

3261 SHERBOURNE RD., DETROIT, MI

PROJECT INFO:

PROSPECTIVE OWNER:

ROBIN GLASCO

PROJECT ADDRESS:

3261 SHERBOURNE RD.
DETROIT, MI 48221

DESIGNER:

VANGUARD DESIGN GROUP
25120 CULVER ST.
ST. CLAIR SHORES, MI 48081

CONTACT: BRYAN SHISHAKLY
PHONE: 586.879.3223
EMAIL: BRYAN@GUARDTHEVAN.COM

SCOPE OF WORK:

RESTORATION OF HISTORIC EXTERIOR AND CONSTRUCTION OF AN APPROX. 842 SQ. FT. REAR 2 STORY ADDITION. ADDITION TO INCLUDE EXPANDED KITCHEN AND LIVING SPACES, EXPANDED PRIMARY SUITE AND SECONDARY BEDROOM. ALL NECESSARY STRUCTURAL REPAIRS.

LEGAL DESCRIPTION:

S SHERBOURNE 429 SHERWOOD FOREST SUB L39 P11
PLATS, W C R 2/148 60x171.10A

BUILDING SUMMARY:

EXISTING GROSS BUILDING AREAS	
FIRST FLOOR:	1,553 SQ. FT.
SECOND FLOOR:	1,428 SQ. FT.
THIRD FLOOR:	493 SQ. FT.
BASEMENT:	1,338 SQ. FT.
TOTAL EXISTING GROSS BUILDING AREA	4,812 SQ. FT.

PROPOSED GROSS BUILDING AREAS	
FIRST FLOOR:	1,836 SQ. FT.
SECOND FLOOR:	1,826 SQ. FT.
THIRD FLOOR:	493 SQ. FT.
BASEMENT:	1,338 SQ. FT.
TOTAL PROPOSED GROSS BUILDING AREA	5,493 SQ. FT.

ZONING REQUIREMENTS:

LOCAL AUTHORITY:

CITY OF DETROIT

LOCAL ORDINANCE:

DETROIT ZONING ORDINANCE

ZONING CLASSIFICATION:

R-1 RESIDENTIAL

USE CLASSIFICATION:

SINGLE FAMILY DWELLING / BY RIGHT (§ 50-8-14)

REQUIRED SETBACKS:

	REQUIRED SETBACK	ACTUAL EXISTING SETBACK	ACTUAL PROPOSED SETBACK
FRONT:	20 FT.	50 FT.	NO CHANGE
SIDES:	4 FT. MIN.	4.7 FT.	NO CHANGE
	14 FT. COMBINED	17.8 FT.	NO CHANGE
REAR:	30 FT.	73 FT.	NO CHANGE

MINIMUM LOT SIZE:

AREA:	5000 SQ. FT.	ACTUAL AREA:	10529 SQ. FT.
WIDTH:	50 FT.	ACTUAL WIDTH:	62 FT.

MAXIMUM HEIGHT:

HEIGHT:	35 FT.	ACTUAL HEIGHT:	33.6 FT.
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LOT COVERAGE:

MAX PERCENTAGE ALLOWED:	35%
ACTUAL PERCENTAGE:	24.1%

BUILDING CODE REQUIREMENTS:

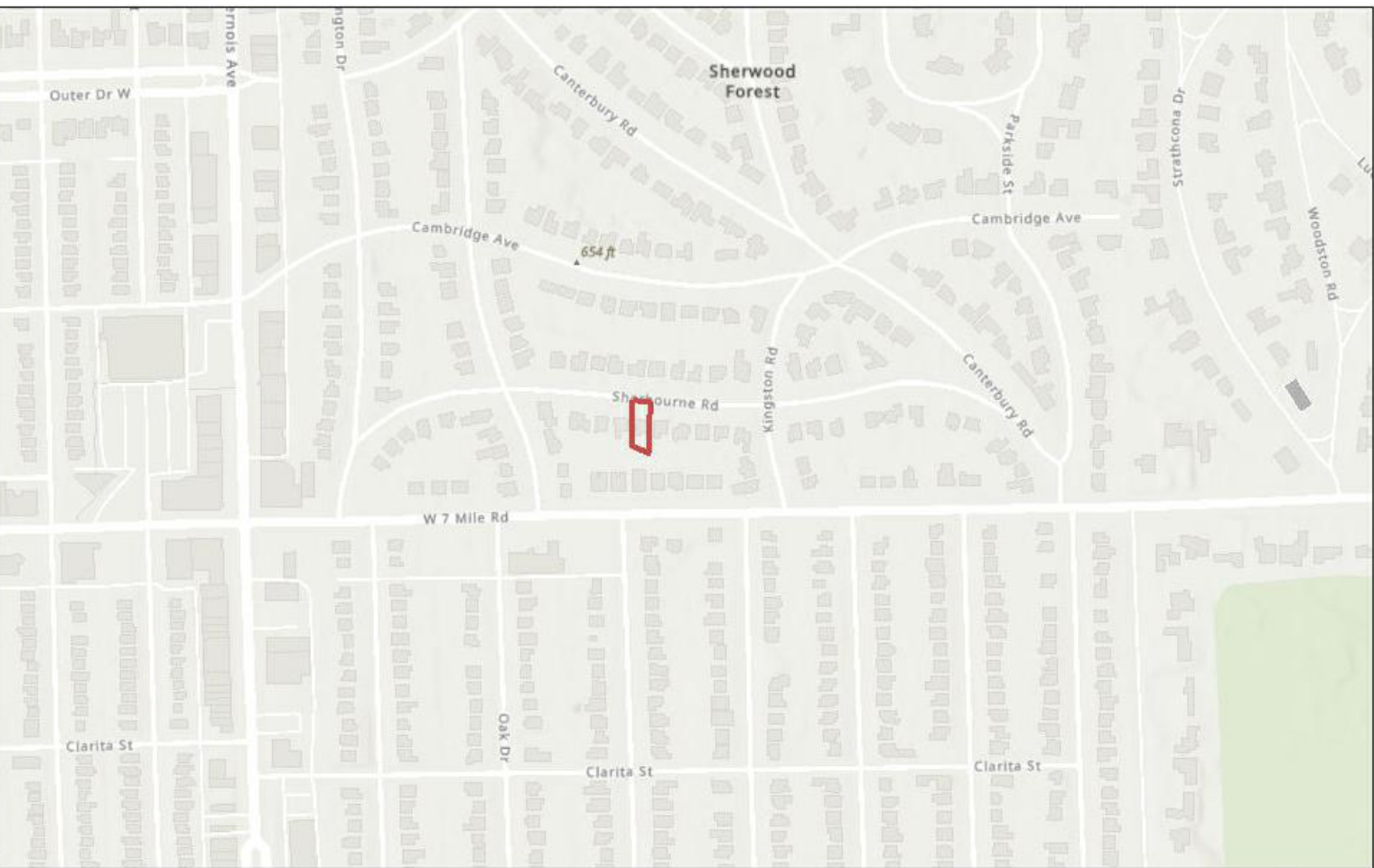
GOVERNING CODE:

2015 MICHIGAN RESIDENTIAL CODE (MRC 2015)

USE AND OCCUPANCY:

PRIMARY USE: R-1 RESIDENTIAL

VICINITY MAP:



DRAWING INDEX	
SHEET NO	SHEET NAME
A000	COVER SHEET
A001	EXISTING PLANS
A002	EXISTING PLANS
A003	PROPOSED PLANS AND KITCHEN ELEVATIONS
A004	PROPOSED PLANS AND SOUTH ELEVATION
A005	CEILING PLANS & WEST ELEVATION
A006	EAST AND NORTH ELEVATIONS

TOWN, STATE	
DATE	04/17/25
CLIENT	0260
PROJECT	0260
REVISION	REV 1

NOTES
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. THIS IS NOT A SEALED ARCHITECTURAL DRAWING

NOT FOR CONSTRUCTION

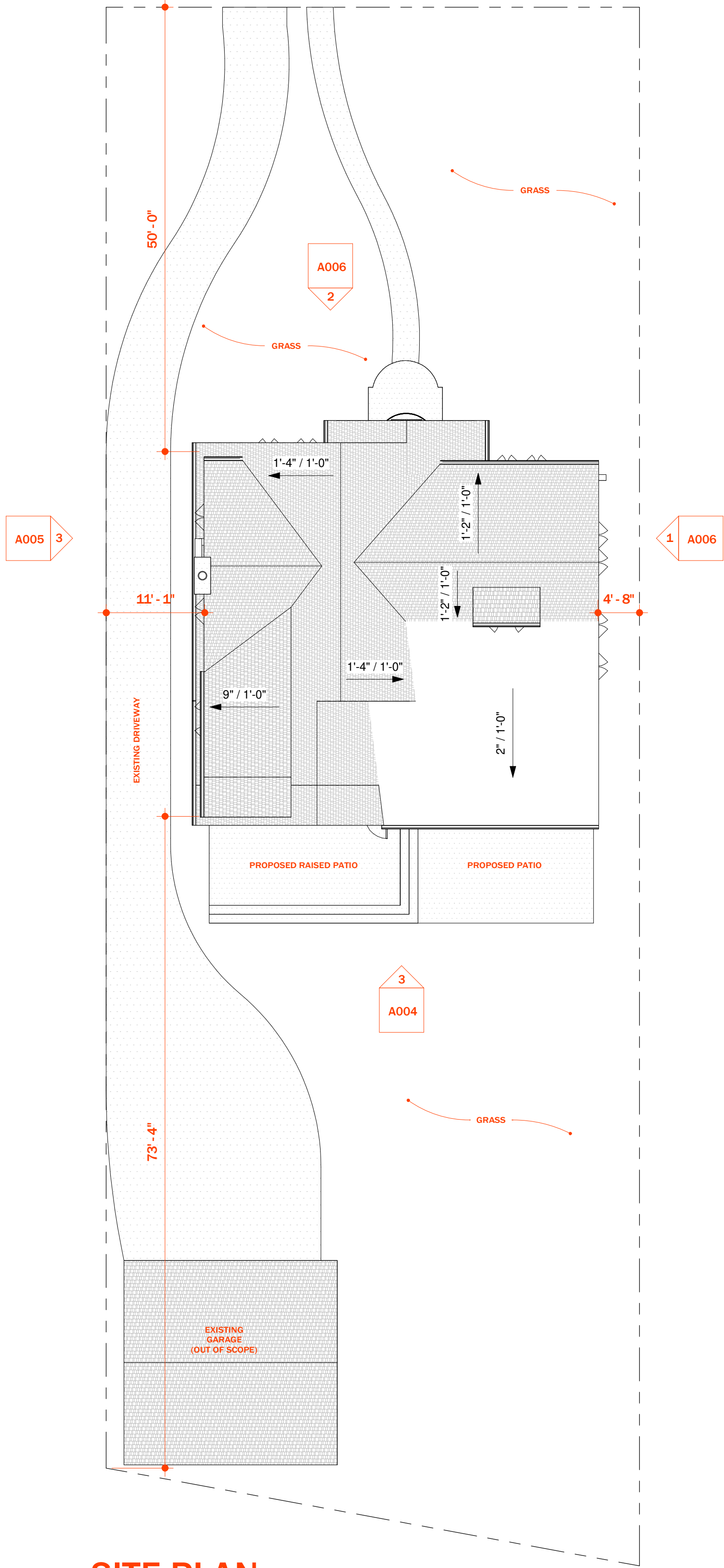
COVER SHEET

SCALE As indicated

A000

DRAWN B. SHISHAKLY

SHERBOURNE ROAD

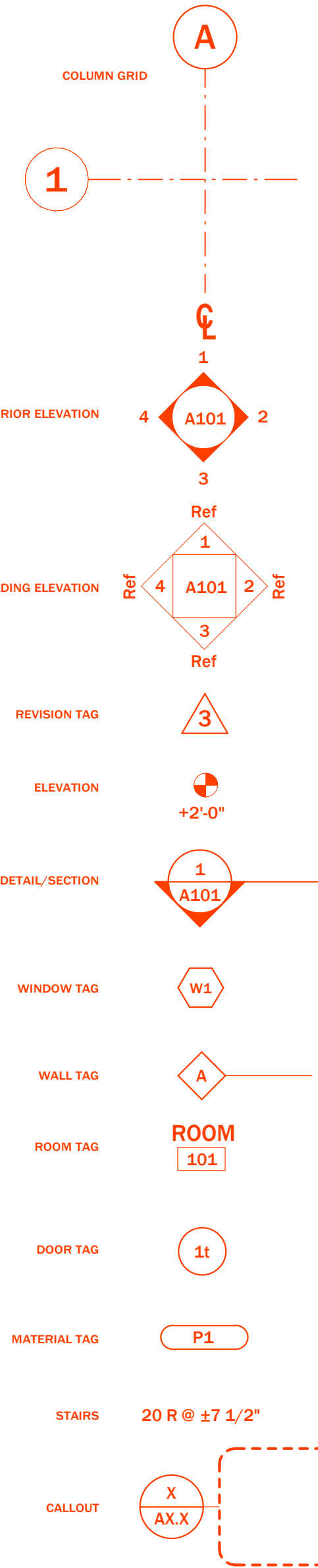


ABBREVIATIONS

A	ALT	ALTERNATE
A	ALLUM	ALUMINUM
A	APPROX	APPROXIMATE
A	AVG	AVERAGE
B	B.O.	BOTTOM OF
B	BORM	BEDROOM
B	BUNG	BLOCKING
B	BOT	BOTTOM
B	BRDG	BRIDGE, BRIDGING
B	BRG	BEARING
B	BRKT	BRACKET
B	BSMT	BASEMENT
B	BTW	BETWEEN
C	CEM	CEMENT
C	CL	CENTER LINE
C	CLG	CEILING
C	CMU	CONCRETE MASONRY UNIT
C	CNTR	CENTER
C	COL	COLUMN
C	CONC	CONCRETE
C	CONT	CONTINUOUS
C	CRPT	CARPET
C	CSMT	CASEMENT
C	CT	CERAMIC TILE
D	DBL	DOUBLE
D	DEMO	DEMOLISH, DEMOLITION
D	DH	DOUBLE HUNG
D	DN	DOWN
D	DWL	DOWEL
E	EIFS	EXTERIOR INSULATION & FINISH SYSTEM
E	EJ	EXPANSION JOINT
E	ELEC	ELECTRICAL
E	EQ	EQUAL
E	EQUIP	EQUIPMENT
E	EXIST	EXISTING
F	FDTN	FOUNDATION
F	FF	FINISHED FLOOR
F	FIXT	FIXTURE
F	FLEX	FLEXIBLE
F	FLG	FLOORING
F	FTG	FOOTING
F	FURN	FURNISH, FURNITURE
G	GFI	GROUND FAULT CIRCUIT INTERRUPTED
G	GLAZ	GLAZING
G	GYP	GYPSUM BOARD

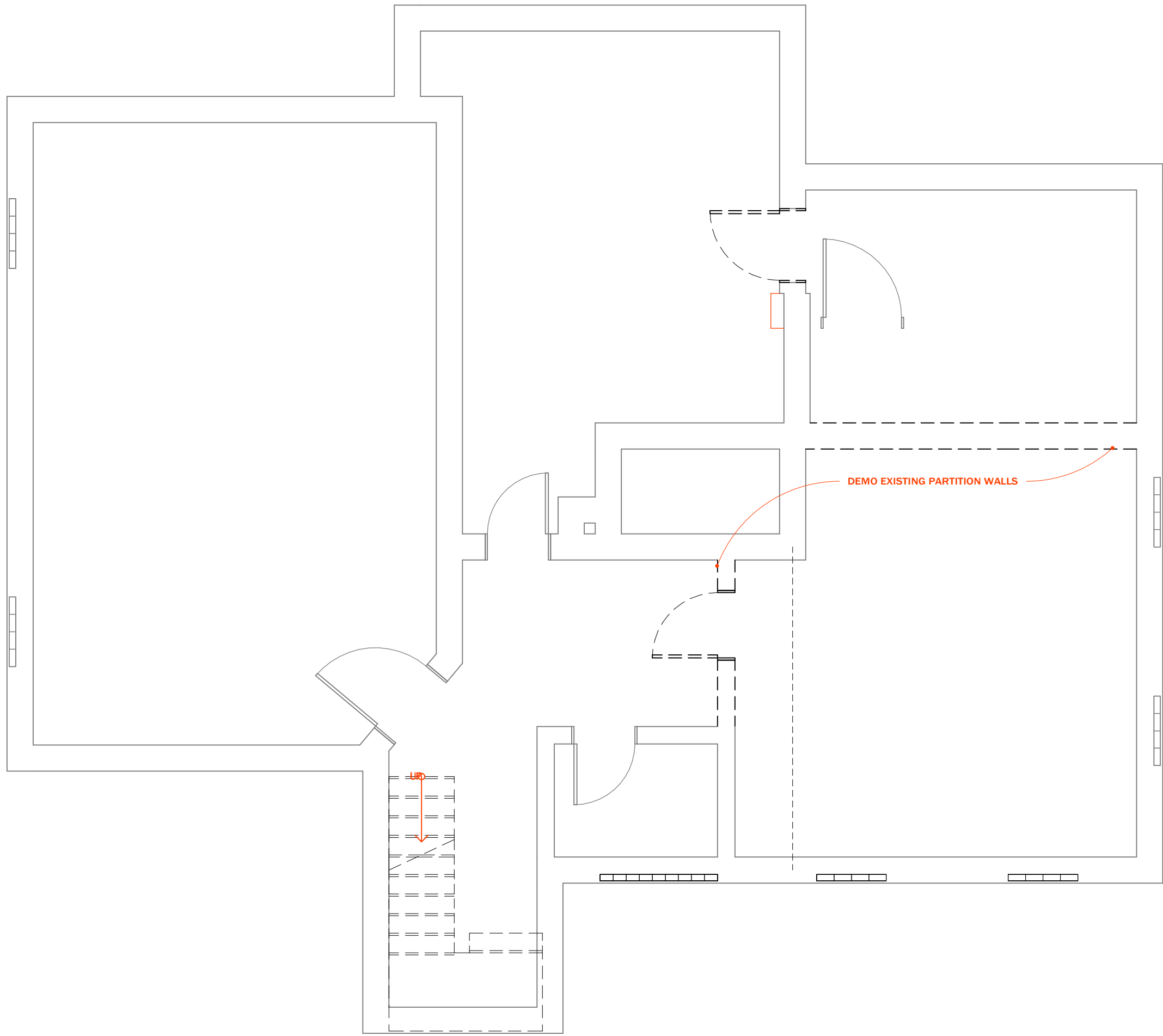
ABBREVIATIONS

H	HDR	HEADER
H	HWWD	HARDWOOD
H	HGT	HEIGHT
H	HVAC	HEATING, VENTILATING & AIR CONDITIONING
I	INSUL	INSULATION
J	JST	JOIST
L	LAM	LAMINATE, LAMINATED
M	MECH	MECHANICAL
M	MEMB	MEMBRANE
M	MFG	MANUFACTURER
M	MIN	MINIMUM
M	MISC	MISCELLANEOUS
N	NAT	NATURAL
N	NOM	NOMINAL
O	O.C.	ON CENTER
P	PERF	PERFORATED
P	PERP	PERPENDICULAR
P	PLYWD	PLYWOOD
P	PREFAB	PREFABRICATED
P	PREFIN	PREFINISHED
P	PMNT	PAVEMENT
P	PWR	POWER
R	R	RISER
R	RECO	REQUIRED
S	SF	SQUARE FOOT, FEET
S	SPEC	SPECIFICATIONS
T	T.O.	TOP OF
T	THRU	THROUGH
T	TRED	TREAD
T	TYP	TYPICAL
U	UNDC	UNDICATED
U	UNFIN	UNFINISHED
U	UNO	UNLESS NOTED OTHERWISE
V	VCT	VINYL COMPOSITION TILE
V	VF	VERIFY IN FIELD
W	W	WITH
W	W/O	WITHOUT

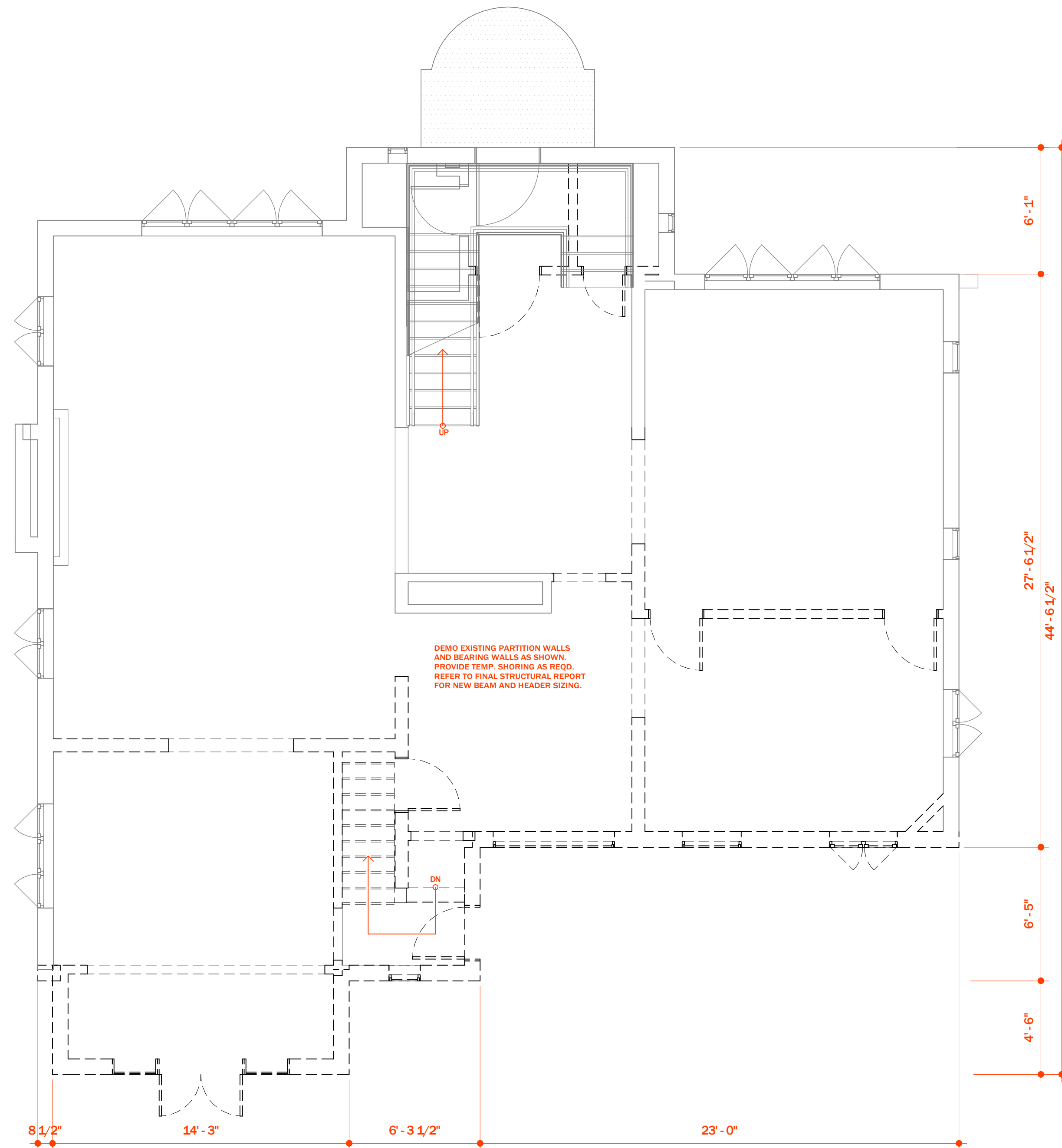


ANNOTATIONS LEGEND

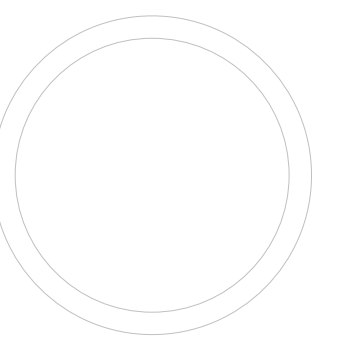
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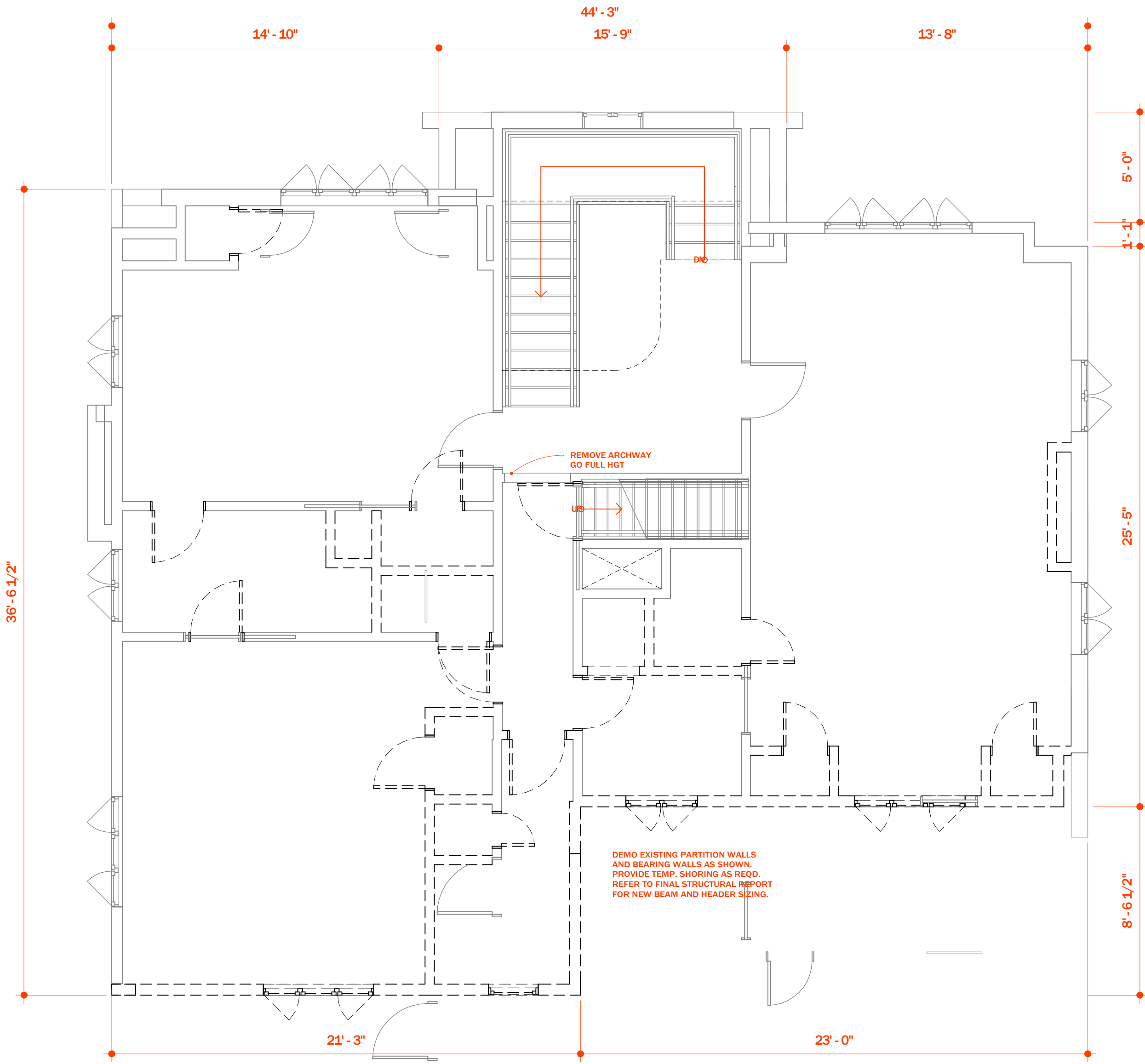


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SCALE: 1/4" = 1'-0"



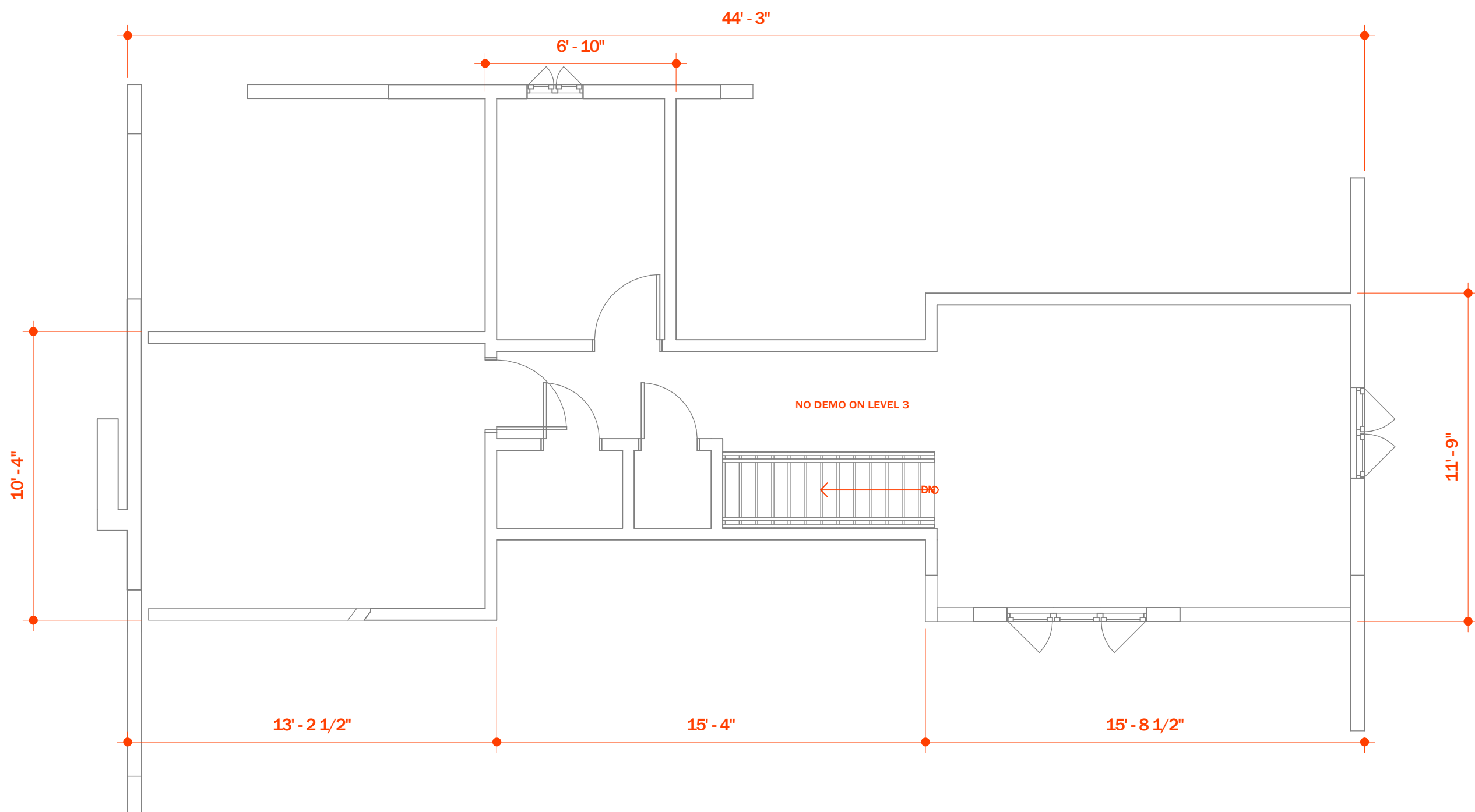
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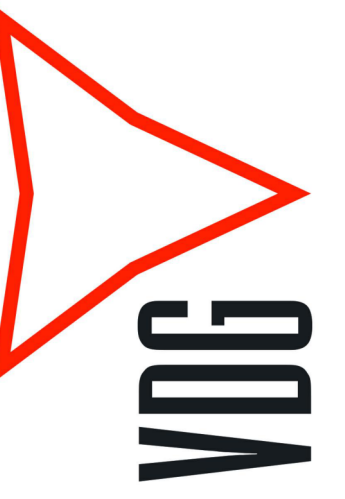
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2 LEVEL 3 FF - EXISTING/DEMO

SCALE: 1/4" = 1'-0"



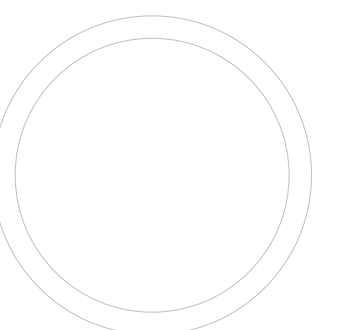
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PROJECT
**GLASCO
RESIDENCE**

TOWN, STATE
DATE 04/01/25
CLIENT 0260
PROJECT 0260
REVISION REV 1

NOTES

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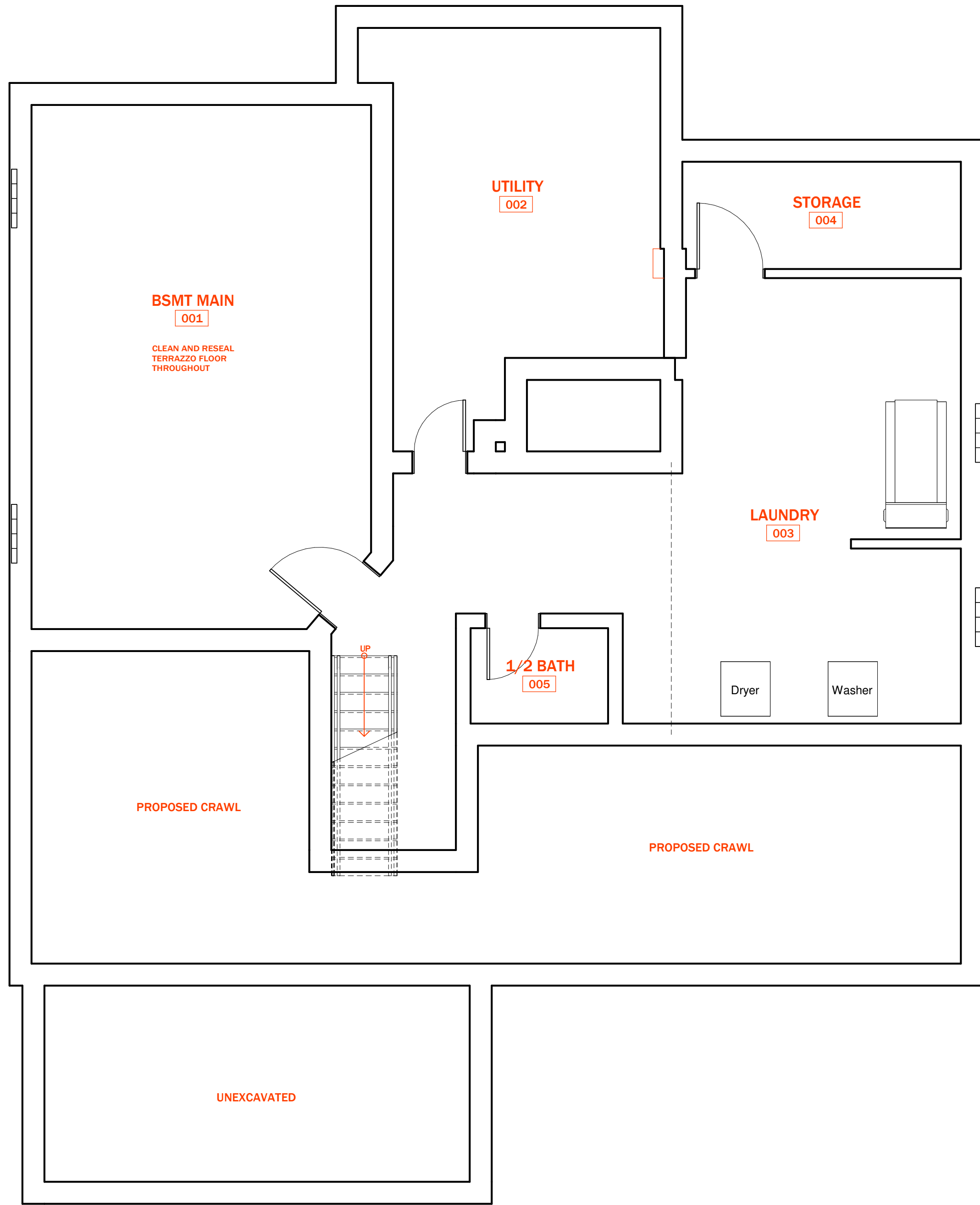


EXISTING
PLANS

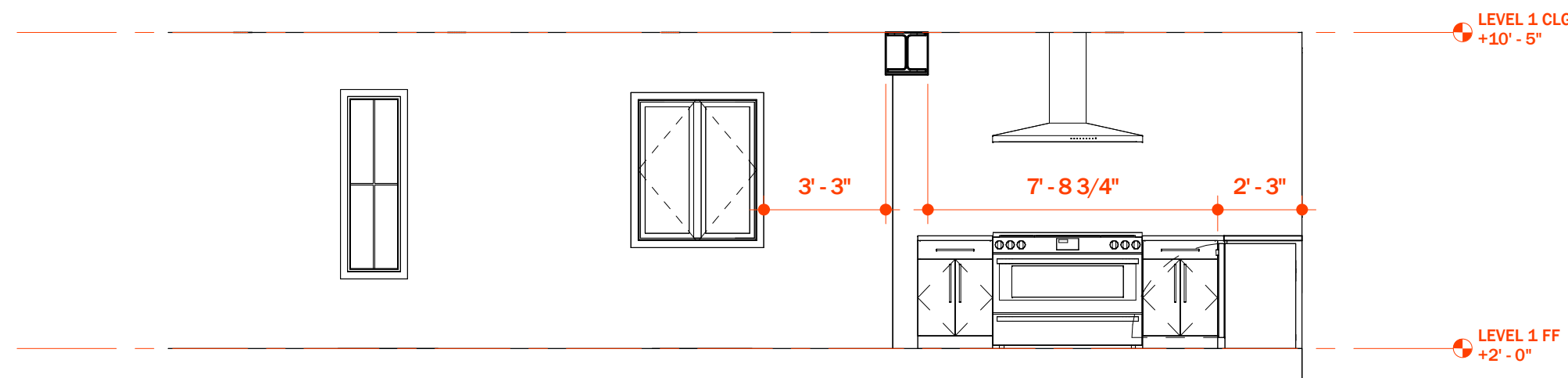
SCALE 1/4" = 1'-0"

A002

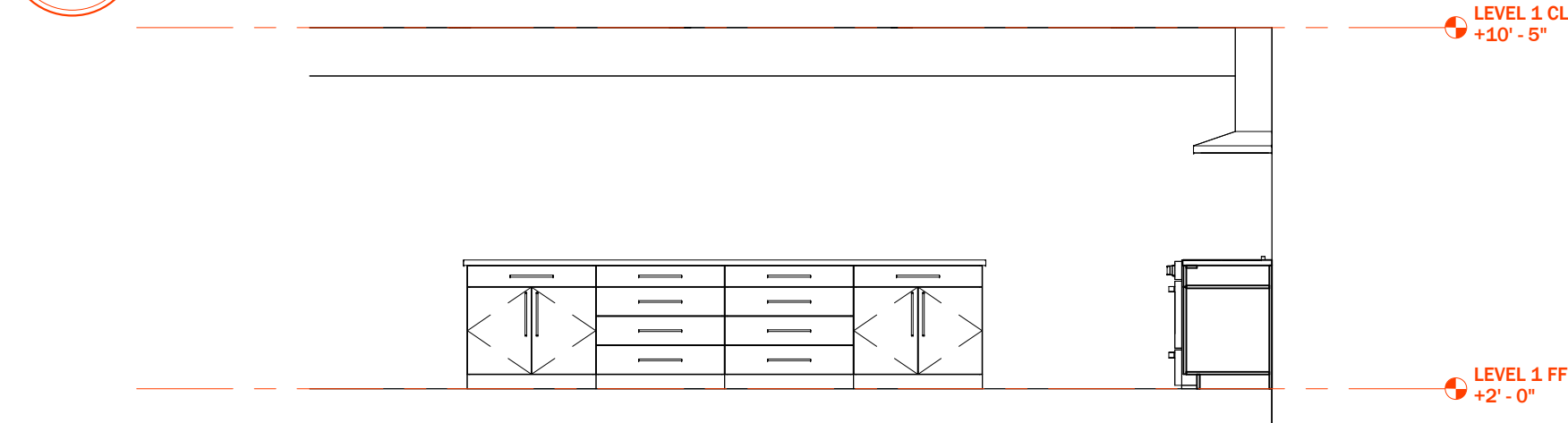
DRAWN B. SHISHAKLY



1 BSMT.
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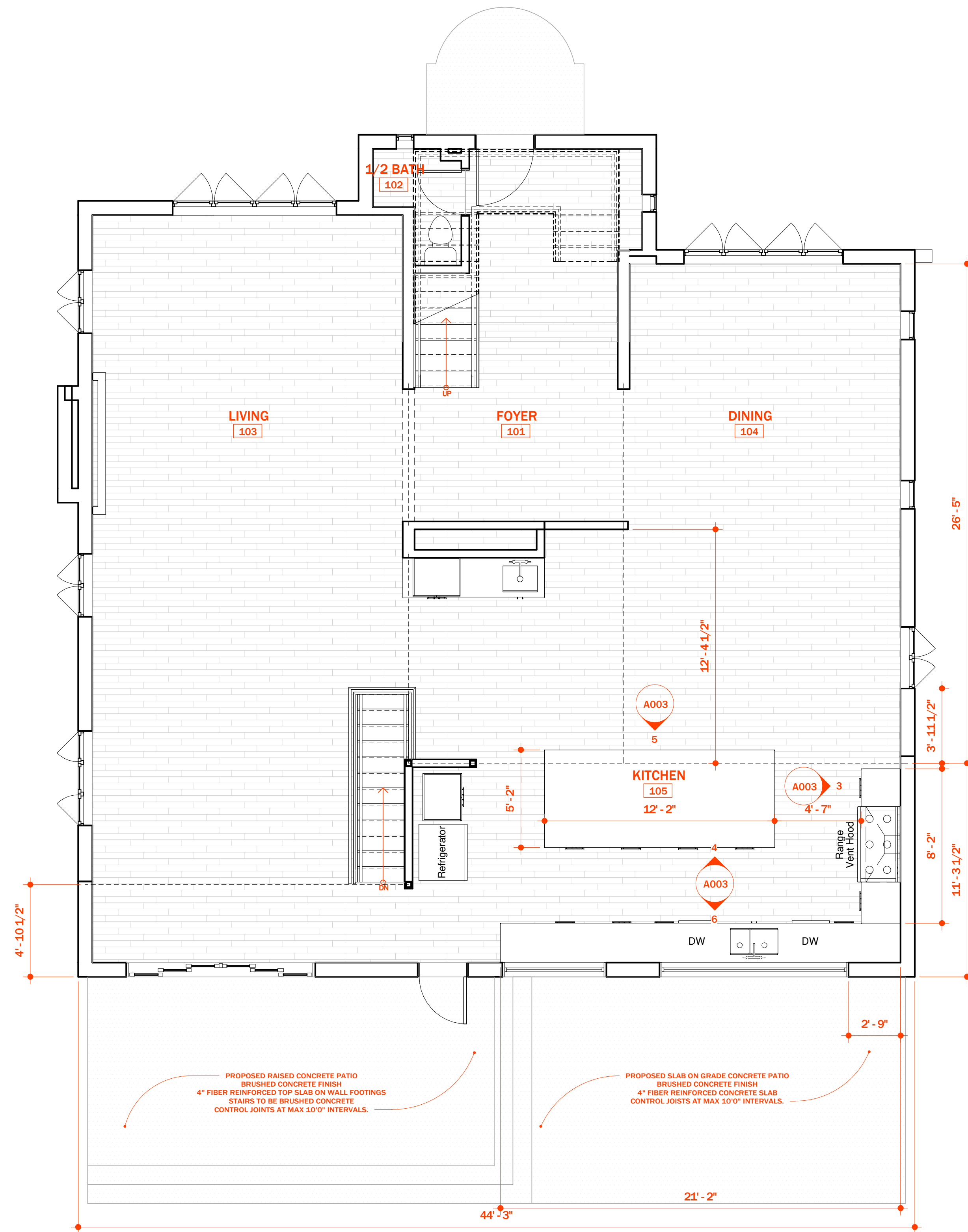
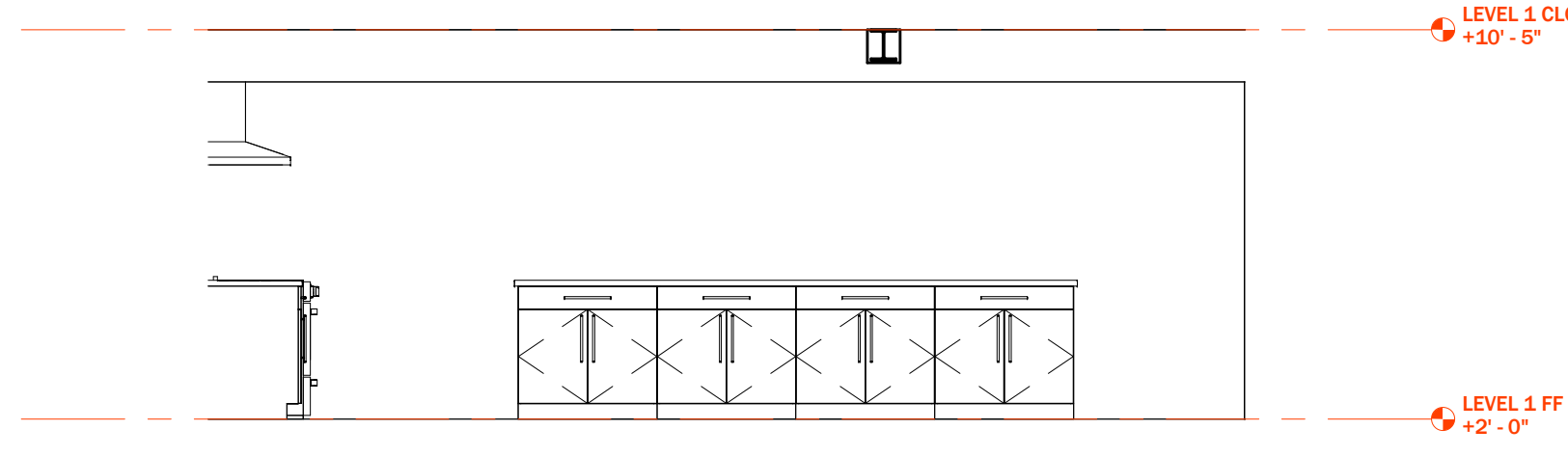


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SCALE: 1/4" = 1'-0"

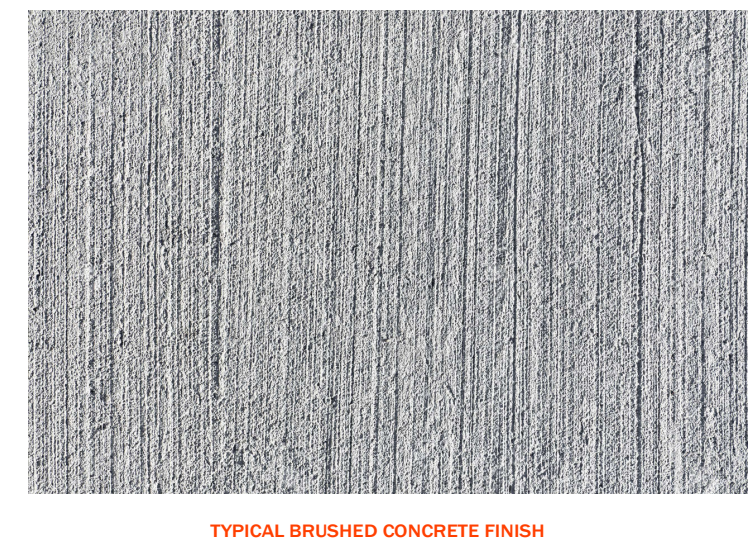


4 Elevation 1 - c
SCALE: 1/4" = 1'-0"

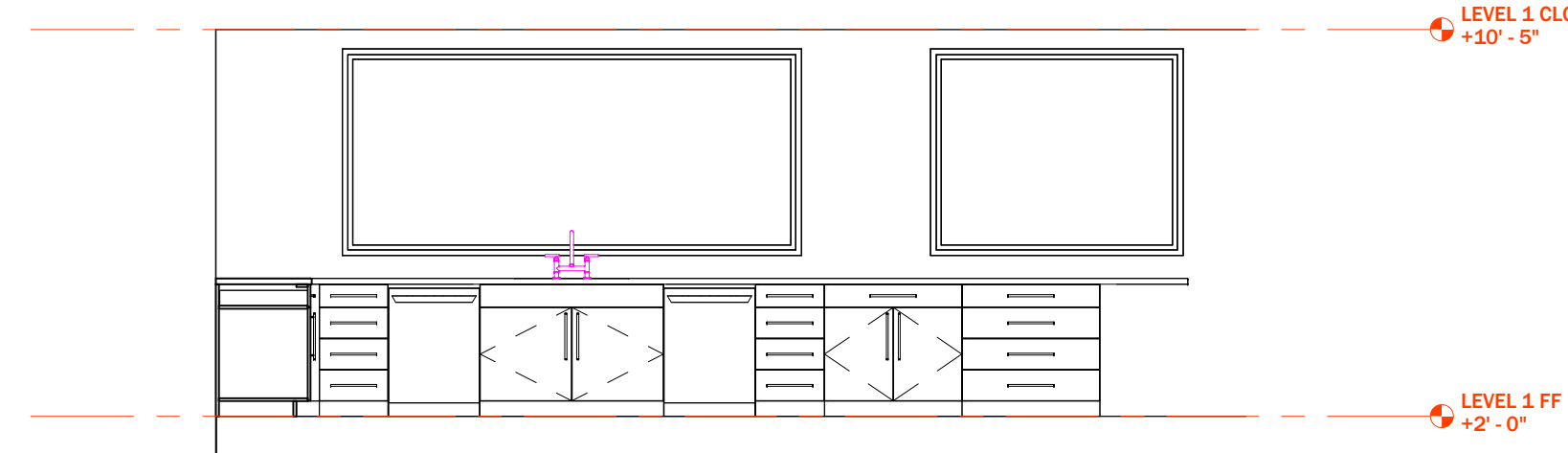
5 Elevation 2 - a
SCALE: 1/4" = 1'-0"



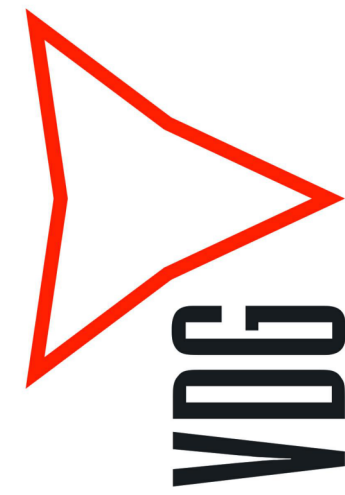
2 LEVEL 1 FF
SCALE: 1/4" = 1'-0"



TYPICAL BRUSHED CONCRETE FINISH



6 Elevation 3 - a
SCALE: 1/4" = 1'-0"



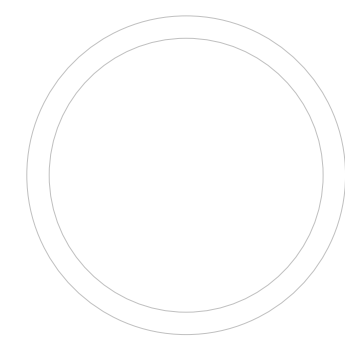
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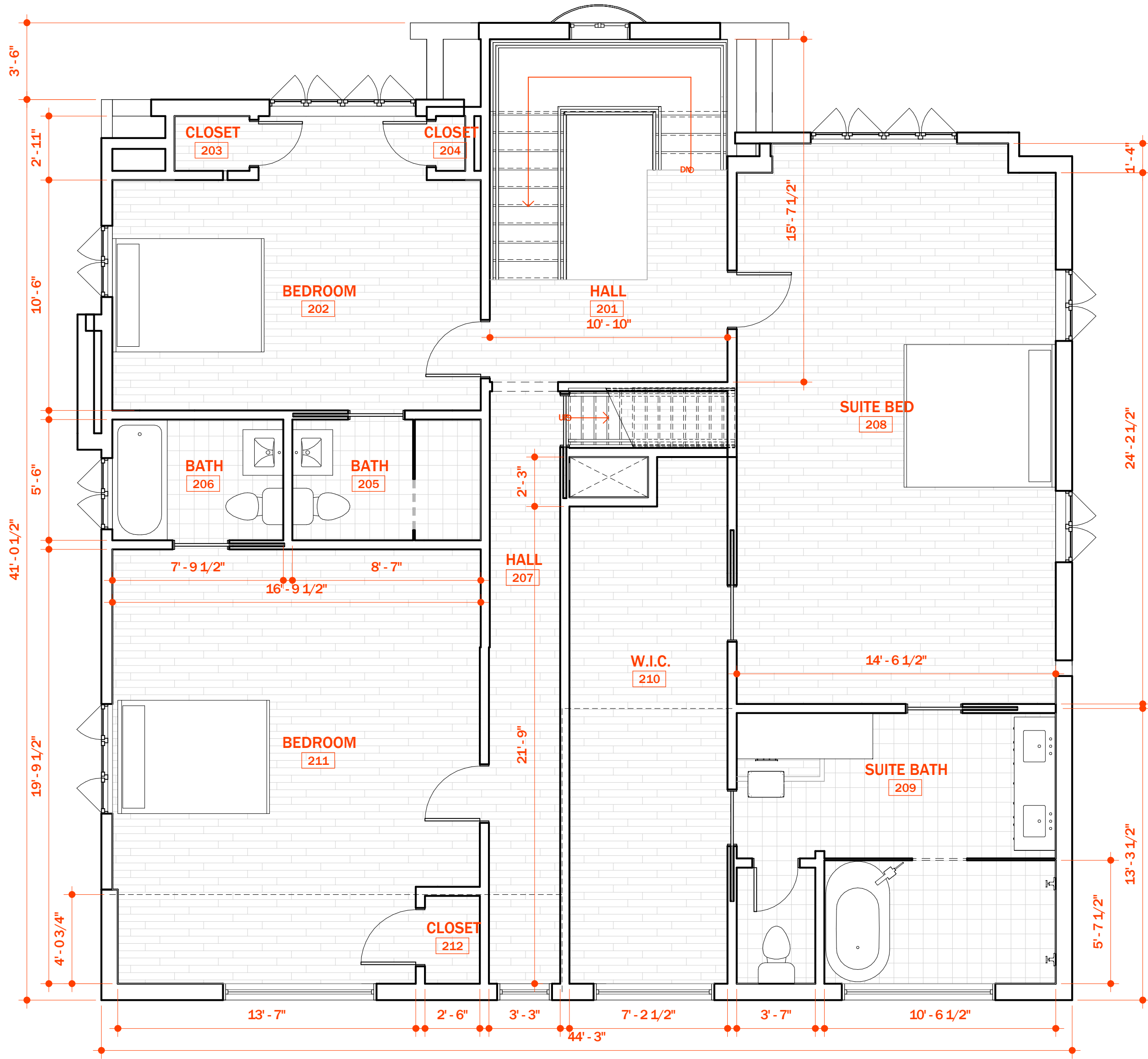


PROPOSED
PLANS AND
KITCHEN
ELEVATIONS

SCALE 1/4" = 1'-0"

A003

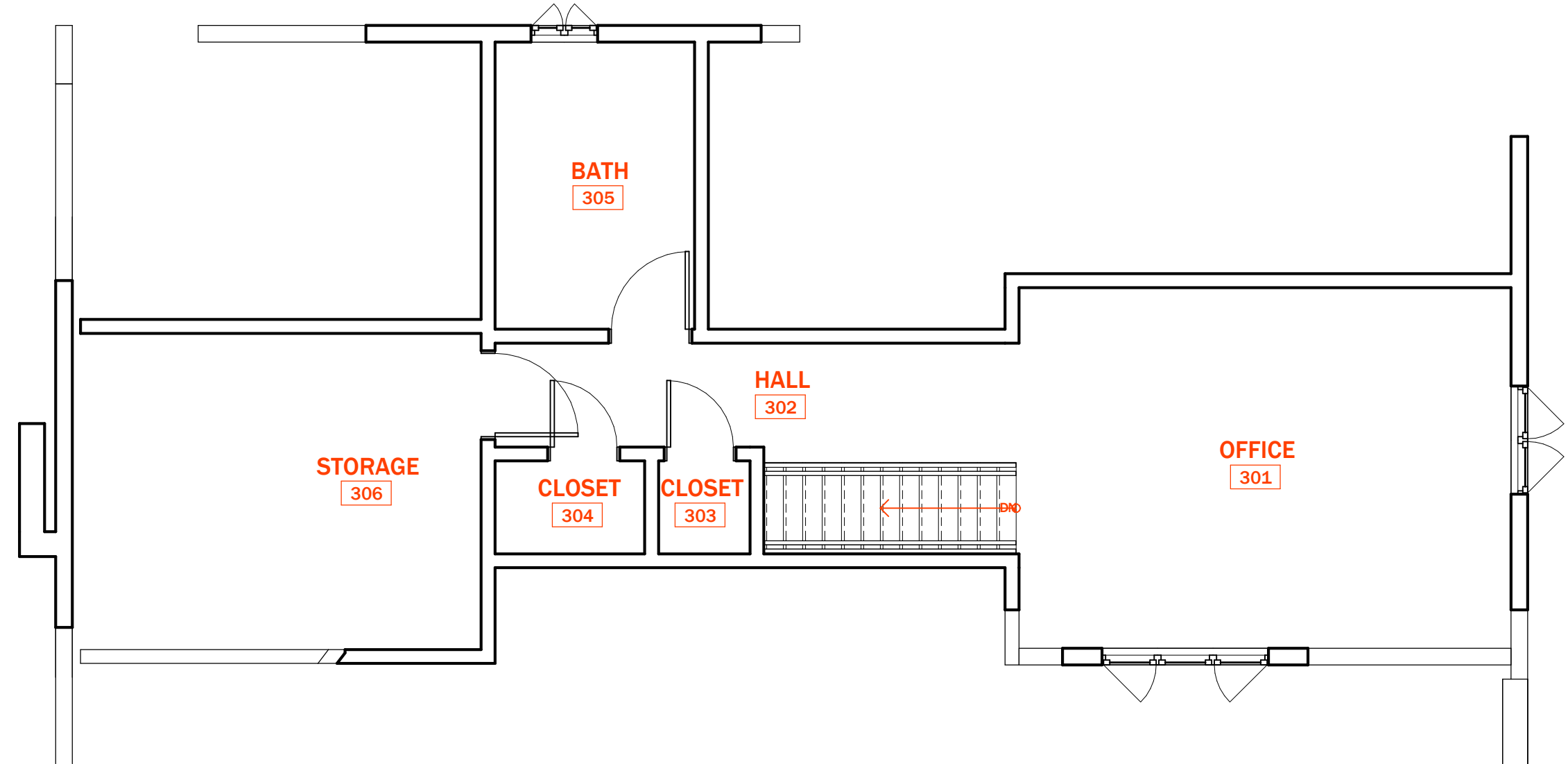
DRAWN B. SHISHAKY



1 LEVEL 2 FF
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
WINDOW NO	WIDTH	HEIGHT	SILL HEIGHT	TYPE	COUNT	REMARKS
A	2' - 6"	4' - 6"	2' - 2"	30" x 54"	1	ANDERSON E-SERIES ARCH. COLLECTION - CASEMENT - RIGHT SWING - BLACK TRIM/GRILLES
B	5' - 6"	4' - 6"	<varies>	66" x 54"	2	ANDERSON E-SERIES ARCH. COLLECTION - DOUBLE CASEMENT - BLACK TRIM/GRILLES
C	7' - 0"	6' - 0"	0' - 8"	84" x 72"	2	ANDERSON E-SERIES ARCH. COLLECTION - TRIPLE CASEMENT - BLACK TRIM/GRILLES
D	10' - 0"	4' - 6"	3' - 6"	120" x 54"	1	ANDERSON E-SERIES ARCH. COLLECTION - QUAD CASEMENT - BLACK TRIM/GRILLES

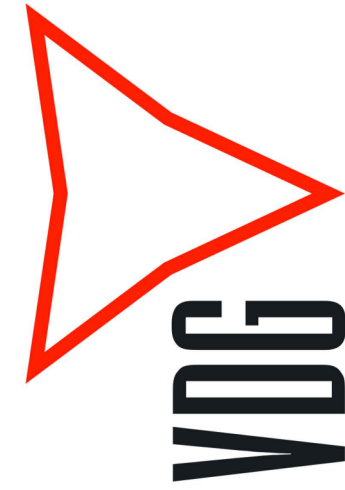
DOOR SCHEDULE						
DOOR NO	COUNT	WIDTH	HEIGHT	THICKNESS	TYPE	REMARKS
1	1	10' - 0"	7' - 0"	0' - 8 11/16"	Door-Multi-Slide-Pella-Architect-Contemporary -Bi_Parting: Reserve Traditional	Pella Reserve Traditional - Bi-Parting 6 Panel Sliding Door-Black Trim and Grilles. Individual Panel Thickness - 2"
2	1	2' - 6"	6' - 8"	0' - 1.3/4"	Door-Exterior-Single-Entry-Historic: 30" x 80"	Custom built wood door to match existing front entry door style ,color, and glass lite.



2 LEVEL 3 FF
SCALE: 1/4" = 1'-0"



3 SOUTH
SCALE: 1/4" = 1'-0"



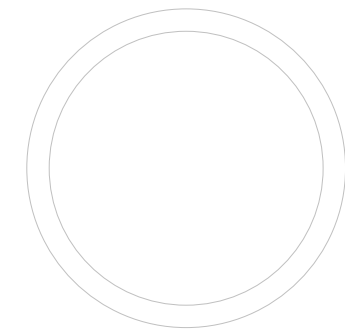
2020 Colver, St. Clair Shores, MI 48060 EST. 2014

PROJECT
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CLIENT 0260
PROJECT 0260
REVISION REV 1

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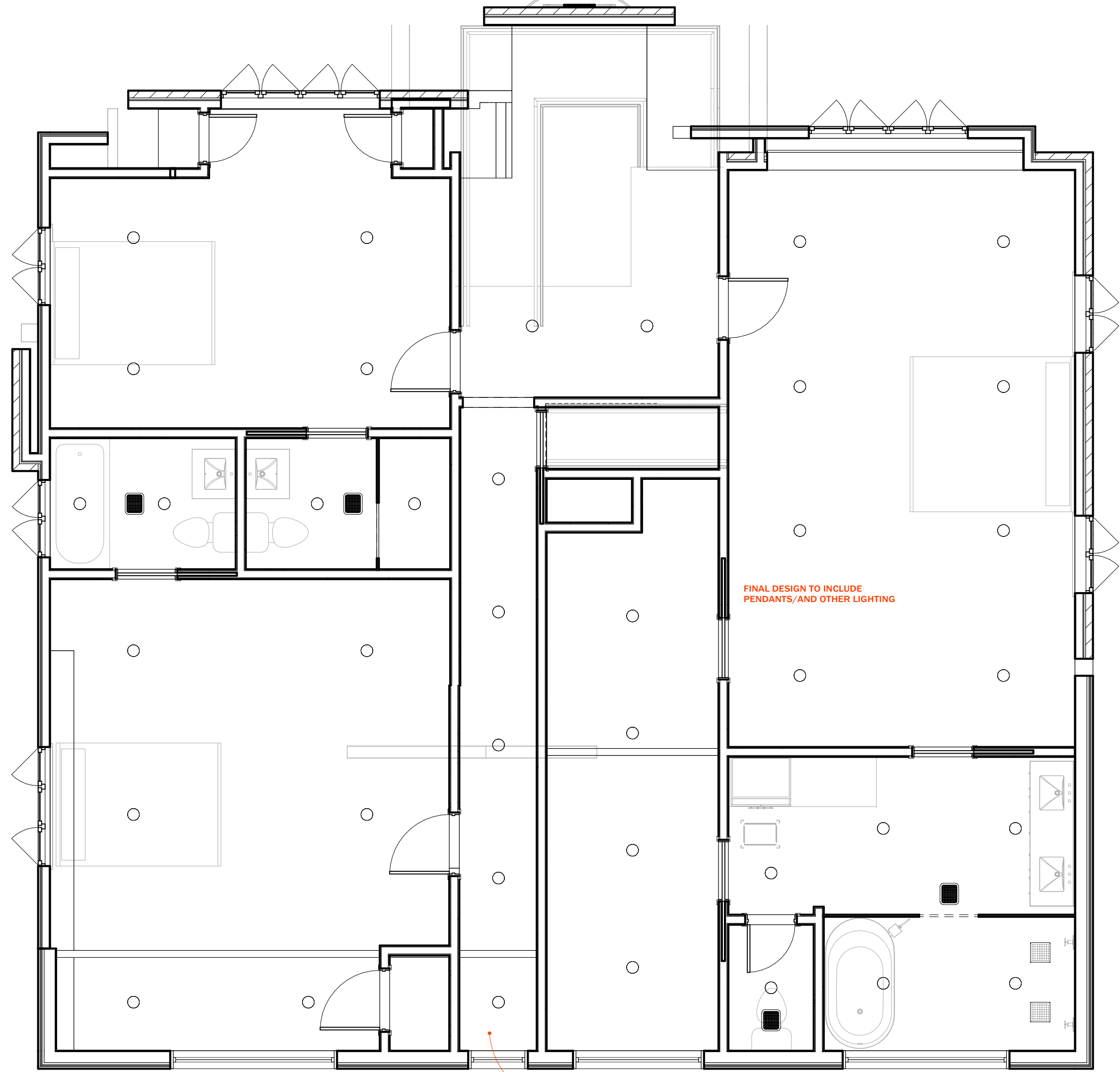


PROPOSED
PLANS AND
SOUTH
ELEVATION

SCALE 1/4" = 1'-0"

A004

DRAWN B. SHISHAKLY



1

LEVEL 1 FF - CEILING PLAN

SCALE: 1/4" = 1'-0"

2

LEVEL 2 FF - CEILING PLAN

SCALE: 1/4" = 1'-0"



3

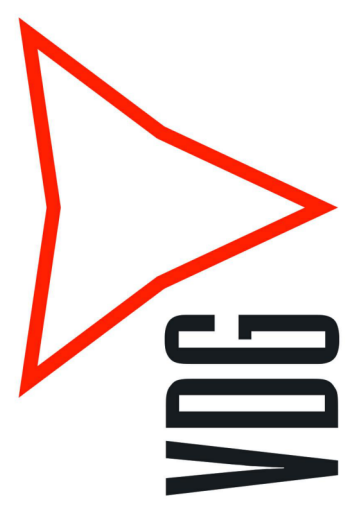
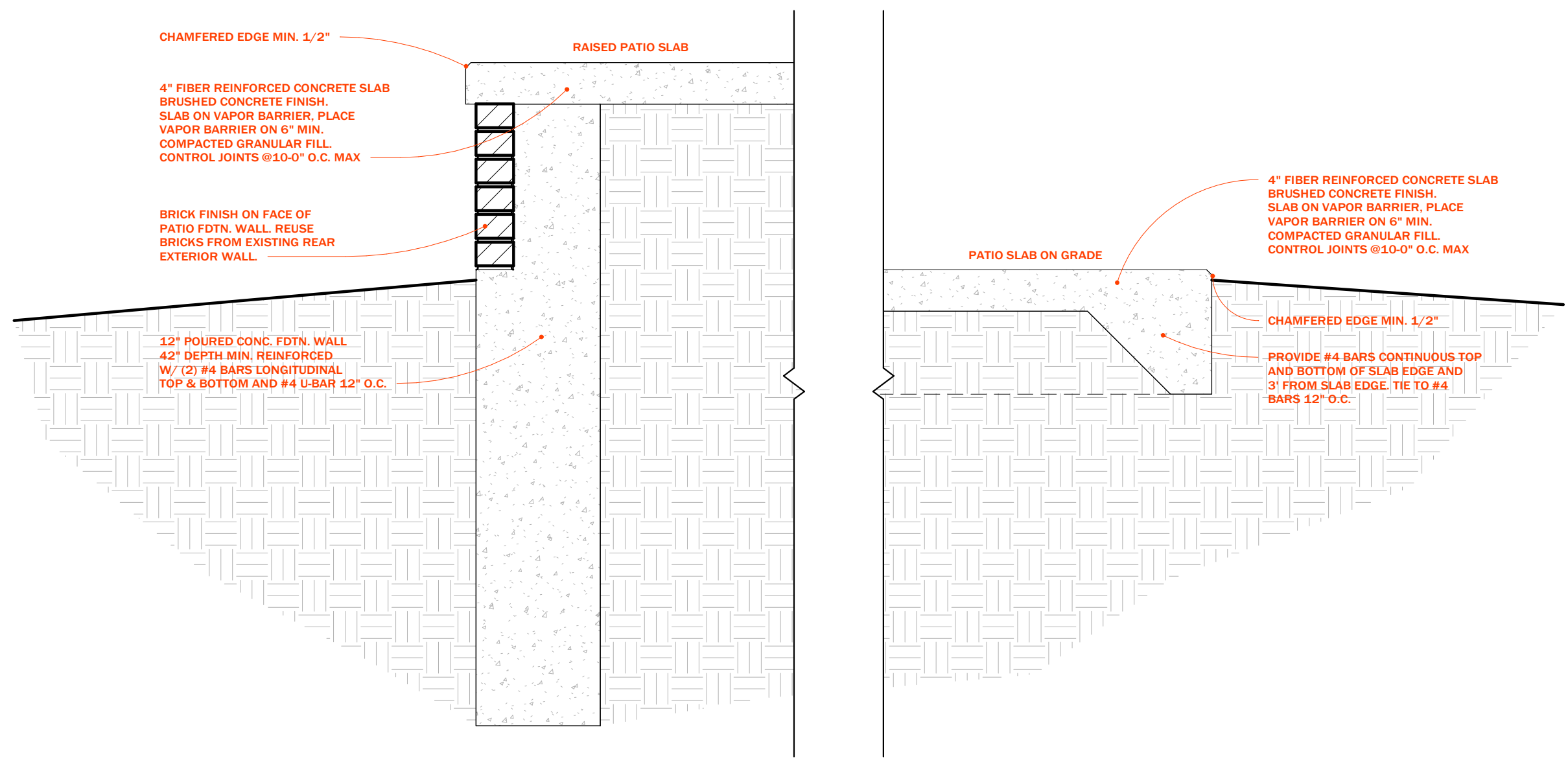
WEST

SCALE: 1/4" = 1'-0"

4

PATIO EDGE SECTION DETAIL

SCALE: 1" = 1'-0"



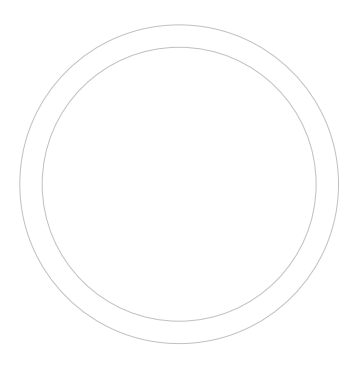
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TOWN, STATE	
DATE	04/10/25
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PROJECT	0260
REVISION	REV 1

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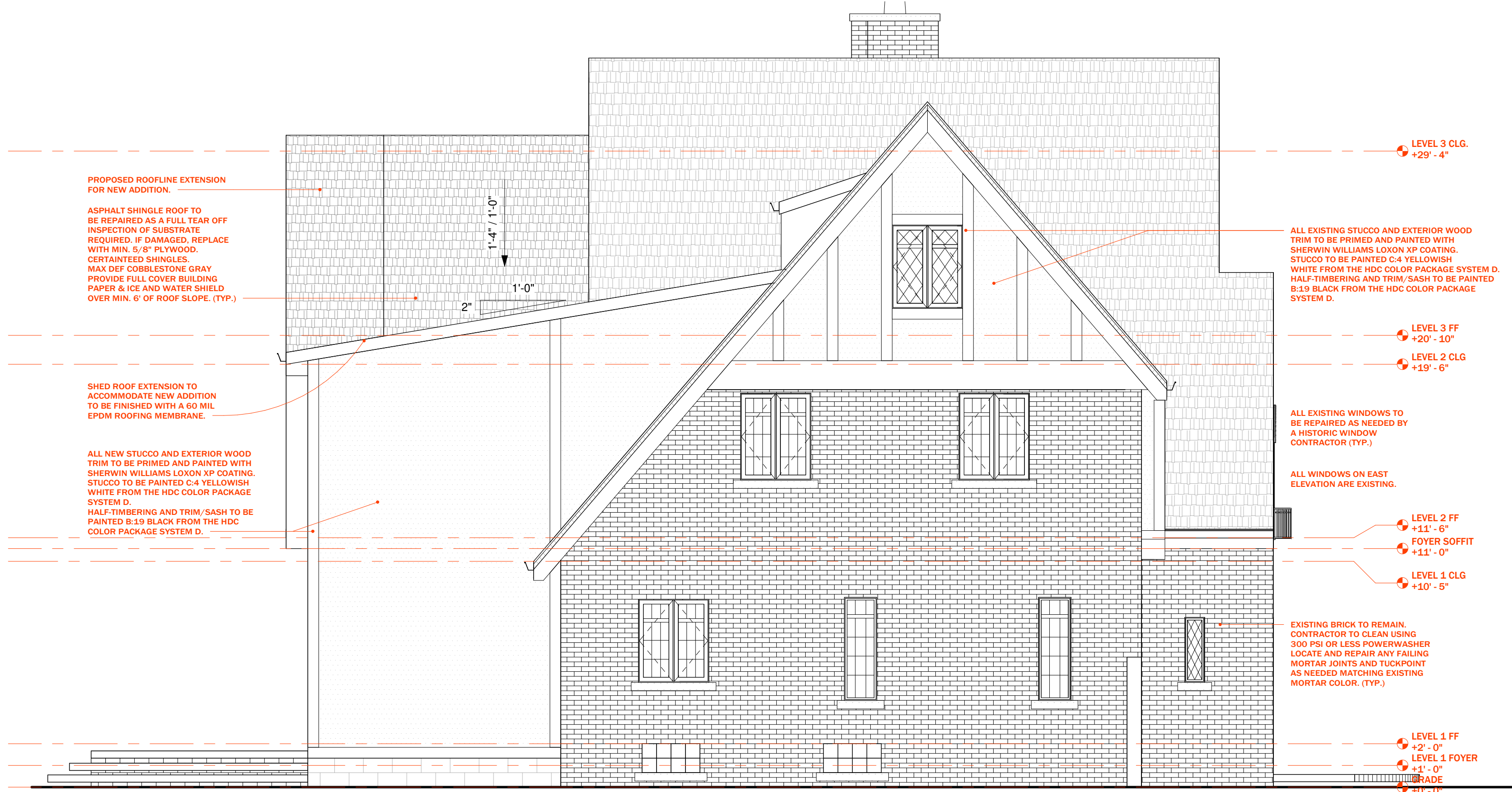


CEILING
PLANS & WEST
ELEVATION

SCALE: As indicated

A005

DRAWN: B. SHISHAKLY



1

EAST

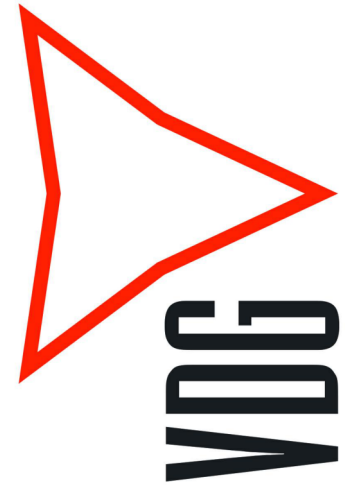
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2

NORTH

SCALE: 1/4" = 1'-0"



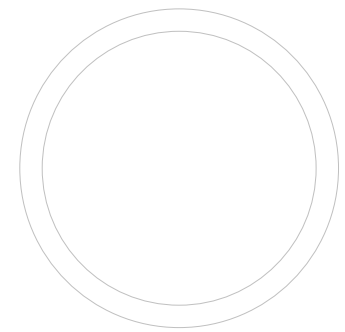
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PROJECT GLASCO RESIDENCE

TOWN, STATE	
DATE	04/11/25
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PROJECT	0260
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EAST AND NORTH ELEVATIONS

SCALE 1/4" = 1'-0"

A006

DRAWN B. SHISHAKY