



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00114

PROPERTY INFORMATION**ADDRESS(ES):** 2233 Park Avenue**HISTORIC DISTRICT:** Park Avenue Local**SCOPE OF WORK: (Check ALL that apply)**

- | | | | | | |
|---|---|--|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Replace windows in 112 openings on the south, east and north elevations, third floor through eighth floor.

APPLICANT IDENTIFICATION**TYPE OF APPLICANT:** Architect/Engineer/Consultant**NAME:** Steven Flum**COMPANY NAME:** Steven Flum Inc**ADDRESS:** 3105 Holbrook**CITY:** HAMTRAMCK**STATE:** MI**ZIP:** 48212**PHONE:** +1 (313) 407-1318**EMAIL:** SFLUM@STEVENCFUM.COM**I AGREE TO AND AFFIRM THE FOLLOWING:**

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

DocuSigned by:

Steven Flum

01F13EF84B08483...

04/21/2025

SIGNATURE

DATE

3105 Holbrook

HAMTRAMCK

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

48212

MI

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

Description of Existing Condition

The existing wood windows are deteriorating, lacking weatherization and unsafe. The window consists of French windows (with no center post) and a fixed transom above.

No original window sashes are present. Approximately 50% of the original wood head, jambs, sills and brickmould are present but are cracked and deteriorated. The window sashes were replaced in 2006, poor workmanship and use



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

Description of Project

Replacement of the windows with a Pella Reserve aluminum clad wood cottage style single hung window. The new window provides a superior performance with air and water infiltration, structural integrity and is a safer solution. The windows will have insulated dual pane glass. The aluminum window sash, frame and trim will be black.

Install 112 single hung windows. New windows will be located on the second thru eighth floor, on the north, east and



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

Detail Scope of Work

1. Remove existing windows sashes, jambs, head and sill
2. Install new wood blocking at the jamb, head and sill to the masonry
3. Install new window and trim
4. Install sealant between exterior aluminum trim and masonry
5. Install new interior wood window sill, caulk and paint

5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<div><div>6. WINDOWS/DOORS</div><div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div></div>	<div></div>

REV.	DESCRIPTION	DATE
1	BIDS	5.12.06
2	OWNER REVIEW	6.27.06
3	PERMIT	1.5.07

\\two\FlumNew\1269...\\Sheets\\New...

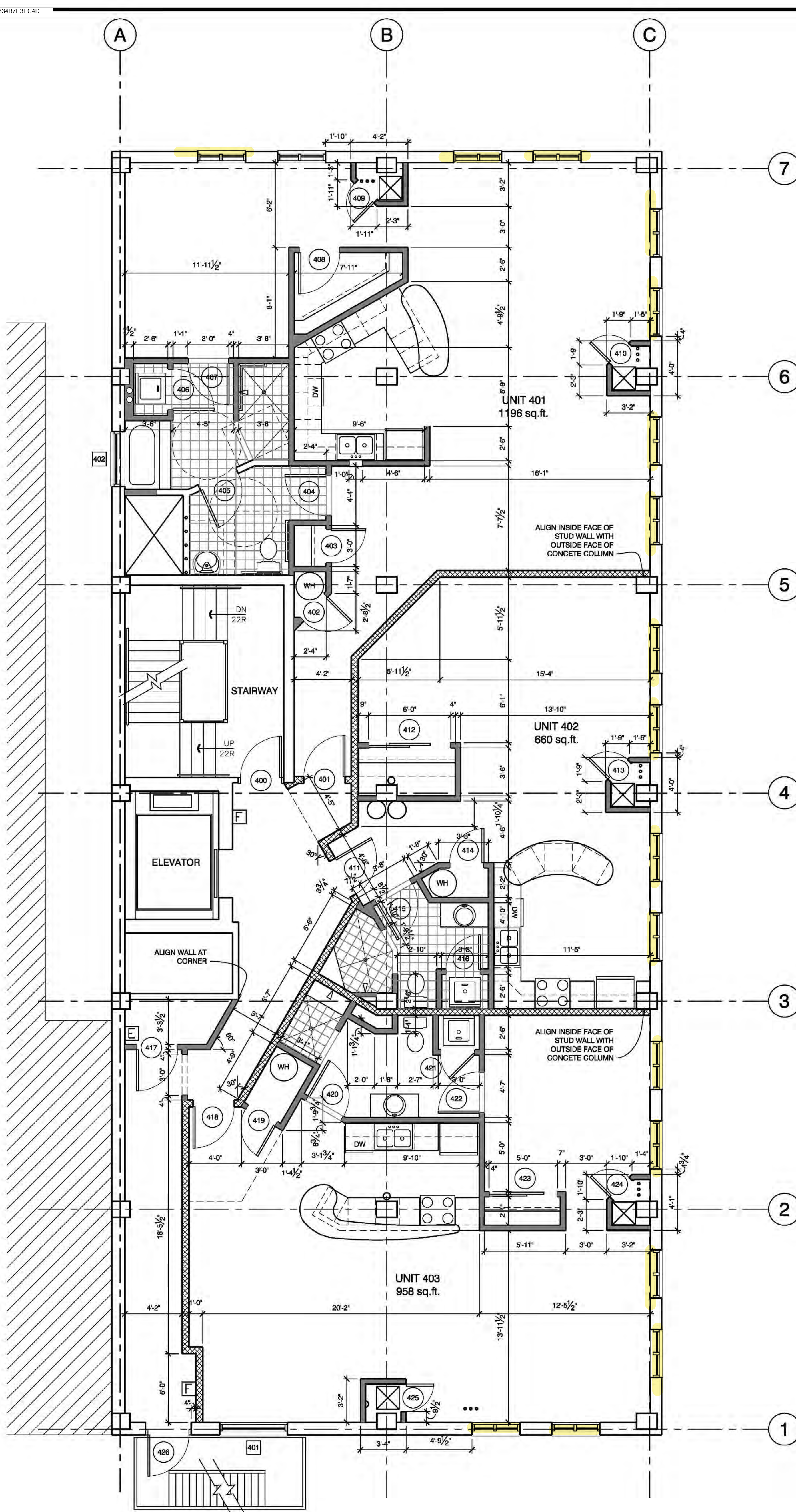
SHEET DESCRIPTION:
PROPOSED THIRD AND
FOURTH FLOOR PLANS

DRAWN: JTF/DMA CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. 1269 SHEET NO. A1.1



**PROPOSED
FOURTH FLOOR PLAN**
2
A1.1 1/4" = 1'-0"

7 HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT

LEGEND

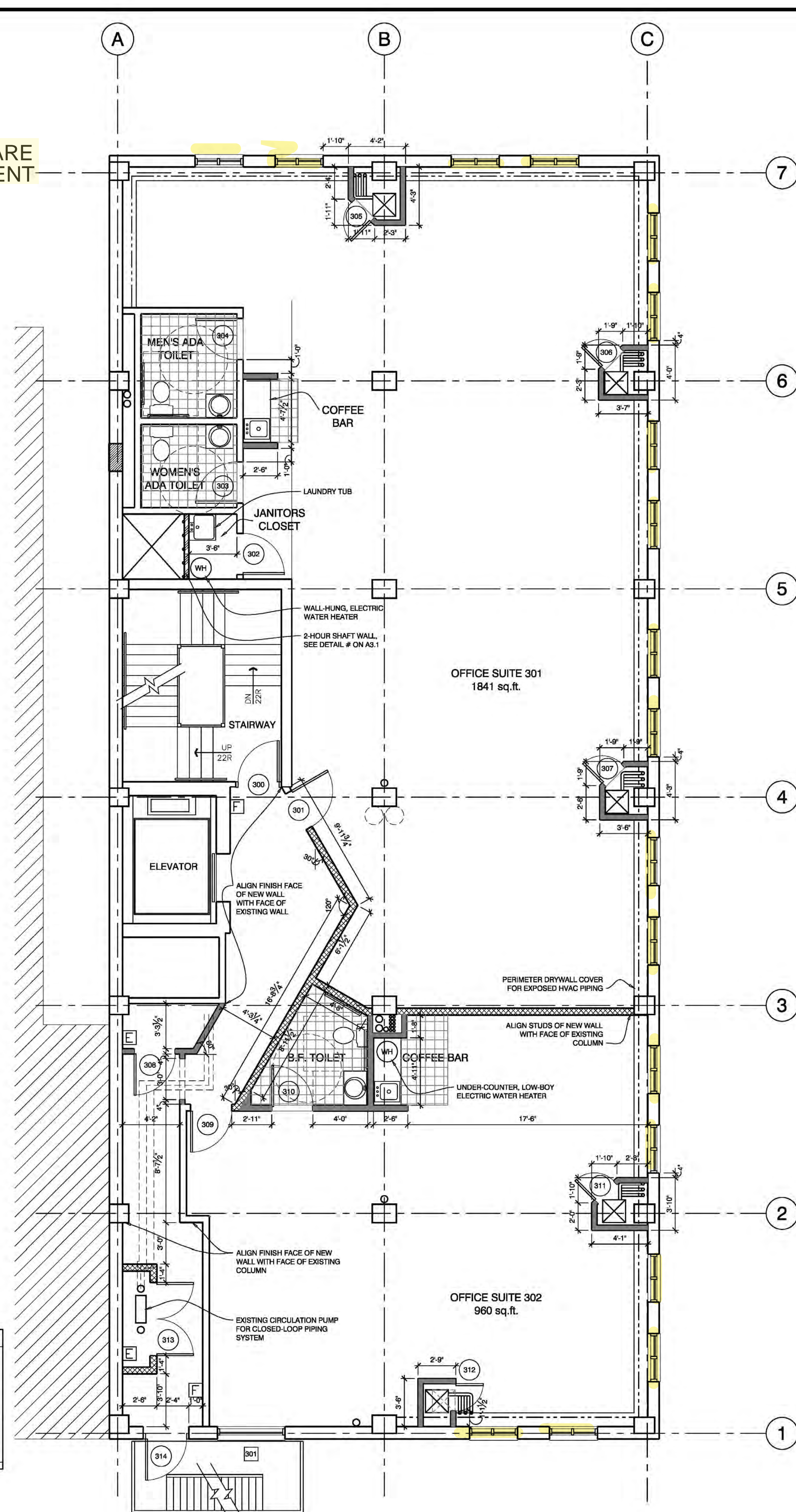
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND

[Symbol]	3-5/8" METAL STUD HALF-WALL.
[Symbol]	3-5/8" METAL STUD WALL w/ 1/2" DRYWALL ON EACH FACE, TO CONC. CEILING
[Symbol]	1-HOUR RATED CORRIDOR AND TENANT SEPERATION WALL- SEE DESIGN NO. U411 ON SHEET A3.1
[Symbol]	2-HOUR RATED SHAFT-WALL SEE DESIGN NO. U415 - SYSTEM B ON SHEET A3.1

NOTES:

- 1.) DIMENSIONS TO OUTER/EXISTING WALLS ARE TO CURRENT CONDITIONS, NOT PROPOSED FINISHED CONDITIONS.
- 2.) FOR WALL THICKNESSES SEE SHEET A3.1
- 3.) FOR DOOR SIZES SEE SHEET A5.1



**PROPOSED
THIRD FLOOR PLAN**
1
A1.1 1/4" = 1'-0"

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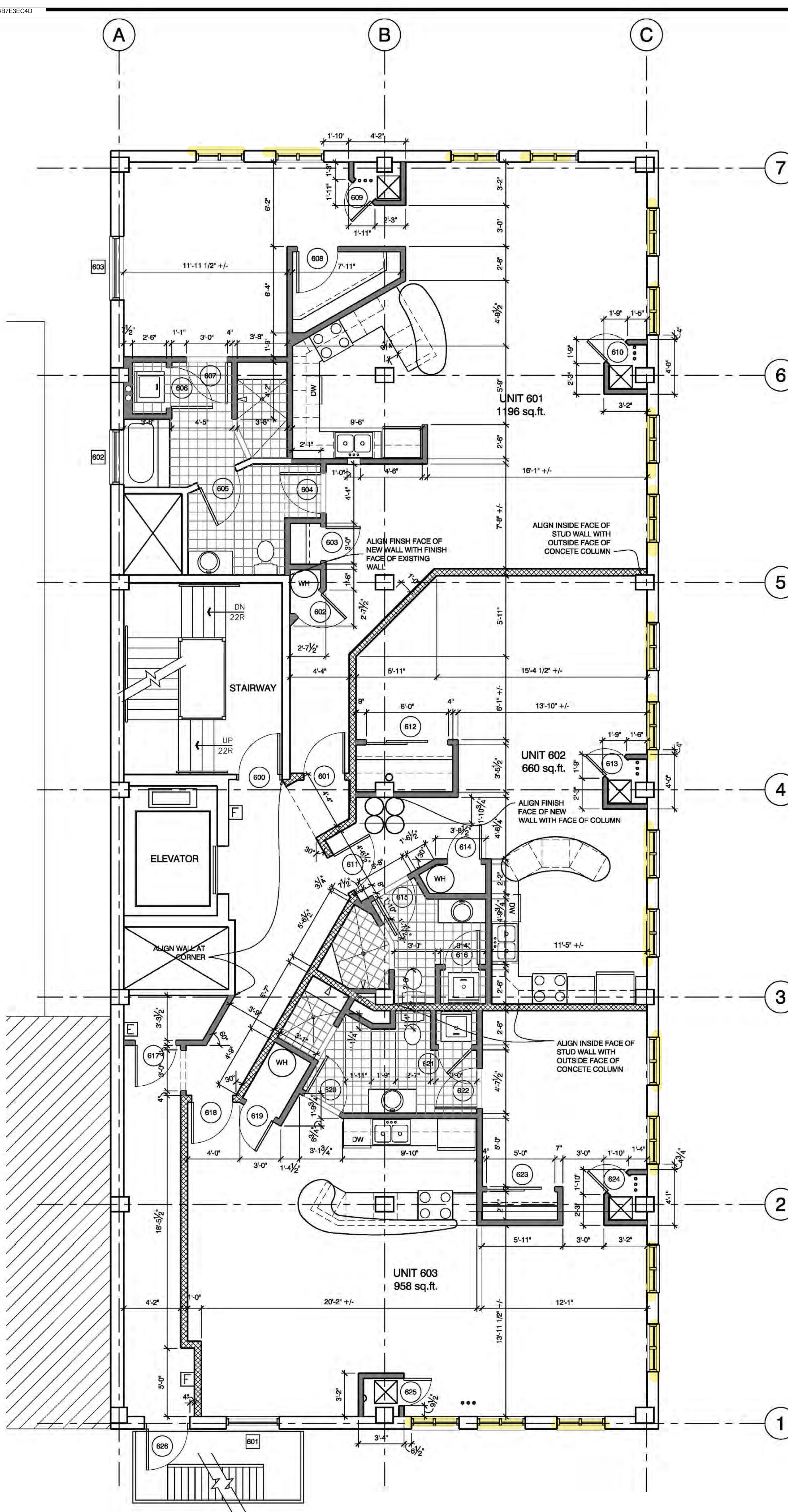
SHEET DESCRIPTION:
PROPOSED FIFTH AND SIXTH
FLOOR PLANS

DRAWN: JTF/DMA CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. SHEET NO.
1269 A1.2



PROPOSED
SIXTH FLOOR PLAN
A1.2 1/4" = 1'-0"

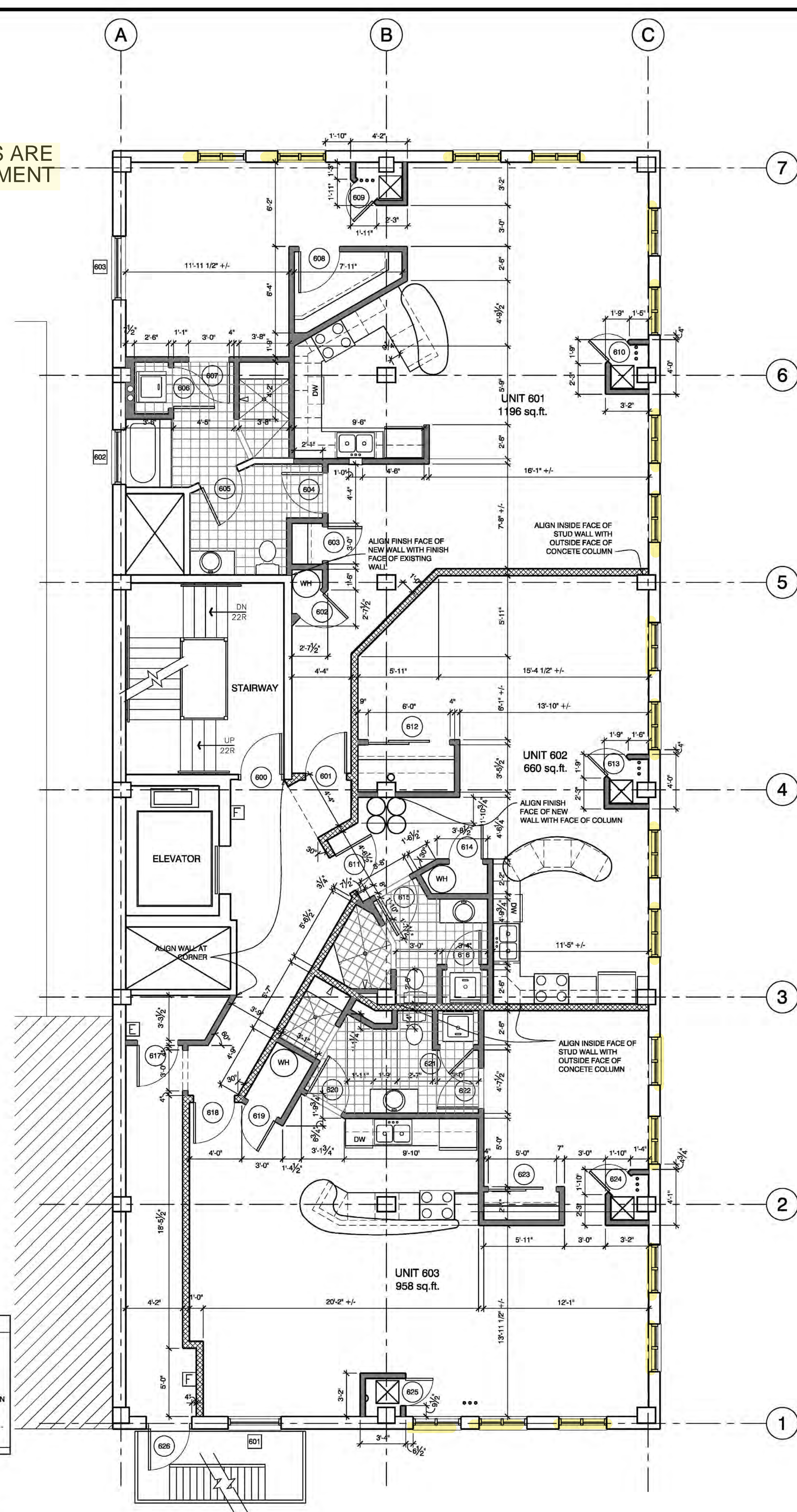
HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND	
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PROPOSED
FIFTH FLOOR PLAN
A1.1 1/4" = 1'-0"

REV.	DESCRIPTION	DATE
1	BIDS	5.12.0
2	OWNER REVIEW	6.27.0
3	PERMIT	1.5.0

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SHEET DESCRIPTION:
PROPOSED SEVENTH AND
EIGHTH FLOOR PLANS

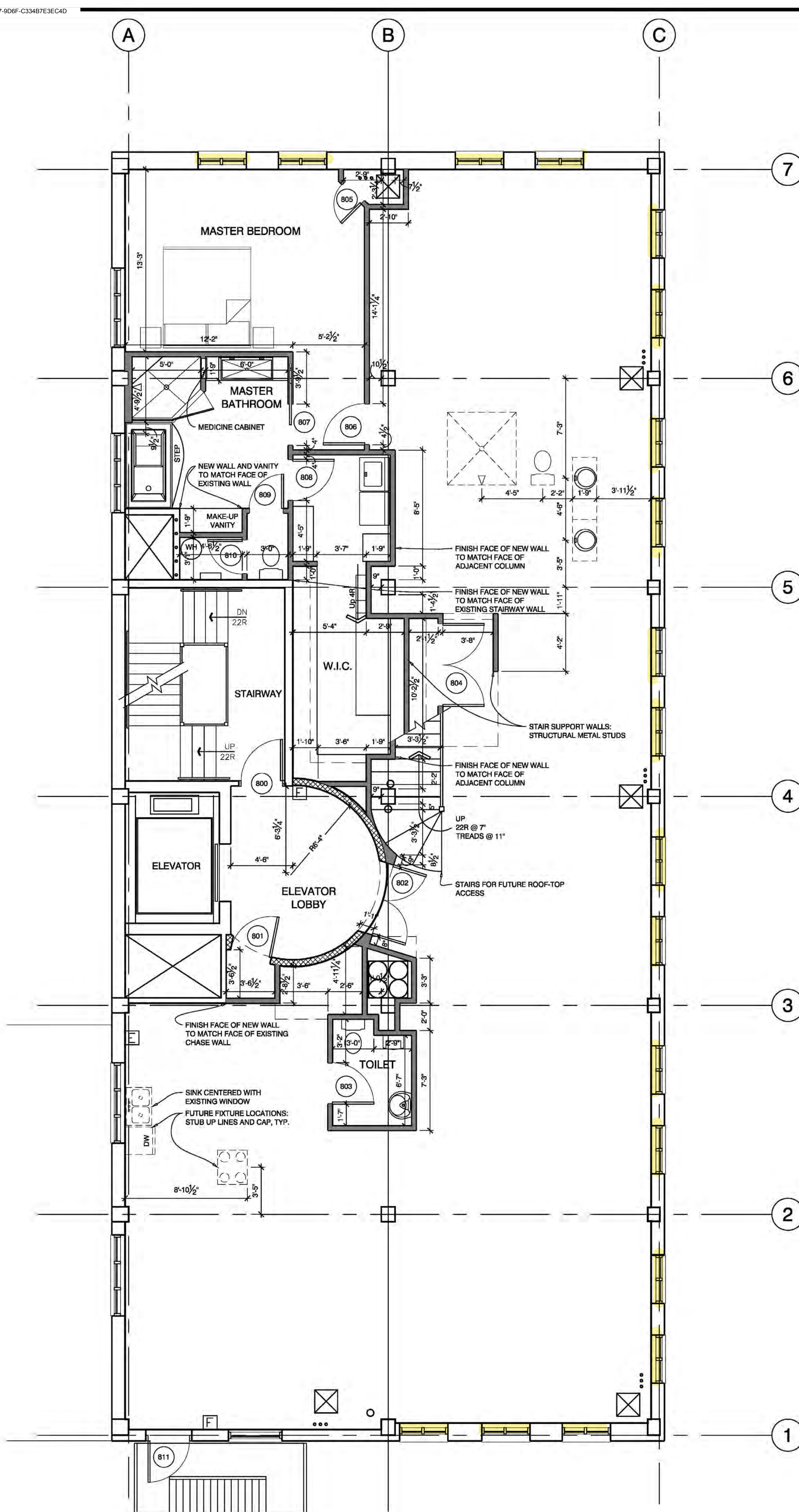
DRAWN: JTE/DMA	CHECKED: SCF
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SCALE: $1/4" = 1'-0"$

DATE: 5 JANUARY 2007

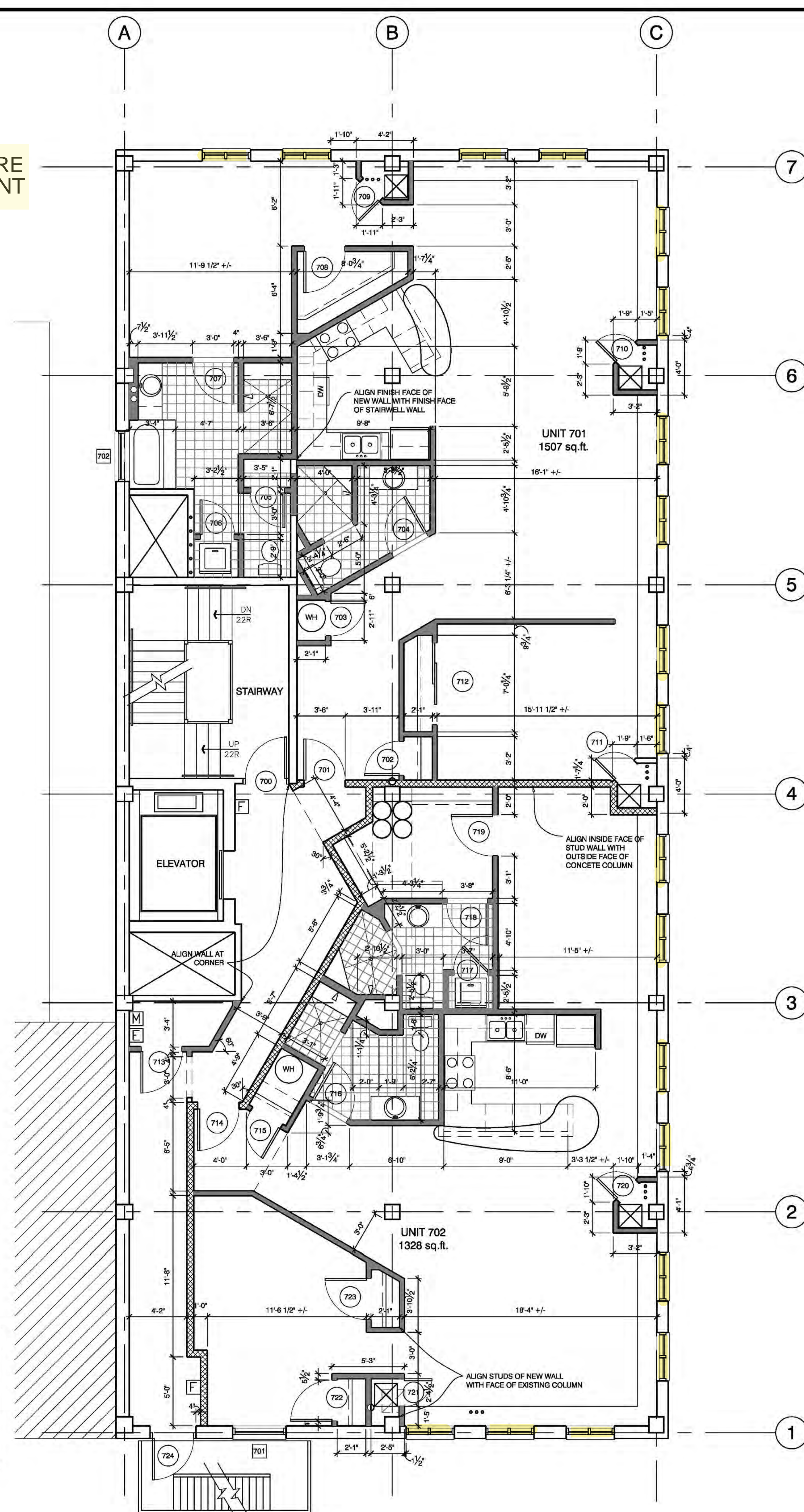
JOB NO	SHEET NO

1269	A1.3
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**PROPOSED
EIGHTH FLOOR PLAN**
1/4" = 1'-0"

HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT







PROPOSED
SEVENTH FLOOR PLAN
1/4" = 1'-0"

LEGEND

- F** FIRE PULL/ALARM
- E** ELECTRICAL PANE
- M** ELECTRICAL METE

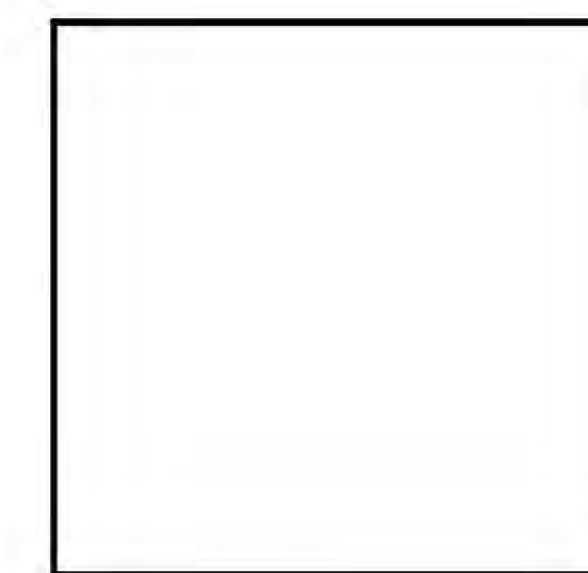
WALL LEGEND

- | | |
|---|---|
|  | 3-5/8" METAL STUD HALF-WALL. |
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2	OWNER REVIEW	6.27.06
3	PERMIT	1.5.07



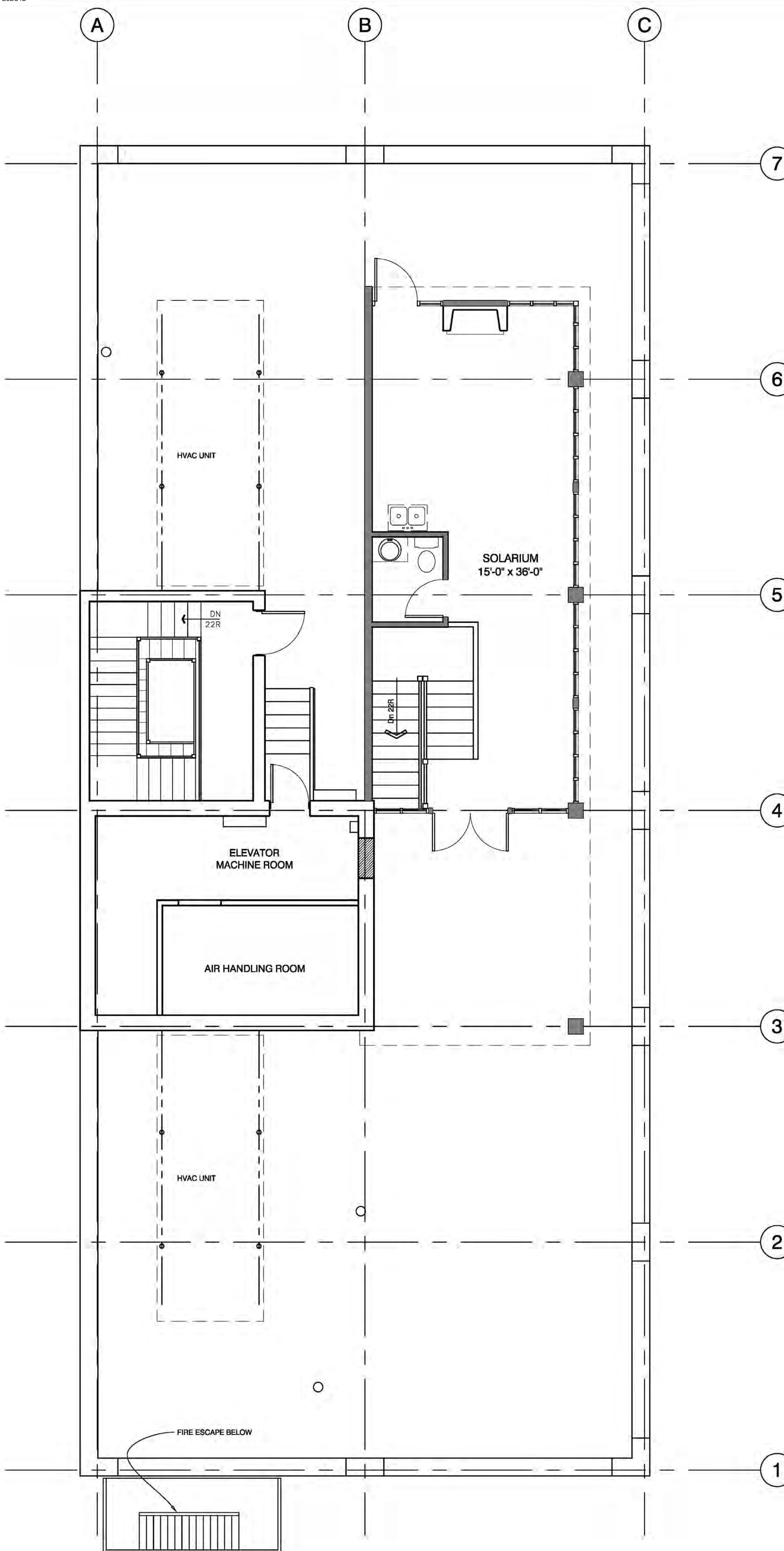
SHEET DESCRIPTION:
EXISTING SEVENTH AND
EIGHTH FLOOR PLANS

DRAWN: JTF/DMA
CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. 1269
SHEET NO. A1.4



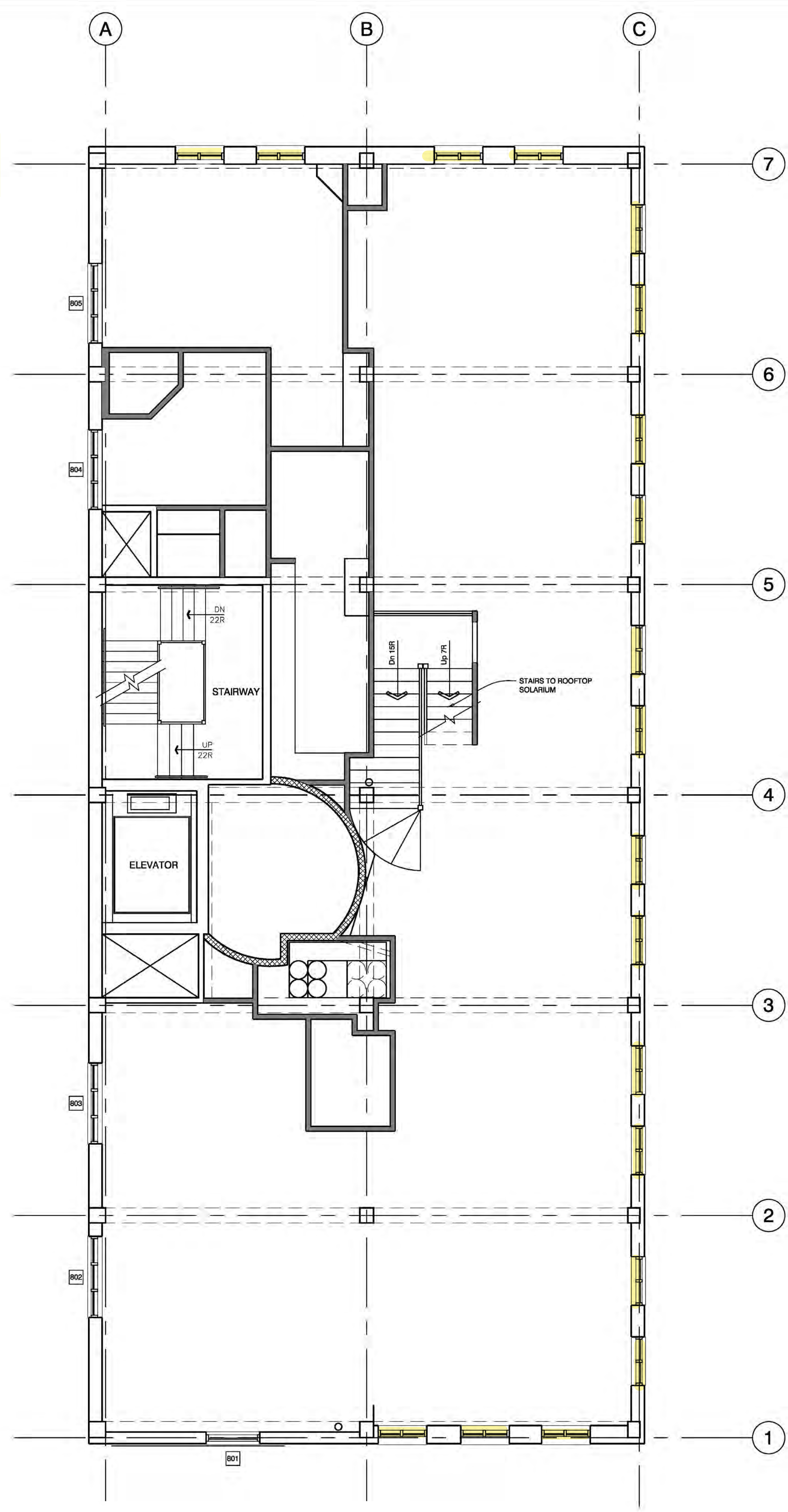
2
A1.4
PROPOSED
ROOF PLAN
1/4" = 1'-0"

7 HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND	
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- NOTES:
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WALLS ARE TO CURRENT CONDITIONS.
NOT PROPOSED FINISHED CONDITIONS.
 - 2.) FOR WALL THICKNESSES SEE SHEET A3.1
 - 3.) FOR DOOR SIZES SEE SHEET A5.1



1
A1.4
PROPOSED EIGHTH
FLOOR MEZZANINE PLAN
1/4" = 1'-0"

Iodent building photographs



North East Corner Park Ave. and W. Montcalm St.

Iodent building photographs



South view of building at alley

Iodent building photographs



Exterior close up view of existing windows

Iodent building photographs



Interior view of existing window closed position

Iodent building photographs



Interior view of existing window open position

Iodent building photographs



Window frame wood sill and exterior stone wall



Close up view of window frame sill

Iodent building photographs



Window frame head and transom above

Iodent building photographs



View of existing widow jamb and sash

Iodent building photographs



View of existing window jamb and sash

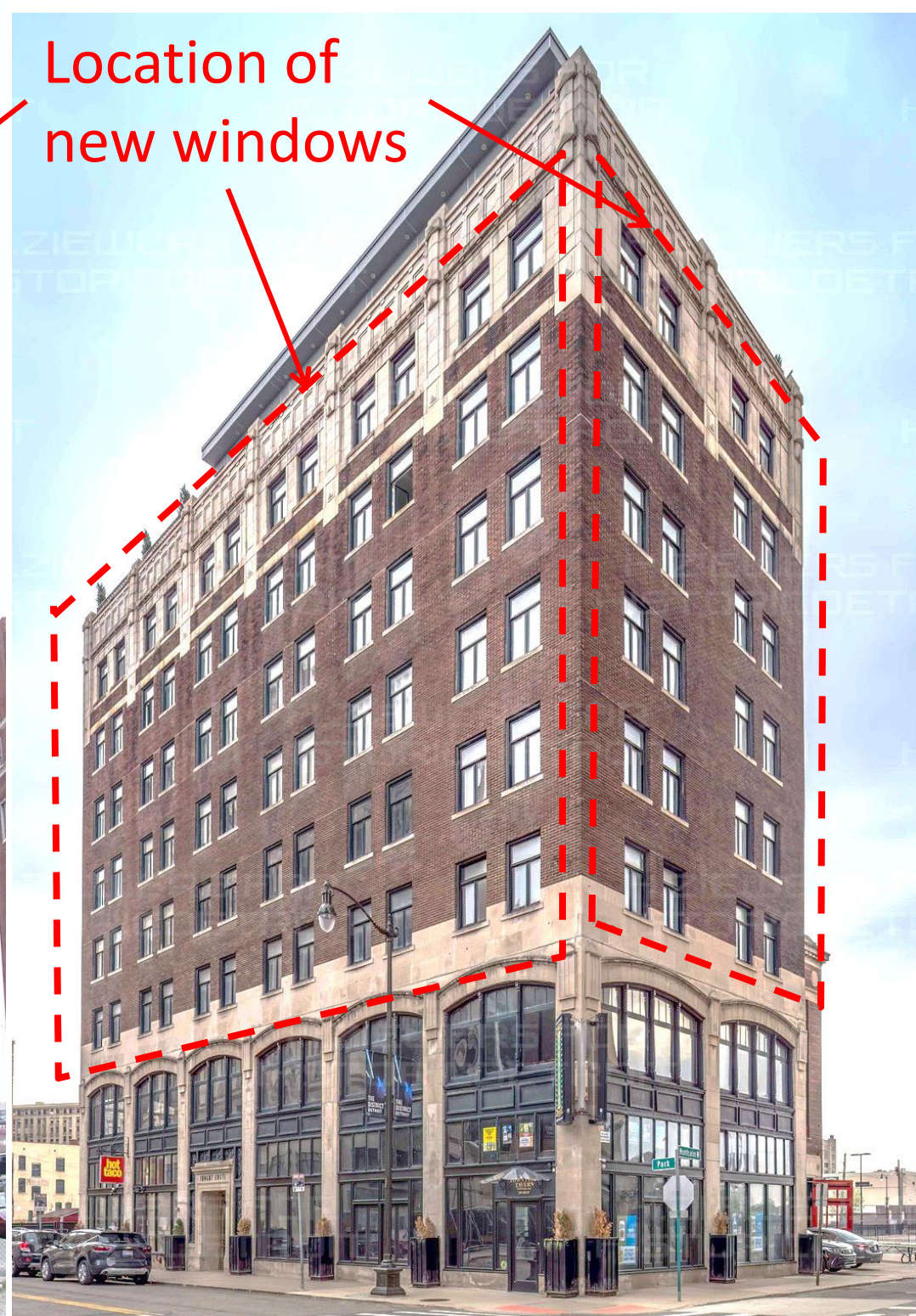
Iodent building photographs



View of existing window sash



SOUTH ELEVATION

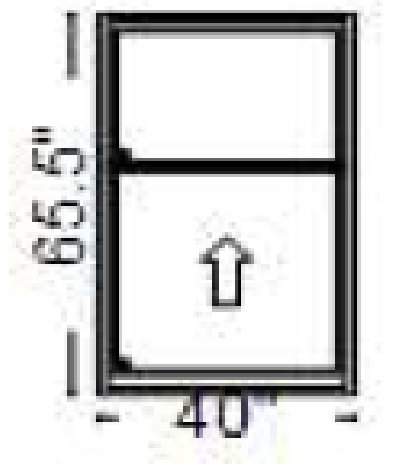


EAST AND NORTH ELEVATION

2233 Park Avenue
Iodent Building
Park Ave. Historic District 4/15/2025

Scope of Work

- Remove windows in 112 openings on floors three thru eight, on the north, east and south facades.
- Install new single hung windows
- Repair or replace wood bucks at the sill, jamb and head.
- Insulated and caulk perimeter.
- Install aluminum trim to cover perimeter wood buck.
- Replace wood sill with marble sill.



Viewed From Exterior

Pella Reserve, Traditional
Cottage Style Single Hung Window
Exterior aluminum clad black
Interior painted white

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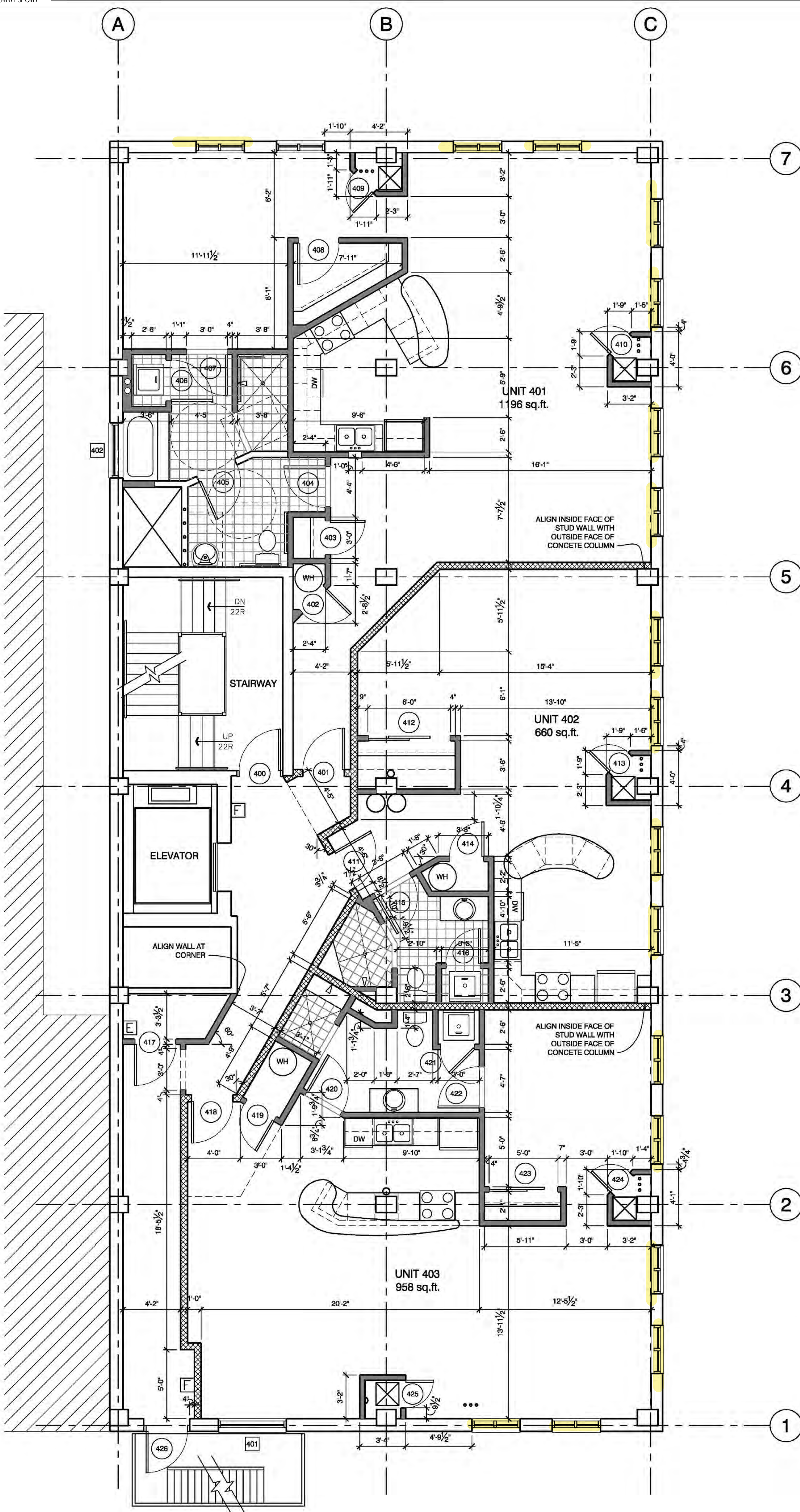
SHEET DESCRIPTION:
 PROPOSED THIRD AND
 FOURTH FLOOR PLANS

DRAWN: JTF/DMA	CHECKED: SCF
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DATE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

B NO	SHEET NO
269	A1.1

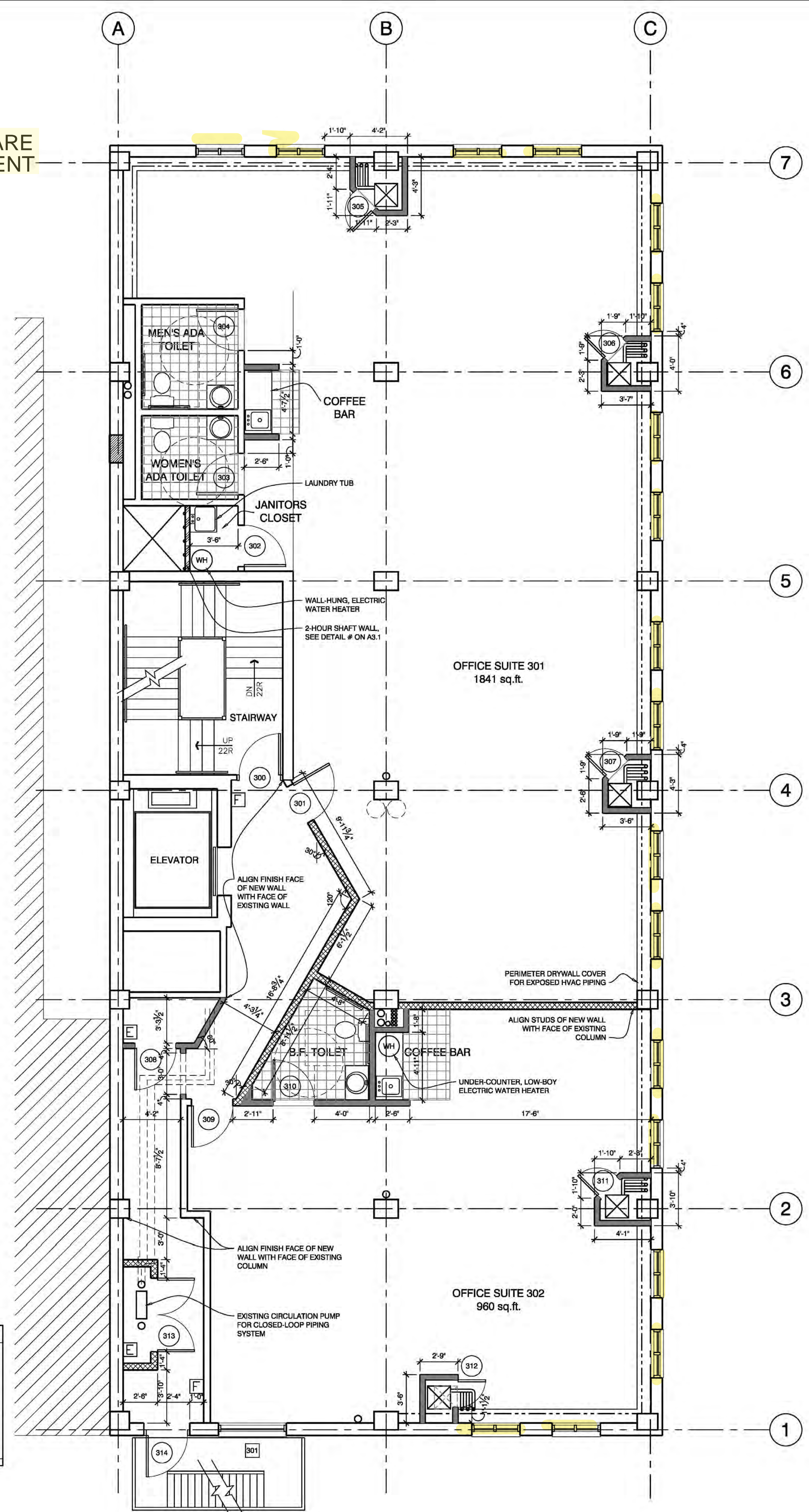


**PROPOSED
FOURTH FLOOR PLAN**
1/4" = 1'-0"

HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT-

NOTES:

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3.) FOR DOOR SIZES SEE SHEET A5.1



PROPOSED THIRD FLOOR PLAN

1
A1.1

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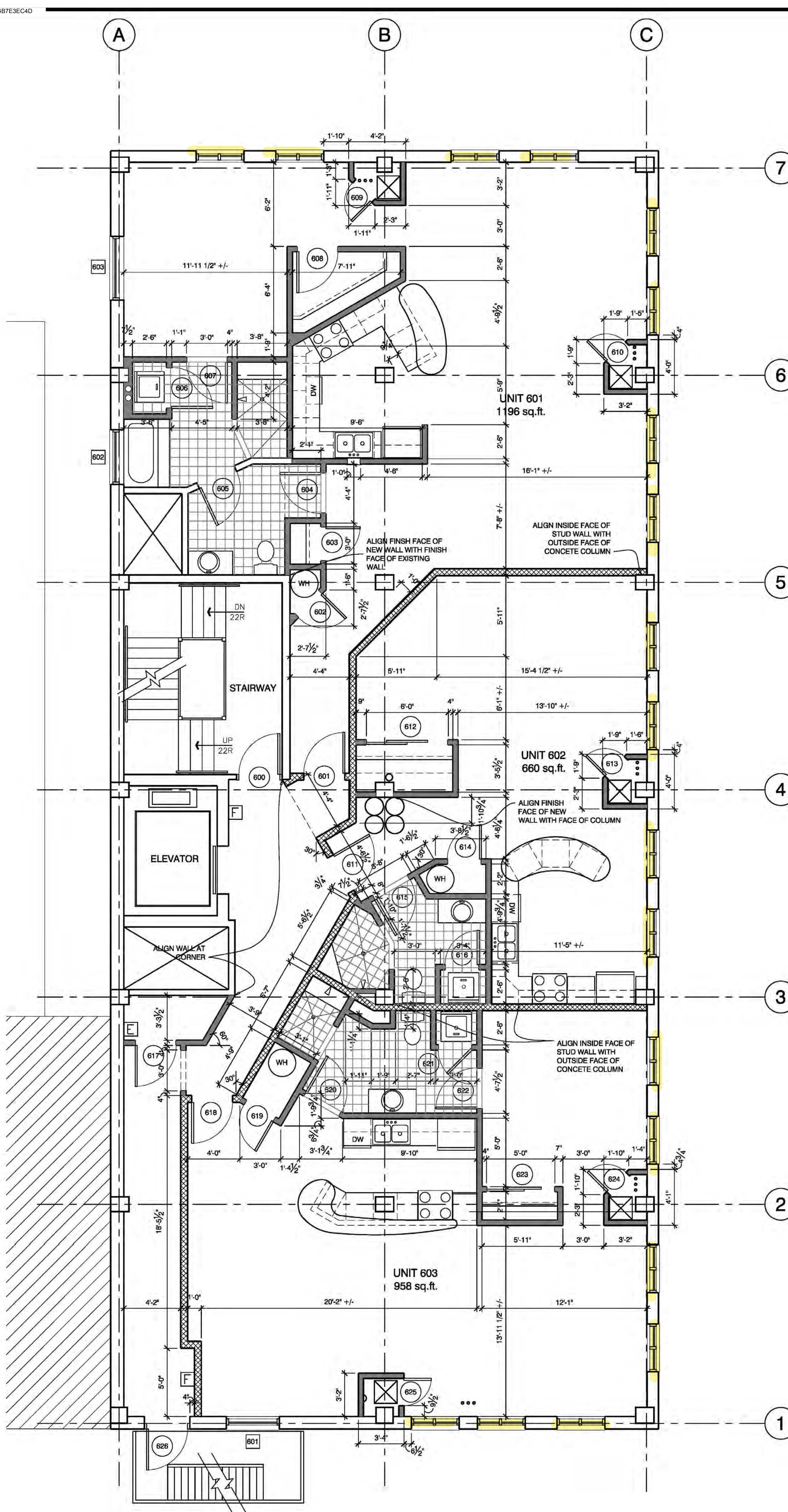
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PROPOSED FIFTH AND SIXTH
FLOOR PLANS

DRAWN: JTF/DMA CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. SHEET NO.
1269 A1.2



PROPOSED
SIXTH FLOOR PLAN
A1.2 1/4" = 1'-0"

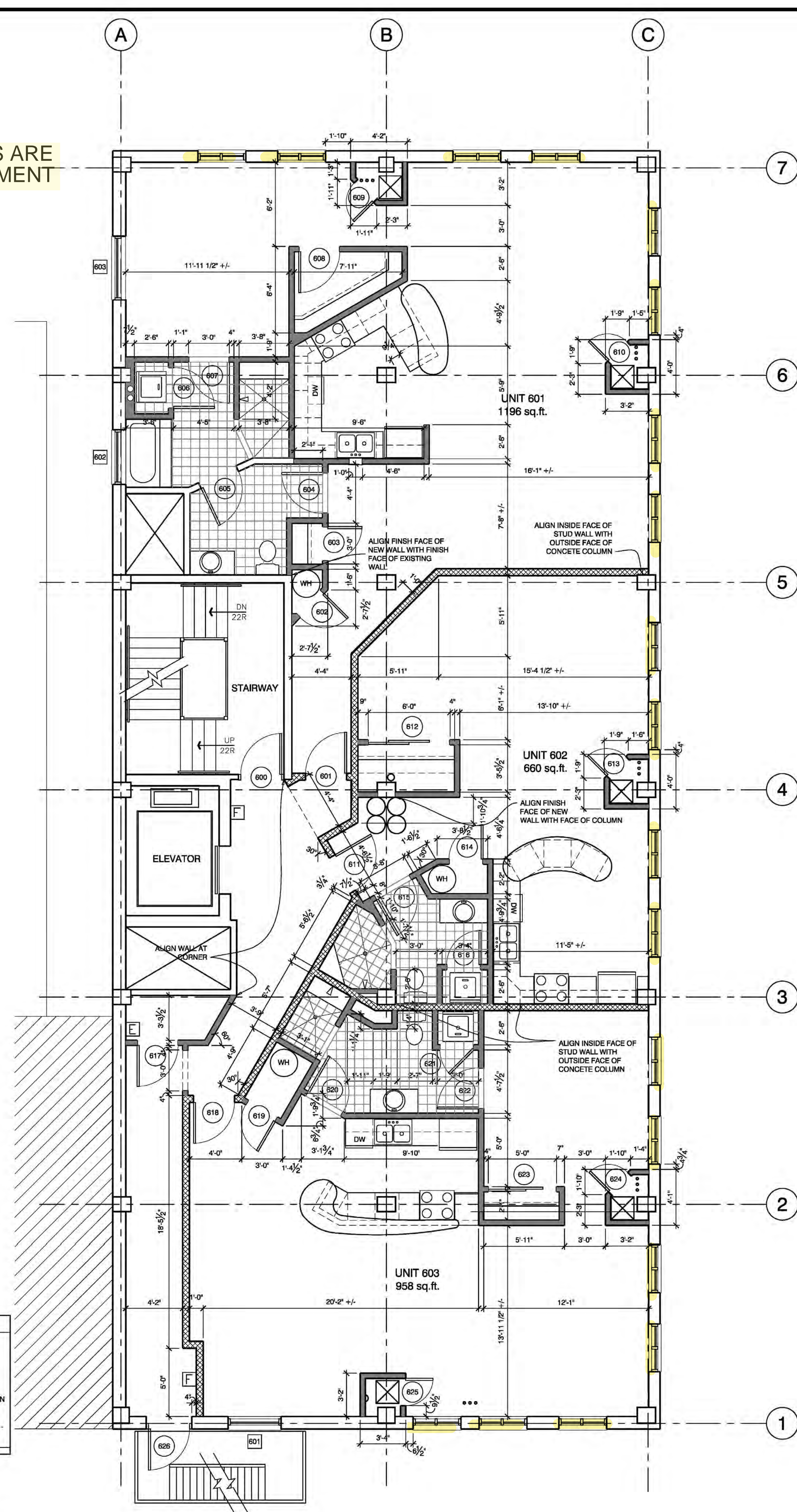
HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

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FIFTH FLOOR PLAN
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3	PERMIT	1.5.0

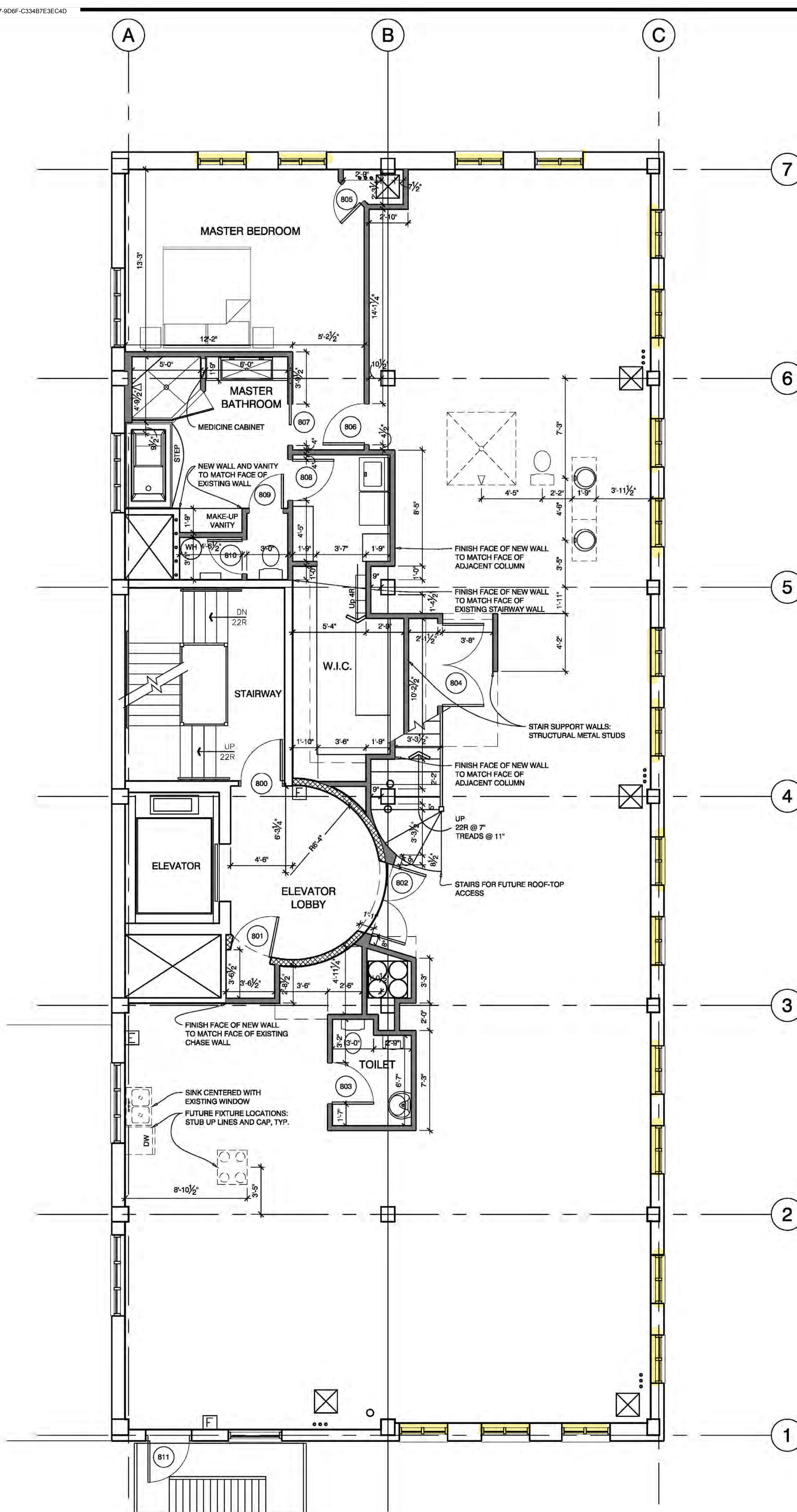
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SHEET DESCRIPTION:
PROPOSED SEVENTH AND
EIGHTH FLOOR PLANS

DRAWN: JTF/DMA	CHECKED: SCF
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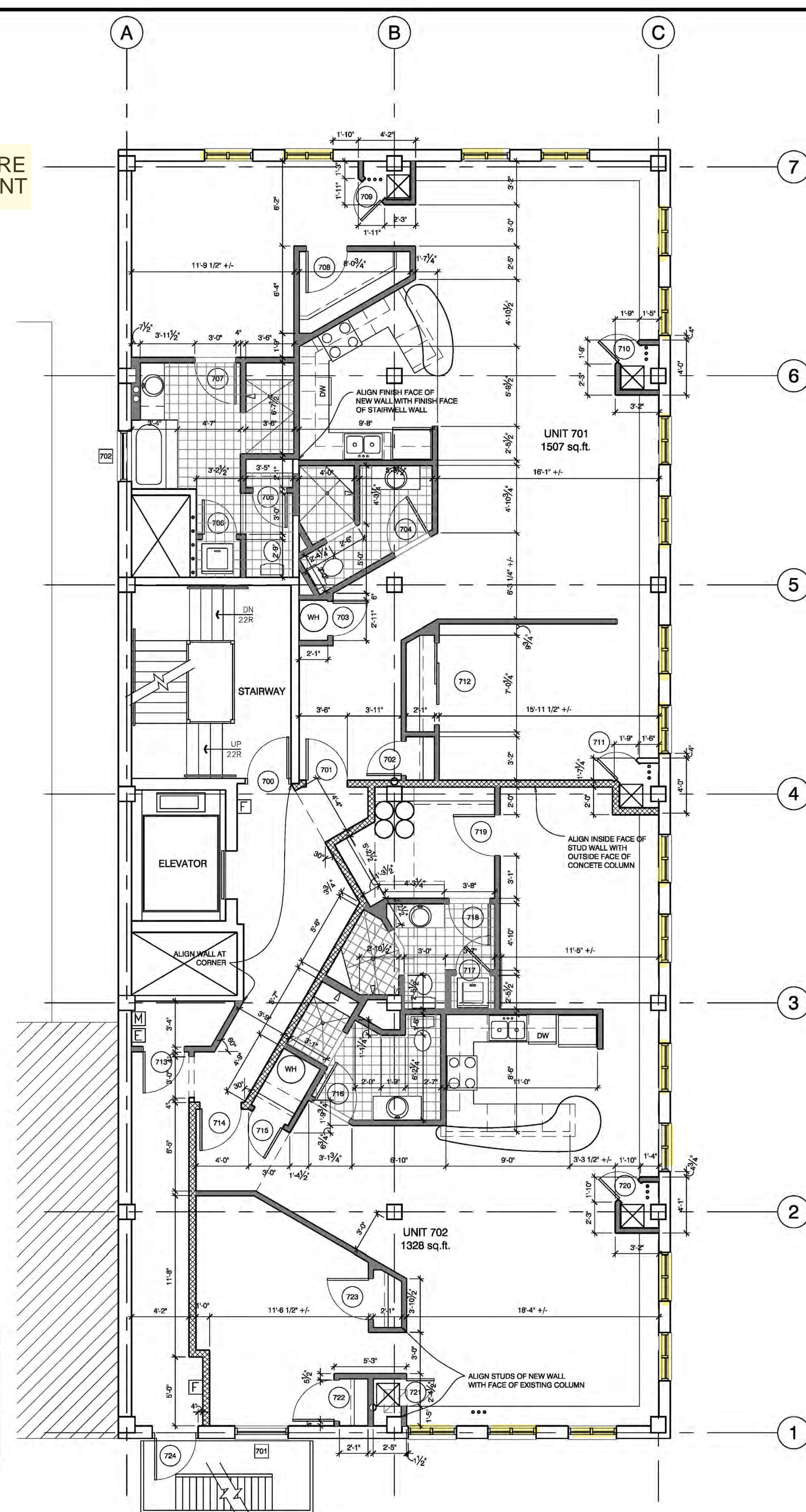
DATE: 5 JANUARY 2007

JOB NO	SHEET NO
1269	A1.3



**PROPOSED
EIGHTH FLOOR PLAN**
1/4" = 1'-0"

HIGHLIGHTED WINDOWS ARE
LOCATION OF REPLACEMENT







PROPOSED
SEVENTH FLOOR PLAN

LEGEND

- | | |
|----------|------------------|
| F | FIRE PULL/ALARM |
| E | ELECTRICAL PANEL |
| M | ELECTRICAL METER |

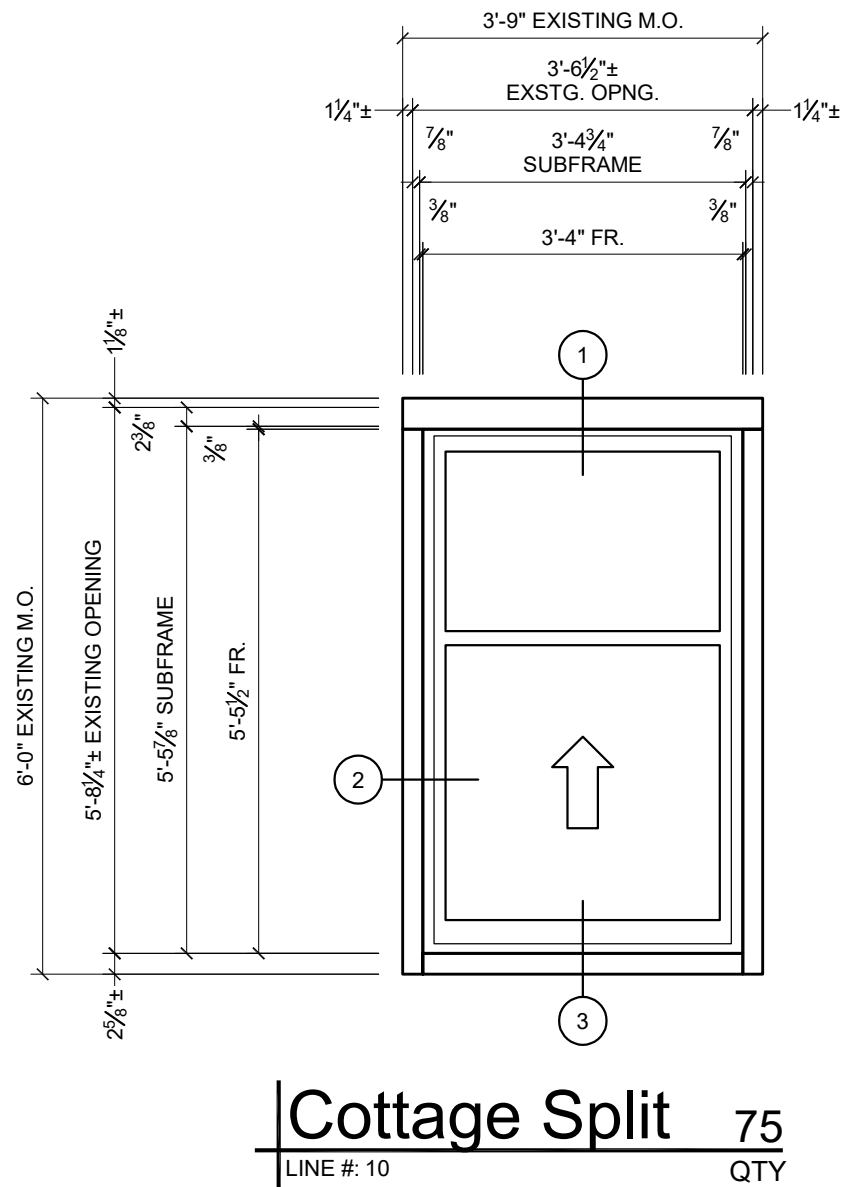
WALL LEGEND

- | | |
|---|---|
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PRELIMINARY DRAWING FOR
IODENT BUILDING
RENOVATION
DETROIT, MICHIGAN



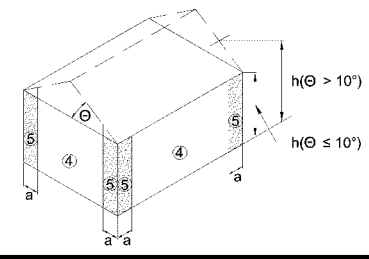
PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Components & Cladding Design Pressures

DESIGN PRESSURE PER CODE: ASCE 7-10

Mean Roof Height (ft):	94
Building Classification/Risk Category:	II
Ultimate Design Wind Speed (MPH):	115
Allowable Design Wind Speed (MPH):	89
Exposure Category:	B
Topographical Factor (K _z):	1
Project Elevation (ft):	0
Ground Elevation Factor (K _g):	1.00

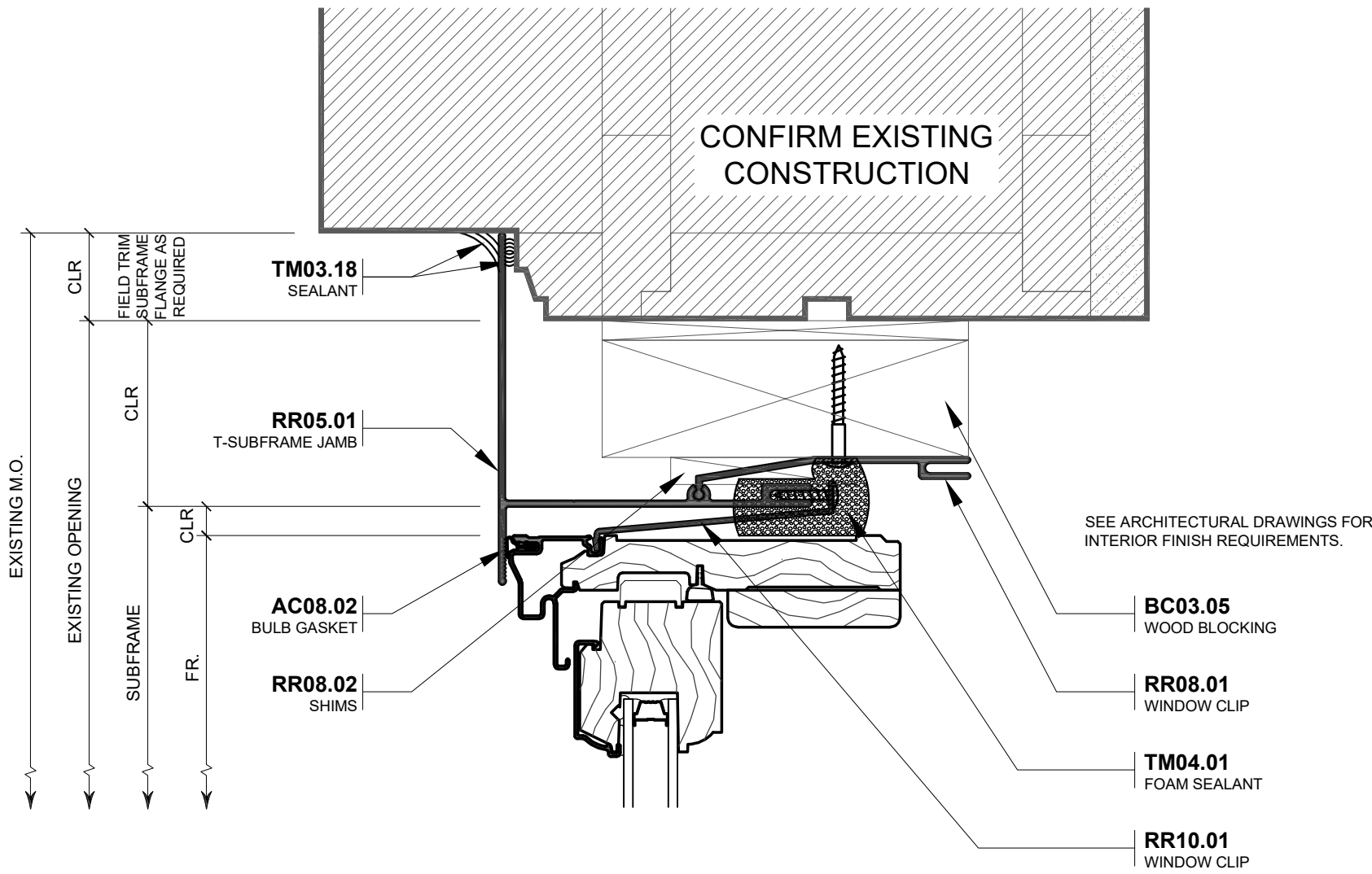
Building Length (ft):	106
Building Width (ft):	80
Edge Strip "a" (ft):	8



	Components and Cladding Design Pressures (PSF)							
	Ultimate				Allowable (ASD)			
	Zone 4		Zone 5		Zone 4		Zone 5	
	Pos	Neg	Pos	Neg	Pos	Neg	Pos	Neg
10	+30.1	-30.1	+30.1	-55.4	+18.1	-18.1	+18.1	-33.2
20	+30.1	-30.1	+30.1	-55.4	+18.1	-18.1	+18.1	-33.2
50	+27.8	-28.6	+27.8	-49.0	+16.7	-17.2	+16.7	-29.4
100	+26.0	-27.4	+26.0	-44.1	+15.6	-16.4	+15.6	-26.5
200	+24.2	-26.2	+24.2	-39.3	+14.5	-15.7	+14.5	-23.6

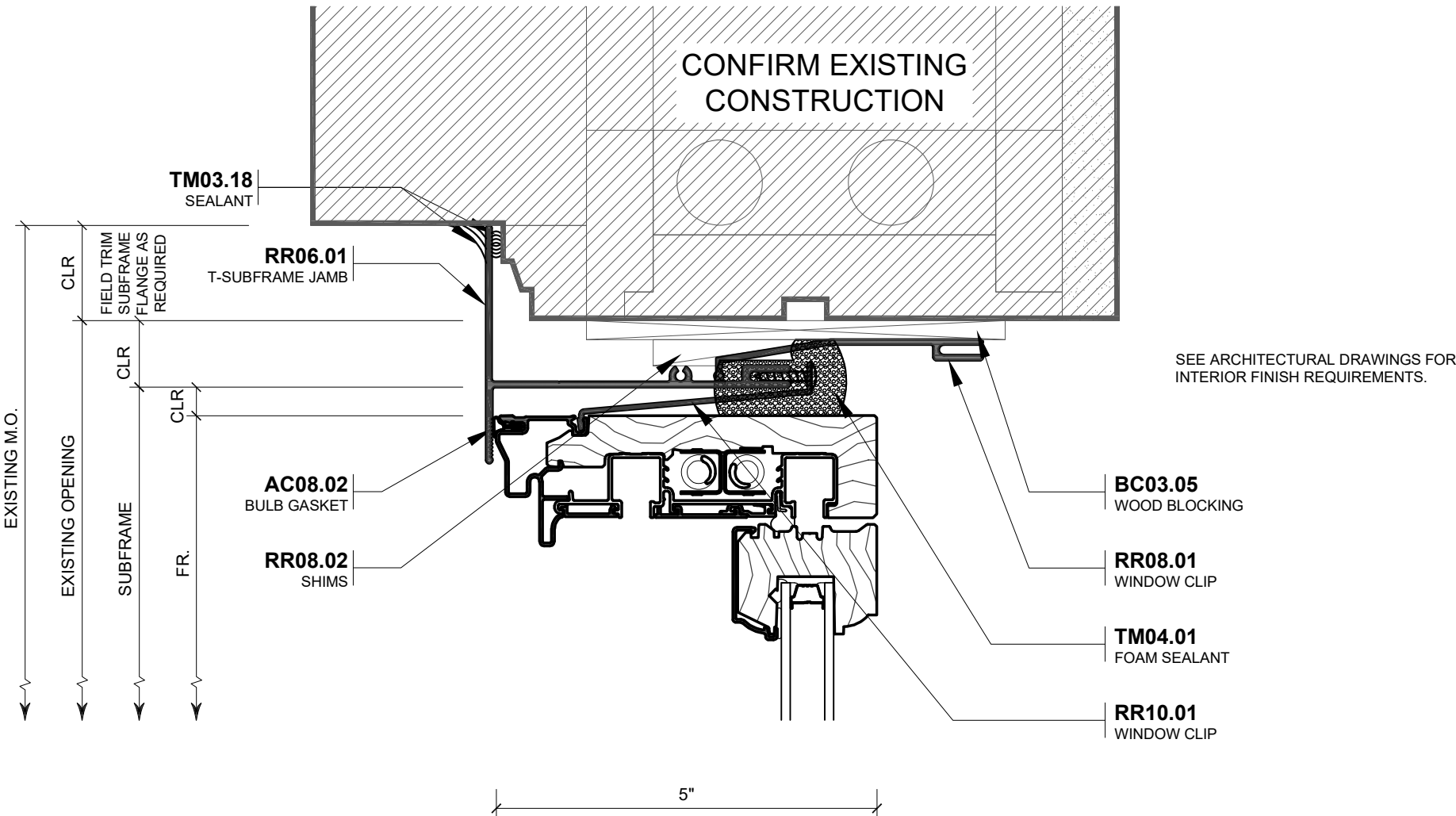
The proposed windows and doors comply with the design pressures shown unless noted otherwise. Allowable Stress Design (ASD) pressures were obtained by multiplying the Ultimate design pressures (Ult.) by 0.6 per IBC section 1609. ASD pressures align with WDMA/AAMA standards and the NAFS performance rating system. Please confirm these design pressures with the structural engineer or building official.

FAILURE TO CONFIRM THESE DESIGN PRESSURES BY A LOCAL STRUCTURAL ENGINEER OR BUILDING OFFICIAL MAY RESULT IN INADEQUATE MULLION DESIGN OR SELECTION OF PRODUCTS.



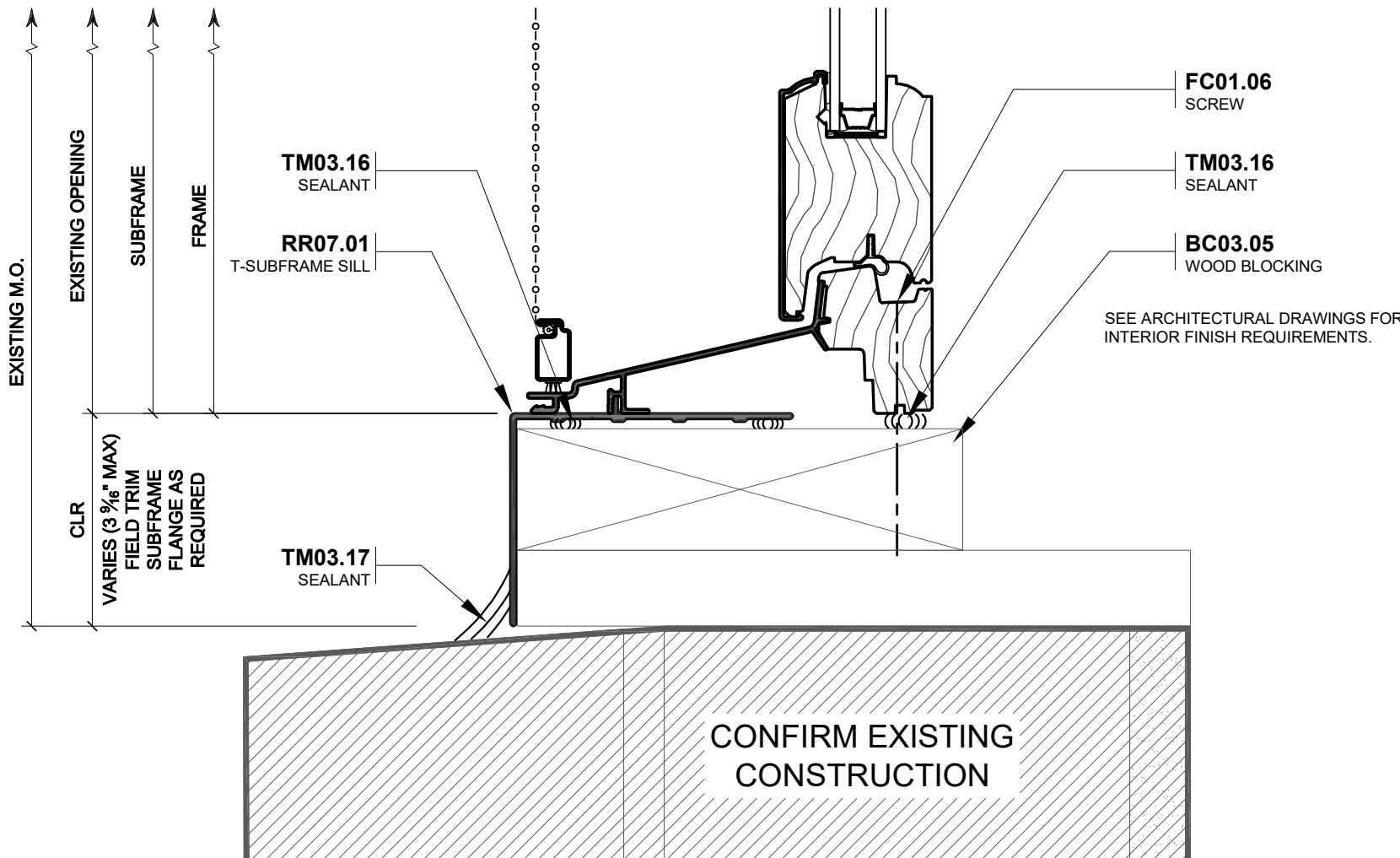
1 HEAD

REF. ARCH. DWG.: -



2 JAMB

REF. ARCH. DWG.: -



3 SILL

REF. ARCH. DWG.: -

DETAIL KEYNOTES

AC : ATTACHMENT COMPONENTS

AC08.02 VINYL RECEPTOR GASKET. INSTALL INTO ACCESSORY GROOVE AS NOTED PRIOR TO INSTALLING UNIT. NOTCH BARB TO CONTINUE BULB GASKET OVER MULLION ENDS.

BC : BUILDING COMPONENTS (BY OTHERS)

BC03.05 CONTINUOUS WOOD BLOCKING. SEAL AND ANCHOR SECURELY TO WALL CONSTRUCTION.

FC : FASTENING COMPONENTS

FC01.06 ANCHOR UNIT TO OPENING WITHIN 4" OF ENDS AND 16" ON CENTER (MAXIMUM) WITH #8 X 3" WOOD SCREWS OR SIMILAR SUBSTRATE COMPATIBLE ANCHOR.

RR : RENOVATION AND REPLACEMENT ACCESSORIES

RR05.01 ALUMINUM T-SUBFRAME SYSTEM. HEAD. REFER TO PELLA SUBFRAME INSTALLATION INSTRUCTIONS FOR ASSEMBLY AND INSTALLATION REQUIREMENTS.

RR06.01 ALUMINUM T-SUBFRAME SYSTEM JAMB. REFER TO PELLA SUBFRAME INSTALLATION INSTRUCTIONS FOR ASSEMBLY AND INSTALLATION REQUIREMENTS.

RR07.01 ALUMINUM T-SUBFRAME SYSTEM SILL. REFER TO PELLA SUBFRAME INSTALLATION INSTRUCTIONS FOR ASSEMBLY AND INSTALLATION REQUIREMENTS.

RR08.01 SUBFRAME CLIP. SEE TYPICAL DETAIL CC1. ANCHOR TO OPENING WITH:

TREATED WOOD OR EXISTING WOOD WINDOW: #8 X 1-1/2" STAINLESS STEEL PAN HEAD SCREW.

CONCRETE, BLOCK/BRICK: 3/16" X 1-3/4" STAINLESS STEEL HEX WASHER HEAD MASONRY SCREW.

STEEL STUD: #8 X 1-1/2" STAINLESS STEEL SELF-DRILLING PAN HEAD SCREW.

RR08.02 "CAUTION!" SHIM CLIP AS REQUIRED. TO MAINTAIN 5/8" DIM. BETWEEN SUBFRAME AND OPENING.

RR10.01 WINDOW CLIP. SEE TYPICAL DETAIL CC1. USE #8 X 5/8" STAINLESS STEEL SCREW. AVOID INTERFERENCE WITH SUBFRAME CLIP.

TM : THERMAL AND MOISTURE PROTECTION

TM03.16 CONTINUOUS SEALANT. ENSURE FIELD APPLIED PERIMETER SEALANT CONNECTS WITH SEALANT ENDS.

TM03.17 CONTINUOUS SEALANT. PROVIDE WEEPS AS REQUIRED.

TM03.18 CONTINUOUS SEALANT.

TM04.01 APPLY CONTINUOUS 1" BEAD OF LOW EXPANSION, POLYURETHANE, INSULATING FOAM SEALANT MEETING THE REQUIREMENTS OF AAMA812 - DO NOT USE HIGH PRESSURE OR LATEX FOAMS TO CREATE FULL INTERIOR SEAL.

Architectural
Solutions



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PRELIMINARY DRAWING FOR
IODENT BUILDING RENOVATION
LOCATION: DETROIT, MICHIGAN
ARCHITECT: STEVEN C. FLUM, INC.

ORIGINAL: 3-17-2025

DRAWN BY: BMB

CHECKED BY: RCH

Project No.:

223688.01

SHEET:
01 OF 01



PELLA® RESERVE™ – TRADITIONAL Wood Double-Hung Window

3.78 ★★★★★☆ [357 Reviews](#)

Create the traditional look your historic renovation, new construction or replacement project requires with a traditional wood or aluminum-clad wood double-hung window. This Pella Reserve window proves our uncompromised attention to detail with historic putty profiles, through-stile construction, innovative grilles and authentic spoon-lock hardware.

- Winner of 2019 Most Innovative Window from Window and Door Magazine with optional Integrated Rolscreen® retractable screen that appears when you open the window and rolls away when you close it.
- Pella Reserve products have been reviewed and approved on a case-by-case basis by the National Park Service for use on projects with historic tax credits.
- Innovative sash lugs can be added to the exterior to create the authentic look, while maintaining modern tilting functionality for easy cleaning.



Pella® Reserve™ Traditional Hung Window

Size and Performance Data

Air/Water/Structural Performance ₁	
Meets or Exceeds AAMA / WDMA Ratings	H-CW30 - CW50 Hallmark Certified
Air Infiltration (cfm / ft² of frame @ 1.57 psf wind pressure) ₂	0.11
Water Resistance	4.6 – 7.5 psf
Design Pressure	30 – 50 psf
Other Performance Criteria	
Forced Entry Resistance Level (Minimum Security Grade) ₃	10
Operating Force (lb) Initiate Motion / Maintain Motion (of Hallmark tested size and glazing) ₄	40/45

Sound Transmission Class / Outdoor-Indoor Transmission Class

Product	Frame Size Tested ₅	Glazing System				STC Rating	OITC Rating
		Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
Clad Double-Hung Window	WITHOUT GRILLES						
	45" x 65"	11/16"	2.5mm	2.5mm	—	28	24
	45" x 65"	11/16"	5mm	3mm	—	31	27
Wood Double-Hung Window	WITHOUT GRILLES						
	45" x 65"	11/16"	2.5mm	2.5mm	—	26	22
	45" x 65"	11/16"	3mm	3mm	—	29	24

(—) = Not Available

(1) Maximum performance for single unit when glazed with the appropriate glass thickness. See Design Data pages in this section for specific product performance class and grade values.

(2) Published performance data for air infiltration is determined by testing a minimum of four (4) products of NFRC model size. Testing is conducted in accordance with ASTM E283. Air infiltration ratings for products will differ by size. The performance data does not apply to combination assemblies unless noted. Actual product performance may vary for a number of reasons including installation and product care.

(3) The higher the level, the greater the product's ability to resist forced entry.

(4) Glazing configurations may result in higher operational forces

(5) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.



Pella® Reserve™ Traditional Hung Window

Features and Options

Standard	Options / Upgrades
Glazing	
Glazing Type	
Dual-Pane Insulating Glass	—
Insulated Glass Options/Low-E Types	
Advanced Low-E	SunDefense™ Low-E
	SunDefense+ Low-E
	AdvancedComfort Low-E
	NaturalSun Low-E
	NaturalSun+ Low-E
	Clear (no Low-E coating)
Additional Glass Options	
Annealed Glass	Tempered Glass
	Obscure Glass ₁
	Low-E Tinted Glass (Bronze, Gray and Green)
	Non-Impact Laminated Dual-Pane Insulating Glass
Gas Fill/High Altitude	
Argon	High altitude
Exterior	
Exterior Sash Profile	
Ogee	Putty Glaze
Exterior Finish	
EnduraClad® aluminum-clad exterior	EnduraClad Plus protective finish, Factory Primed Pine wood exterior, Unfinished Mahogany wood exterior
Cladding Colors	
Standard colors ₁	Feature Colors, Custom Colors ₁
Interior	
Unfinished wood	Factory primed
	Factory prefinished paint ₁
	Factory prefinished stain ₁
Wood Types	
Pine	Mahogany, Douglas Fir
Hardware	
Hardware Types	
Sash lifts, Cam-action lock	Simulated lock
	Air conditioner lock
	Historical spoon-style lock (surface mounted)
Hardware Finishes	
Champagne, White, Brown or Matte Black	Satin Brass, Satin Nickel, Oil-Rubbed Bronze, Distressed Bronze, Distressed Nickel ₄
Tilt-Wash Cleaning	
Tilt to interior on both sashes	—
Grilles	
Integral Light Technology® Grilles	
—	Traditional, Prairie, Top Row, Cross, New England, Victorian, Diamond, Custom
Grilles-Between-the-Glass	
—	Traditional, Prairie, Top Row ₁ , Cross, Custom-Equally Divided
Screens	
—	Integrated Rolscreen® - retractable screen, InView™ screens, in standard roll-form or premium extruded aluminum frame

(—) = Not Available

(1) Contact your local Pella sales representative for current designs and color options.

(2) Only available for Pella Reserve products with triple glazing. Not available with high altitude glazing.

(3) Available with Low-E argon-insulated glass only.

































































(4) Antique Brass, Distressed Nickel, Distressed Bronze finishes available for Historical spoon-style lock only.



Pella® Reserve™ Traditional Hung Window

Size Tables - Cottage Sash

VENT UNITS

	(552) (533)	(654) (635)	(756) (737)	(857) (838)	(959) (940)	(1 060) (1 041)	(1 162) (1 143)	(1 238) (1 219)
Opening	1' 9 3/4"	2' 1 3/4"	2' 5 3/4"	2' 9 3/4"	3' 1 3/4"	3' 5 3/4"	3' 9 3/4"	4' 0 3/4"
Frame	1' 9"	2' 1"	2' 5"	2' 9"	3' 1"	3' 5"	3' 9"	4' 0"
(1 060) (1 041)								
(1 213) (1 194)								
(1 365) (1 346)								
(1 467) (1 448)								
(1 518) (1 499)								
(1 670) (1 651)								
(1 822) (1 803)								
(1 822) (1 803)								

Egress Notes:

Check all applicable local codes for emergency egress requirements.

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft².

E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft².

See Design Data pages in this section for clear opening dimensions.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen (or any other accessory) to the product. Consult your local building code to ensure products with Rolcreens meet egress requirements.

Opening Dimensions

Clad Exterior Units:
Dimensions shown in standard size tables are rough opening dimensions.

Wood Exterior Units:
Use frame dimension plus dimensions below. This dimension includes the use of standard 1-1/8" wood subsill.

Frame	Rough		Masonry	
Brickmould	Width	Height	Width	Height
STD	+ 3/4"	+1-7/8"	+ 3-1/8"	+ 3-1/8"
3-1/2"	+ 3/4"	+1-7/8"	+ 6-3/8"	+ 4-3/4"

For clad and wood units with impact-resistant glass, see the product installation instructions or refer to local building code requirements.

Not to scale.

Traditional grille patterns shown. Refer to Grille Types section for additional patterns and profiles.

Cottage units have unequal sash split. Sash glass ratio is 40% upper sash to 60% Lower sash.

Vent variable units have unequal sash split. Sash glass ratio is determined by checkrail heights. See unit sections for dimension requirements.

Iodent building photographs



North East Corner Park Ave. and W. Montcalm St.

Iodent building photographs



South view of building at alley

Iodent building photographs



Exterior close up view of existing windows

Iodent building photographs



Interior view of existing window closed position

Iodent building photographs



Interior view of existing window open position

Iodent building photographs

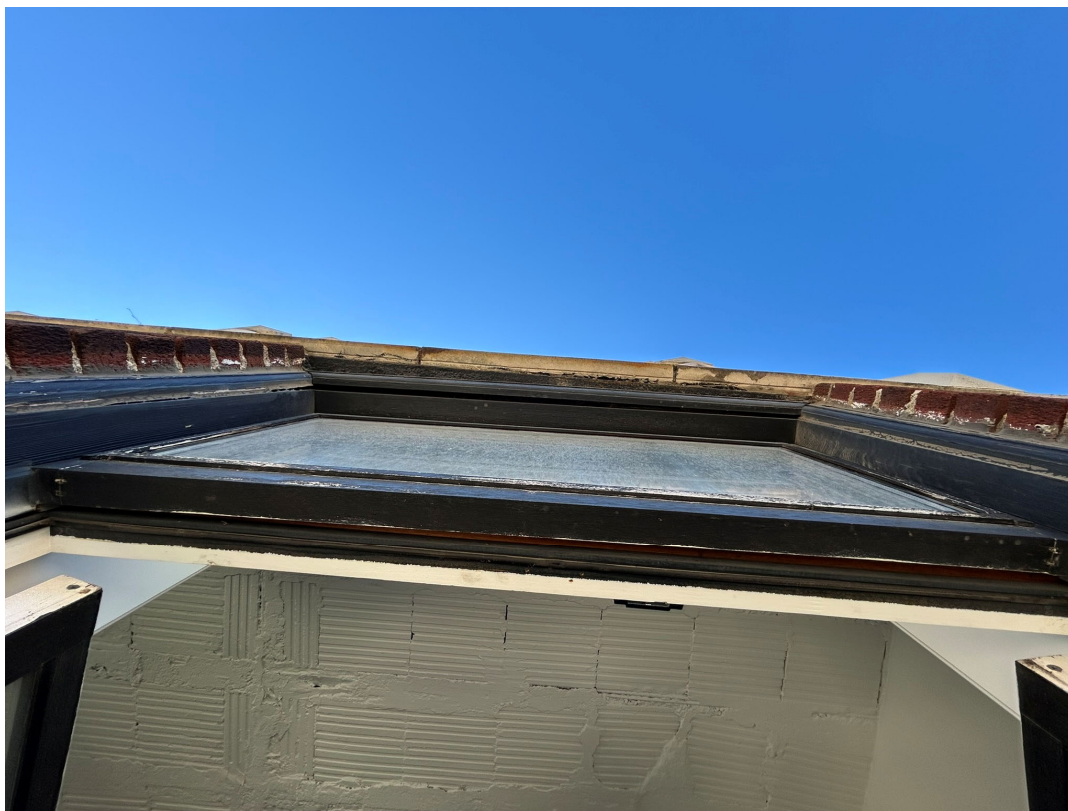


Window frame wood sill and exterior stone wall



Close up view of window frame sill

Iodent building photographs



Window frame head and transom above

Iodent building photographs



View of existing widow jamb and sash

Iodent building photographs



View of existing window jamb and sash

Iodent building photographs



View of existing window sash