



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00193

PROPERTY INFORMATION

ADDRESS(ES): 2012 WABASH

HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|---|---|--|--------------------------------|
| <input type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Construct a new 2-Story, Plus Basement Single-Family House At 2012 Wabash. Project site is currently a vacant lot.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Marc Grassi

COMPANY NAME: Push Design

ADDRESS: 2263 Wabash

CITY: Detroit

STATE: MI

ZIP: 48216

PHONE: +1 (313) 580-8178

EMAIL: marc@pushdetroit.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Marc Grassi

Push Design

Marc Grassi

04/21/2025

SIGNATURE

DATE

2263 Wabash

Detroit

MI

48216

+1 (313) 580-8178

marc@pushdetroit.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762




NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT


Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: (only applicable if you've already applied for permits through ePLANS)	n/a
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GENERAL

1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i>	
<p>Parcel is a vacant lot. Ground covering is grass and gravel, fenced with adjacent 2006 Wabash property. The existing fence along sidewalk is painted wood. There is a large tree towards the rear of lot, and two small ornamental trees at the streetfront. Parcel is adjacent to an alley at the rear.</p> <p>There are no existing structures on this parcel.</p>	
2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i>	
3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i>	
<p>Please see attached PDF at this section for project description of proposed work.</p> 	
4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i>	
5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i>	

ADDITIONAL DETAILS

<div>8. SITE IMPROVEMENTS</div> <div>If site improvements are proposed, please provide any relevant site improvement plans pertaining to your project.</div>	<div></div>





SNAP-CLAD PANEL

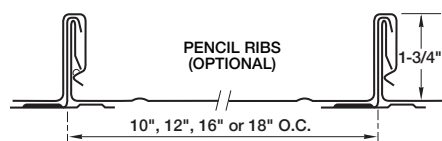
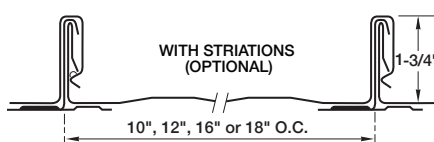
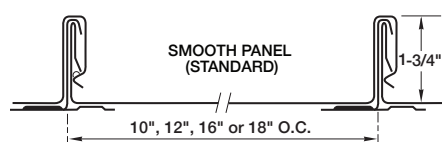
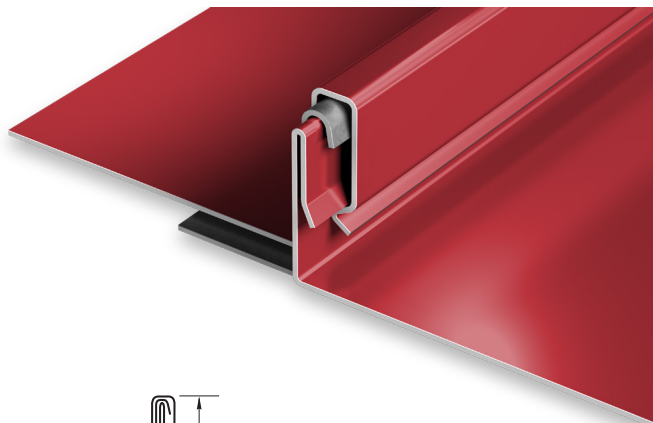
MATERIALS

.032 aluminum	24 gauge steel
.040 aluminum	22 gauge steel

SPECS

10", 12", 16" or 18" O.C. 1-3/4" High

UL-90



PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Pencil ribs upon request
- ▶ Striations upon request
- ▶ Factory eave notching available
- ▶ 35-year non-prorated finish warranty
- ▶ Maximum factory-produced panel length is 64' (check w/factory for longer lengths)
- ▶ Weathertightness warranty available

- ▶ 48 stocked colors (24 gauge steel)
- ▶ 17 Stocked colors (22 gauge steel)
- ▶ 34 stocked colors (.032 aluminum)
- ▶ 26 stocked colors (.040 aluminum)
- ▶ Panels available in Galvalume Plus

UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated
- ▶ UL-2218 impact resistance rated

- ▶ UL-90 rated aluminum panel up to 16" O.C.
- ▶ UL-90 rated steel panel up to 18" O.C.

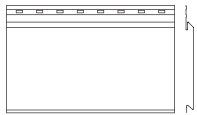
ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

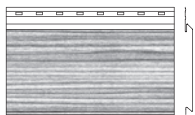
FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.

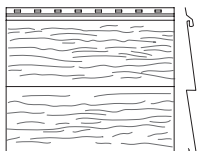
Note: UL 90 is available on steel panels up to 18" on center, and on aluminum panels up to 16" on center.



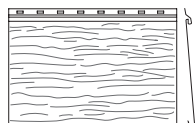
VESTA
5" Plank - Solid
5PS12
Steel 0.020"



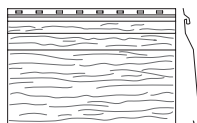
VESTA
5" Plank - Woodgrain
5PS8HD3
Steel 0.020"



TRUCEDAR®
Double 4"
D4S & D4SHD2
Steel 0.016"



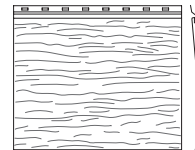
TRUCEDAR®
Single 6"
S6S & S6SHD2
Steel 0.016"



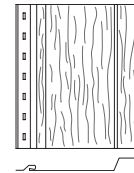
TRUCEDAR®
Single 6" Dutch Lap
S6DLS & S6DLSHD2
Steel 0.016"

Siding that runs horizontally across your house from end to end is sometimes referred to as HORIZONTAL SIDING or LAP SIDING. Contractors generally use the words clapboard, lap siding and horizontal siding interchangeably.

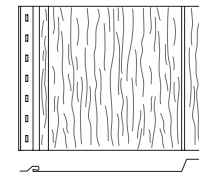
DUTCH LAP SIDING has a simulated notch/bend along the top edge on the board or panel, which produces a distinct look that simulates a hand-cut notch in each board. Years ago, homeowners wanted more options than just the standard siding, so a carpenter would hand carve the notch along the top of each board. Since it was hand carved, the siding's beveled profile creates more shadowing, which can give a home a more complex texture and elevated design.



TRUCEDAR®
Single 8"
S8S & S8SHD2
Steel 0.016"



TRUCEDAR®
6" Board & Batten
6BBS & 6BBSHD2
Steel 0.016"



TRUCEDAR®
10" Board & Batten
10BBS & 10BBSHD2
Steel 0.016"

BOARD & BATTEN or VERTICAL SIDING is derived from the look of alternating wide boards and narrow wooden strips, called battens, and is traditionally made from wood. Tru Cedar Board & Batten siding provides the crisp look of real wood, without the need for scraping and repainting.

Vesta PLANK inspired by the beautiful aesthetic of shiplap, with solid and truly realistic woodgrains. Vesta Steel Siding® is engineered to deliver the weather-resistant performance of shiplap, with the added durability and benefit of no-maintenance steel siding.

2012 WABASH

PROPOSED SINGLE FAMILY RESIDENCE

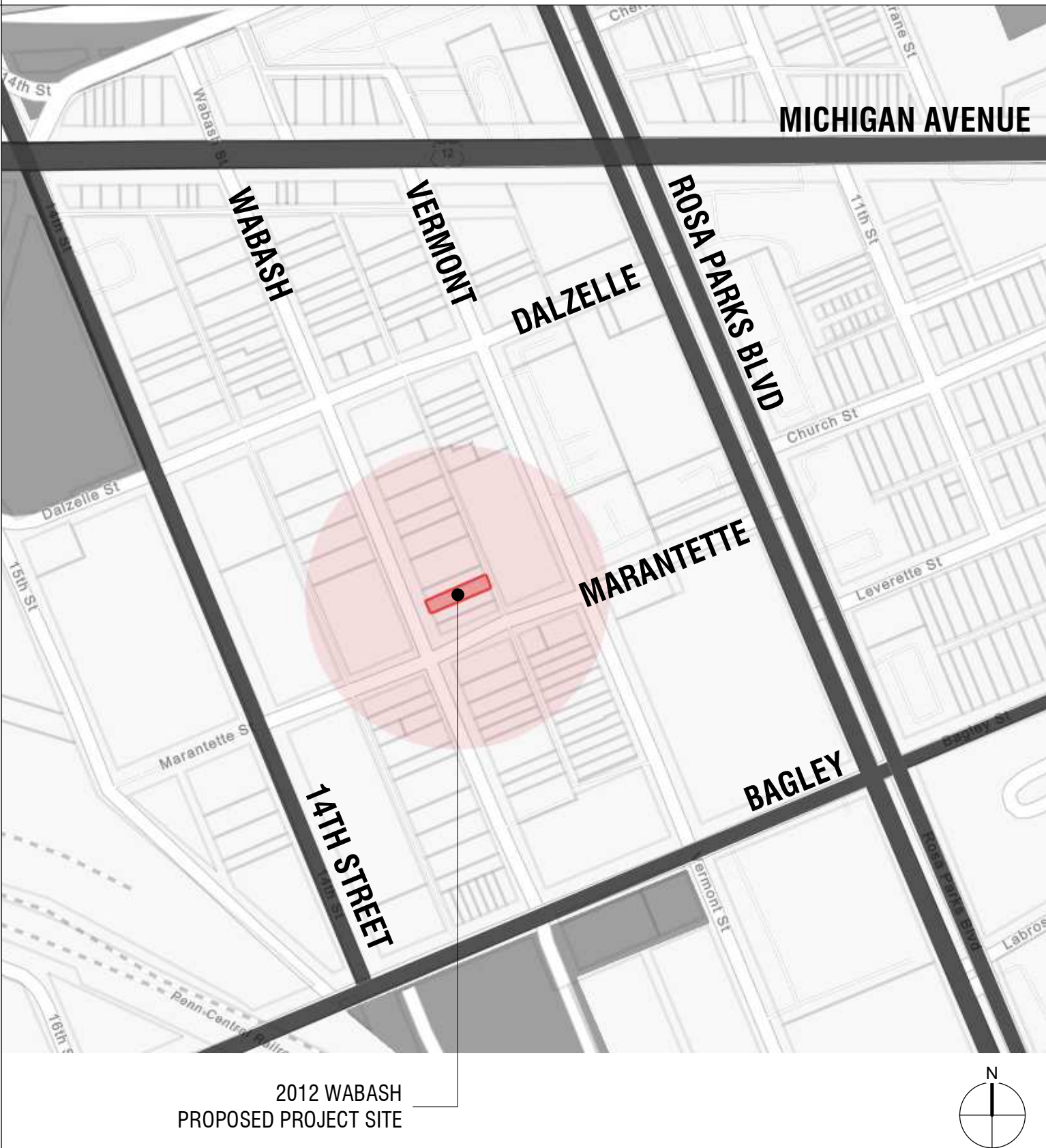
PUSH
DESIGN LLC
info@pushdetroit.com
313.757.5006



SITE AERIAL

2000 WABASH
2006 WABASH
2012 WABASH (PROJECT SITE)
2014 WABASH

LOCATION MAP



LEGAL DESCRIPTION

E WABASH S 25 FT 54 SUB OF PT OF O L NO 1 LAFFERTY FARM L1 P193 PLATS,
W C R 8/21 25 X 130 SPLIT/COMBINED ON 02/17/2023 FROM 08008718.

EXISTING SITE INFORMATION

2012 WABASH STREET, DETROIT, MI 48216

PARCEL NO.: 08008718.001

PARCEL SIZE: 25 FT X 150 FT (3,250 SF), 0.075 ACRES

ZONING: R2, RESIDENTIAL

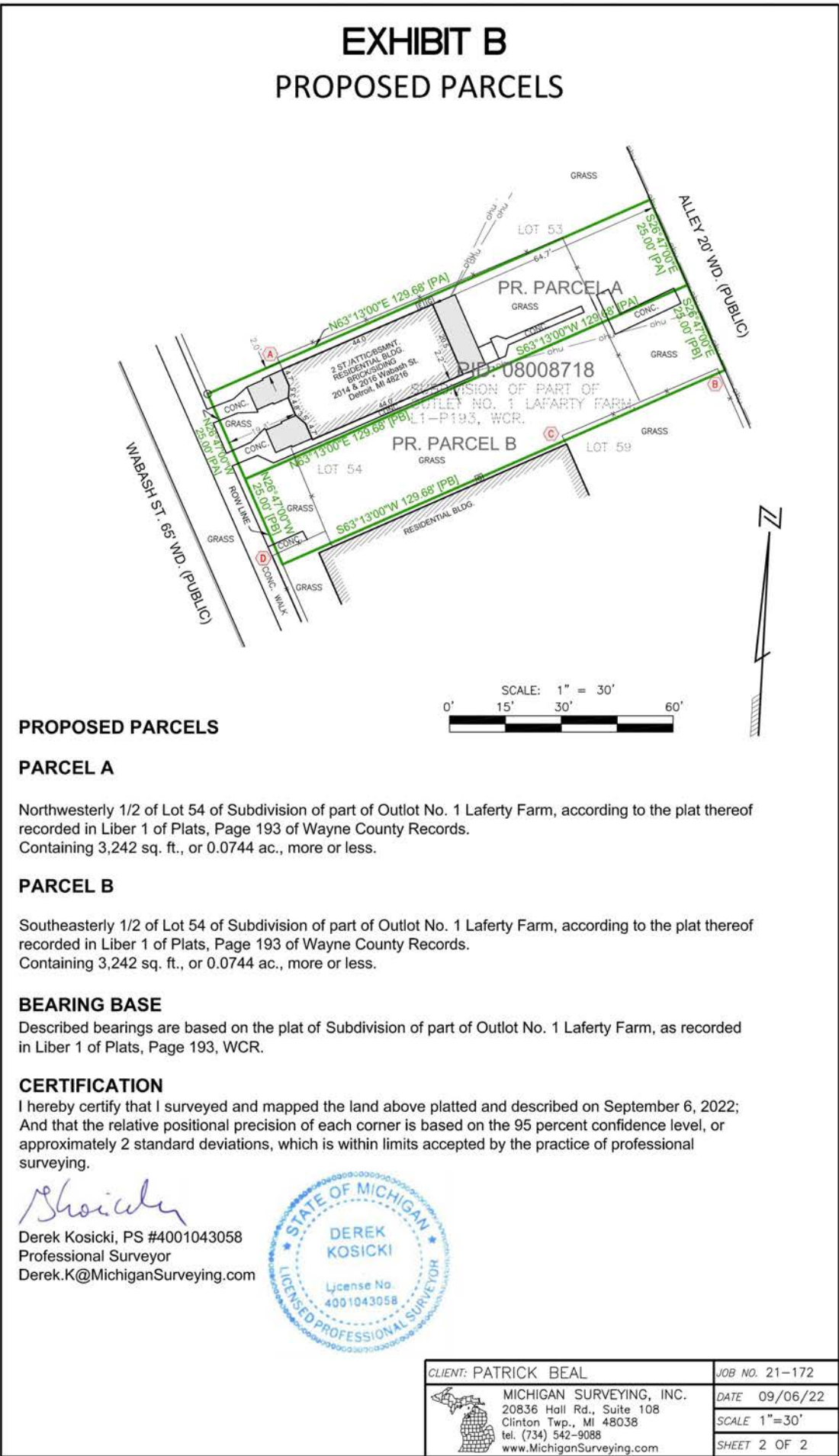
EXISTING CONDITIONS:

PARCEL IS A VACANT LOT. GROUND COVERING IS GRASS AND GRAVEL,
FENCED WITH ADJACENT 2006 WABASH PROPERTY. THE EXISTING FENCE
ALONG SIDEWALK IS PAINTED WOOD. THERE IS A LARGE TREE TOWARDS
THE REAR OF LOT, AND TWO SMALL ORNAMENTAL TREES AT THE
STREETFRONT. PARCEL IS ADJACENT TO AN ALLEY AT THE REAR.

THERE ARE NO EXISTING STRUCTURES ON THIS PARCEL.

THIS PROJECT IS LOCATED IN THE CORKTOWN HISTORIC DISTRICT.

SITE SURVEY



PROPOSED SCOPE OF WORK

- WEST ELEVATION (STREET)**
- WOOD-CLAD FACADE WITH NATURAL FINISH INSET IN PREFINISHED HORIZONTAL METAL LAP SIDING AT BASE.
 - CEMENT-STUCCO FINISH AT GARDEN LEVEL / FOUNDATION WALL.
 - ENTRY PORCH & STOOP WITH FRONT FACING DOOR WITH TRANSOM WINDOW.
 - INSTALL SOLID ENTRY DOOR WITH WOOD FINISH AND TRANSOM.
 - INSTALL WOOD TREAD PORCH STAIR WITH METAL GUARD RAIL.
 - INSTALL 2-STORY WINDOW BAY. LOWER WINDOWS HAVE FIXED TRANSOMS. WINDOWS AT BOTH FLOORS HAVE A FIXED CENTER WINDOW AND TWO OPERABLE CASEMENT WINDOWS AT SIDES.
 - INSTALL 3-GANGED WINDOWS AT GARDEN LEVEL WITH OPERABLE CASEMENTS.
 - INSTALL PREFINISHED METAL COPING WITH 3" FASCIA
- NORTH ELEVATION**
- EXTERIOR CLADDING IS PREFINISHED METAL HORIZONTAL SIDING AT FIRST FLOOR TO ROOF. EXTERIOR FINISH AT BASE TO BE CEMENT-STUCCO.
 - FULL-HEIGHT ACCENT PANEL AT MID-ELEVATION WITH A COMBINATION OF WOOD, PREFINISHED METAL AND CHANNEL GLASS CONFIGURATION.
 - INSTALL PREFINISHED METAL GUARD RAIL AT ROOF SET BACK FROM WALL FACE.
 - INSTALL (3) WALL-MOUNTED EXTERIOR LIGHT FIXTURES.
- EAST ELEVATION (REAR)**
- WOOD-CLAD FACADE WITH NATURAL FINISH INSET IN PREFINISHED HORIZONTAL METAL LAP SIDING AT EDGES.
 - SECOND FLOOR 'JULIE' BALCONY WITH 2-PANEL SLIDING GLASS DOOR & METAL GUARD RAIL.
 - GARDEN LEVEL TO HAVE SUNKEN AREAWAY WITH SLOPED GRADING TO PROVIDE EXTERIOR ACCESS. SLOPED GRADING TO BE A COMBINATION OF STACKED STONE AND PLANTINGS WITH A STACKED STONE STAIR TO GRADE.
 - INSTALL (1) HINGED ALUMINUM-CLAD WOOD DOOR AT GARDEN LEVEL.
 - INSTALL 4-PANEL BI-PARTING SLIDING GLASS DOOR.
 - INSTALL PREFINISHED ALUMINUM COPING WITH 3" FASCIA
 - INSTALL COLUMN-SUPPORTED WOOD DECK WITH STAIR TO GRADE. DECKING IS NATURAL WOOD WITH FOUR GLASS DECK PANELS. DECK AND STAIR ARE PROTECTED WITH METAL GUARD RAILING.
- SOUTH ELEVATION**
- EXTERIOR CLADDING IS PREFINISHED METAL HORIZONTAL SIDING. EXTERIOR FINISH AT BASE TO BE CEMENT-STUCCO.
 - INSTALL (4) OPERABLE CASEMENT WINDOW UNITS.
 - INSTALL (2) 2-GANG AWNING WINDOW UNITS.
 - INSTALL 3-GANG AWNING WINDOW UNIT.
 - INSTALL FIXED PICTURE WINDOW WITH GANGED CASEMENT UNIT.
 - INSTALL 3-GANG WINDOW UNIT WITH TWO OPERABLE CASEMENTS AND FIXED CENTER PANEL.
 - INSTALL PREFINISHED ALUMINUM COPING WITH 3" FASCIA
- ROOF & BULKHEAD**
- ROOF STRUCTURE WITH PREFINISHED METAL LAP SIDING AT (3) FACADES.
 - ASYMMETRICAL GABLE ROOF WITH PREFINISHED STANDING SEAM METAL ROOF.
 - INSTALL (1) ALUMINUM-CLAD WOOD & GLASS DOOR.
 - INSTALL ALUMINUM & GLASS WINDOW FRAMING UNITS AT EAST AND WEST ELEVATIONS.
 - INSTALL PREFINISHED ALUMINUM BOX GUTTER AT NORTH EAVE.
 - INSTALL WOOD DECK TILES ON ROOF SURFACE.
 - INSTALL PREFINISHED METAL GUARD RAIL AT PERIMETER.
- SITE**
- INSTALL 20' X 20' PERMEABLE PAVER AREA AT REAR ALLEY TO ACCOMMODATE TWO OFF-STREET PARKING SPACES.
 - PLANT ONE STREET TREE PER CITY OF DETROIT ZONING ORDINANCE.
 - REMOVE ONE LARGE EXISTING TREE AT REAR YARD.
 - REMOVE EXISTING WOOD FENCE AT FRONT WALK.
 - REMOVE METAL CHAIN-LINK FENCE AT ALLEY.
 - INSTALL GRASS AT FRONT & REAR YARDS.
 - INSTALL 6' TALL WOOD PRIVACY FENCE AT NORTH LOT LINE.
 - INSTALL 6' TALL WOOD PRIVACY FENCE AT EAST LOT LINE (ALLEY) WITH FOUR HINGED GATES.
 - INSTALL 3" GRAVEL LAYER AT FRONT AND SIDES OF HOUSE.
 - PROVIDE PLANTING BED AT FRONT OF HOUSE WITH SHRUBS AND ORNAMENTAL GRASSES.
 - INSTALL NEW FULL-WIDTH CONCRETE SIDEWALK AT FRONT OF LOT.
 - INSTALL CONCRETE PAVER PATH ALONG NORTH SIDE OF HOUSE.

PROPOSED PROJECT DESCRIPTION

CONSTRUCT A NEW 2-STORY, PLUS BASEMENT SINGLE-FAMILY HOUSE AT 2012 WABASH.

THE BLOCK OF WABASH BETWEEN DALZELLE AND MARANTETTE CONTAINS BOTH SMALL WOOD SINGLE-STORY COTTAGES AND TWO-STORY WOOD DUPLEXES AS WELL AS A MIX OF IDIOSYNCRATIC HISTORIC AND NEWER INFILL STRUCTURES. THESE BUILDINGS INCLUDE A MASONRY MULTI-FAMILY APARTMENT BUILDING, FLAT-ROOFED ADU, AND A FORMER GAS STATION TURNED COMMERCIAL STORAGE FACILITY. THE BLOCK HAS ONE OTHER VACANT PARCEL. THE PROJECT SITE IS LOCATED ACROSS FROM THE FORMER ST. VINCENT MIDDLE SCHOOL.

THE MATERIALS OF THE PROPOSED BUILDING INCORPORATES HORIZONTAL SIDING WHICH ARE BOTH PRESENT ON THE BLOCK.

ELEMENTS OF THE PROPOSED DWELLING ARE CONSISTANT WITH OTHER STRUCTURES ON THE BLOCK INCLUDING AN ASYMMETRICAL STREET FACADE, OFFSET FRONT PORCH AND BAY WINDOW. THE FRONT SETBACK ALIGNS WITH THE CONTEXTUAL SETBACK OF THE ADJACENT RESIDENCES TO THE NORTH AND SOUTH ON WABASH. THE FLOOR AREA IS SIMILAR TO THE OTHER DWELLINGS ON WABASH.

THE PROPOSED DWELLING FEATURES A SMALL FRONT PORCH AND BAY WINDOW INSET WITHIN A NATURAL WOOD-FRAMED PANEL. THE PROPORTIONS OF THE FRONT FACADE AND ITS OPENINGS PLAY OFF A TRADITIONAL LARGE LOWER BAY WINDOW, WITH BOTH LARGE & SMALL OPENINGS AT THE SECOND FLOOR. MODERN LINEAR BRICK DETAILS ADD DEPTH TO THE FRONT FACADE.

THE PROPOSED FOOTPRINT IS SMALLER THAN BUILDINGS THAT EXISTED ON THE SITE SINCE 1884, BUT IS CONSISTENT WITH EXISTING BUILDINGS ON THE BLOCK.

PER THE SANBORN MAPS, THE PROPERTY HAS HOSTED SEVERAL ACCESSORY BUILDINGS INCLUDING A GARAGE THAT WAS DEMOLISHED PRIOR TO THE CURRENT OWNERS.

DRAWING LIST

NO.	SHEET NAME
HDC0	COVER SHEET
HDC1	SITE HISTORY
HDC2	EXISTING CONDITIONS STREET ELEVATION
HDC3	EXISTING CONDITIONS - SURROUNDING CONTEXT
HDC4	EXISTING CONDITIONS - SURROUNDING CONTEXT
HDC5	EXISTING CONDITIONS - SITE SURVEY
HDC6	SITE PLAN & CODE SUMMARIES
HDC7	PROPOSED FLOOR PLANS
HDC8	PROPOSED FLOOR PLANS
HDC9	PROPOSED EXTERIOR ELEVATIONS
HDC10	PROPOSED BUILDING SECTIONS
HDC11	EXISTING & PROPOSED STREET ELEVATIONS
HDC12	PROPOSED EXTERIOR VIEWS
HDC13	PROPOSED EXTERIOR VIEWS
HDC14	PROPOSED EXTERIOR MATERIALS

NO. DATE DESCRIPTION

ISSUE FOR:
HDC APPLICATION

PROPOSED NEW RESIDENCE AT
2012 WABASH

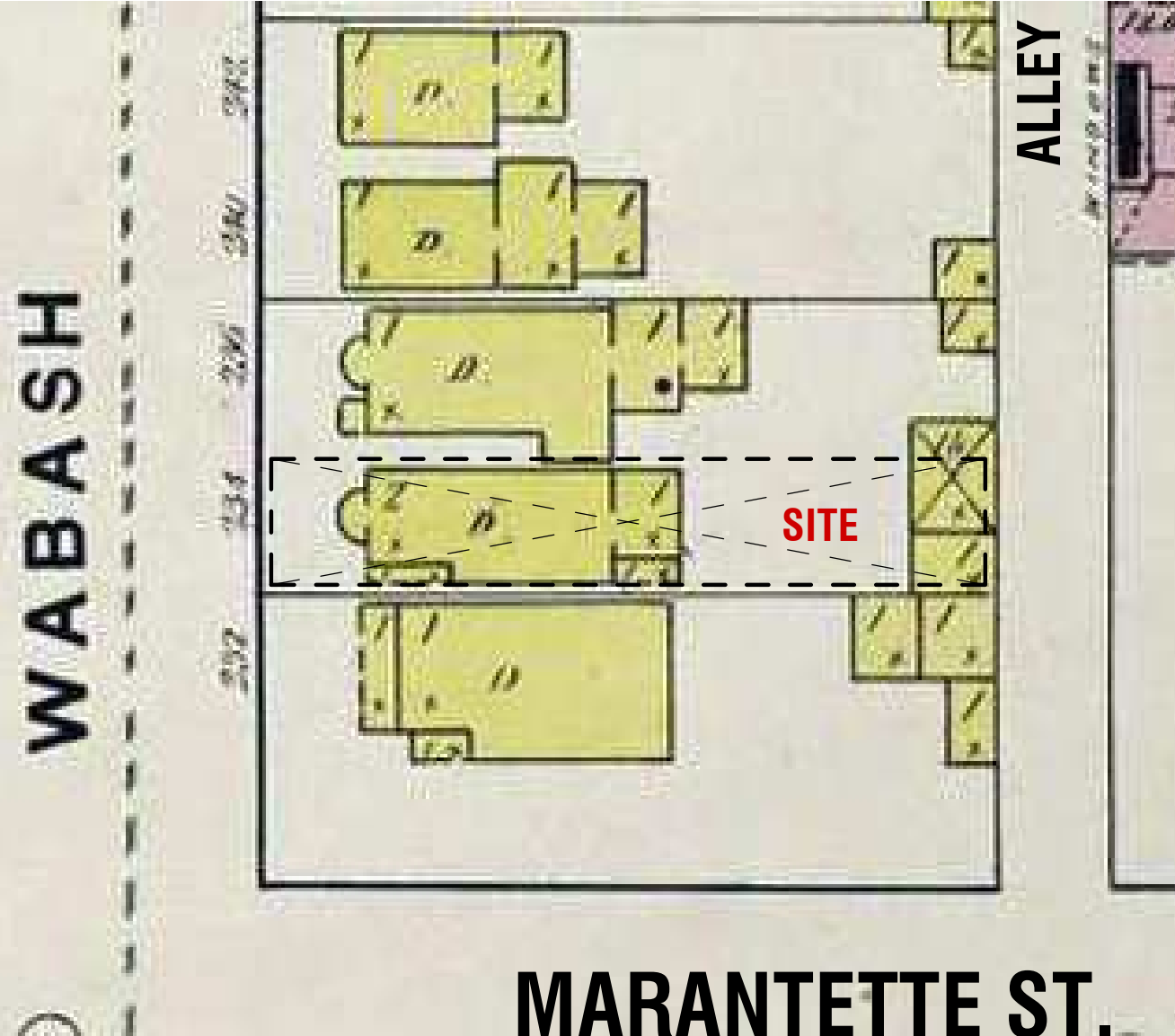
2012 WABASH, DETROIT MI 48216

COVER SHEET

HDC0

SITE HISTORY

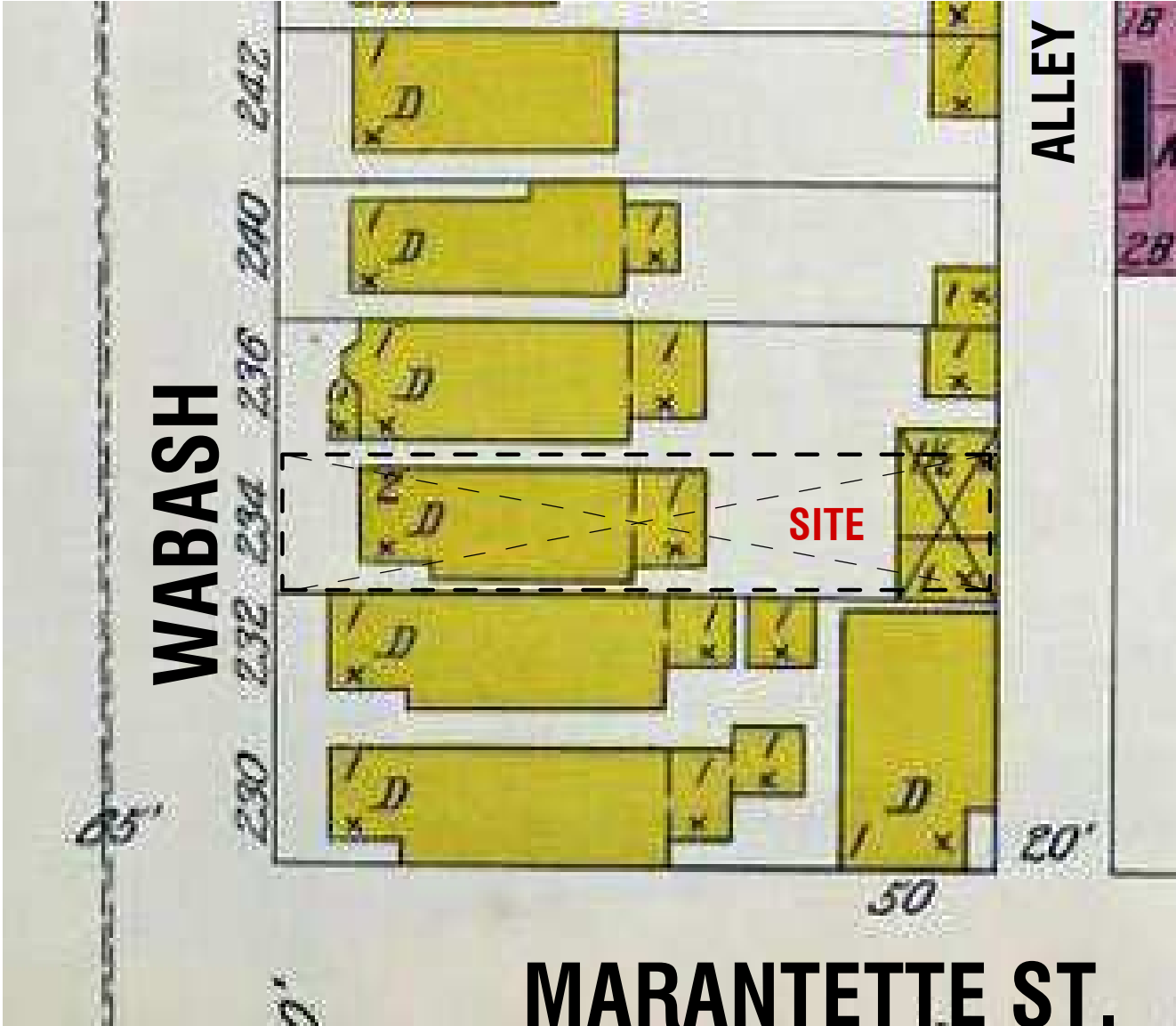
234 WABASH (PROJECT SITE)



1889 SANBORN MAP

- EXISTING 2-STORY WOOD-FRAMED DWELLING AT PROPOSED PROJECT SITE.
- PROJECT SITE IS ON COMBINED 50 FT. WIDE LOT WITH 236 WABASH.
- TWO ALLEY STRUCTURES ARE LOCATED AT ALLEY.

234 WABASH



1897 SANBORN MAP

- EXISTING SIDE PORCHES SEEM TO BE REMOVED.
- REAR ADDITION AT 236 WABASH WAS REMOVED.

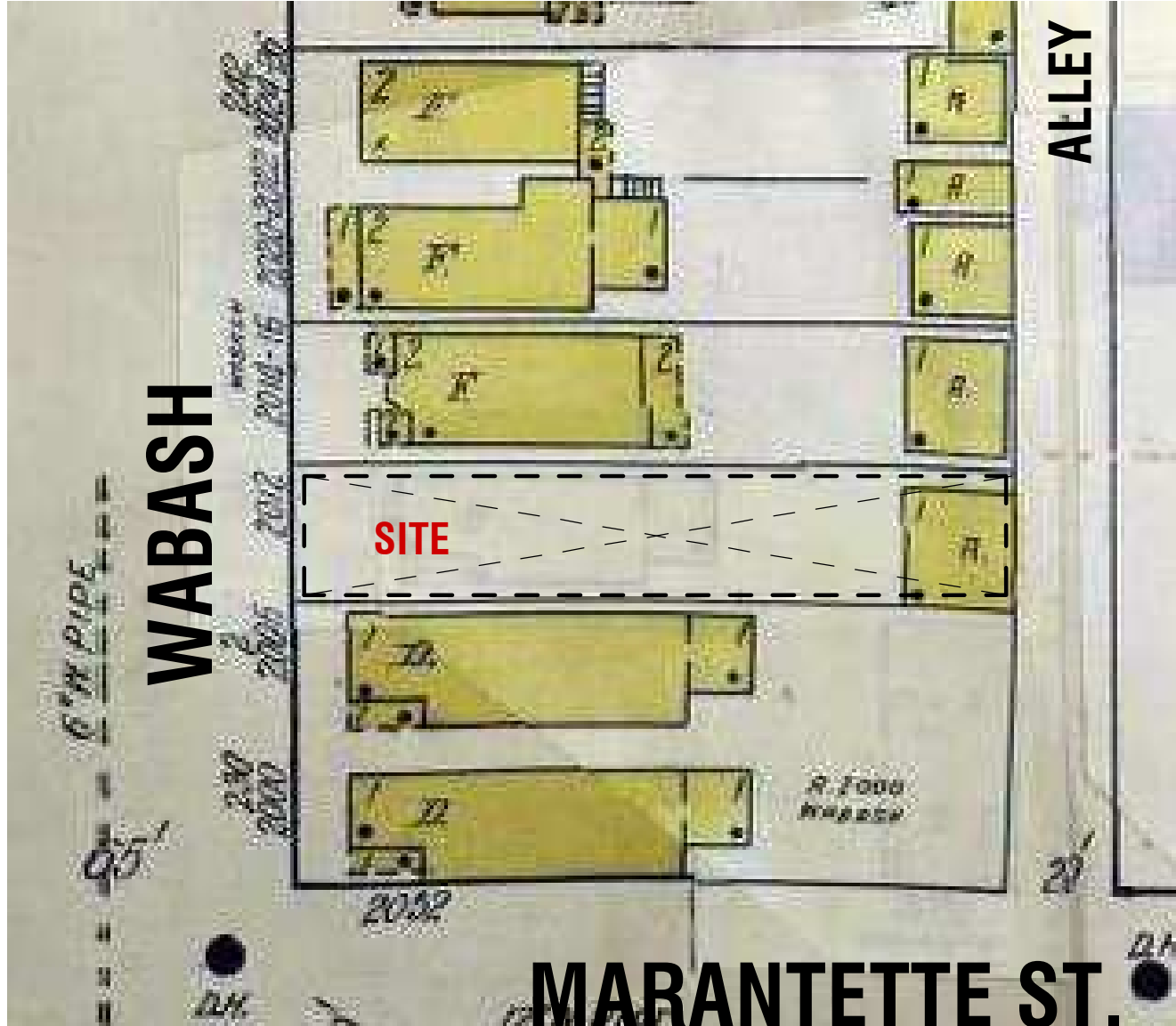
2012 WABASH (PREVIOUSLY 234 WABASH)



1921 SANBORN MAP

- EXISTING ALLEY BUILDING SEEMS TO BE MODIFIED AS GARAGE.
- FRONT PORCH IS INDICATED.
- EXISTING 1-STORY DWELLING AT 2014 WABASH (236) IS REPLACED WITH A 2-STORY BUILDING WITH MULTIPLE DWELLING UNITS.

2012 WABASH



1950 SANBORN MAP

- EXISTING BUILDING AT PROPOSED PROJECT SITE IS REMOVED.
- EXISTING ALLEY BUILDING SEEMS MODIFIED TO LARGER 1-STORY GARAGE.
- IT APPEARS PARCEL WAS SPLIT TO FORM TWO SEPARATE 25 FT WIDE PARCELS. LOTS WERE RECOMBINED INTO 50 FT WIDE LOT SOMETIME AFTER 1950.



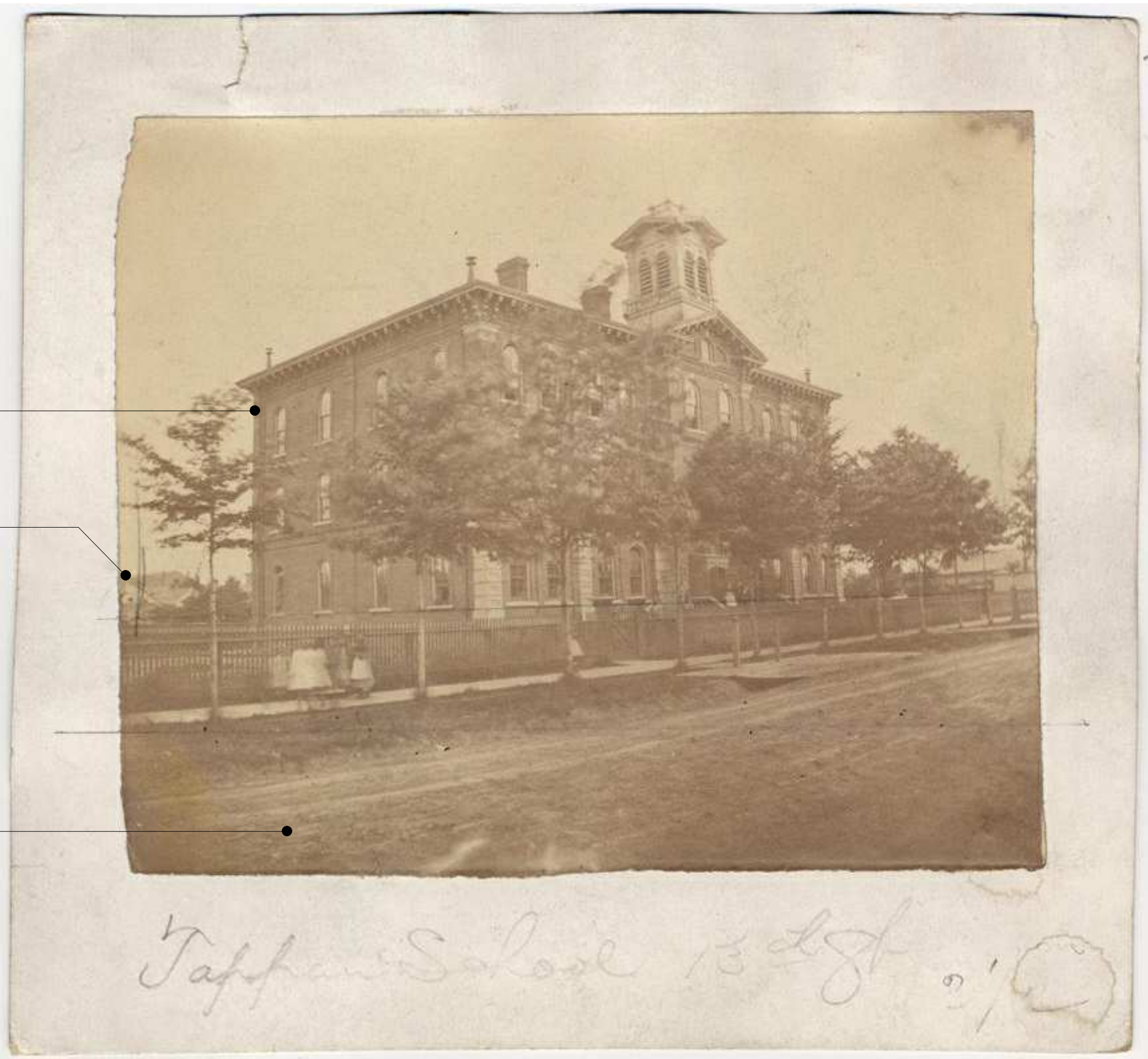
HISTORIC PHOTO - 2014-2016 WABASH

TAPPAN SCHOOL SITE
LOCATED AT CURRENT-
MULLIET PARK BALLFIELD

REAR OF PROPOSED
PROJECT SITE

VERMONT ST.
(LABELED 13TH ST.)

PROPOSED PROJECT SITE



HISTORIC PHOTO - TAPPAN SCHOOL 1882

NO. DATE DESCRIPTION

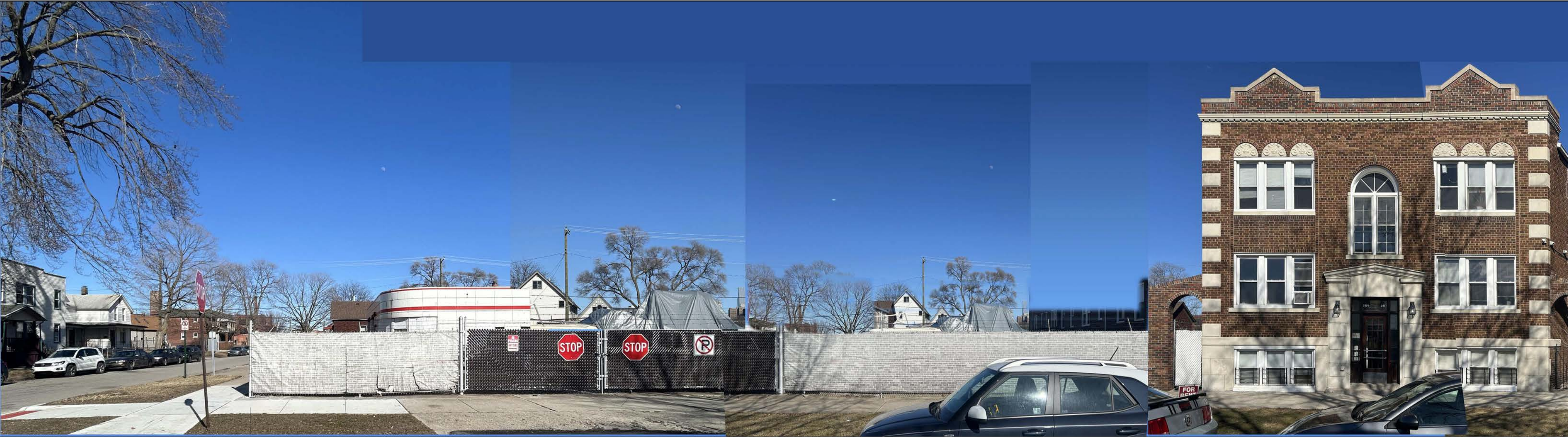
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PROPOSED NEW RESIDENCE AT
2012 WABASH

2012 WABASH, DETROIT MI 48216

SITE HISTORY

HDC1



DALZELLE

2051 DALZELLE

2072 WABASH



2072 WABASH

2060 WABASH

2050 WABASH

2044 WABASH

2038 WABASH

NO. DATE DESCRIPTION



2038 WABASH

2020 WABASH

2014 WABASH

2012 WABASH

2006 WABASH

2000 WABASH

MARANTETTE

1798 WABASH

PROPOSED PROJECT LOCATION

ISSUE FOR:
HDC APPLICATION

PROPOSED NEW RESIDENCE AT
2012 WABASH

2012 WABASH, DETROIT MI 48216

**EXISTING
CONDITIONS
STREET ELEVATION**

EXISTING CONDITIONS - STREET ELEVATION

HDC2



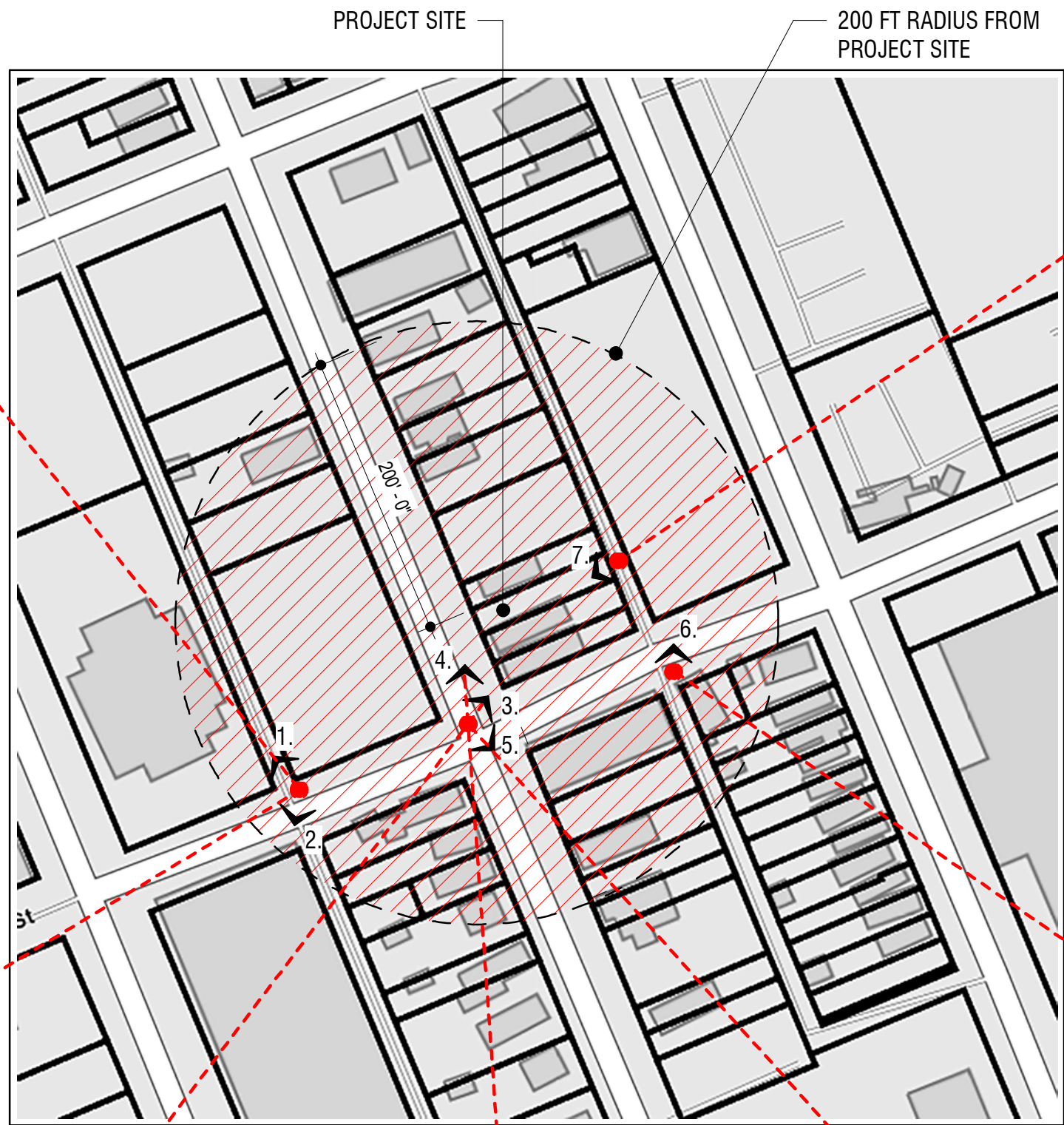
1. VIEW TO NORTHWEST FROM MARANTETTE & ALLEY



2. VIEW TO SOUTH FROM MARANTETTE & ALLEY



3. VIEW TO NORTHEAST FROM WABASH & MARANTETTE



1 VIEW KEY
1" = 100'-0"



4. VIEW TO NORTH FROM MARANTETTE & WABASH



7. VIEW TO SOUTHWEST FROM ALLEY (PROJECT SITE)



6. VIEW TO NORTH FROM MARANTETTE



5. VIEW TO SOUTHEAST FROM WABASH & MARANTETTE

NO. DATE DESCRIPTION

ISSUE FOR:
HDC APPLICATION

PROPOSED NEW RESIDENCE AT
2012 WABASH

2012 WABASH, DETROIT MI 48216

EXISTING
CONDITIONS -
SURROUNDING
CONTEXT

HDC3



3. VIEW TO NORTHWEST FROM WABASH & DALZELLE



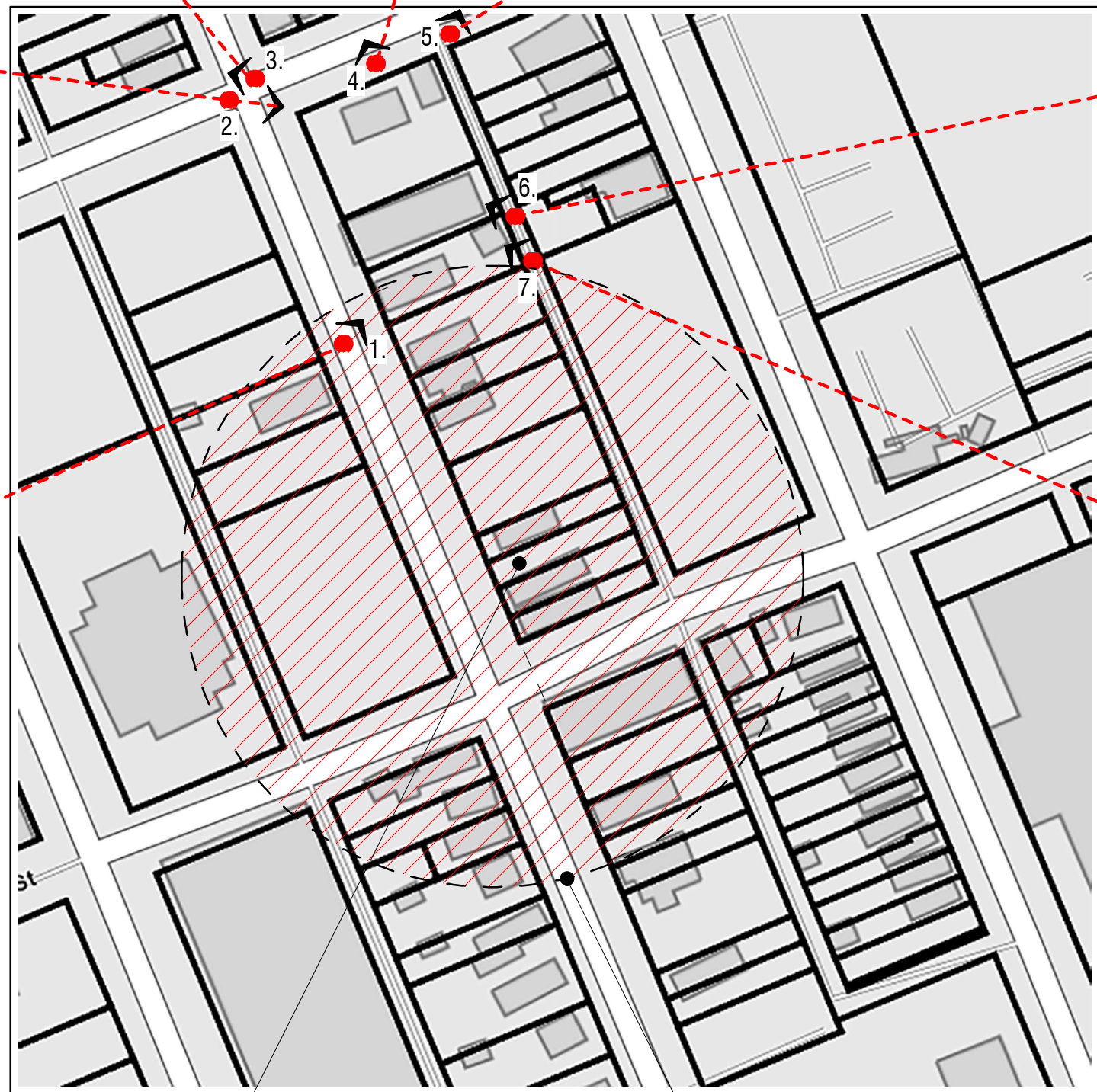
4. VIEW TO NORTH AT DALZELLE & ALLEY



5. VIEW TO NORTH FROM DALZELLE & VERMONT



2. VIEW TO SOUTHEAST FROM WABASH & DALZELLE



PROJECT SITE

200 FT RADIUS FROM
PROJECT SITE

1 VIEW KEY
1" = 100'-0"



1. VIEW TO NORTHEAST FROM WABASH



6. VIEW TO NORTHWEST FROM ALLEY



6. VIEW TO NORTHWEST FROM ALLEY

NO. DATE DESCRIPTION

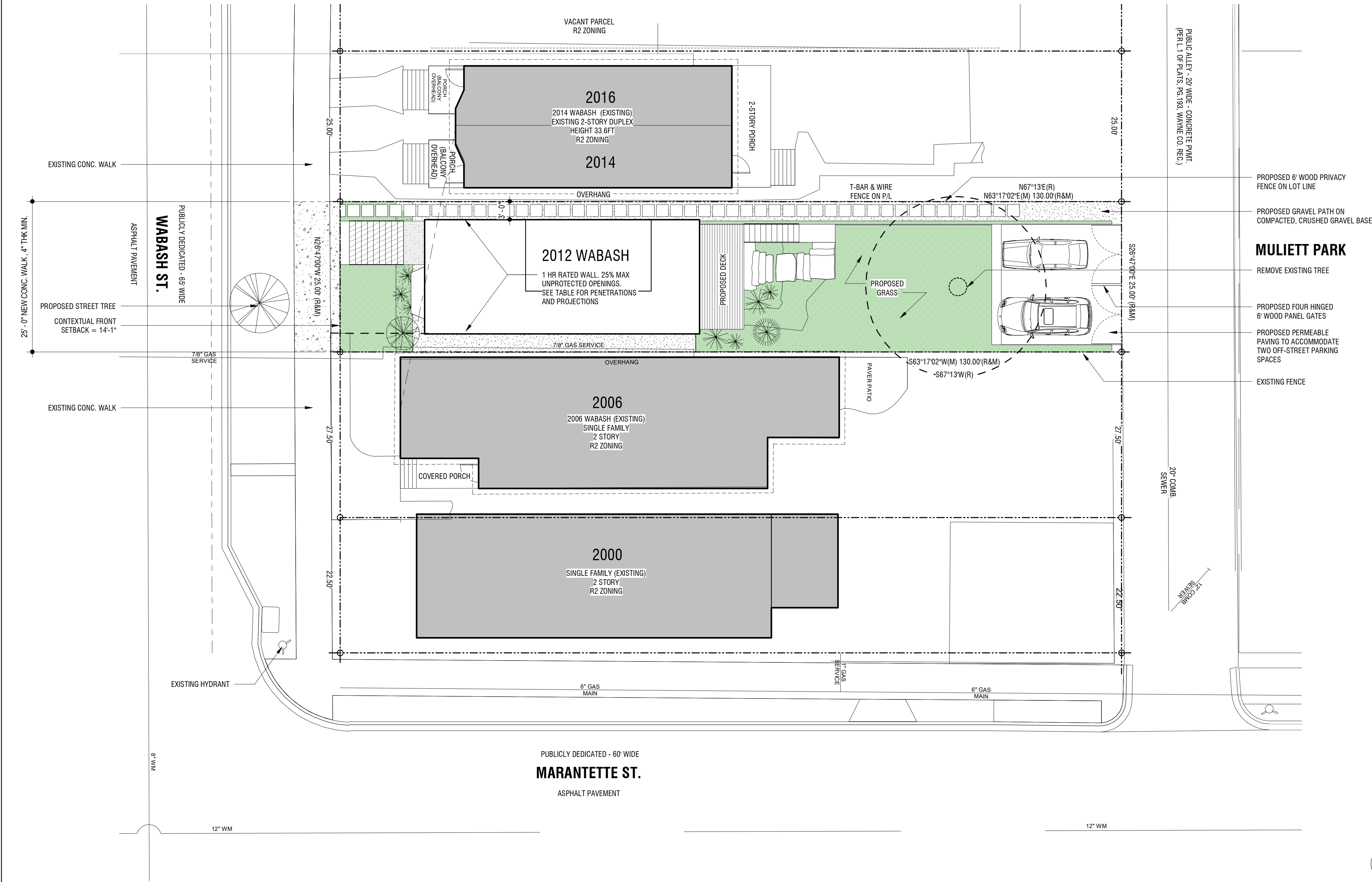
ISSUE FOR:
HDC APPLICATION

PROPOSED NEW RESIDENCE AT
2012 WABASH

2012 WABASH, DETROIT MI 48216

EXISTING
CONDITIONS -
SURROUNDING
CONTEXT

HDC4



2 ARCHITECTURAL SITE PLAN
1" = 10'-0"

LEGAL DESCRIPTION

E WABASH S 25 FT 54 SUB OF PT OF O L NO 1 LAFFERTY FARM L1 P193 PLATS,
W C R 8/21 25 X 130 SPLIT/COMBINED ON 02/17/2023 FROM 08008718.

ZONING SUMMARY

2012 WABASH STREET, DETROIT, MI 48216

PARCEL NO.: 08008718.001

PARCEL SIZE: 25 FT X 150 FT (3,250 SF), 0.075 ACRES

ZONING: R2, RESIDENTIAL
42 - CORKTOWN

EXISTING CONDITIONS:
PARCEL IS A VACANT LOT. GROUND COVERING IS GRASS AND GRAVEL,
FENCED WITH ADJACENT 2006 WABASH PROPERTY. THE EXISTING FENCE
ALONG SIDEWALK IS PAINTED WOOD. THERE IS A LARGE TREE TOWARDS
THE REAR OF LOT, AND TWO SMALL ORNAMENTAL TREES AT THE
STREETFRONT. PARCEL IS ADJACENT TO AN ALLEY AT THE REAR.

THERE ARE NO EXISTING STRUCTURES ON THIS PARCEL.

ZONING REQUIREMENTS

DIVISION 3. - ALTERNATIVE RESIDENTIAL DEVELOPMENT OPTIONS
Sec. 50-13-254. - Lots of less than 5,000 square feet (small lots). 3,250sf lot proposed. 25ft x 130ft
Sec. 50-13-256. - Small lot development standards. See below:

Item	Standard	Proposed
Maximum number of units per lot	1	1
Maximum block length	500 feet	500 feet
Types of housing permitted	Single family dwellings only	Single family
Avoiding garage dominance	See 50-14-393 of this Code.	No garage proposed
Min usable private open space/dwelling unit	350sf min 18ft dim.	+360sf proposed
Private storage	No detached sheds allowed	No shed proposed

SETBACKS:
FRONT: CONTEXTUAL SETBACK REQUIRED
SIDE SETBACKS: NO MINIMUM PER SMALL LOTS
REAR SETBACK: 30FT MINIMUM
12'-7" PROPOSED
3FT PROPOSED
67'-0" PROPOSED

MAX HEIGHT 35FT MAXIMUM
MAX LOT COVERAGE 42.5% MAXIMUM (Sec. 50-13-185)
32FT PROPOSED
36% PROPOSED

PARKING
PER Sec. 61-14-24. SINGLE FAMILY DWELLING: 2 per dwelling unit on same lot required.

BUILDING CODE SUMMARY

SECTION 1 - GENERAL DESCRIPTION

PROJECT NAME: PROPOSED 2012 WABASH STREET
DESCRIPTION: NEW SINGLE FAMILY DWELLING
LOCATION: 2012 WABASH, DETROIT, MI 48216

APPLICABLE CODES:
BUILDING: MICHIGAN RESIDENTIAL CODE 2015

GARDEN LEVEL: 815 SF
FIRST FLOOR: 875 SF
LEVEL 2: 875 SF
TOTAL BUILDING: 2,565 SF

USE GROUP(S) (CHAPTER 3): R

SECTION R302

FIRE-RESISTANT CONSTRUCTION

R302.1 Exterior walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1).

TABLE R302.1(1) EXTERIOR WALLS		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E119 or UL 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated	Not allowed	≥ 5 feet
Projections	Fire-resistance rated	N/A	< 2 feet
	Not fire-resistance rated	1 hour on the underside	≥ 2 feet to < 5 feet
Openings in walls	Fire-resistance rated	0 hours	≥ 5 feet
	Not allowed	N/A	< 3 feet
Penetrations	25% maximum of wall area	0 hours	3 feet
	Unlimited	0 hours	5 feet
	Comply with Section R302.4	Comply with Section R302.4	< 5 feet
	None required	None required	5 feet

For SI, 1 foot = 304.8 mm.

N/A = Not Applicable.

a. Except as allowed as per Section R302.1, exceptions 3 and 4.

R 408.305(4b)

ANY EXTERIOR WALLS > 5FT FROM PROPERTY LINE MUST BE FIRE RATED 1HR

ANY PROJECTIONS 2FT < 5FT MUST BE FIRE RESISTANCE RATED 1HR ON THE UNDERSIDE

ANY NON-RATED OPENINGS IN EXTERIOR WALLS > 5FT FROM PROPERTY LINE LIMITED TO 25% OF TOTAL WALL AREA.

ANY PENETRATIONS IN WALLS > 5FT MUST BE COMPLY WITH SECTION R302.4 (R302.4 Dwelling unit rated penetrations.)

NO. DATE DESCRIPTION

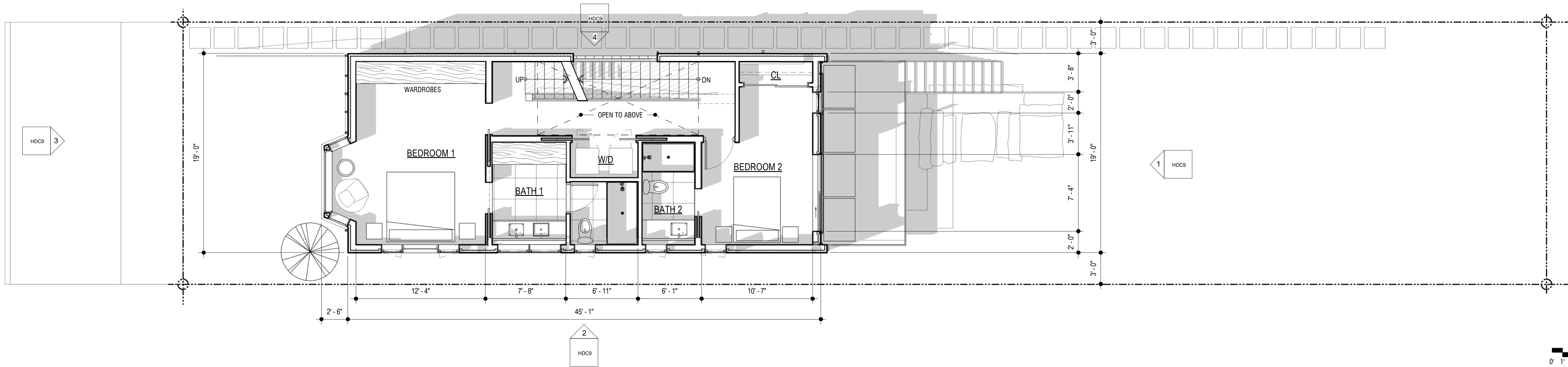
ISSUE FOR:
HDC APPLICATION

PROPOSED NEW RESIDENCE AT
2012 WABASH

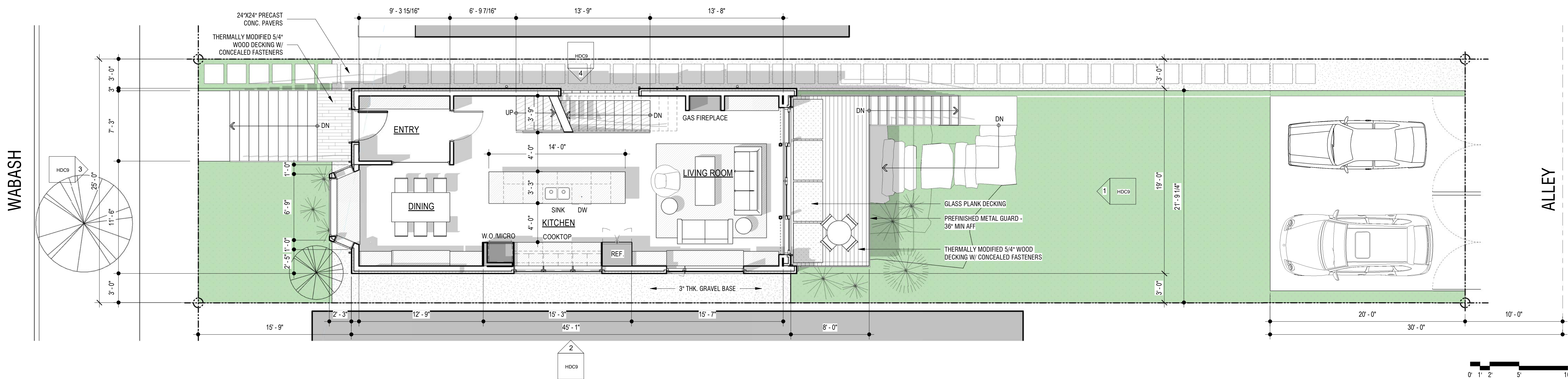
2012 WABASH, DETROIT MI 48216

**SITE PLAN & CODE
SUMMARIES**

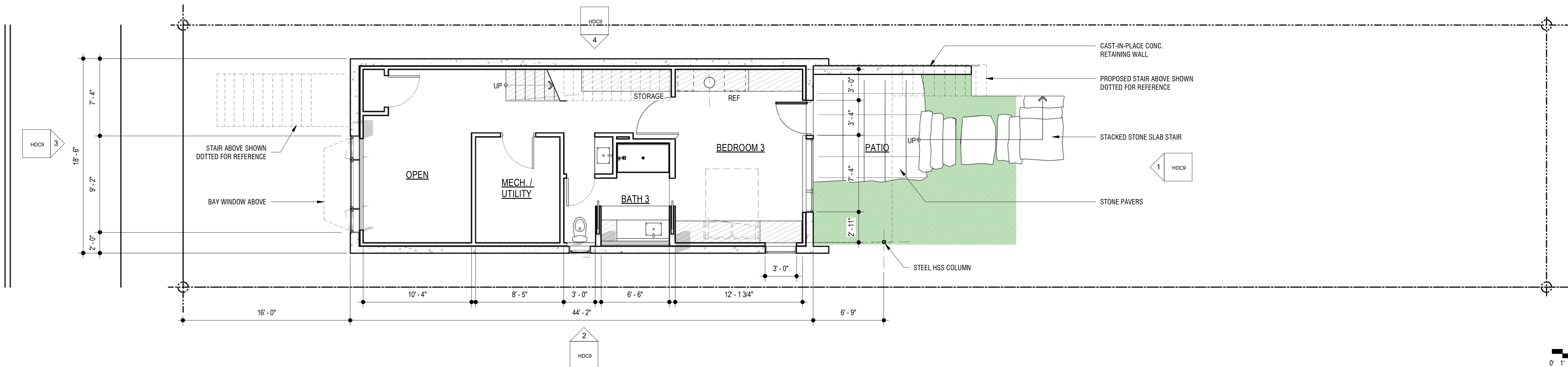
HDC6



3 SECOND FLOOR CONSTRUCTION PLAN
3/16" = 1'-0"



2 FIRST FLOOR CONSTRUCTION PLAN
3/16" = 1'-0"



1 GARDEN LEVEL CONSTRUCTION PLAN
3/16" = 1'-0"

NO. DATE DESCRIPTION

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2012 WABASH, DETROIT MI 48216

**PROPOSED FLOOR
PLANS**

HDC7



NO.	DATE	DESCRIPTION
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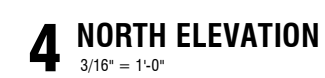
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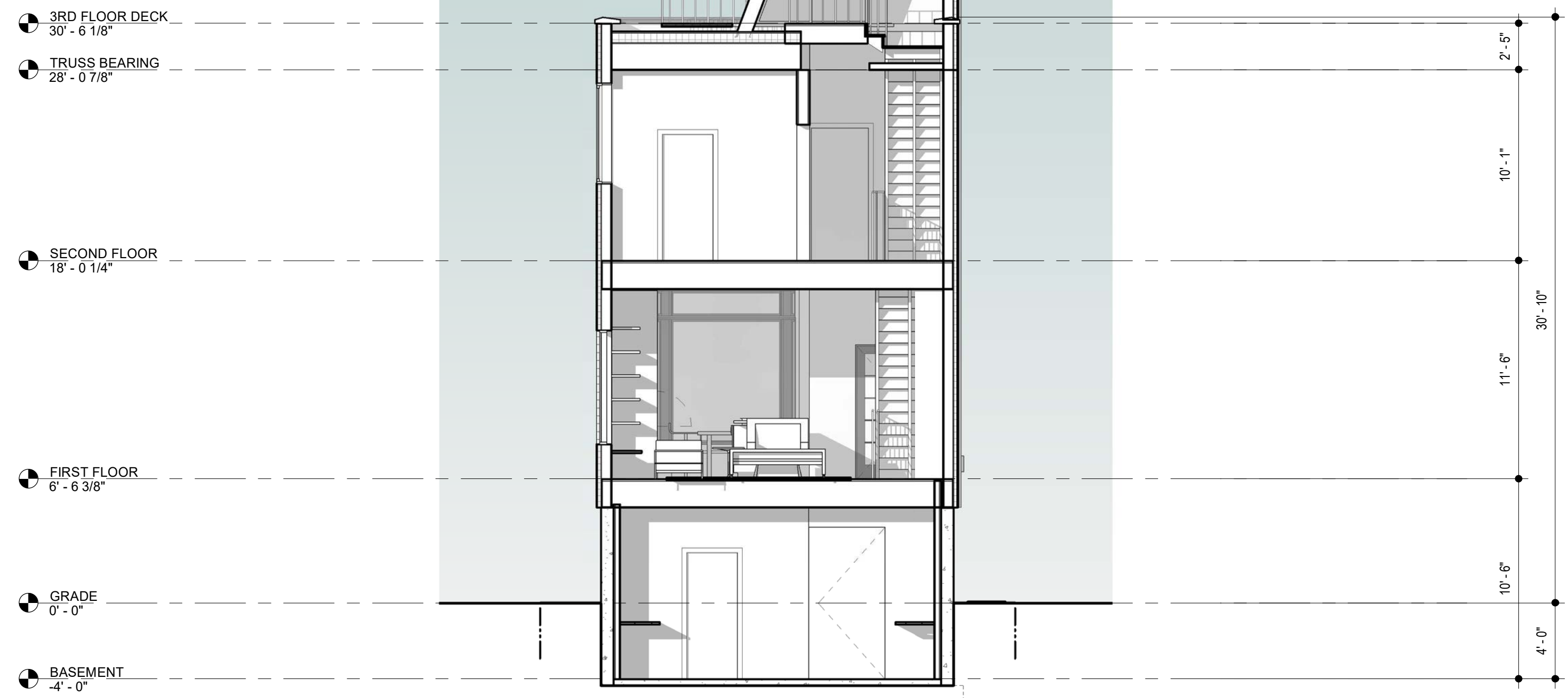
2012 WABASH, DETROIT MI 48216

PROPOSED FLOOR PLANS

HDC8



HDC9

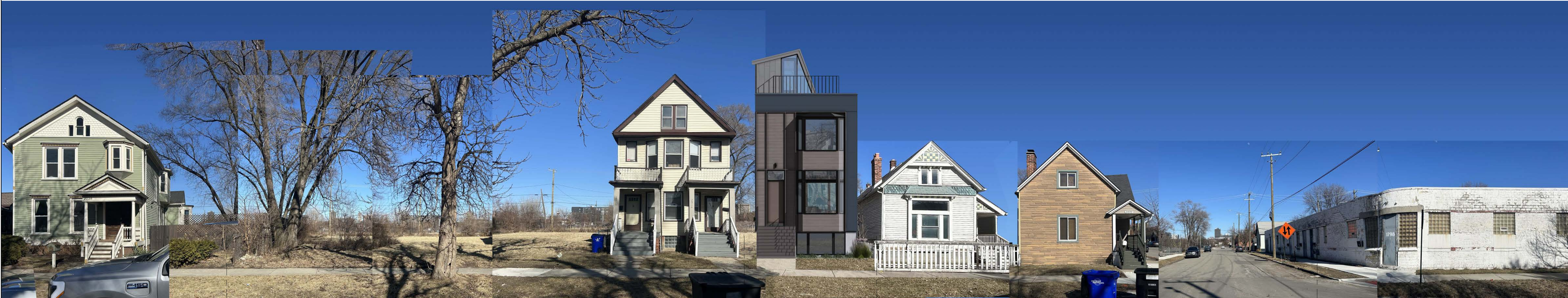


3 BUILDING SECTION



PROPOSED BUILDING SECTIONS

HDC10



2038 WABASH	2020 WABASH	2014 WABASH	2012 WABASH	2006 WABASH	2000 WABASH	MARANTETTE	1798 WABASH
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PROPOSED PROJECT LOCATION

PROPOSED CONDITIONS - STREET ELEVATION



2038 WABASH	2020 WABASH	2014 WABASH	2012 WABASH	2006 WABASH	2000 WABASH	MARANTETTE	1798 WABASH
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PROPOSED PROJECT LOCATION

EXISTING CONDITIONS - STREET ELEVATION

NO. DATE DESCRIPTION

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PROPOSED NEW RESIDENCE AT
2012 WABASH

2012 WABASH, DETROIT MI 48216

**EXISTING &
PROPOSED STREET
ELEVATIONS**

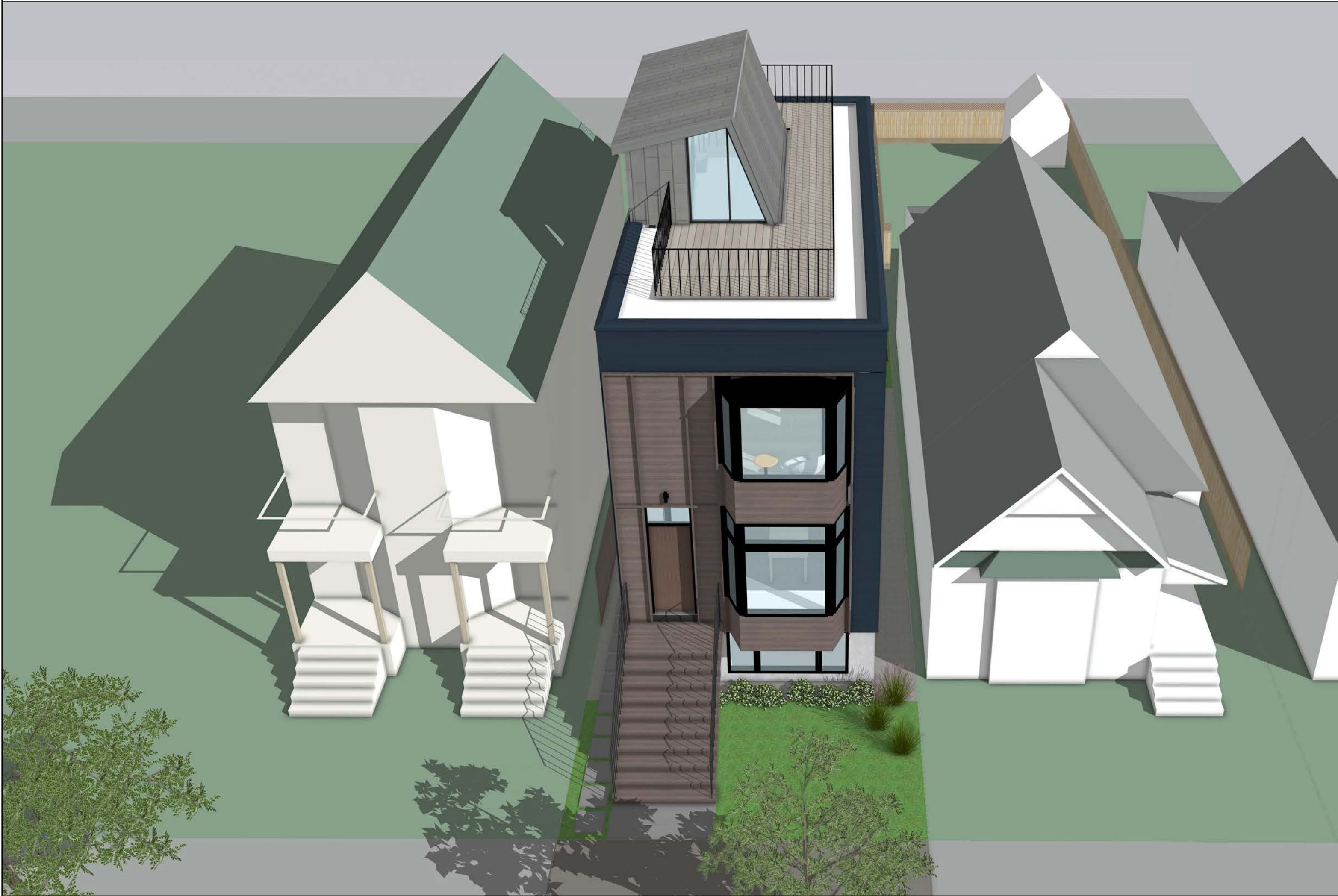
HDC11



4. PROPOSED RENDERING - AERIAL



3. PROPOSED RENDERING - STREET FRONT



2. PROPOSED RENDERING - AERIAL



1. PROPOSED RENDERING - STREET FRONT

NO.	DATE	DESCRIPTION
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PROPOSED NEW RESIDENCE AT
2012 WABASH

2012 WABASH, DETROIT MI 48216

**PROPOSED EXTERIOR
VIEWS**

HDC12



4. PROPOSED RENDERING - VIEW FROM ALLEY

3. PROPOSED RENDERING - STREET FRONT



2. PROPOSED RENDERING - AERIAL AT REAR

1. PROPOSED RENDERING - VIEW FROM ALLEY

NO. DATE DESCRIPTION

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PROPOSED NEW RESIDENCE AT
2012 WABASH

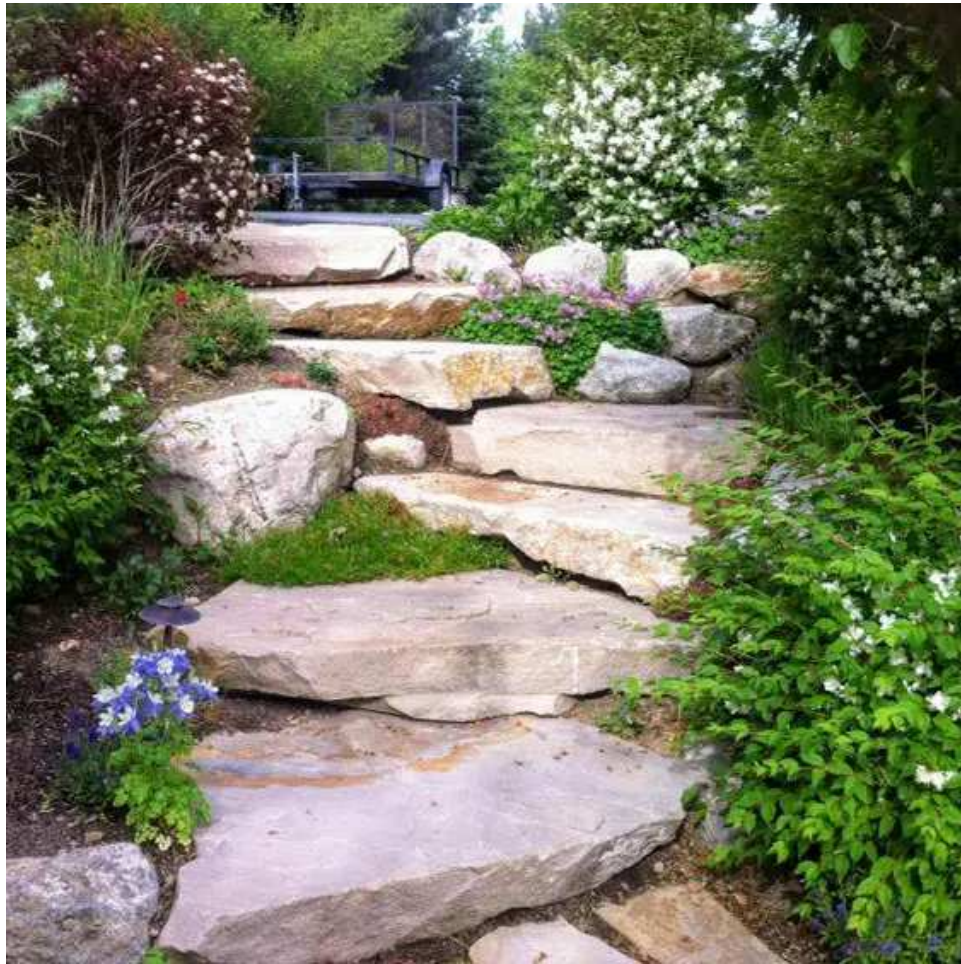
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**PROPOSED EXTERIOR
VIEWS**

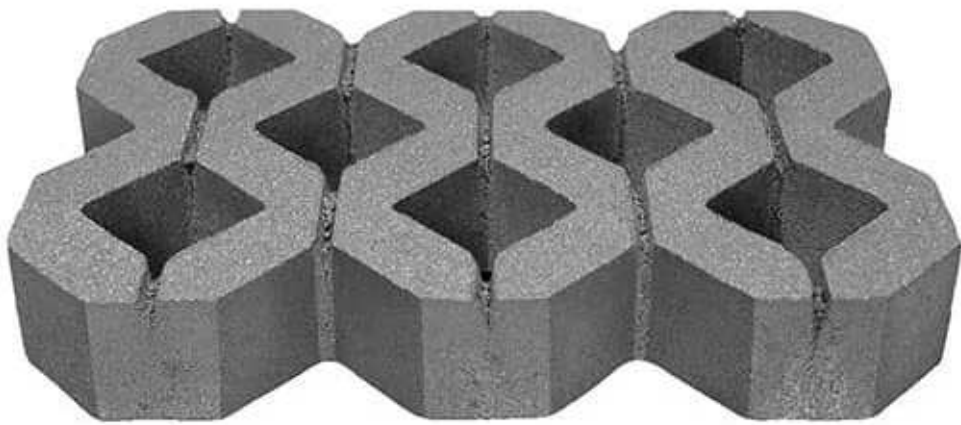
HDC13



TYPICAL WINDOW FINISH NOTES:
MANUFACTURER: PROGRESS LIGHTING
TYPE: 6" LED Outdoor Up/Down Modern Black Wall Cylinder with Glass Top Lense
EXTERIOR FINISH: BLACK
INTERIOR FINISH: DESIGNER BLACK
GLAZING PROFILE: SQUARE
HARDWARE FINISH: MATTE BLACK
SCREEN: BLACK ALUMINUM
CASING: FLAT



PROPOSED EXTERIOR LIGHT FIXTURE



PERMEABLE CONCRETE PAVERS

EXAMPLES OF
PROPOSED STACKED STONE SITE STEPS

NO.	DATE	DESCRIPTION
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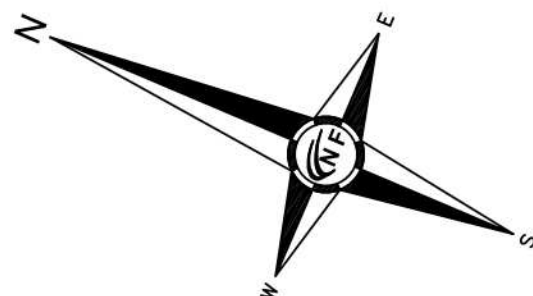
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**PROPOSED EXTERIOR
MATERIALS**

HDC15



1 of 1