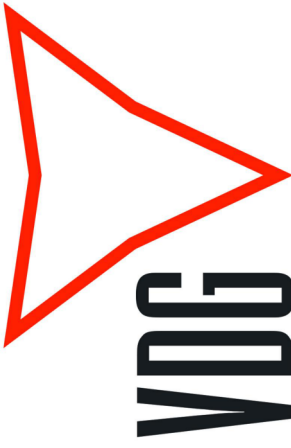


PROPOSED
PLANS

SCALE 1/4" = 1'-0"

A003

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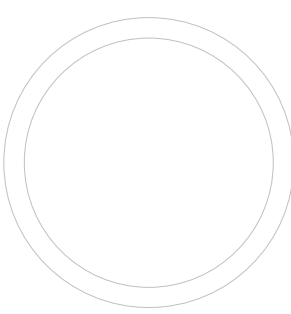
20200 Colver, St. Clair Shores, MI 48091 EST. 2014

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PROJECT 0260
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NOTES

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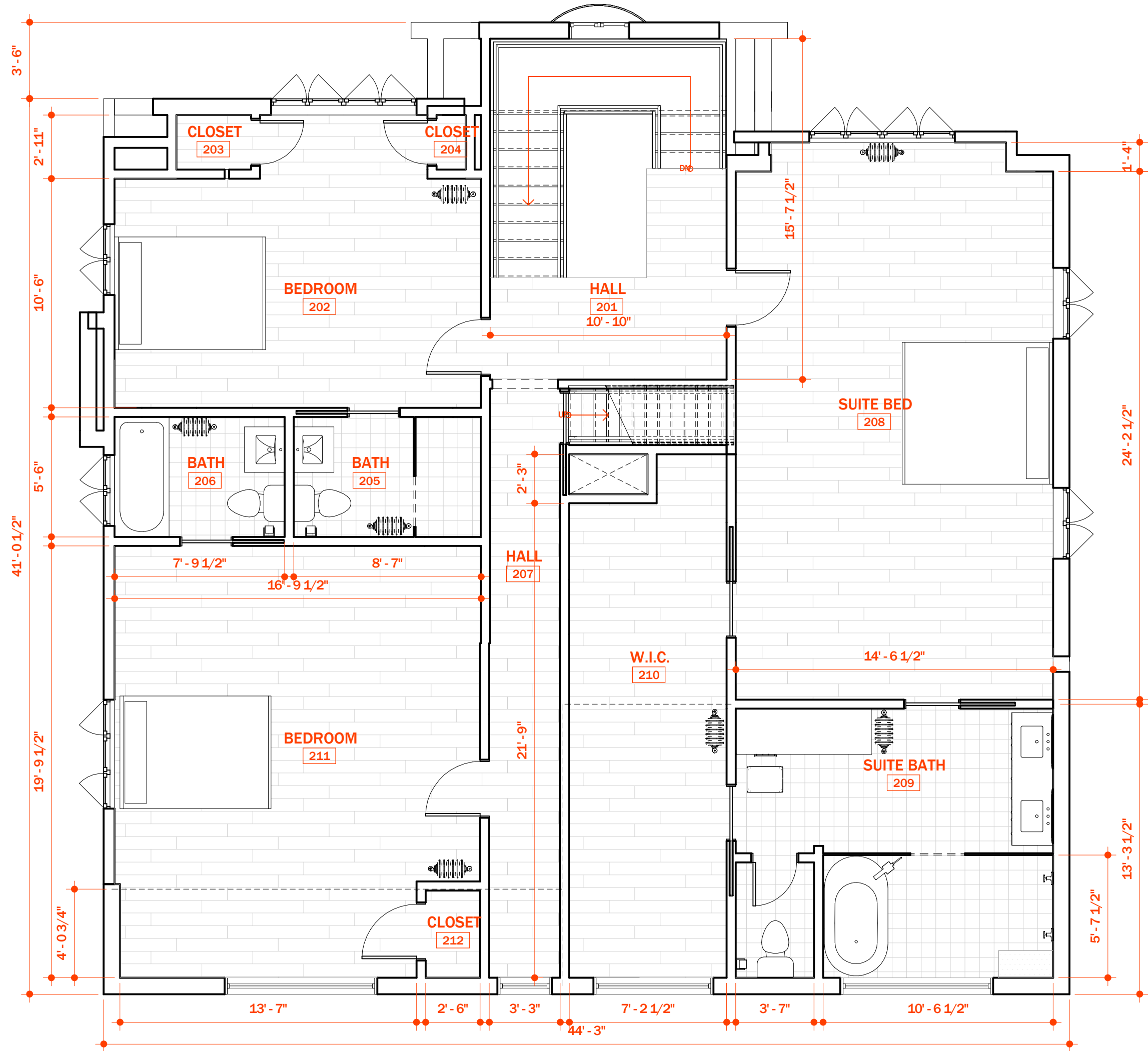


**PROPOSED
PLANS AND
SOUTH
ELEVATION**

SCALE 1/4" = 1'-0"

A004

DRAWN B. SHISHAKLY

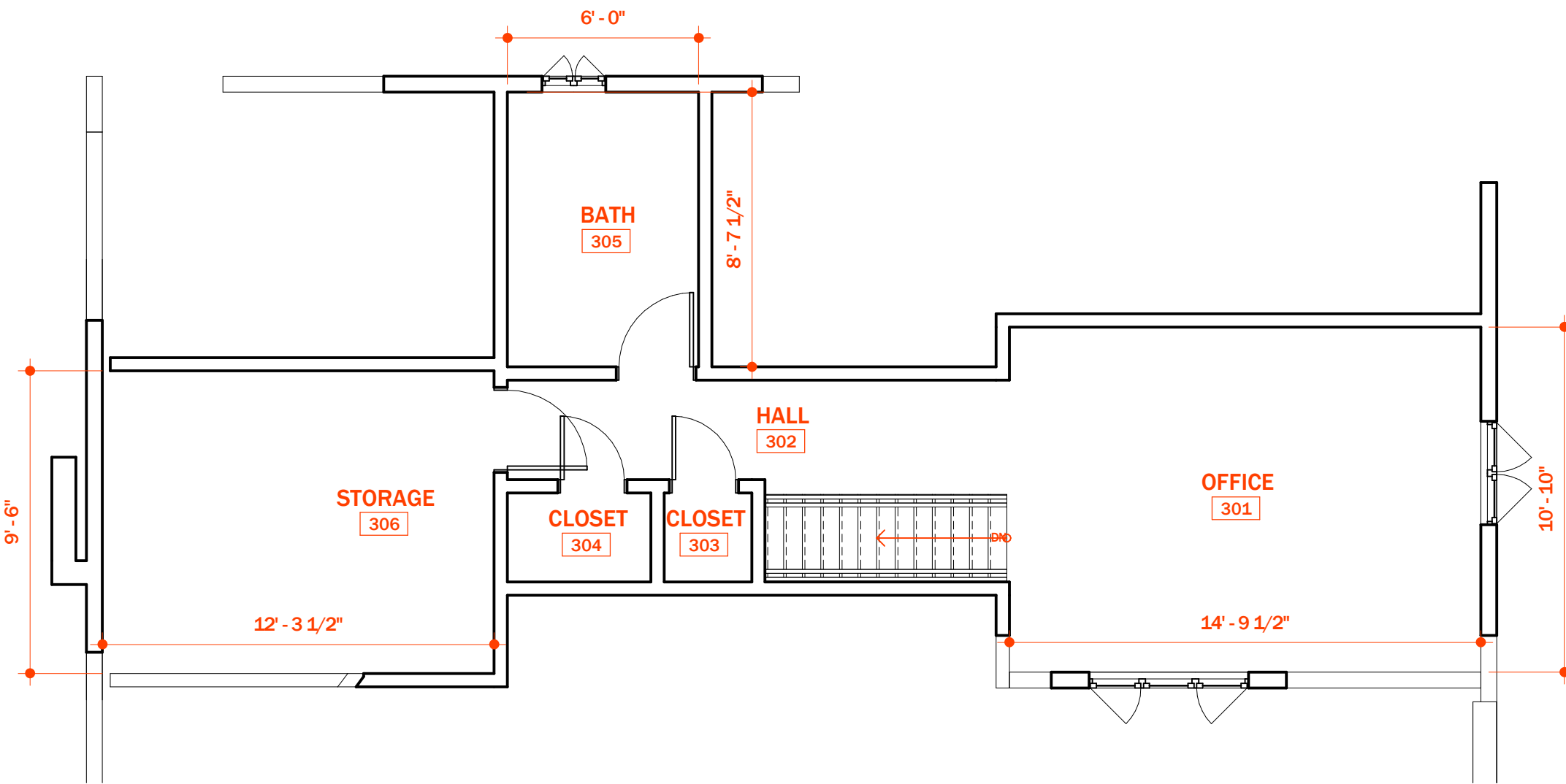


1 LEVEL 2 FF

SCALE: 1/4" = 1'-0"

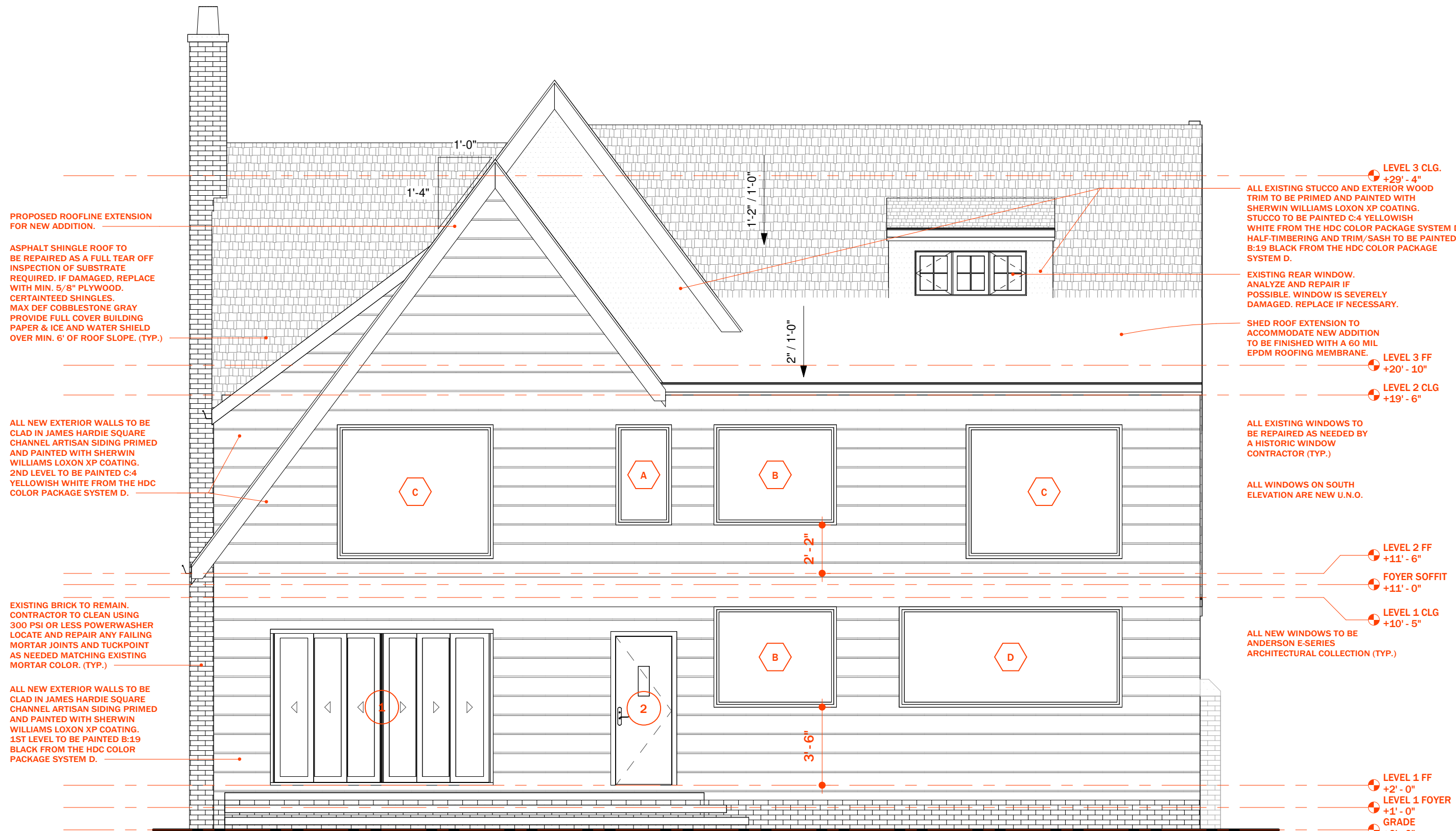
WINDOW SCHEDULE						
WINDOW NO	WIDTH	HEIGHT	SILL HEIGHT	TYPE	COUNT	REMARKS
A	2' - 6"	4' - 6"	2' - 2"	30" x 54"	1	ANDERSON E-SERIES ARCH. COLLECTION - CASEMENT - RIGHT SWING - BLACK TRIM
B	5' - 6"	4' - 6"	<varies>	66" x 54"	2	ANDERSON E-SERIES ARCH. COLLECTION - CASEMENT - RIGHT SWING - BLACK TRIM
C	7' - 0"	6' - 0"	0' - 8"	84" x 72"	2	ANDERSON E-SERIES ARCH. COLLECTION - CASEMENT - RIGHT SWING - BLACK TRIM
D	10' - 0"	4' - 6"	3' - 6"	120" x 54"	1	ANDERSON E-SERIES ARCH. COLLECTION - CASEMENT - RIGHT SWING - BLACK TRIM

DOOR SCHEDULE						
DOOR NO	COUNT	WIDTH	HEIGHT	THICKNESS	TYPE	REMARKS
1	1	10' - 0"	7' - 0"	0' - 8 11/16"	Door-Multi-Slide-Pella-Architect-Contemporary -Bi-Parting	Pella Reserve Traditional - Bi-Parting 6 Panel Sliding Door-Black Trim. Individual Panel Thickness - 2"
2	1	2' - 6"	6' - 8"	0' - 1 3/4"	Door-Exterior-Single-Entry-Historic	30" x 80" Custom built wood door to match existing front entry door style, color, and glass lite.
4	1	3' - 4"	8' - 4"		Door-Curtain-Wall-Double-Glass	Door-Curtain-Wall-Double-Glass



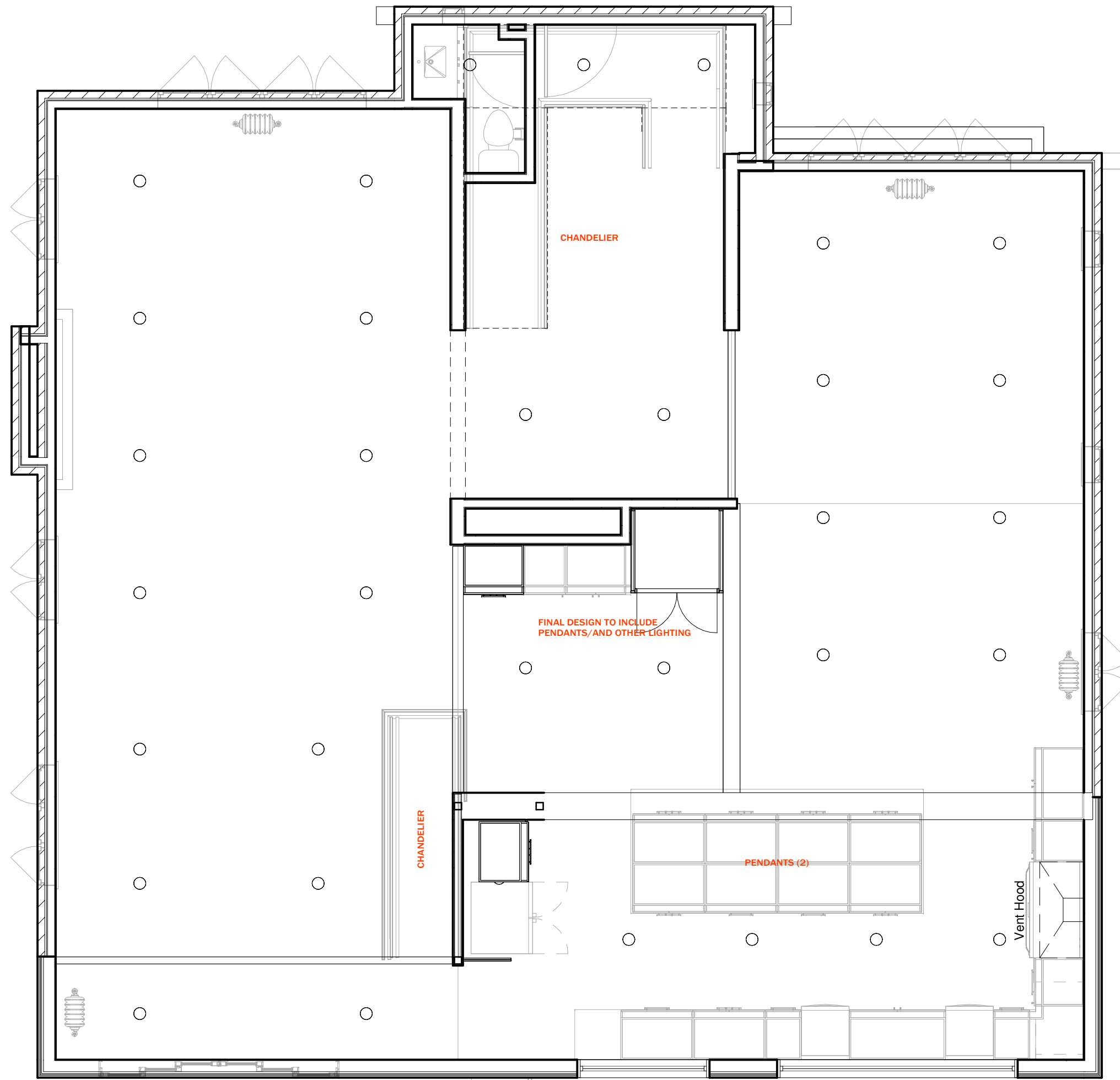
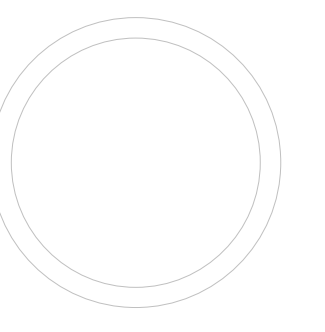
2 LEVEL 3 FF

SCALE: 1/4" = 1'-0"



3 SOUTH

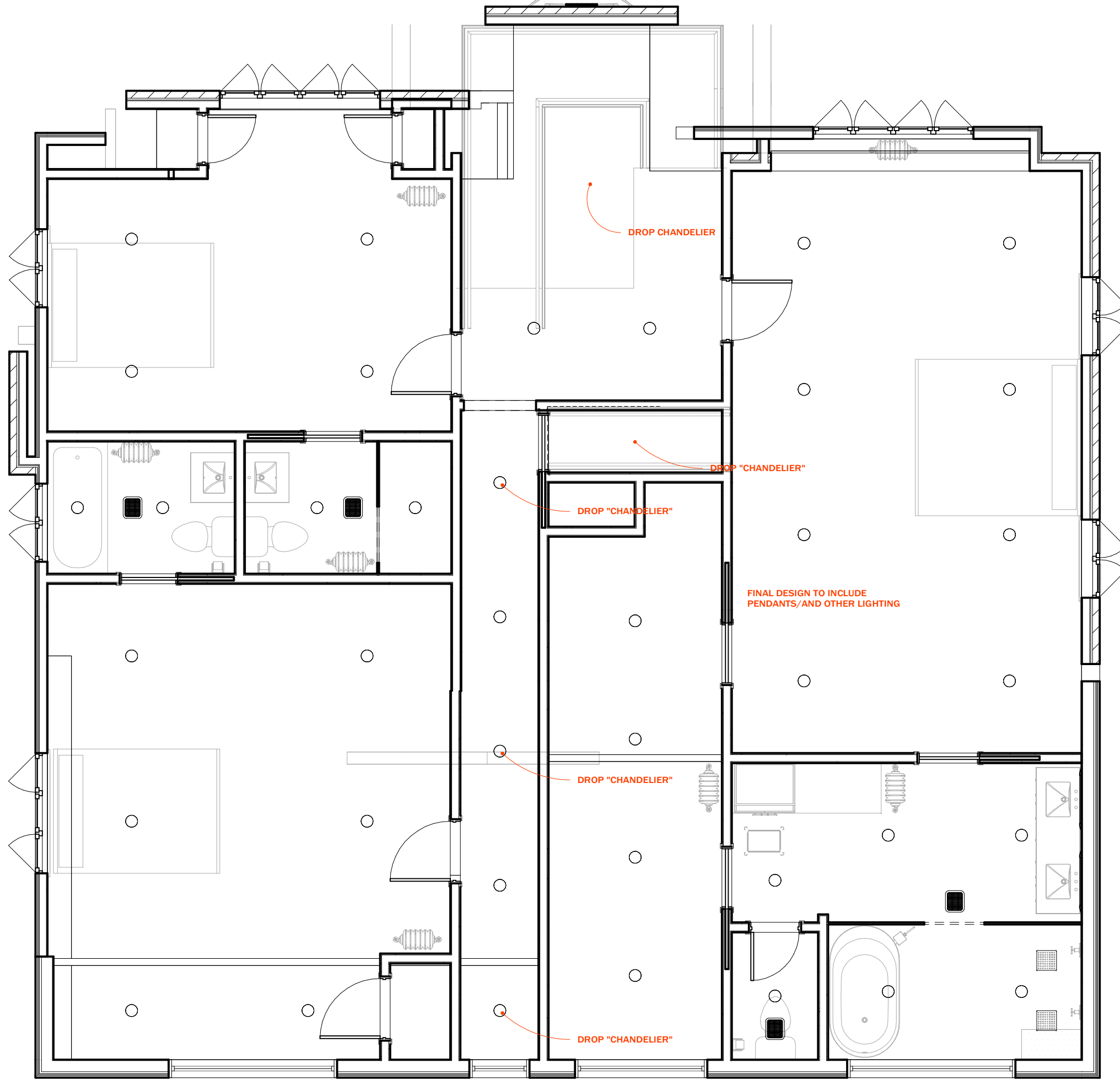
SCALE: 1/4" = 1'-0"



1

LEVEL 1 FF - CEILING PLAN

SCALE: 1/4" = 1'-0"



2

LEVEL 2 FF - CEILING PLAN

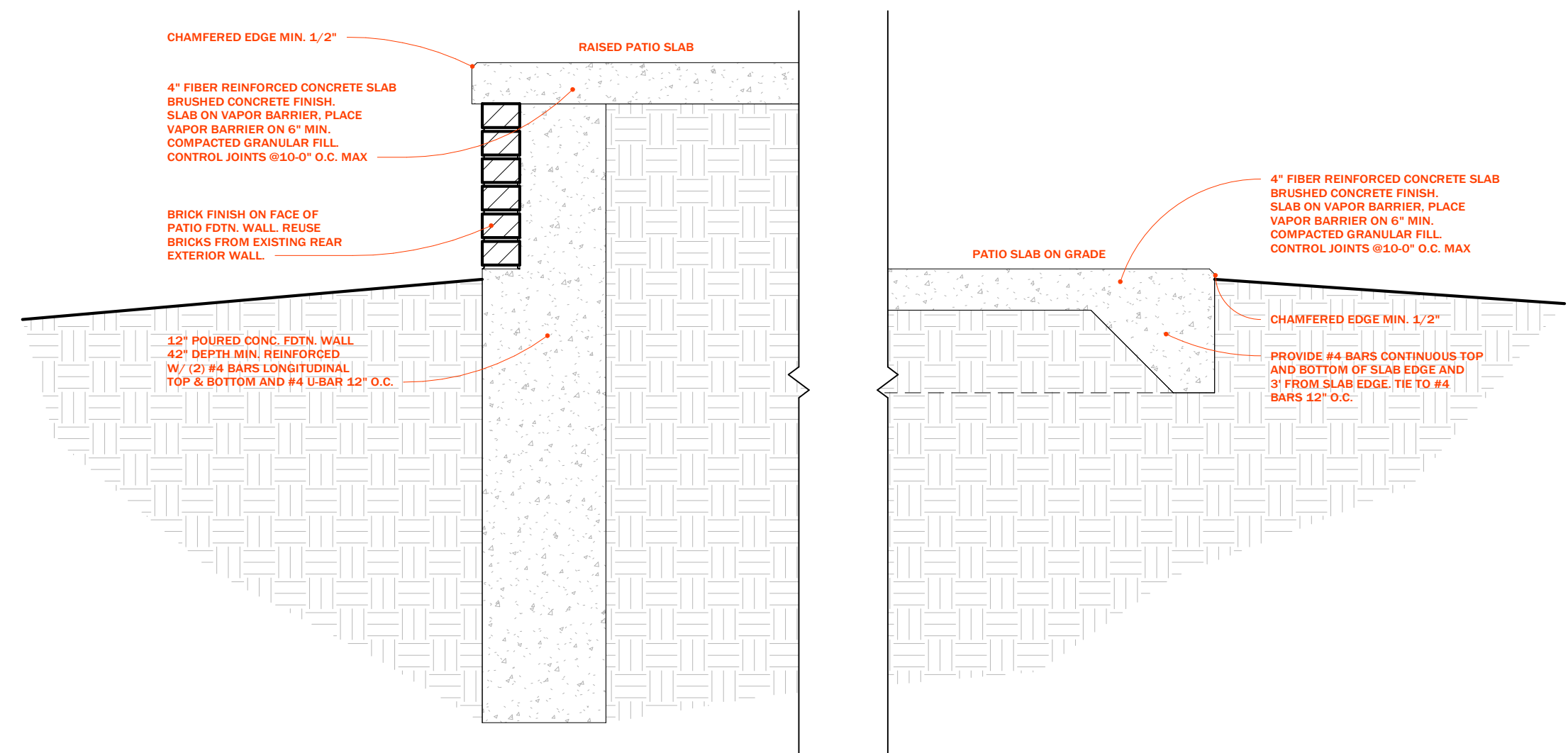
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3

WEST

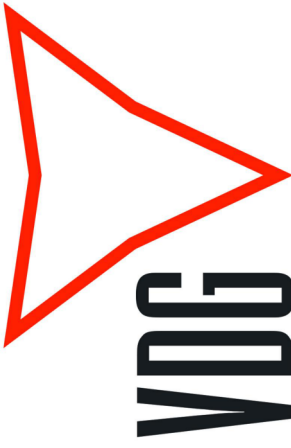
SCALE: 1/4" = 1'-0"



4

PATIO EDGE SECTION DETAIL

SCALE: 1" = 1'-0"



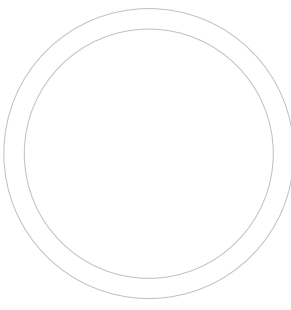
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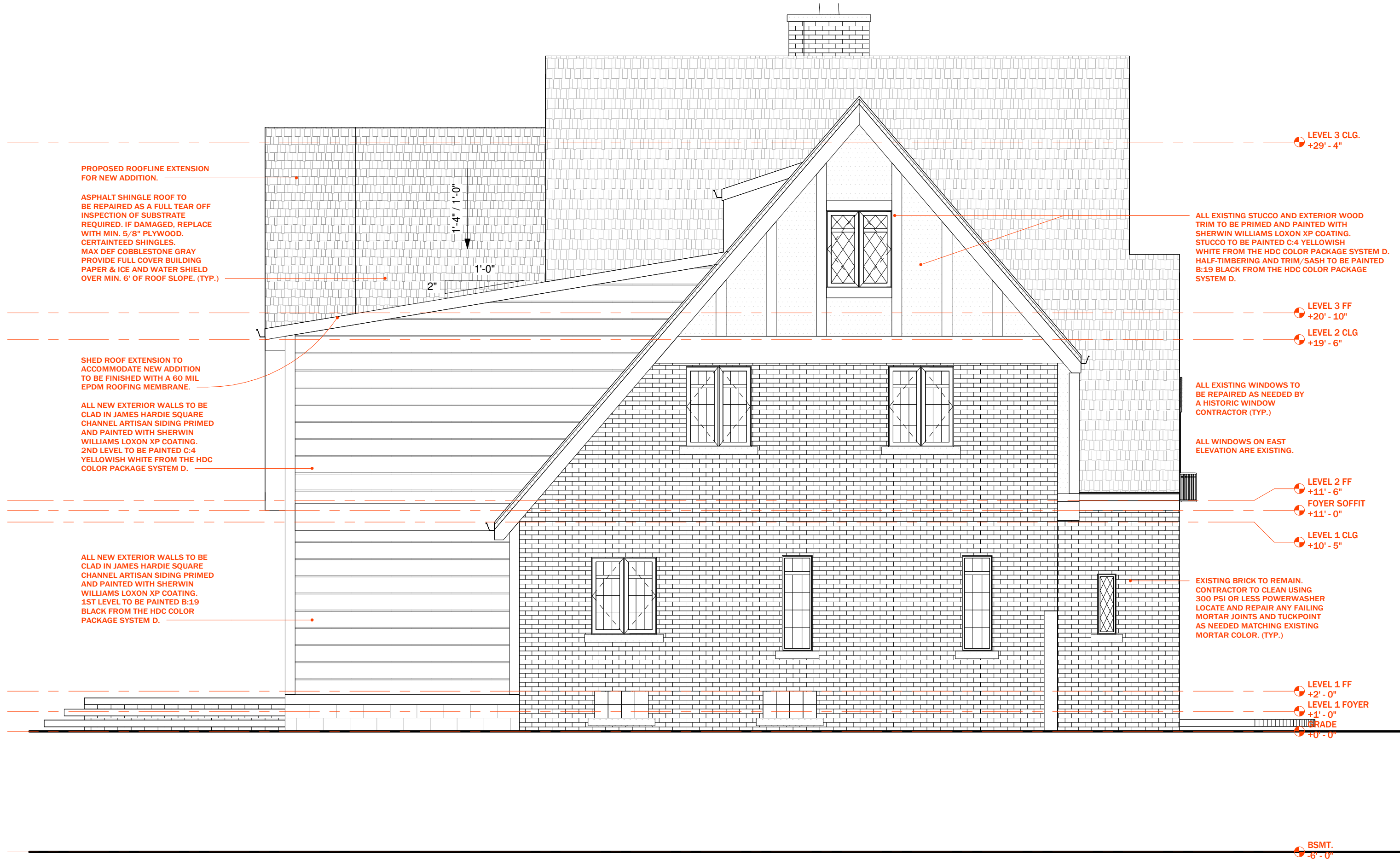


EAST AND
NORTH
ELEVATIONS

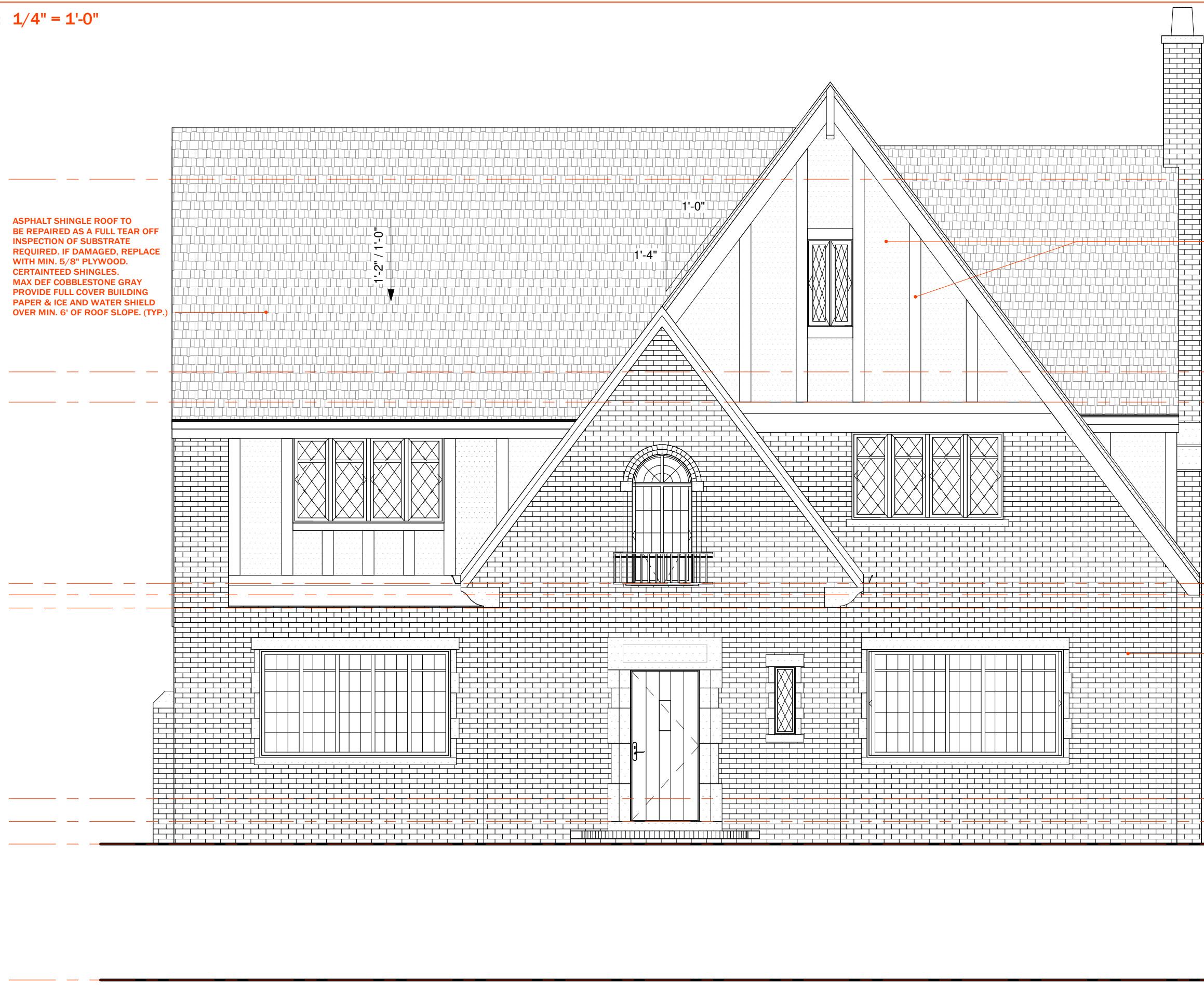
SCALE 1/4" = 1'-0"

A006

DRAWN B. SHISHAKLY



1 EAST
SCALE: 1/4" = 1'-0"



2 NORTH
SCALE: 1/4" = 1'-0"