



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00101

PROPERTY INFORMATION

ADDRESS(ES): 1681 Leverette

HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|--|--|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input checked="" type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Existing historic Queen Anne house to be renovated, the existing addition to be demolished, and a new addition constructed. The original house will remain intact with many exterior restorations including the siding and trim, front porch columns, railing, and steps. The existing rear addition, in poor condition and substandard construction, will be replaced with a new addition of the same configuration with a breezeway and attached one-car garage.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Brian Hurttienne

COMPANY NAME: Christian Hurttienne Architects

ADDRESS: 15324 E Jefferson, Suite 5

CITY: Grosse Pointe Park

STATE: MI

ZIP: 48230

PHONE: +1 (313) 850-6689

EMAIL: brian@cha-c.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Brian Hurttienne

B3C6D809CF854D2...

SIGNATURE

03/10/2025

DATE

15324 E Jefferson, Suite 5

Grosse Pointe Park

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

48230

MI

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

The existing historic house is in good to excellent condition. The rear addition is in poor condition of substandard construction. The foundations seem good, but the floor slope dramatically away from the main house. The enclosed porch is in poorer condition, with no foundations and irregular, substandard construction.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

To renovate the interior of the main/original house. To demolish and reconstruct the rear additions. To add a breezeway and attached garage. To restore the exterior of the original house. To reconstruct the front porch and alter the porch to include a handicapped lift device within the porch structure.

4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

See drawings. This is probably not a complete package for staff review. I need to work with someone to get what is required for the review. Thanks!



5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

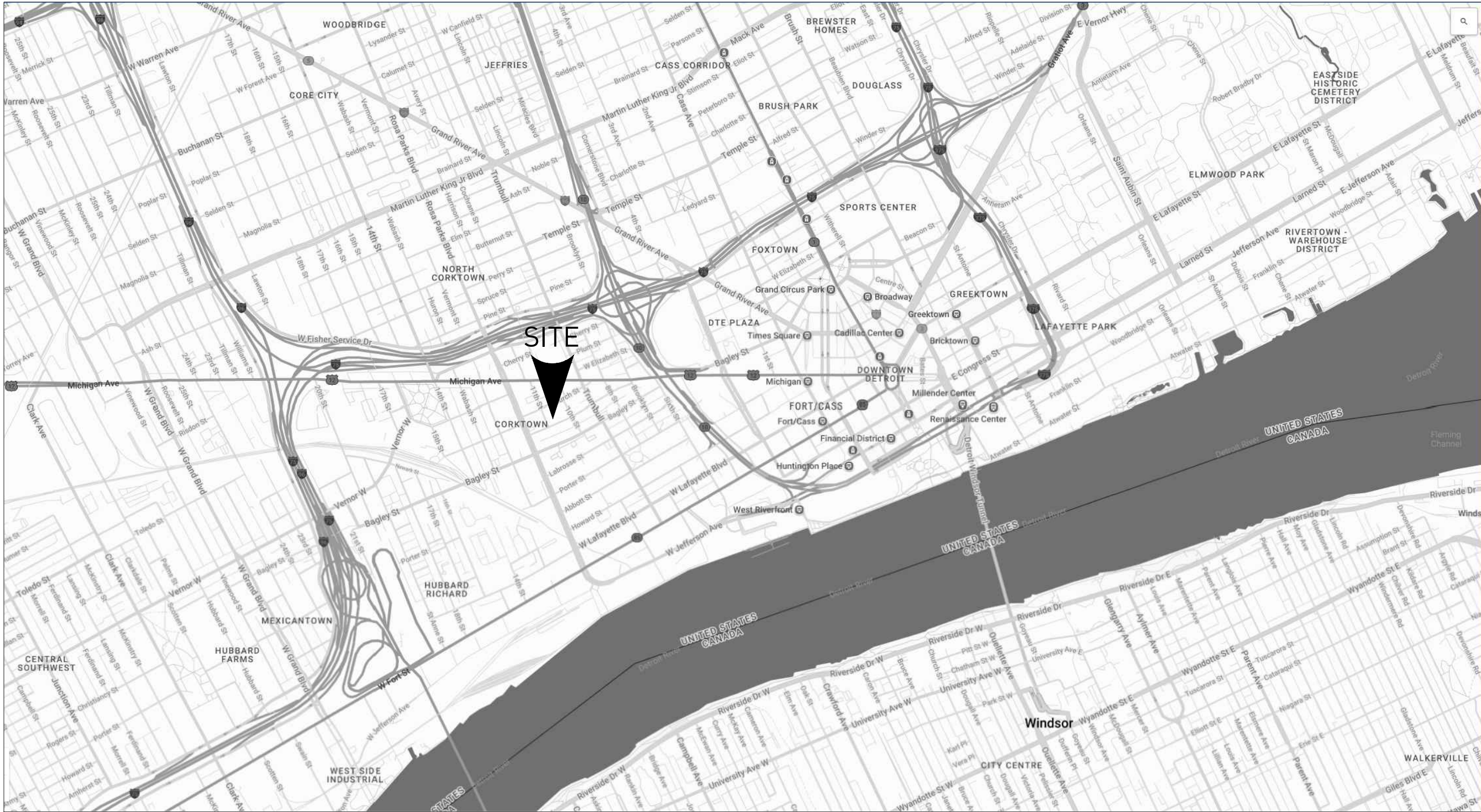
<div><div>6. WINDOWS/DOORS</div><div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div></div>	<div></div>











LOCATION PLAN

GENERAL NOTES

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE AGREED UPON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.

2. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.

3. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT AND INFLUENCE OF THE WORK.

4. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.

5. ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE IS TO BE POINTED OUT TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. ADDENDA WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.

6. THE GENERAL CONTRACTOR / SUB-CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITHIN THE PLANS, DRAWINGS, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.

7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

8. THE GENERAL CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.

9. THE GENERAL CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.

10. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION.
11. CHANGES IN THE WORK SHALL BE INITIATED THROUGH CONSTRUCTION DIRECTIVES. CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM OWNER OF CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.

12. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, GUYS, OR TIE-DOWNS IF NECESSARY.

13. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.

14. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS IN WALLS AND CEILINGS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES AND PER THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION.

15. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNERS REQUIREMENTS.

16. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXITING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.

17. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT. ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE ARCHITECT.

18. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.

19. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEERS' DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.

20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.

21. IF DEMOLITION OF EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHOD OF DEMOLITION.

22. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS INCLUDING PIPING, FIXTURES, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION PRIOR TO START OF DEMOLITION.

23. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR, SHALL VERIFY THE EXISTENCE AND LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL AND GAS SERVICES, ETC., IN THE DEMOLITION AREAS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.

24. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE DEMOLITION AND/OR THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.

25. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE TO BE REMOVED.

26. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OF PLUMBING, NECESSARY CAPPING OF EXISTING, AND INSTALLATION OF NEW FOUNDATION WORK.

27. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.

28. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK WITH OWNER'S PERSONNEL TO AVOID ANY INTERFERENCE OR CONFLICT IN OPERATIONS.

29. THE GENERAL CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, INCLUDING OR AFFECTED WITHIN THE SCOPE OF THE CONTRACT.

DRAWING LIST

GENERAL SHEETS

G0-00 COVER SHEET GENERAL NOTES, LEGENDS, SYMBOLS

ARCHITECTURAL SHEETS

A1-00 SITE PLAN

A1-10 EXISTING AND PROPOSED ARCHITECTURE PLANS

A1-11 EXISTING AND PROPOSED ARCHITECTURE PLANS

A1-12 EXISTING AND PROPOSED ARCHITECTURE PLANS

A1-13 EXISTING AND PROPOSED ROOF PLANS

D2-01 ELEVATIONS - DEMOLITIONS

D2-02 ELEVATIONS - DEMOLITIONS

A2-01 ELEVATIONS - NEW WORK

A2-02 ELEVATIONS - NEW WORK

A3-11 BUILDING DETAILS

A3-12 BUILDING DETAILS

A6-01 EXISTING HOUSE WINDOW SCHEDULE

SYMBOLS

- Concrete masonry unit
- Brick
- Concrete
- Batt Insulation
- Rigid insulation
- Closed Cell Polyurethane Spray Foam Insulation
- Plywood
- Ferrous metal
- Nonferrous metal
- Wood finish
- Wood, rough continuous
- Wood, rough blocked
- Glass
- Glass block
- Acoustical Tile
- Gypsum Wall Board
- Carpets
- Plastic laminate
- Wood veneer
- Align

LEGEND

Room 105

Room Name & Number

Column Line Identification

Partition Type

Demolition Key Note

Foundation Key Note

Elevation Tag

Sheet Number Elevation Number

Plan Detail Tag

Detail Number

Sheet Number

Section Tag

Section Number

Sheet Number

Door Identification Tag

Door Type Number

Hardware Accessory Set

Hardware Set

Architectural Key Note

Roof Key Note

Electrical Key Note

Structural Key Note

Elevation Key Note

Vertical Height Elevation

Window Type/Schedule Number

Door Type/Schedule Number

Finish Material Number

Revision Number

Sheet Identification

Discipline Designator

Sheet Sequence Number

Sheet Type Designator

0 - General (symbols, legend, notes)

1 - Plans (horizontal views)

2 - Elevations (vertical views)

3 - Sections, Details, Diagrams & Notes

SIGNATURE BLOCK

NAME OF AUTHORIZED REPRESENTATIVE	SIGNATURE	DATE
-		
Owner		
-		
Christian Hurttienne Architects, LLC (<i>Architect</i>)		
-		
Contractor		

ISSUED FOR:
HISTORIC DISTRICT COMMITTEE

03.13.25

1681 LEVERETTE

1681 Leverette St, Detroit, MI 48216

Christian Hurttienne Architects, LLC

15324 E. Jefferson, Suite 5
Grosse Pointe Park, MI 48230
313.850.6689 brian@cha-c.com

ADDRESS

ARCHITECT

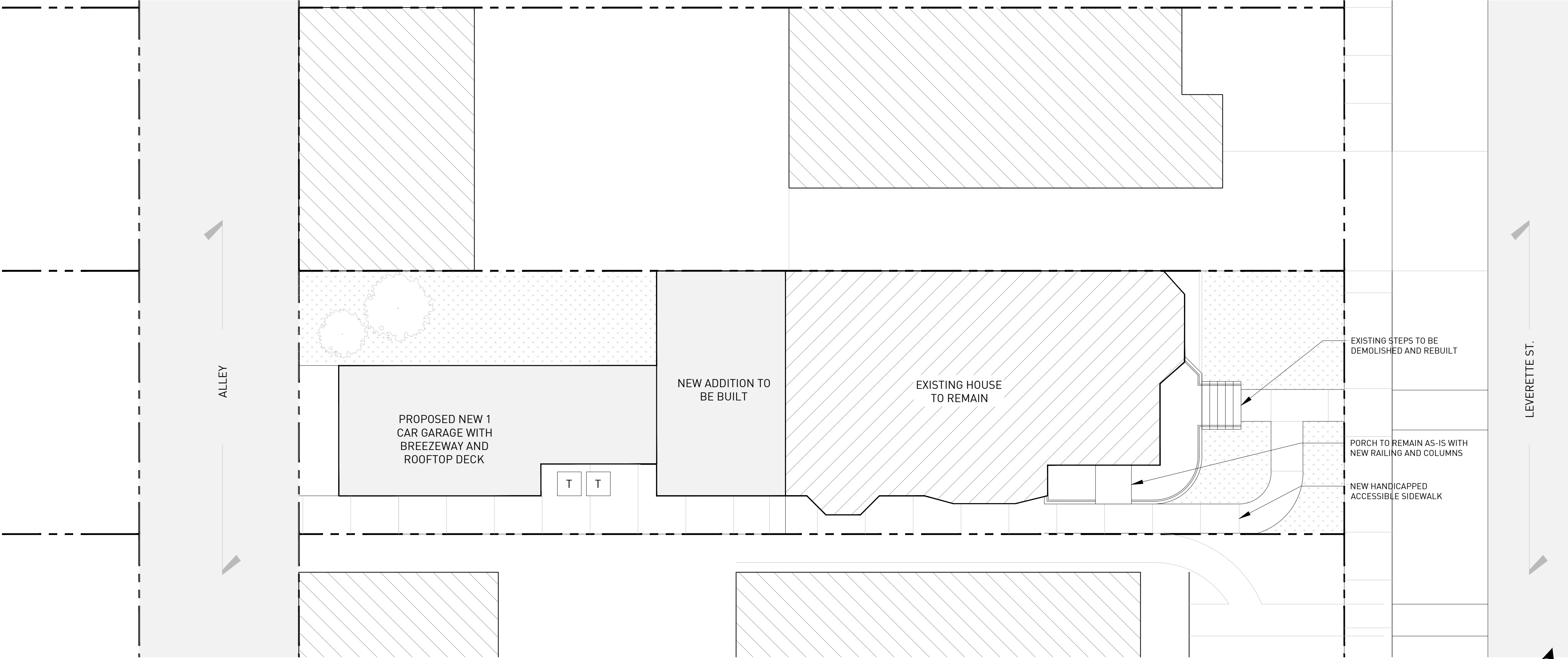
STRUCTURAL
ENGINEER

MEP ENGINEER

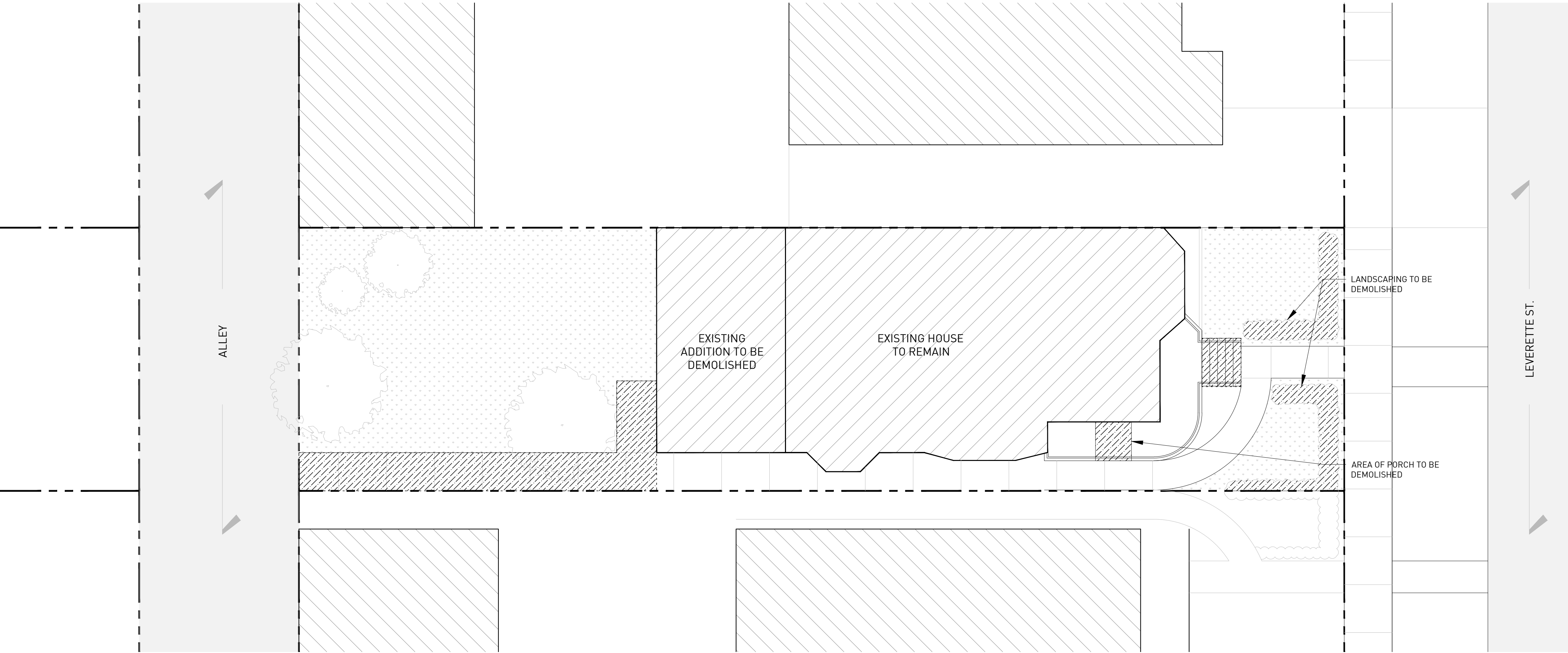
GENERAL CONTRACTOR

DRAWING ISSUE DATES:

DESCRIPTION	DATE OF ISSUE
1. -	-
2. -	-
3. -	-
4. -	-
5. -	-
6. -	-



1 SITE PLAN - PROPOSED
ORIGINAL IMAGE SCALE: 1/8" = 1'-0"



2 SITE PLAN - EXISTING
ORIGINAL IMAGE SCALE: 1/8" = 1'-0"

CONTRACTOR'S NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

3 WORKING DAYS
**BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

GENERAL NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER. REFER TO THE EXISTING TOPOGRAPHIC SURVEY IN THIS DRAWING SET AS PROVIDED BY THE OWNER'S LAND SURVEYOR.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE "STAKED-OUT" BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OFF.
- ASSUMED ALLOWABLE SOIL PRESSURE OF 2000 PSF (VERIFY CAPACITY).
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES. NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
- EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESS TO EXISTING STANDARDS OF INSTALLED PAVING.



CHRISTIAN HURTLE ARCHITECTS

15324 E. JEFFERSON, SUITE 8
GROSSE POINTE PARK, MI 48230
313.825.2005

CHA-C.COM

ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

CONTRACTOR NOTE

STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

DATE

DESCRIPTION

1. HDC SUBMITTAL

03.13.2025

SEAL

SITE PLAN

DRAWING NO.

A1-00

ARCHITECTURE GENERAL NOTES

1.

ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2.

WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
3.

FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
4.

ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
5.

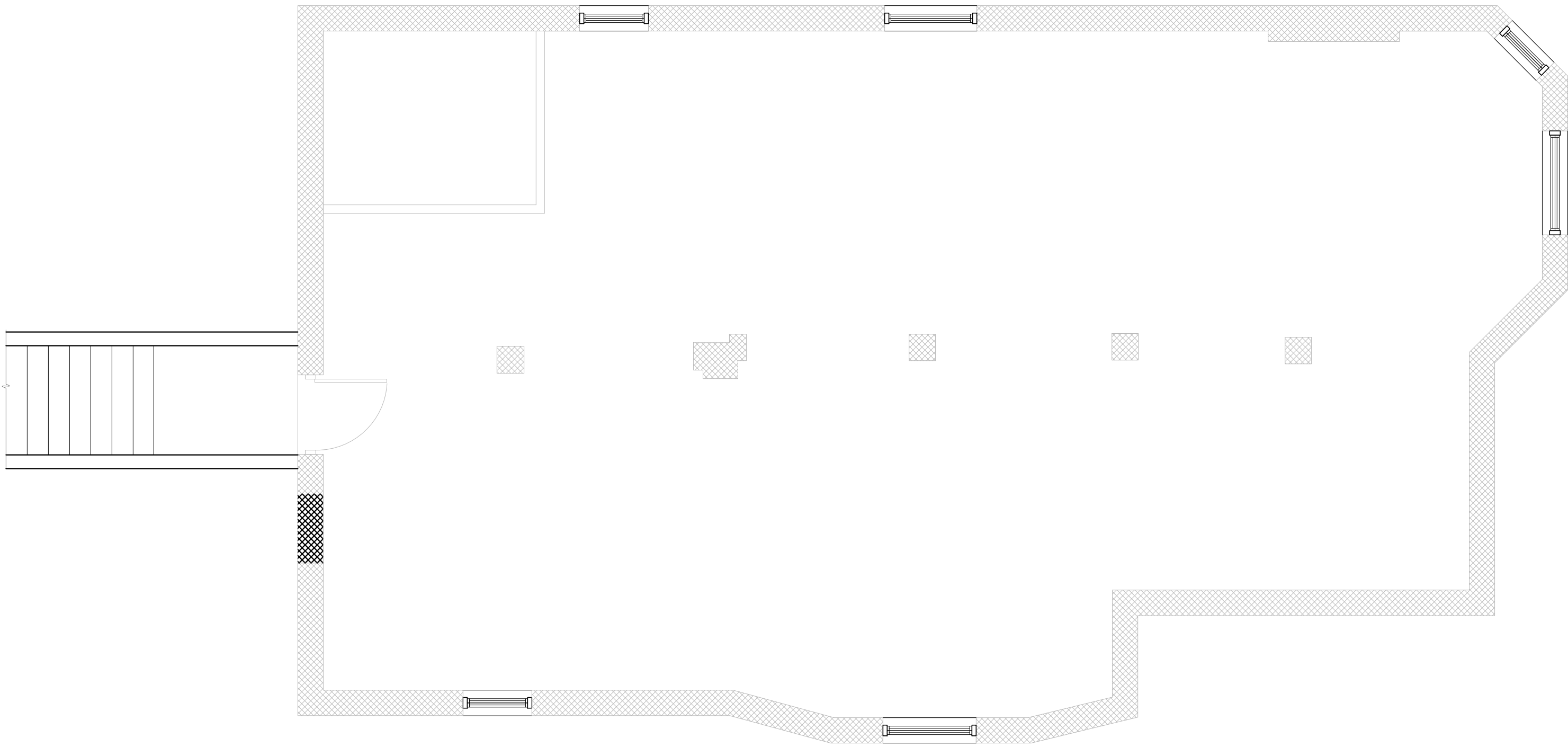
ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
6.

GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.

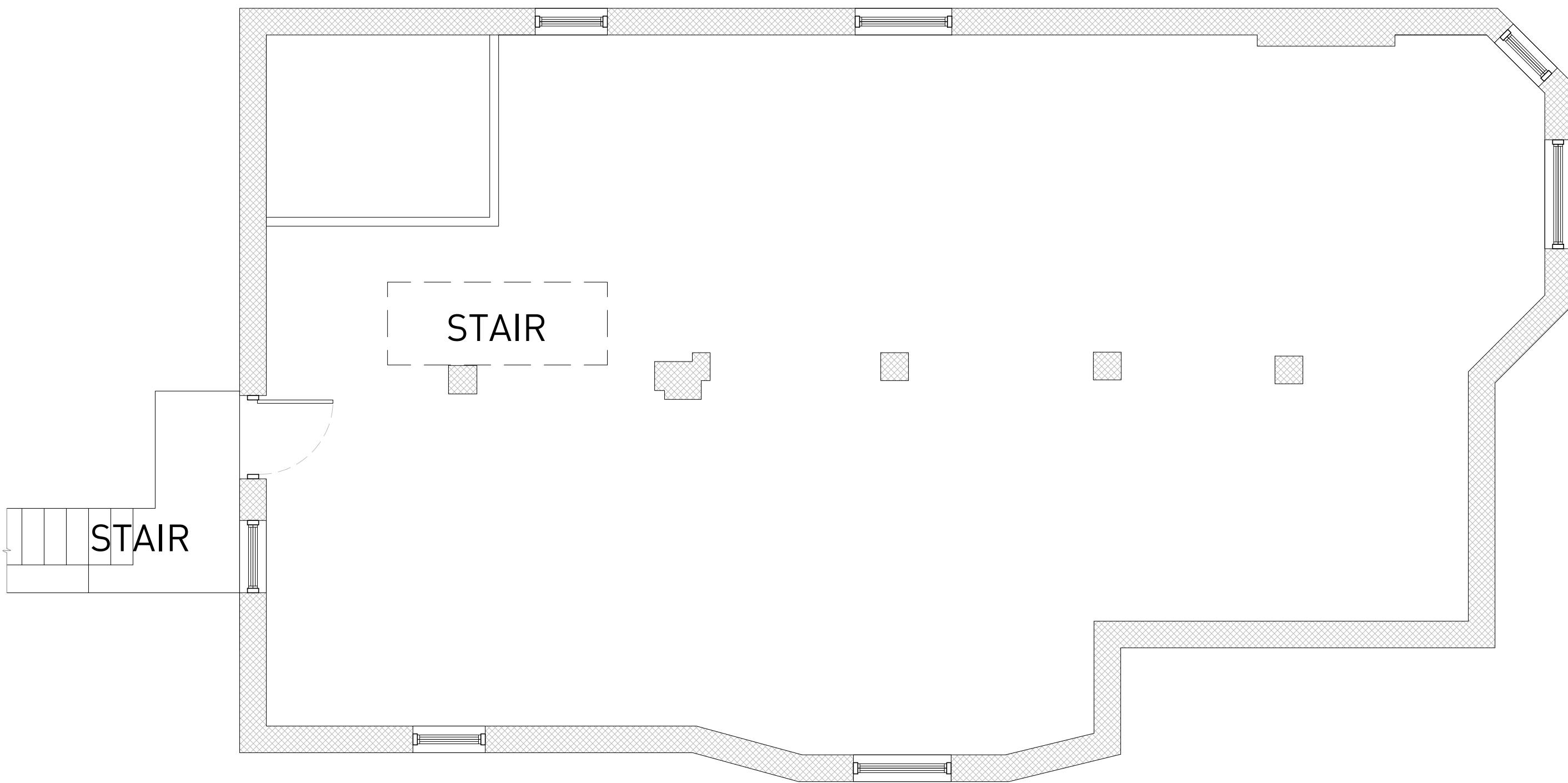
SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- WOOD-FRAMED WALL CONSTRUCTION
- CONCRETE FLATWORK
- DEMISING WALL
- SCREEN WALL
- LANDSCAPED AREA



2 BASEMENT ARCHITECTURE PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 EXISTING BASEMENT PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



CHRISTIAN HURTTIENNE ARCHITECTS

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CONTRACTOR NOTE

STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

DATE

DESCRIPTION

1. HDC SUBMITTAL

03.13.2025

SEAL

DRAWING NO.

EXISTING AND
PROPOSED
ARCHITECTURE
PLANS

A1-10

ARCHITECTURE GENERAL NOTES

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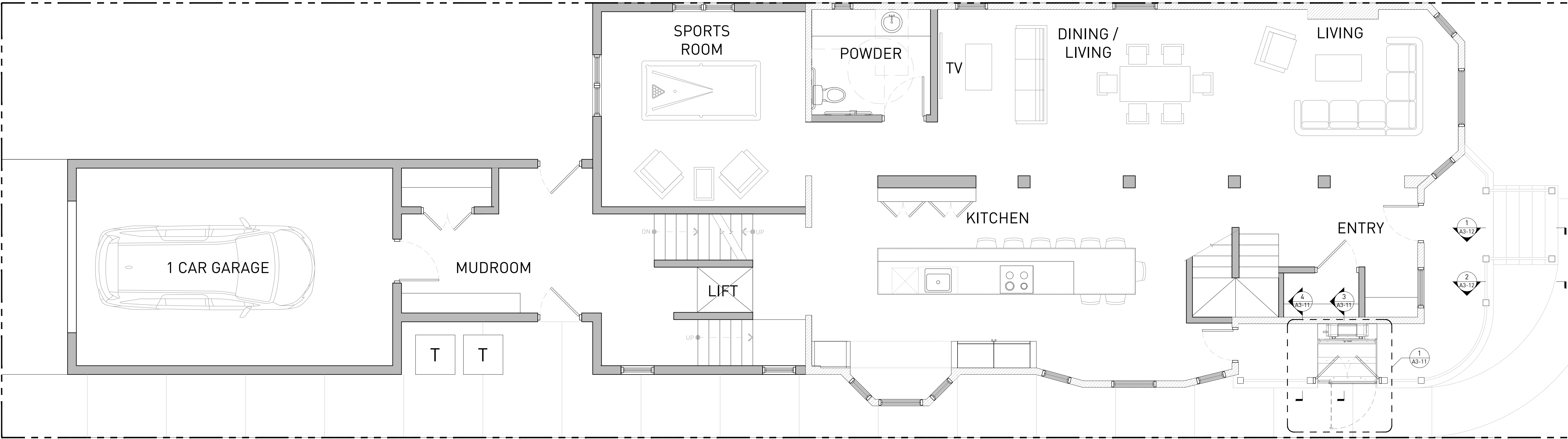
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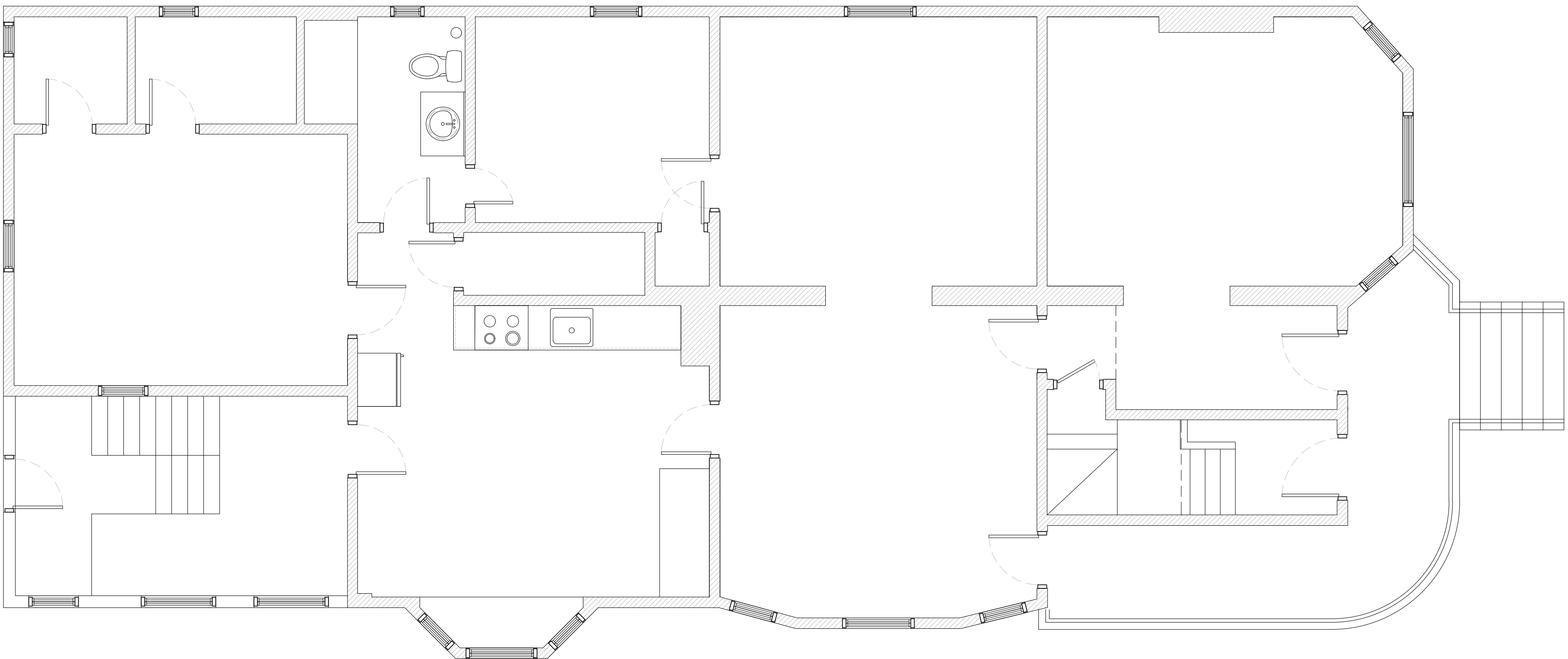
SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- WOOD-FRAMED WALL CONSTRUCTION
- CONCRETE FLATWORK
- DEMISING WALL
- SCREEN WALL
- LANDSCAPED AREA



2 PROPOSED FIRST LEVEL ARCHITECTURE PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 EXISTING FIRST LEVEL PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER	TBD
MEP ENGINEER	TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES	DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025	

EXISTING AND
PROPOSED
ARCHITECTURE
PLANS

A1-11

ARCHITECTURE GENERAL NOTES

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6.

GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- WOOD-FRAMED WALL CONSTRUCTION
- CONCRETE FLATWORK
- DEMISING WALL
- SCREEN WALL
- LANDSCAPED AREA



CHRISTIAN HURTTIENNE ARCHITECTS
15324 E. JEFFERSON, SUITE 5
GROSSE POINTE PARK, MI 48230
313.825.2005 CHA-C.COM

CONTRACTOR NOTE
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CONTRACTOR NOTE
STRUCTURAL ENGINEER
MEP ENGINEER

TBD

TBD

1681 LEVERETTE

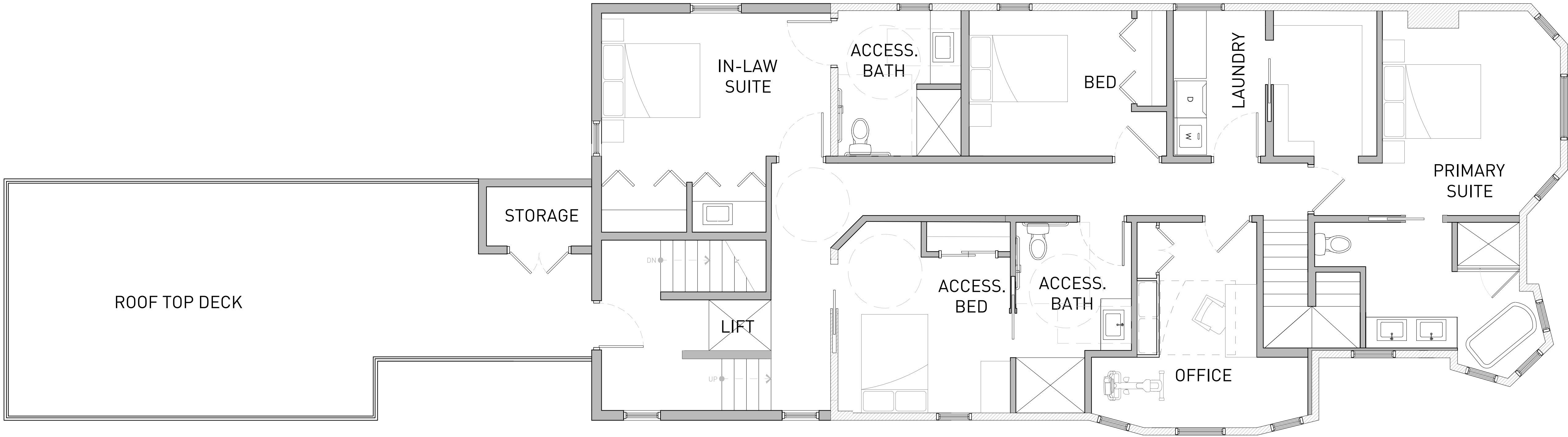
1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

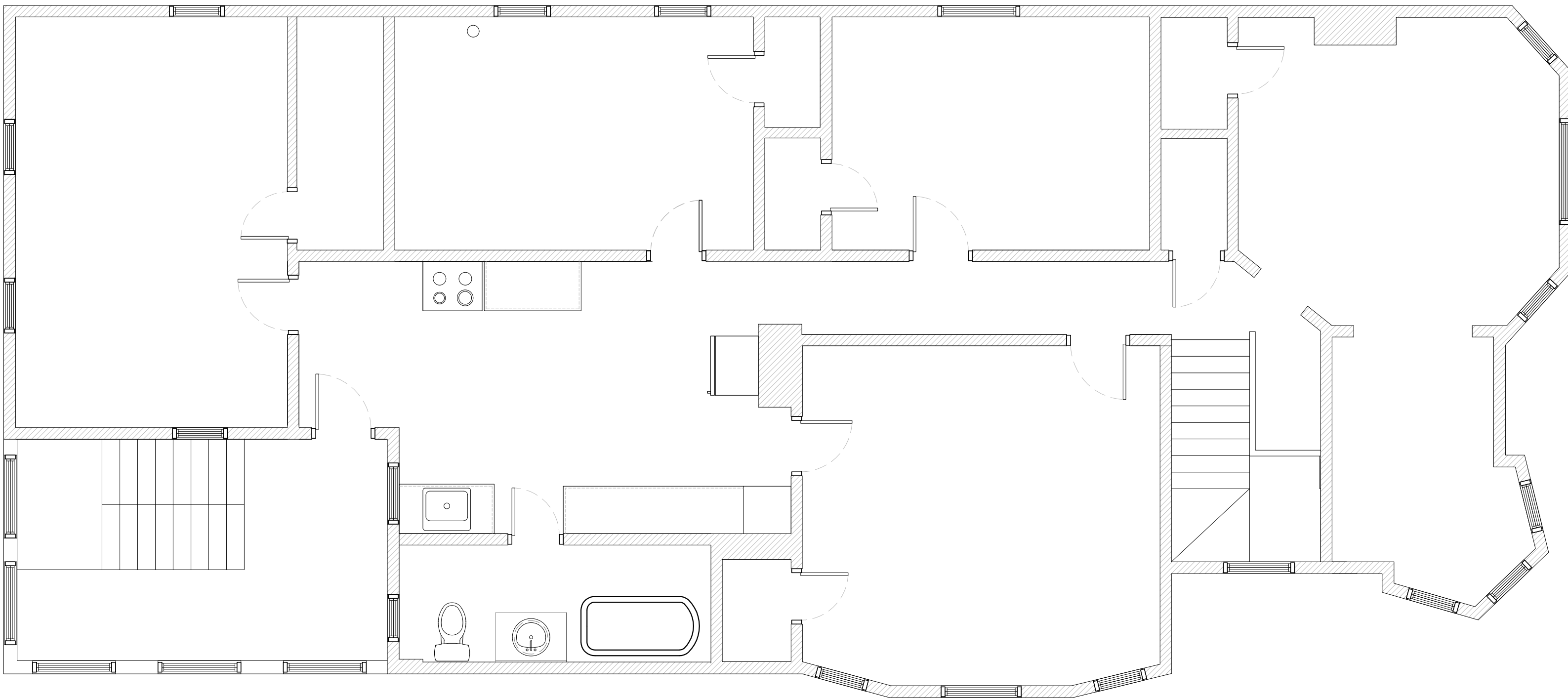
ISSUES	DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025	

EXISTING AND
PROPOSED
ARCHITECTURE
PLANS

A1-12



2 PROPOSED SECOND LEVEL ARCHITECTURE PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 SECOND LEVEL EXISTING PLAN
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

ARCHITECTURE GENERAL NOTES

1.

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES	DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025	

SEAL

EXISTING AND
PROPOSED ROOF
PLANS

DRAWING NO.

A1-13

ARCHITECTURE GENERAL NOTES

1.

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DEMOLITION NOTES

PORCH

1.

FLOOR AND FLOOR STRUCTURE, ROOF AND ROOF/ CEILING STRUCTURE TO REMAIN.
2.

WROUGHT IRON COLUMNS AND RAILING TO BE DEMOLISHED.
3.

EXISTING IRON COLUMNS AND RAILING TO BE DEMOLISHED.
4.

EXISTING ANACHRONISTIC CONCRETE STEPS TO DE DEMOLISHED.
5.

EXISTING WOOD SKIRT TO BE DEMOLISHED.
6.

EXISTING DOOR AND ASSOCIATED TRIM TO BE REMOVED.

ROOF

1.

ROOF STRUCTURE AND SHINGLE MATERIAL TO REMAIN
2.

CHIMNEYS TO REMAIN.

WINDOWS

1.

SEE WINDOW SCHEDULE SHEET A6-01.
2.

AREA TO BE REMOVED FOR NEW WINDOW.

SIDING

1.

EXISTING ASPHALT SIDING TO BE REMOVED THROUGHOUT. EXISTING WOOD SIDING AND TRIM TO REMAIN.
2.

CHIMNEYS TO REMAIN.

REAR ADDITION

REAR ADDITION TO ALL WOOD CONSTRUCTION, CURRENTLY IN A STATE OF DISREPAIR (SLOPING FLOORS, CRACKED WALLS, OVERALL SUBSTANDARD CONSTRUCTION WHEN BUILT), IS PROPOSED TO BE DEMOLISHED AND REBUILT IN EXISTING CONFIGURATION.

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CONTRACTOR NOTE

STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

DATE

1. HDC SUBMITTAL

DESCRIPTION

03.13.2025

SEAL

ELEVATIONS -
DEMOLITION

DRAWING NO.

D2-01



1 NORTH ELEVATION - DEMOLITION
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - DEMOLITION
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

ARCHITECTURE GENERAL NOTES

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PORCH

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EXISTING WOOD SKIRT TO BE DEMOLISHED.
6.

EXISTING DOOR AND ASSOCIATED TRIM TO BE REMOVED.

ROOF

1.

ROOF STRUCTURE AND SHINGLE MATERIAL TO REMAIN
2.

CHIMNEYS TO REMAIN.

WINDOWS

1.

SEE WINDOW SCHEDULE SHEET A6-01.
2.

AREA TO BE REMOVED FOR NEW WINDOW.

SIDING

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EXISTING ASPHALT SIDING TO BE REMOVED THROUGHOUT. EXISTING WOOD SIDING AND TRIM TO REMAIN.
2.

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

- DATE

1. HDC SUBMITTAL

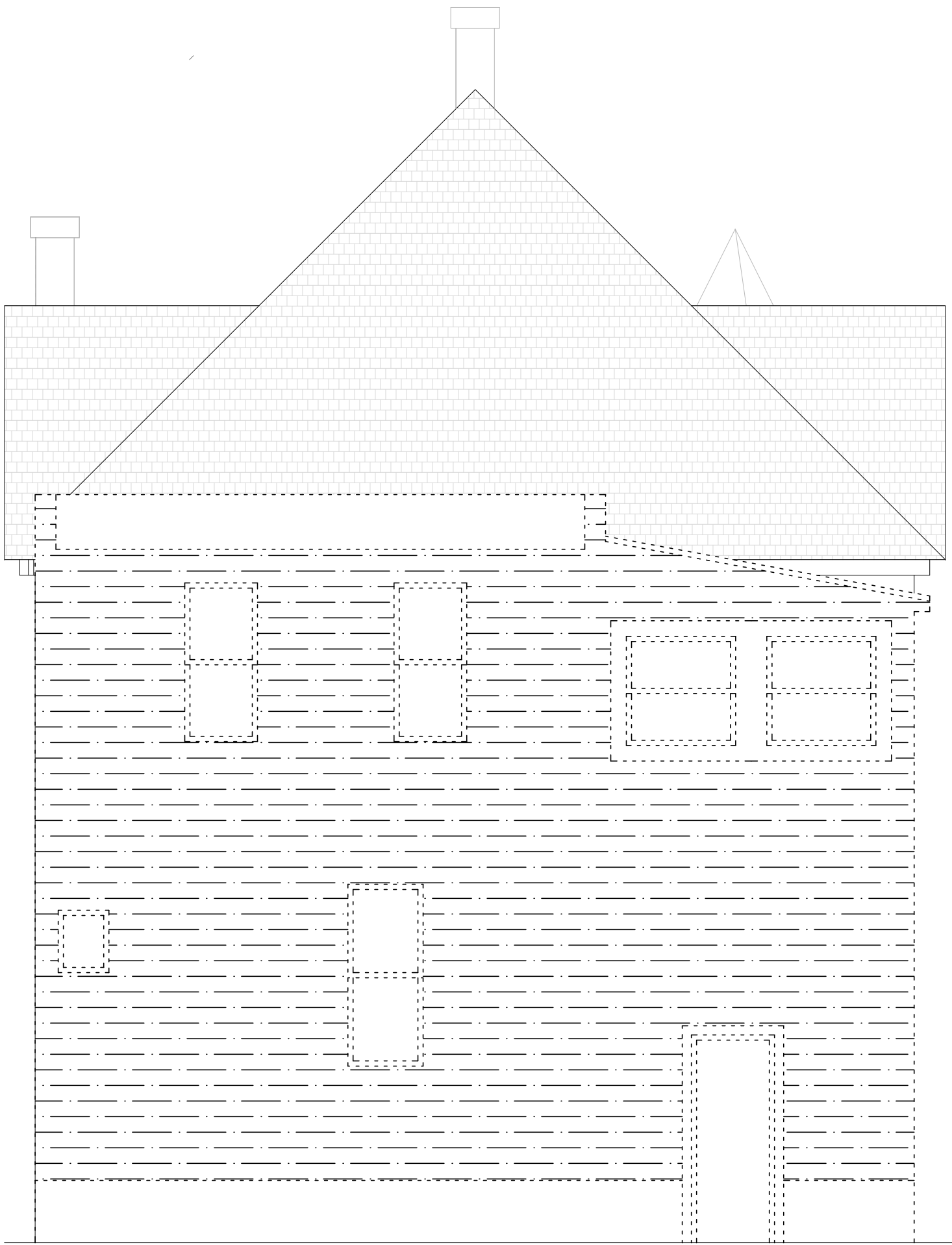
DESCRIPTION
03.13.2025

SEAL

ELEVATIONS -
DEMOLITION

DRAWING NO.

D2-01



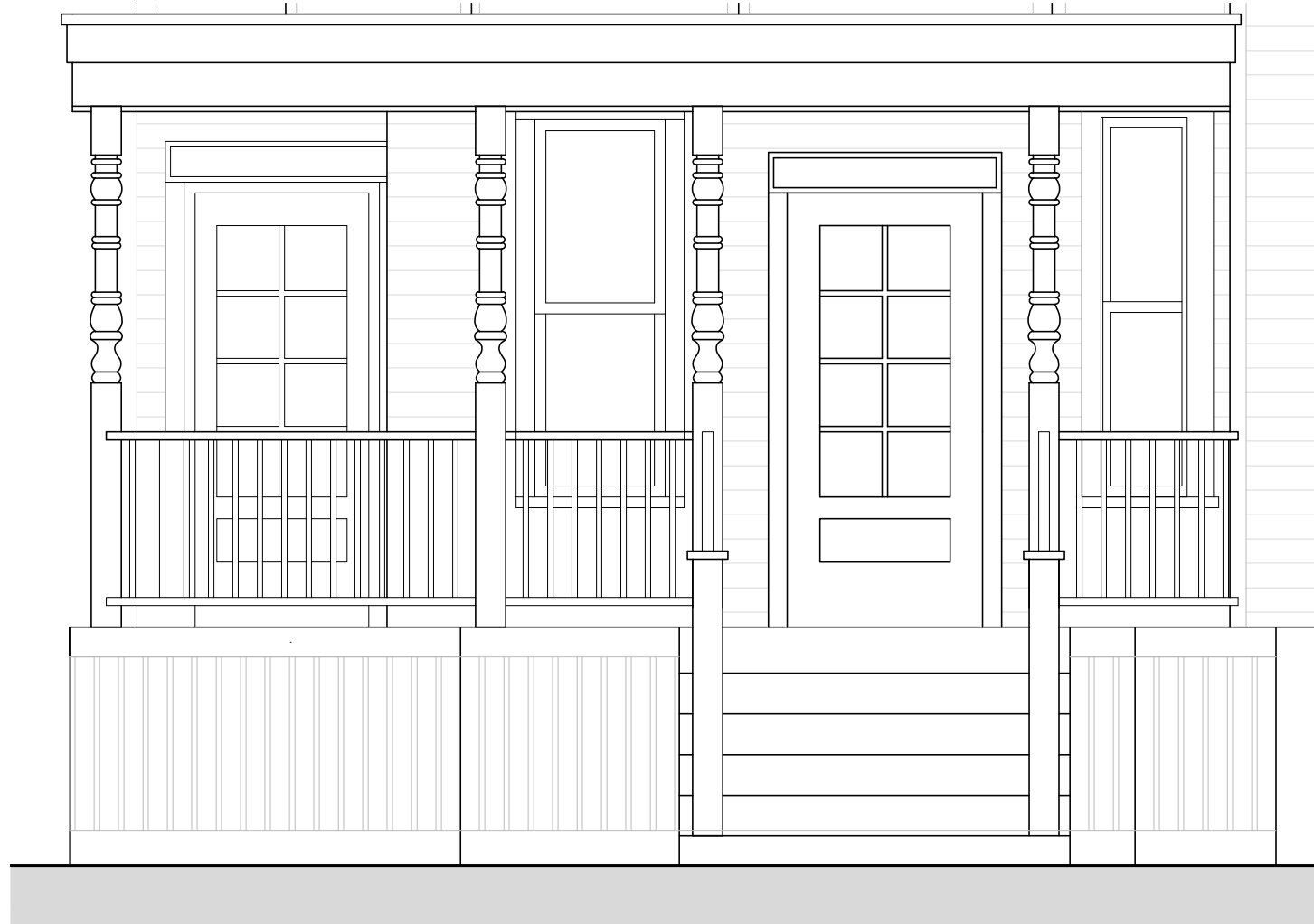
1 NORTH ELEVATION - DEMOLITION
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - DEMOLITION
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION - ENLARGED PORCH
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

ARCHITECTURE GENERAL NOTES

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ARCHITECTURE NOTES

PORCH

- EXISTING CEILING AND TRIM AND FLOOR AND TRIM, TO BE SANDED AND PAINTED. SMALL WOOD PIECES WILL BE REPLACED WITH WOOD.
- NEW TURNED WOOD COLUMNS, WOOD RAILING AND WOOD SKIRT TO BE INSTALLED, PAINTED.
- NEW WOOD STEPS TO BE INSTALLED, PAINTED. SEE DETAIL AX/3-XX

PAINT COLORS

- ALL PAINT COLORS TO BE BY HDC COLOR GUIDE. COLOR SYSTEM B. EXACT COLORS PER MATERIAL TBD AND PRESENTED TO HDC STAFF.

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

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HDC SUBMITTAL

ISSUES

DATE

DESCRIPTION

1. HDC SUBMITTAL

03.13.2025

SEAL

ELEVATIONS - NEW WORK

DRAWING NO.

A2-01



1 SOUTH ELEVATION - PROPOSED
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED
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ARCHITECTURE NOTES

ROOF

- SHINGLES TO REMAIN. TRIM TO BE PAINTED.
- CHIMNEYS TO BE TACK POINTED.

SIDING AND TRIM

- AFTER REMOVAL OF EXISTING ASPHALT SIDING, EXISTING WOOD SIDING AND TRIM REMAINING WILL BE SCRAPPED AND PAINTED.
- WINDOW AND DOOR TRIM WILL BE REVIEWED WITH HDC STAFF FOR REPAIR, REPLACEMENT OF PIECES, OR WHOLESALE REPLACEMENT.
- NEW CONSTRUCTION TO HAVE HARDIE-BOARD LAP SIDING INSTALLED WITH ALUMINUM ACCESSORIES.

NEW WINDOWS AND DOORS

- PROPOSED NEW WINDOWS TO BE ALUMINUM CLAD WOOD WINDOWS/
- PROPOSED NEW DOORS TO BE ALUMINUM INSULATED WITH HOLLOW METAL FRAMES.
- NEW DOOR TO ROOF DECK AT ROOF DECK TO BE ALUMINUM INSULATED WITH FULL GLASS AND HOLLOW METAL FRAME.

SYMBOLS

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TBD

MEP ENGINEER

TBD

1681 LEVERETTE

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HDC SUBMITTAL

ISSUES

DATE

1. HDC SUBMITTAL

DESCRIPTION

03.13.2025

SEAL

ELEVATIONS - NEW
WORK

DRAWING NO.

A2-02

ARCHITECTURE NOTES

LIFT

- SEE BROCHURE FOR SPECIFICATIONS.
- WOOD RAILING TO BE HINGED FOR OPERATION OF LIFT DEVICE.
- LIFT WILL MOST LIKELY LIKELY B AUGMENTED TO CONFORM TO EXTERIOR CONDITIONS.

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MEP ENGINEER

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ARCHITECTURE GENERAL NOTES

1.

ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2.

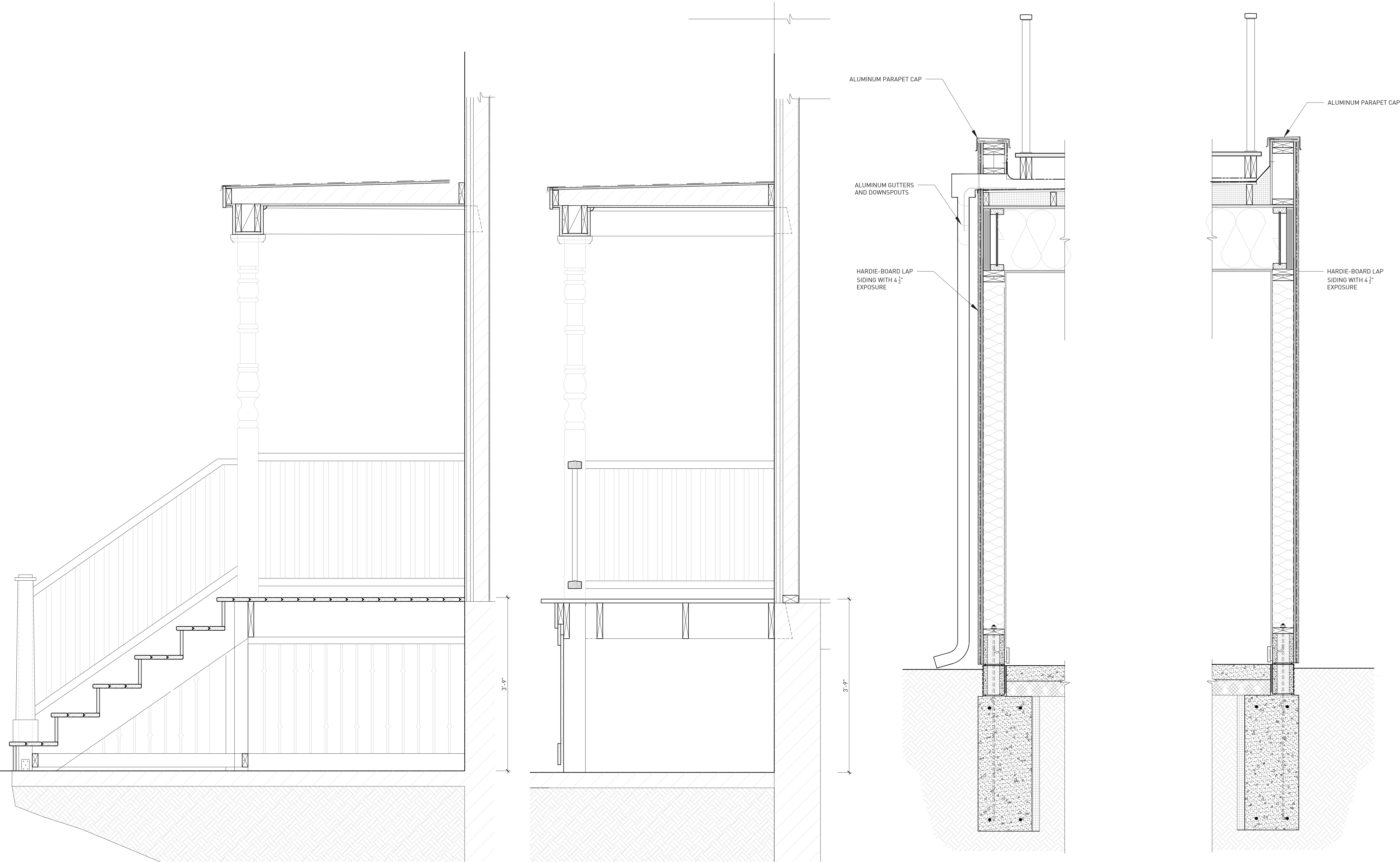
WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
3.

FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
4.

ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
5.

ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
6.

GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.



1 ENLARGED WALL SECTION PORCH STEPS
ORIGINAL IMAGE SCALE: 1" = 1'-0"

2 ENLARGED WALL SECTION PORCH RAILING
ORIGINAL IMAGE SCALE: 1" = 1'-0"

3 ENLARGED WALL SECTION AT GARAGE
ORIGINAL IMAGE SCALE: 1" = 1'-0"

CONTRACTOR NOTE
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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

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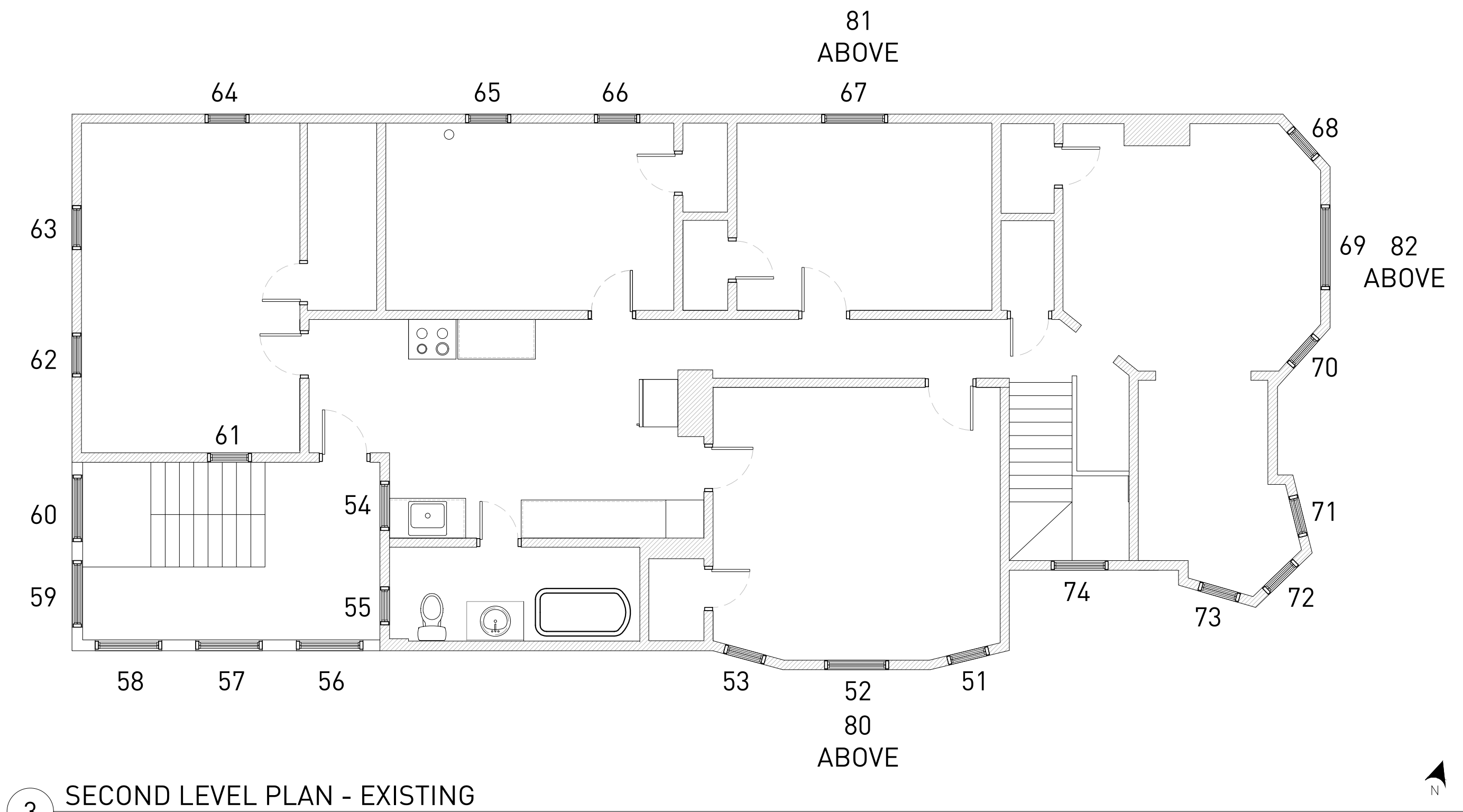
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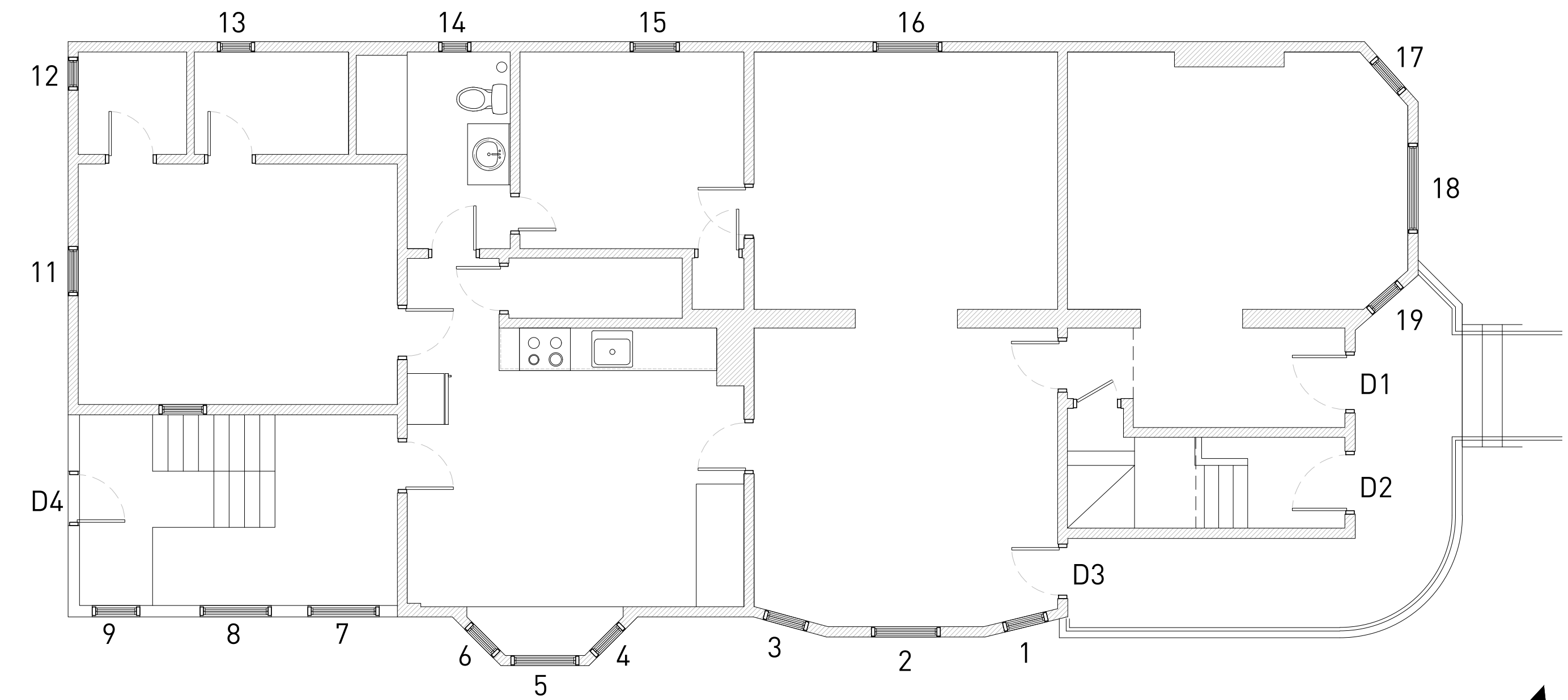
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BUILDING DETAILS

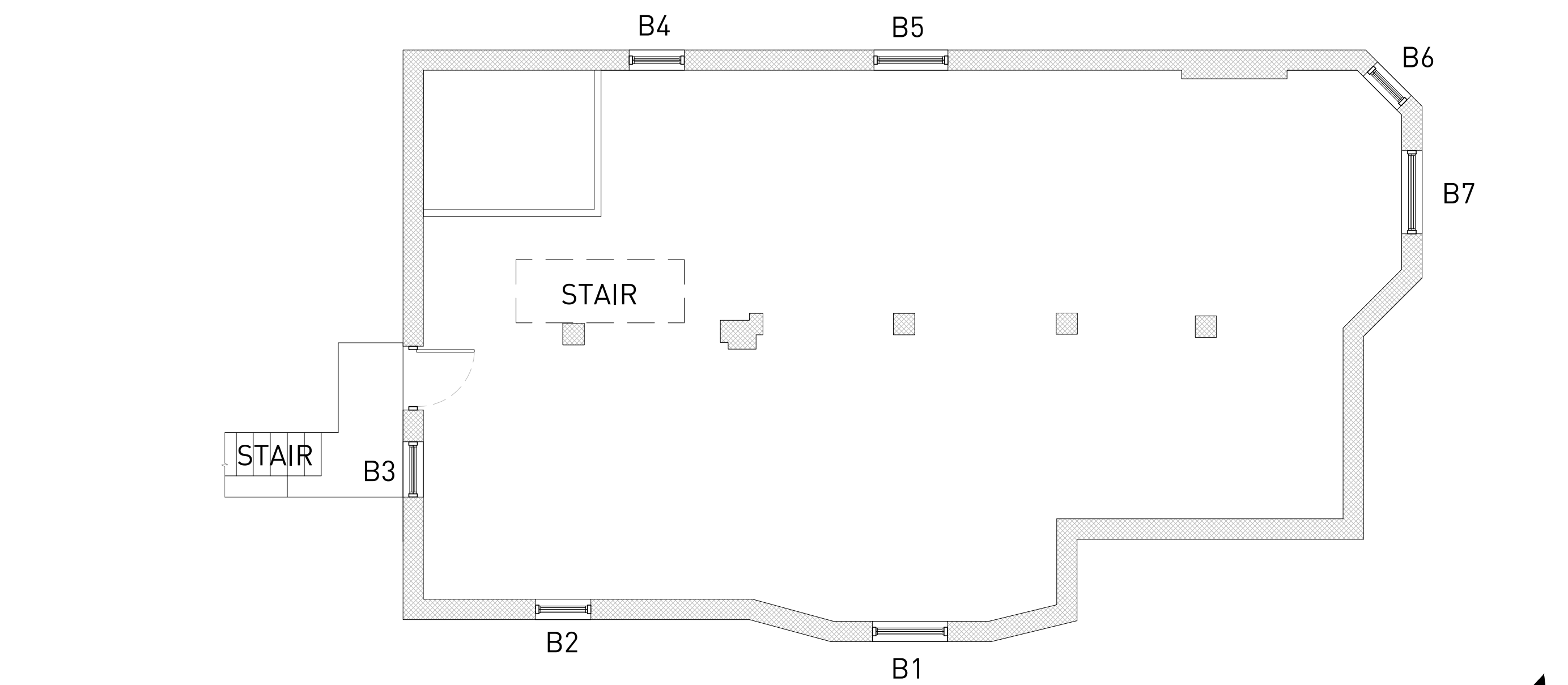
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3 SECOND LEVEL PLAN - EXISTING
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 FIRST LEVEL PLAN - EXISTING
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 BASEMENT LEVEL PLAN - EXISTING
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

WINDOW NOTES

RESTORED
THESE ORIGINAL WINDOWS WILL BE RESTORED OR REFURBISHED IN THE FOLLOWING MANNER. THE WINDOW SASH WILL BE REMOVED. THEY WILL BE STRIPPED OF PAINT OR CLEAR FINISHES. THEY WILL BE PATCHED WITH WOOD TO BE AS IN ORIGINAL CONDITION AS POSSIBLE. THEY WILL BE PAINTED INSIDE AND OUTSIDE. THE WINDOW FRAMES WILL REMAIN IN PLACE. THEY WILL BE STRIPPED OF PAINT OR CLEAR FINISH. THEY WILL BE PATCHED WITH WOOD TO BE IN AS ORIGINAL CONDITION AS POSSIBLE. THEY WILL BE PAINTED. WEATHERSTRIPPING WILL BE INSTALLED ON ALL EDGE CONDITIONS. SASH WILL BE RE-INSTALLED WITH NEW LOCKING DEVICES.

EXTERIOR TRIM WILL BE RESTORED. UNTIL THE REMOVAL OF THE EXISTING ASPHALT SIDING, WHICH CURRENTLY COVERS THE TRIM, WE DO NOT KNOW THE CONDITION OF THE EXISTING TRIM. WE WILL SAVE TRIM ELEMENTS WHICH ARE EXISTING INTACT, PREP FOR PAINTING, AND REPAINT. SHOULD TRIM ELEMENTS BE IN PIECES, WE WILL REMOVE THOSE PIECES AND REPLACE WITH WOOD TO MATCH THE ORIGINAL PIECE. THEY WILL BE PAINTED.

DEMOLISHED
THESE WINDOWS ARE MOST LIKELY PART OF THE REAR ADDITION, ERECTED IN THE MID 20TH CENTURY. THERE ARE A COUPLE WINDOWS THAT ARE NOW INTERIOR WINDOWS, WHICH WILL ALSO BE DEMOLISHED.

REMAIN AS-IS
THESE WINDOWS WILL REMAIN AS-IS, MEANING IN THEIR EXISTING CONDITION. MOST OF THESE WINDOWS ARE REPLACEMENT WINDOWS HAVING REPLACED THE ORIGINAL WINDOWS WITHIN THE PAST 10 YEARS. THESE WINDOWS ARE ALSO FULL ALUMINUM AND VINYL WINDOWS, ANACHRONISTIC TO THE HOUSE.

REFURBISHED
THE BASEMENT WINDOWS ARE ORIGINAL TO THE HOUSE. THEY HAVE NOT BEEN MAINTAINED, YET DO NOT SHOW SIGNS OF SEVERE DETERIORATION. WE PROPOSE TO SAVE ALL WINDOWS. REPLACE MINOR PORTIONS WITH EITHER WOOD FILLER OR WOOD PATCH. SCRAPE AND PAINT, INSIDE AND OUTSIDE.

Des.	Status	Size (WxH)	Proposed Alteration	Notes
Basement				
B1	Original	3'-8" x 2'-4"	Refurbished	
B2	Original	2'-8 1/2" x 2'-4"	Refurbished	
B3	Original	2'-8 1/2" x 2'-4"	Refurbished	
B4	Original	2'-8 1/2" x 2'-4"	Refurbished	
B5	Original	3'-8" x 2'-4"	Refurbished	
B6	Original	2'-4" x 2'-4"	Refurbished	
B7	Original	4'-1" x 2'-4"	Refurbished	
BD	Original		New Interior	

First Level				
1	Original	2'-2 1/2" x 5'-9 1/2"	Restored	
2	Original	3'-4 1/2" x 5'-9 1/2"	Restored	
3	Original	2'-2 1/2" x 5'-9 1/2"	Restored	
4	Replacement	2'-0" x 6'-10"	Remain As-Is	
5	Replacement	3'-4" x 6'-10"	Remain As-Is	
6	Replacement	2'-0" x 6'-10"	Remain As-Is	
7	Replacement	Not Measured	To Be Demolished	
8	Replacement	Not Measured	To Be Demolished	
9	Replacement	Not Measured	To Be Demolished	
10	Original to the Addition	2'-4" x 5'-9 1/2"	To Be Demolished	
11	Original to the Addition	2'-4" x 5'-9 1/2"	To Be Demolished	
12	Original to the Addition	Not Measured	To Be Demolished	
13	Original to the Addition	1'-10" x 5'-9 1/2"	To Be Demolished	
14	Replacement	1'-7" x 3'-7"	Remain As-Is	
15	Original	2'-4" x 5'-9 1/2"	Restored	
16	Original	3'-4 1/2" x 5'-9 1/2"	Restored	
17	Original	2'-2" x 5'-9 1/2"	Restored	
18	Original	4'-5" x 5'-9 1/2"	Restored	
19	Original	2'-2" x 5'-9 1/2"	Restored	

Second Level				
51	Original	2'-2 1/2" x 5'-1"	Restored	
52	Original	3'-4 1/2" x 5'-1"	Restored	
53	Original	2'-2 1/2" x 5'-1"	Restored	
54	Original Altered	2'-7" x 3'-0"	Demolished	Altered original window
55	Original Altered	2'-0" x 5'-1"	Demolished	
56	Replacement	Not Measured	Demolished	
57	Replacement	Not Measured	Demolished	
58	Replacement	Not Measured	Demolished	
59	Replacement	Not Measured	Demolished	
60	Replacement	Not Measured	Demolished	
61	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
62	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
63	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
64	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
65	Original	2'-4 1/2" x 5'-1"	Restored	
66	Original	2'-4 1/2" x 5'-1"	Restored	
67	Original	3'-5 1/2" x 5'-1"	Restored	
68	Original	2'-0" x 5'-1"	Restored	
69	Original	4'-5" x 5'-1"	Restored	
70	Original	2'-0" x 5'-1"	Restored	
71	Replacement	2'-2 1/2" x 5'-1"	Remain As-is	
72	Replacement	2'-2 1/2" x 5'-1"	Remain As-is	
73	Replacement	2'-2 1/2" x 5'-1"	Remain As-is	
74	Original	3'-0" x 3'-0"	Restored	Alter to cover interior

Third Level			
80	Original	Not Measured	Restored
81	Original	Not Measured	Restored
82	Original	Not Measured	Restored



CHRISTIAN HURTTIENNE ARCHITECTS
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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

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EXISTING WINDOW
SCHEDULE

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- Ceiling Medallions
- Columns
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- Crown Mouldings
- Deck Boards, Etc
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Home > Products > Porch Posts > Traditional Wood Porch Posts



Traditional Wood Porch Posts
(caf)

Premium Western Softwoods
Our standard wood Porch Posts are turned from clear, kiln-dried Western softwoods such as Pine. Finger-jointed and edge-glued, with hollow centers for better stability. See [Choosing the Right Posts](#) if you are unsure which Post to order.

Order Below ↓

UN-primed or Primed
Our Traditional Wood Porch Posts are available either UN-primed (but fully sanded) or factory-primed with latex primer. UN-primed Porch Posts, upon arrival, should be primed with *oil-based* primer and two top coats of quality *oil-based* exterior paint, including both ends. However, factory-primed Posts must be painted with two coats of quality exterior *latex* paint prior to installation. Do not use *oil-based* paint over latex primer. It is important to paint both ends.

- Options**
- [Half Porch Posts](#) split lengthwise for use at walls. Must be primed on the cut edge prior to painting.
 - [Base Mounting Blocks and Plates](#) help protect Posts from water damage.

[Installation Instructions.](#) [Choosing the Right Posts.](#) [CA Resident WARNING](#)

Overall Length	Square Base	Turning	Square Top
96"	32"	40"	24"
96"	36"	40"	20"
96"	38"	40"	18"
96"	42"	40"	14"
108"	44"	40"	24"
120"	56"	40"	24"

4" size = 3-1/4" actual 5" size = 4-1/4" actual 6" size = 5-1/4" actual

VERY IMPORTANT! Read before ordering:
[Important Shipping Info](#)

ORDER HERE (Please select options to calculate Price)

Size and Base Length: HALF of 4" x 96" (net 3-1/4") with 42" Base, PRIMED (T408n42PRh) ▼

Add Base Mounting Block or Plate: Select one: ▼

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Special Packaging: Select one: ▼

Price: \$117.87

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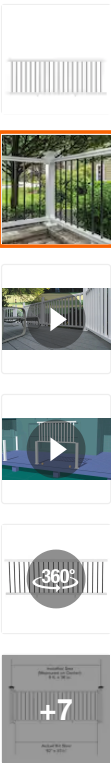
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595

Veranda
Traditional 8 ft. x 36 in. (Actual Size: 92 x 33 1/4" in.) White PolyComposite Vinyl Rail Kit with Black Metal Balusters

★★★★★ (264) Questions & Answers (158)




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\$165⁰⁰

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- Railing actual size: 92 in. L x 33-1/4 in. H
- Outdoor railing resists warping and mold, unlike other composites
- Railing kit requires assembly
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★★★★★ (4.5 / 264)

\$165⁰⁰

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Traditional/Williamsburg White Line Bracket Kit (4-Piece)

★★★★★ (4.6 / 675)

\$12⁹⁸

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4 in. x 4 in. White New England Base Trim

★★★★★ (4.6 / 553)

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4 in. x 4 in. x 39 in. White Traditional Fence Post Jacket

★★★★★ (4.6 / 608)

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Veranda

6 ft. x 36 in. Traditional White PolyComposite Stair Railing Kit with Black Metal Balusters

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\$89⁹⁸

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Subtotal: **\$295⁴⁰**

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FREE OM Lift Systems

FreedomLiftSystems.com

ACCESSIBILITY PROFESSIONALS

Freedom Residential Wheelchair Porch Lifts

The residential Trust-T-Lift 750 was designed for home use and offers an inexpensive means for providing entry into your home or apartment. The sturdy design will accommodate electric wheelchairs and scooters.

This durable and easy-to-use vertical lift is ADA compliant and suitable for indoor or outdoor applications requiring vertical transportation up to 52".

It is easy to operate, easy to install and almost maintenance free. Safety features include a non-slip low platform for easy roll-on/roll-off, safety barrier, a 42" solid railing, and constant pressure switches.

The sturdy engineering enables lifting and lowering up to 750 pounds accommodating both electric wheelchairs and scooters.

The lifts are completely weatherized and attractively finished in a durable off-white finish.

The Residential Porch Lifts come in 28" and 52" Models, depending on required vertical lift height with straight or adjacent access.

A 110 VAC 15A electrical receptacle must be provided within 6 feet of the tower side of the Trust-T-Lift. A dedicated circuit is recommended but not required.





Residential Wheelchair Porch Lifts Standard Features

- Smooth and quiet performance
- 750 lbs (340 kg) Lift Capacity
- 28" or 52" lifting height (adjustable to specified height)
- Extreme all weather resistant design
- 8 feet/minute lift speed
- Constant pressure Soft Touch control pads for ease of operation
- Grated metal platform with full under platform visibility
- Non-skid surface
- 8" positive action reversible toe plate for universal access
- Quick and easy set up and adjustment
- Synchronous geared belt drive with Acme screw-nut drive for maintenance free, quiet operation (much lower maintenance than V-belt or hydraulic systems)
- Zero load start for cold weather climates (drive system allows motor to get up to full speed before lifting).
- All mechanics are fully enclosed, yet easy to access through the rear or front of the housing unit.
- Attractively finished in a durable off-white baked on finish.
- Non load bearing backup safety nut on lift shaft
- Fuse box accessible from carriage
- Emergency stop and manual operation, Easy Access electrical junction box at the top of the lift.
- UL and CSA certified

Options

- Solid platform and under platform safety plates with 18" toe plate
- Carriage gate
- Landing gates
- Remote call stations
- Electrical/Mechanical interlocks
- 12V DC battery backup

The lift when configured with appropriate options can meet the ANSI A17.1 Part XX, Section 2100 codes, as it relates to residential applications.

Installation and Maintenance

We recommend a 5'x 5' concrete pad with a minimum 4" thickness.

Maintenance of the vertical platform lift unit shall consist of regular cleaning of the unit, protection of the painted surface of the unit.

Warranty

All parts are warranted against manufacture's defect for a two year period from the date of purchase. Parts are FOB Factory and shall not include labour costs required to replace the defective part(s).

Trus<T>Lift is a trademark of RAM Manufacturing,

U.L. and C.S.A. Certified

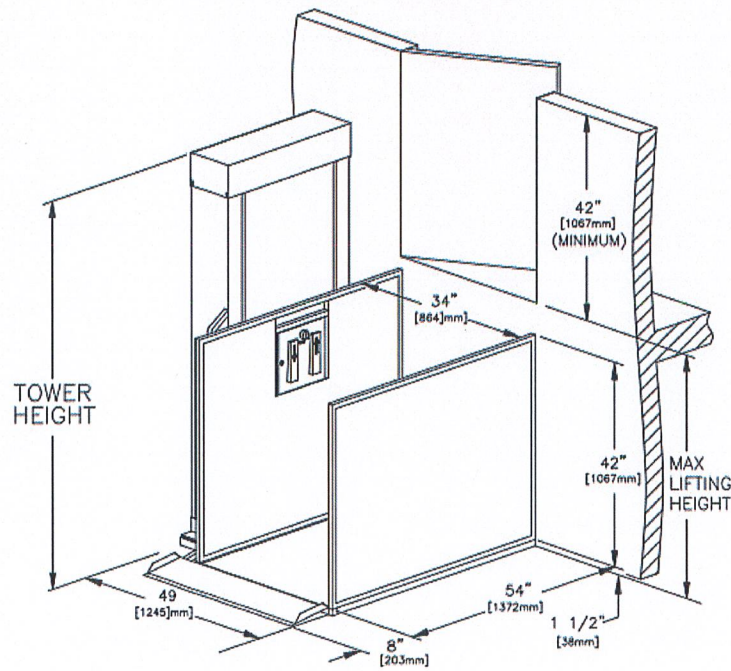
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Sizing

	Platform Size	Total Footprint (with tower)	Tower Heights	
			Lifting Height	Tower Height
Straight Through Access	W34" x L54"	W49" x L54"	28"	50.5"
			52"	74.5"
Adjacent Access	W40" x L54"	W54" x L54"		

*Custom platform sizes available upon request.

Straight Through Access



Adjacent Access

