

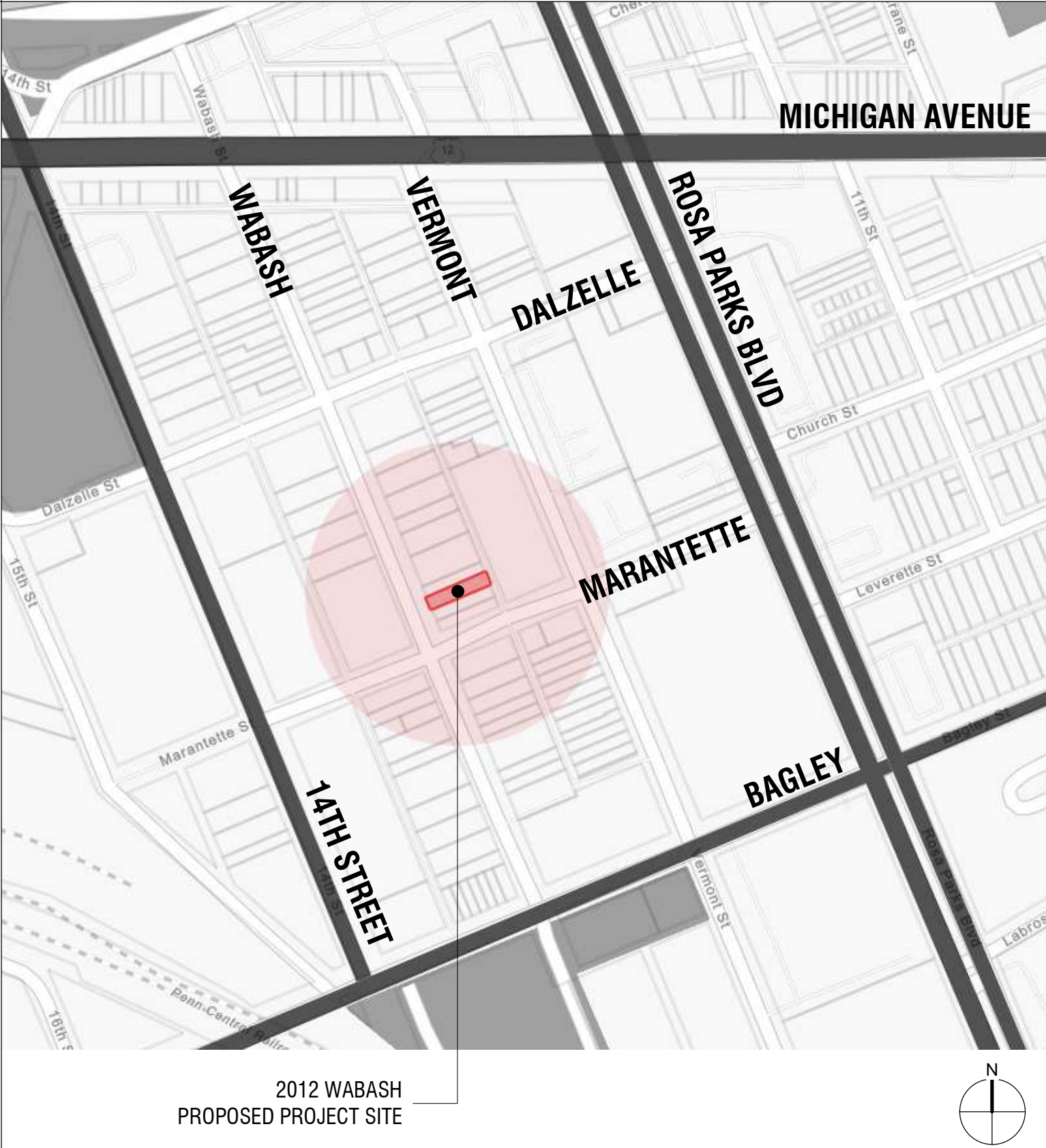
# 2012 WABASH

PROPOSED SINGLE FAMILY RESIDENCE



SITE AERIAL

LOCATION MAP



LEGAL DESCRIPTION

E WABASH S 25 FT 54 SUB OF PT OF O L NO 1 LAFFERTY FARM L1 P193 PLATS,  
W C R 8/21 25 X 130 SPLIT/COMBINED ON 02/17/2023 FROM 08008718.

EXISTING SITE INFORMATION

2012 WABASH STREET, DETROIT, MI 48216

PARCEL NO.: 08008718.001

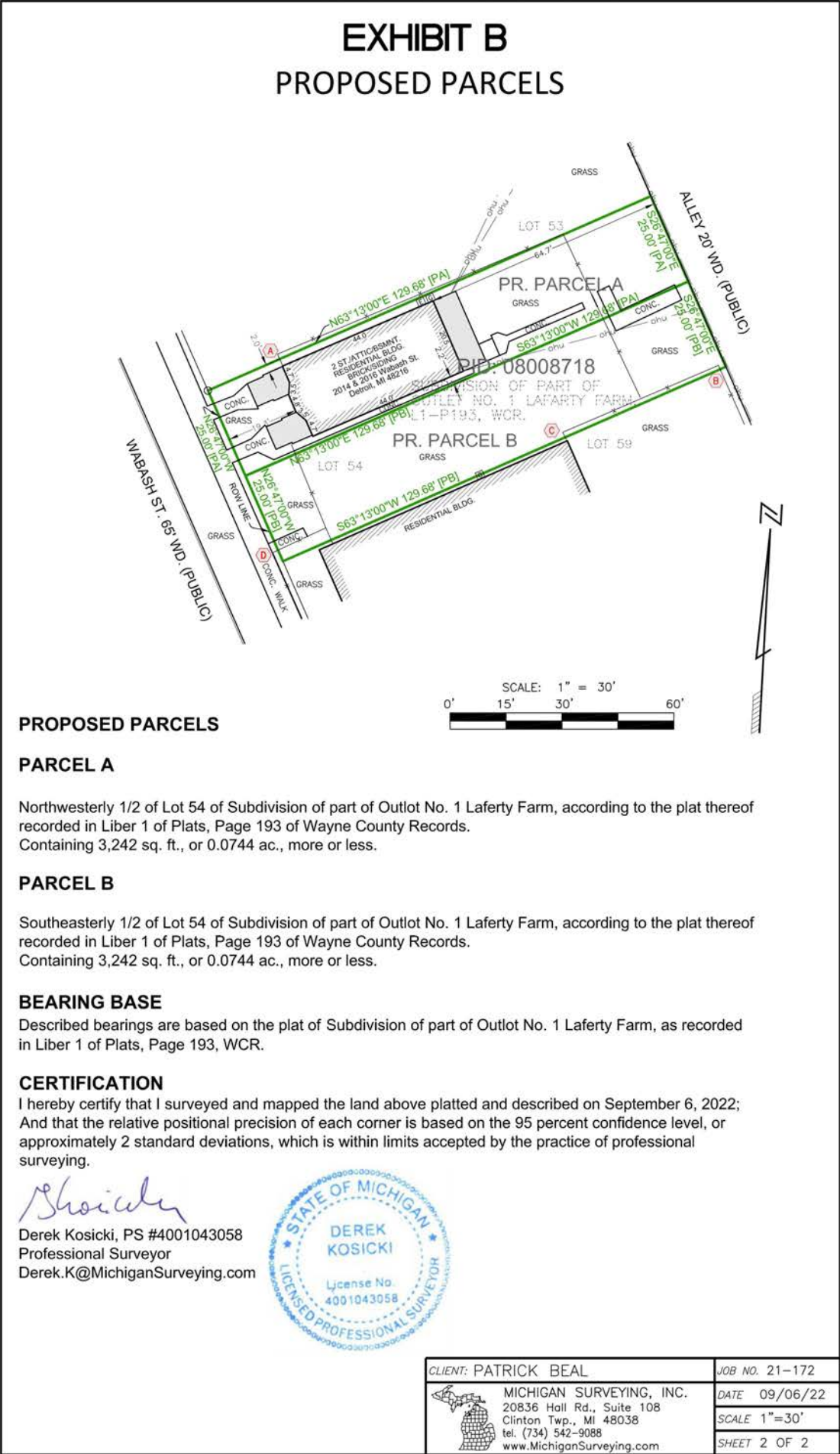
PARCEL SIZE: 25 FT X 150 FT (3,250 SF), 0.075 ACRES

ZONING: R2, RESIDENTIAL

**EXISTING CONDITIONS:**  
PARCEL IS A VACANT LOT. GROUND COVERING IS GRASS AND GRAVEL, FENCED WITH ADJACENT 2006 WABASH PROPERTY. THE EXISTING FENCE ALONG SIDEWALK IS PAINTED WOOD. THERE IS A LARGE TREE TOWARDS THE REAR OF LOT, AND TWO SMALL ORNAMENTAL TREES AT THE STREETFRONT. PARCEL IS ADJACENT TO AN ALLEY AT THE REAR.

THERE ARE NO EXISTING STRUCTURES ON THIS PARCEL.

SITE SURVEY



PROPOSED SCOPE OF WORK

- WEST ELEVATION (STREET)**
- WOOD-CLAD FACADE WITH NATURAL FINISH INSET IN PREFINISHED HORIZONTAL METAL LAP SIDING AT EDGES.
  - CEMENT-STUCCO FINISH AT GARDEN LEVEL / FOUNDATION WALL.
  - ENTRY PORCH & STOOP WITH FRONT FACING DOOR WITH TRANSOM WINDOW.
  - INSTALL SOLID ENTRY DOOR WITH WOOD FINISH AND TRANSOM.
  - INSTALL WOOD TREAD PORCH STAIR WITH METAL GUARD RAIL.
  - INSTALL 2-STORY WINDOW BAY. LOWER WINDOWS HAVE FIXED TRANSOMS. WINDOWS AT BOTH FLOORS HAVE A FIXED CENTER WINDOW AND TWO OPERABLE CASEMENT WINDOWS AT SIDES.
  - INSTALL 3-GANGED WINDOWS AT GARDEN LEVEL WITH OPERABLE CASEMENTS.
  - INSTALL PREFINISHED METAL COPING WITH 3" FASCIA
- NORTH ELEVATION**
- EXTERIOR CLADDING IS PREFINISHED METAL HORIZONTAL SIDING AT FIRST FLOOR TO ROOF. EXTERIOR FINISH AT BASE TO BE CEMENT-STUCCO.
  - FULL-HEIGHT ACCENT PANEL AT MID-ELEVATION WITH A COMBINATION OF WOOD, PREFINISHED METAL AND CHANNEL GLASS CONFIGURATION.
  - INSTALL PREFINISHED METAL GUARD RAIL AT ROOF SET BACK FROM WALL FACE.
  - INSTALL (5) WALL-MOUNTED EXTERIOR LIGHT FIXTURES.
- EAST ELEVATION (REAR)**
- WOOD-CLAD FACADE WITH NATURAL FINISH INSET IN PREFINISHED HORIZONTAL METAL LAP SIDING AT EDGES.
  - SECOND FLOOR JULIET BALCONY WITH 2-PANEL SLIDING GLASS DOOR & METAL GUARD RAIL.
  - GARDEN LEVEL TO HAVE SUNKEN AREAWAY WITH SLOPED GRADING TO PROVIDE EXTERIOR ACCESS. SLOPED GRADING TO BE A COMBINATION OF STACKED STONE AND PLANTINGS WITH A STACKED STONE STAIR TO GRADE.
  - INSTALL (1) HINGED ALUMINUM-CLAD WOOD DOOR AT GARDEN LEVEL.
  - INSTALL 4-PANEL BI-PARTING SLIDING GLASS DOOR.
  - INSTALL PREFINISHED ALUMINUM COPING WITH 3" FASCIA
  - INSTALL COLUMN-SUPPORTED WOOD DECK WITH STAIR TO GRADE. DECKING IS NATURAL WOOD WITH FOUR GLASS DECK PANELS. DECK AND STAIR ARE PROTECTED WITH METAL GUARD RAILING.
- SOUTH ELEVATION**
- EXTERIOR CLADDING IS PREFINISHED METAL HORIZONTAL SIDING. EXTERIOR FINISH AT BASE TO BE CEMENT-STUCCO.
  - INSTALL (4) OPERABLE CASEMENT WINDOW UNITS.
  - INSTALL (2) 2-GANG AWNING WINDOW UNITS.
  - INSTALL 3-GANG AWNING WINDOW UNIT.
  - INSTALL FIXED PICTURE WINDOW WITH GANGED CASEMENT UNIT.
  - INSTALL 3-GANG WINDOW UNIT WITH TWO OPERABLE CASEMENTS AND FIXED CENTER PANEL.
  - INSTALL PREFINISHED ALUMINUM COPING WITH 3" FASCIA
- ROOF & BULKHEAD**
- ROOF STRUCTURE WITH PREFINISHED METAL LAP SIDING AT (3) FACADES.
  - ASYMMETRICAL GABLE ROOF WITH PREFINISHED STANDING SEAM METAL ROOF.
  - INSTALL (1) ALUMINUM-CLAD WOOD & GLASS DOOR.
  - INSTALL ALUMINUM & GLASS WINDOW FRAMING UNITS AT EAST AND WEST ELEVATIONS.
  - INSTALL PREFINISHED ALUMINUM BOX GUTTER AT NORTH EAVE.
  - INSTALL WOOD DECK TILES ON ROOF SURFACE.
  - INSTALL PREFINISHED METAL GUARD RAIL AT PERIMETER.
- SITE**
- INSTALL 20' X 20' PERMEABLE PAVEMENT AREA AT REAR ALLEY TO ACCOMMODATE TWO OFF-STREET PARKING SPACES.
  - PLANT ONE STREET TREE PER CITY OF DETROIT ZONING ORDINANCE.
  - REMOVE ONE LARGE EXISTING TREE AT REAR YARD.
  - REMOVE EXISTING WOOD FENCE AT FRONT WALK.
  - REMOVE METAL CHAIN-LINK FENCE AT ALLEY.
  - INSTALL GRASS AT FRONT & REAR YARDS.
  - INSTALL 6' TALL WOOD PRIVACY FENCE AT NORTH LOT LINE.
  - INSTALL 6' TALL WOOD PRIVACY FENCE AT EAST LOT LINE (ALLEY) WITH FOUR HINGED GATES.
  - INSTALL 3" GRAVEL LAYER AT FRONT AND SIDES OF HOUSE.
  - PROVIDE PLANTING BED AT FRONT OF HOUSE WITH SHRUBS AND ORNAMENTAL GRASSES.
  - INSTALL NEW FULL-WIDTH CONCRETE SIDEWALK AT FRONT OF LOT.
  - INSTALL CONCRETE PAVEMENT PATH ALONG NORTH SIDE OF HOUSE.

PROPOSED PROJECT DESCRIPTION

CONSTRUCT A NEW 2-STORY, PLUS BASEMENT SINGLE-FAMILY HOUSE AT 2012 WABASH.

THE BLOCK OF WABASH BETWEEN DALZELLE AND MARANTETTE CONTAINS BOTH SMALL WOOD SINGLE-STORY COTTAGES AND TWO-STORY WOOD DUPLEXES AS WELL AS A MIX OF IDIOSYNCRATIC HISTORIC AND NEWER INFILL STRUCTURES. THESE BUILDINGS INCLUDE A MASONRY MULTI-FAMILY APARTMENT BUILDING, FLAT-ROOFED ADU, AND A FORMER GAS STATION TURNED COMMERCIAL STORAGE FACILITY. THE BLOCK HAS ONE OTHER VACANT PARCEL. THE PROJECT SITE IS LOCATED ACROSS FROM THE FORMER ST. VINCENT MIDDLE SCHOOL.

THE MATERIALS OF THE PROPOSED BUILDING INCORPORATES HORIZONTAL SIDING WHICH ARE BOTH PRESENT ON THE BLOCK.

ELEMENTS OF THE PROPOSED DWELLING ARE CONSISTANT WITH OTHER STRUCTURES ON THE BLOCK INCLUDING AN ASYMMETRICAL STREET FACADE, OFFSET FRONT PORCH AND BAY WINDOW. THE FRONT SETBACK ALIGNS WITH THE CONTEXTUAL SETBACK OF THE ADJACENT RESIDENCES TO THE NORTH AND SOUTH ON WABASH. THE FLOOR AREA IS SIMILAR TO THE OTHER DWELLINGS ON WABASH.

THE PROPOSED DWELLING FEATURES A SMALL FRONT PORCH AND BAY WINDOW INSET WITHIN A NATURAL WOOD-FRAMED PANEL. THE PROPORTIONS OF THE FRONT FACADE AND ITS OPENINGS PLAY OFF A TRADITIONAL LARGE LOWER BAY WINDOW, WITH BOTH LARGE & SMALL OPENINGS AT THE SECOND FLOOR. MODERN LINEAR BRICK DETAILS ADD DEPTH TO THE FRONT FACADE.

THE PROPOSED FOOTPRINT IS SMALLER THAN BUILDINGS THAT EXISTED ON THE SITE SINCE 1884, BUT IS CONSISTENT WITH EXISTING BUILDINGS ON THE BLOCK.

PER THE SANBORN MAPS, THE PROPERTY HAS HOSTED SEVERAL ACCESSORY BUILDINGS INCLUDING A GARAGE THAT WAS DEMOLISHED PRIOR TO THE CURRENT OWNERS.

DRAWING LIST

NO.	SHEET NAME
HDC0	COVER SHEET
HDC1	SITE HISTORY
HDC2	EXISTING CONDITIONS STREET ELEVATION
HDC3	EXISTING CONDITIONS - SURROUNDING CONTEXT
HDC4	EXISTING CONDITIONS - SURROUNDING CONTEXT
HDC5	EXISTING CONDITIONS - SITE SURVEY
HDC6	SITE PLAN & CODE SUMMARIES
HDC7	PROPOSED FLOOR PLANS
HDC8	PROPOSED FLOOR PLANS
HDC9	PROPOSED EXTERIOR ELEVATIONS
HDC10	PROPOSED BUILDING SECTIONS
HDC11	EXISTING & PROPOSED STREET ELEVATIONS
HDC12	PROPOSED EXTERIOR VIEWS
HDC13	PROPOSED EXTERIOR VIEWS
HDC14	PROPOSED EXTERIOR MATERIALS
HDC15	PROPOSED EXTERIOR MATERIALS

NO. DATE DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

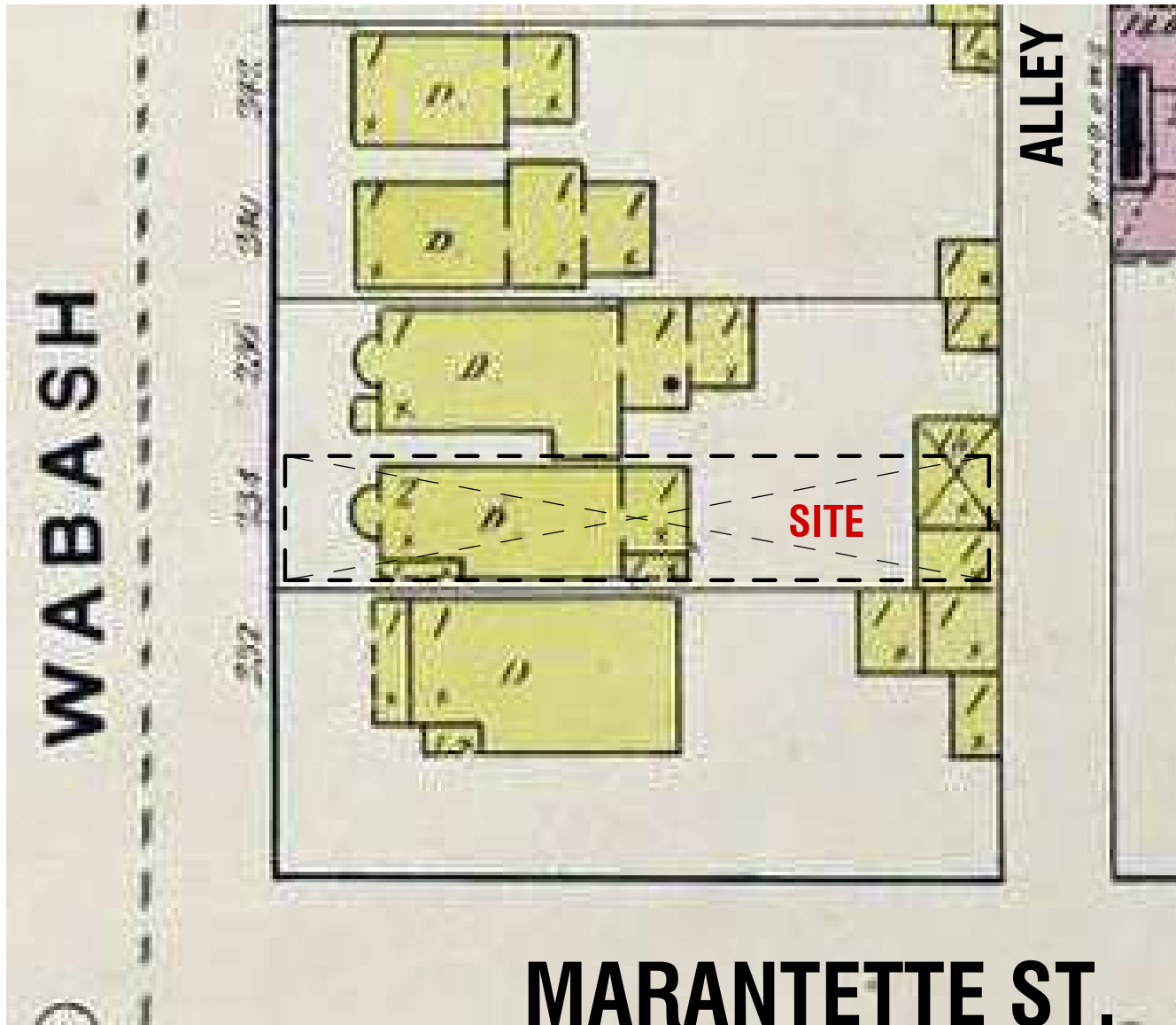
COVER SHEET

# HDC0



SITE HISTORY

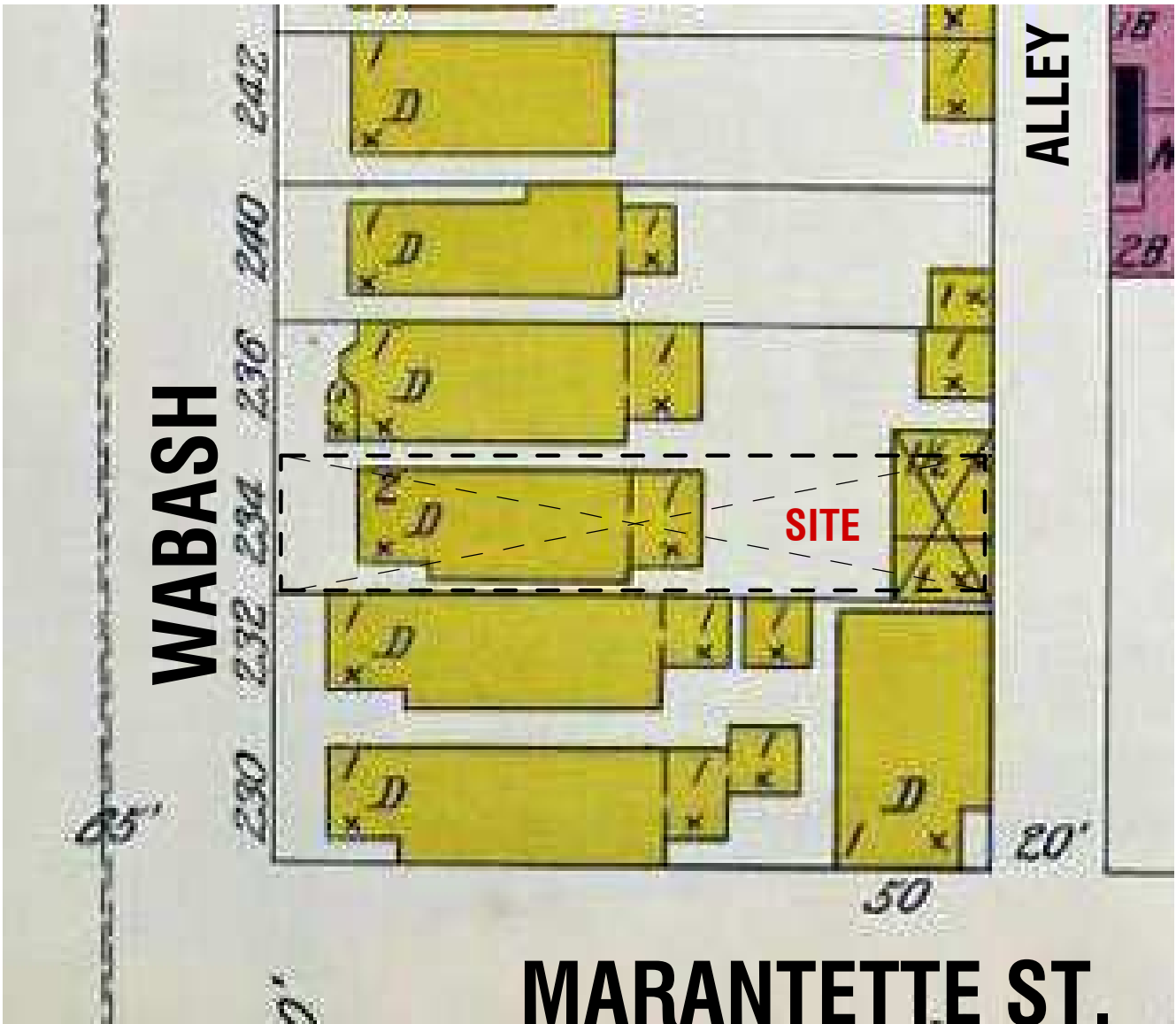
234 WABASH (PROJECT SITE)



1889 SANBORN MAP

- EXISTING 2-STORY WOOD-FRAMED DWELLING AT PROPOSED PROJECT SITE.
- PROJECT SITE IS ON COMBINED 50 FT. WIDE LOT WITH 236 WABASH.
- TWO ALLEY STRUCTURES ARE LOCATED AT ALLEY.

234 WABASH



1897 SANBORN MAP

- EXISTING SIDE PORCHES SEEM TO BE REMOVED.
- REAR ADDITION AT 236 WABASH WAS REMOVED.

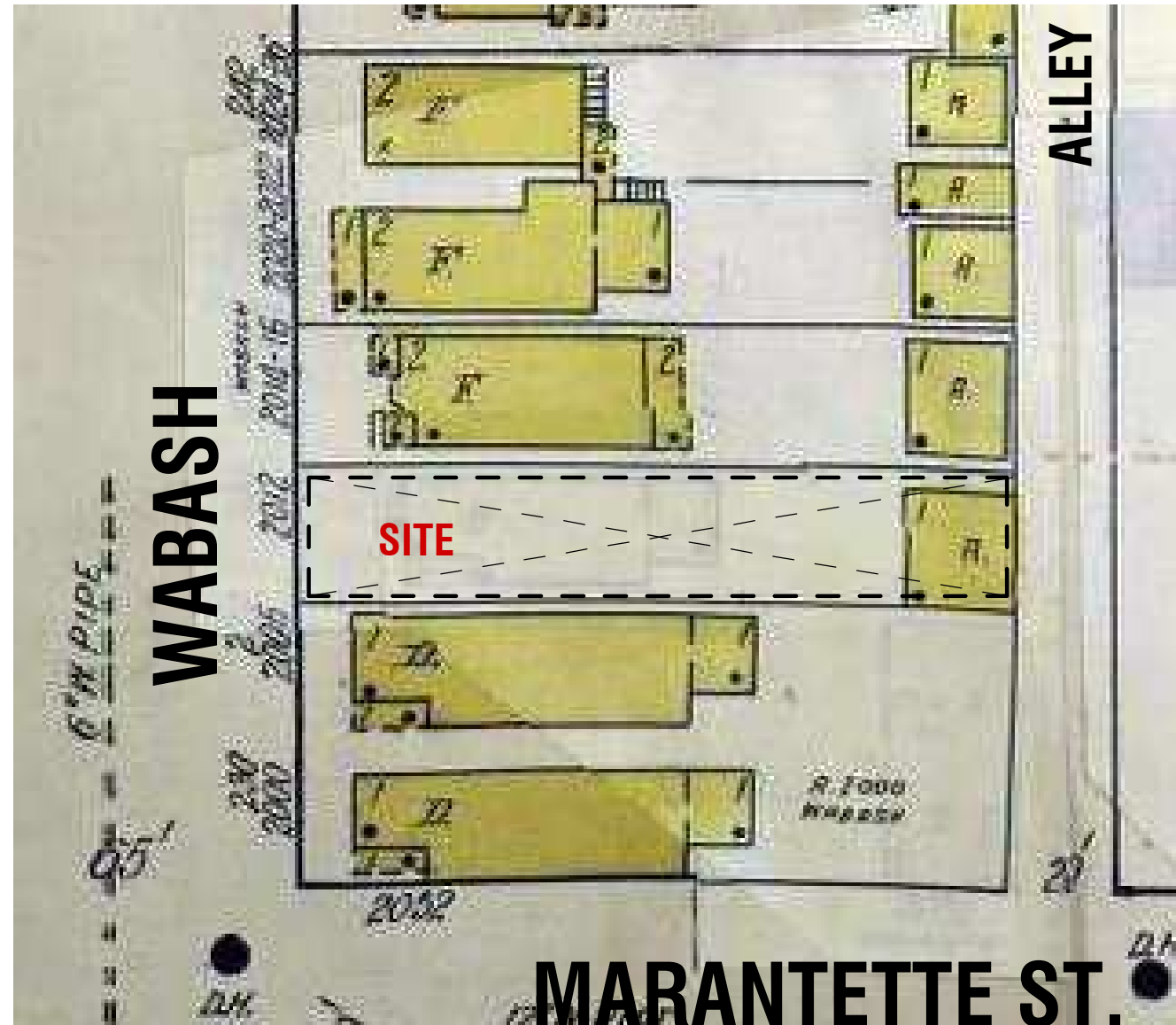
2012 WABASH (PREVIOUSLY 234 WABASH)



1921 SANBORN MAP

- EXISTING ALLEY BUILDING SEEMS TO BE MODIFIED AS GARAGE.
- FRONT PORCH IS INDICATED.
- EXISTING 1-STORY DWELLING AT 2014 WABASH (236) IS REPLACED WITH A 2-STORY BUILDING WITH MULTIPLE DWELLING UNITS.

2012 WABASH



1950 SANBORN MAP

- EXISTING BUILDING AT PROPOSED PROJECT SITE IS REMOVED.
- EXISTING ALLEY BUILDING SEEMS MODIFIED TO LARGER 1-STORY GARAGE.
- IT APPEARS PARCEL WAS SPLIT TO FORM TWO SEPARATE 25 FT WIDE PARCELS. LOTS WERE RECOMBINED INTO 50 FT WIDE LOT SOMETIME AFTER 1950.



HISTORIC PHOTO - 2014-2016 WABASH

TAPPAN SCHOOL SITE  
LOCATED AT CURRENT-  
MULLIET PARK BALLFIELD

REAR OF PROPOSED  
PROJECT SITE

VERMONT ST.  
(LABELED 13TH ST.)

PROPOSED PROJECT SITE



HISTORIC PHOTO - TAPPAN SCHOOL 1882

NO. DATE DESCRIPTION

ISSUE FOR:  
HDC APPLICATION

PROPOSED NEW RESIDENCE AT  
2012 WABASH

2012 WABASH, DETROIT MI 48216

SITE HISTORY

HDC1





DALZELLE

2051 DALZELLE

2072 WABASH



2072 WABASH

2060 WABASH

2050 WABASH

2044 WABASH

2038 WABASH



2038 WABASH

2020 WABASH

2014 WABASH

2012 WABASH

2006 WABASH

2000 WABASH

MARANTETTE

1798 WABASH

PROPOSED PROJECT LOCATION

EXISTING CONDITIONS - STREET ELEVATION

NO. DATE DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

EXISTING  
CONDITIONS  
STREET ELEVATION

**HDC2**





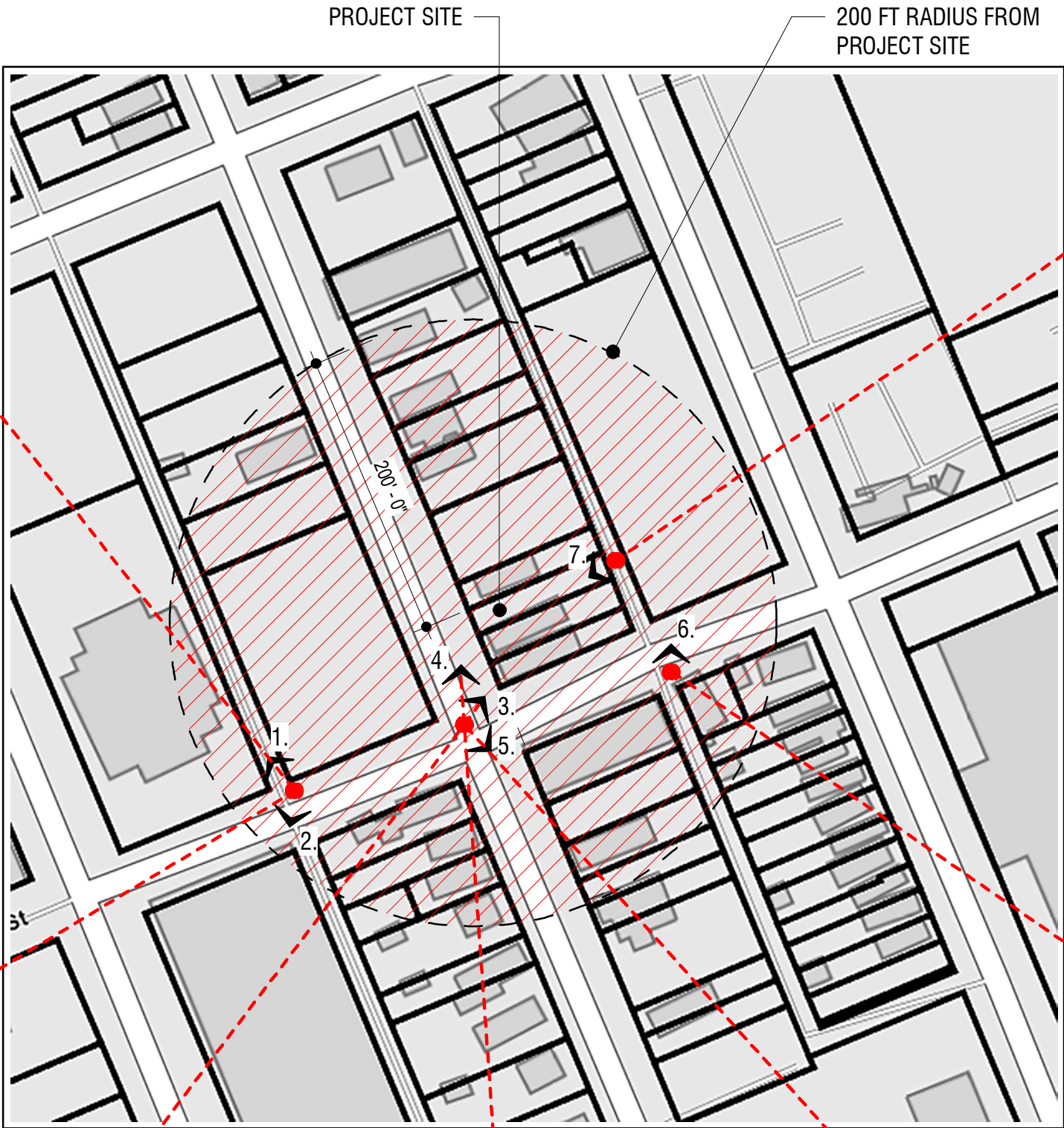
1. VIEW TO NORTHWEST FROM MARANTETTE & ALLEY



2. VIEW TO SOUTH FROM MARANTETTE & ALLEY



3. VIEW TO NORTHEAST FROM WABASH & MARANTETTE



1 VIEW KEY  
1" = 100'-0"



4. VIEW TO NORTH FROM MARANTETTE & WABASH



7. VIEW TO SOUTHWEST FROM ALLEY (PROJECT SITE)



6. VIEW TO NORTH FROM MARANTETTE



5. VIEW TO SOUTHEAST FROM WABASH & MARANTETTE





3. VIEW TO NORTHWEST FROM WABASH & DALZELLE



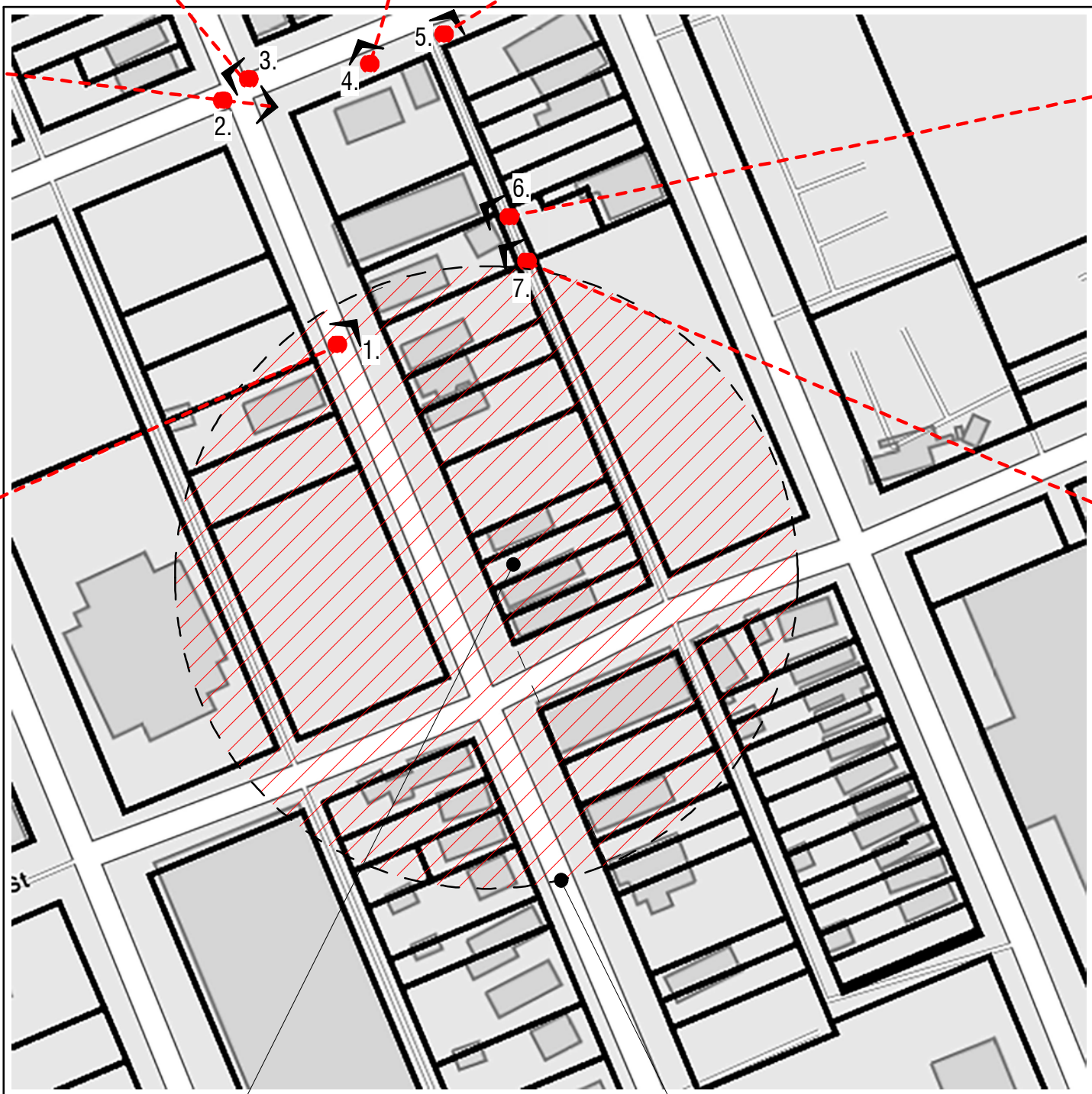
4. VIEW TO NORTH AT DALZELLE & ALLEY



5. VIEW TO NORTH FROM DALZELLE & VERMONT



2. VIEW TO SOUTHEAST FROM WABASH & DALZELLE



PROJECT SITE  
200 FT RADIUS FROM PROJECT SITE  
1 VIEW KEY  
1" = 100'-0"



6. VIEW TO NORTHWEST FROM ALLEY



1. VIEW TO NORTHEAST FROM WABASH



6. VIEW TO NORTHWEST FROM ALLEY

NO. DATE DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**EXISTING  
CONDITIONS -  
SURROUNDING  
CONTEXT**

**HDC4**







LEGAL DESCRIPTION

E WABASH S 25 FT 54 SUB OF PT OF O L NO 1 LAFFERTY FARM L1 P193 PLATS,  
W C R 8/21 25 X 130 SPLIT/COMBINED ON 02/17/2023 FROM 08008718.

ZONING SUMMARY

2012 WABASH STREET, DETROIT, MI 48216

PARCEL NO.: 08008718.001

PARCEL SIZE: 25 FT X 150 FT (3,250 SF), 0.075 ACRES

ZONING: R2, RESIDENTIAL  
42 - CORKTOWN

**EXISTING CONDITIONS:**  
PARCEL IS A VACANT LOT. GROUND COVERING IS GRASS AND GRAVEL,  
FENCED WITH ADJACENT 2006 WABASH PROPERTY. THE EXISTING FENCE  
ALONG SIDEWALK IS PAINTED WOOD. THERE IS A LARGE TREE TOWARDS  
THE REAR OF LOT, AND TWO SMALL ORNAMENTAL TREES AT THE  
STREETFRONT. PARCEL IS ADJACENT TO AN ALLEY AT THE REAR.

THERE ARE NO EXISTING STRUCTURES ON THIS PARCEL.

ZONING REQUIREMENTS

**DIVISION 3. - ALTERNATIVE RESIDENTIAL DEVELOPMENT OPTIONS**  
Sec. 50-13-254. - Lots of less than 5,000 square feet (small lots). 3,250sf lot proposed. 25ft x 130ft  
Sec. 50-13-256. - Small lot development standards. See below:

Item	Standard	Proposed
Maximum number of units per lot	1	1
Maximum block length	500 feet	500 feet
Types of housing permitted	Single family dwellings only	Single family
Avoiding garage dominance	See 50-14-393 of this Code.	No garage proposed
Min usable private open space/dwelling unit	350sf min 18ft dim.	+360sf proposed
Private storage	No detached sheds allowed	No shed proposed

**SETBACKS:**  
FRONT: CONTEXTUAL SETBACK REQUIRED 12'-7" PROPOSED  
SIDE SETBACKS: NO MINIMUM PER SMALL LOTS 3FT PROPOSED  
REAR SETBACK: 30FT MINIMUM 67'-0" PROPOSED

**MAX HEIGHT** 35FT MAXIMUM 32FT PROPOSED  
**MAX LOT COVERAGE** 42.5% MAXIMUM (Sec. 50-13-185) 36% PROPOSED

**PARKING**  
PER Sec. 61-14-24. SINGLE FAMILY DWELLING: 2 per dwelling unit on same lot required.

NO. DATE DESCRIPTION

BUILDING CODE SUMMARY

SECTION 1 - GENERAL DESCRIPTION

**PROJECT NAME:** PROPOSED 2012 WABASH STREET  
**DESCRIPTION:** NEW SINGLE FAMILY DWELLING  
**LOCATION:** 2012 WABASH, DETROIT, MI 48216

**APPLICABLE CODES:**  
**BUILDING:** MICHIGAN RESIDENTIAL CODE 2015

**GARDEN LEVEL:** 815 SF  
**FIRST FLOOR:** 875 SF  
**LEVEL 2:** 875 SF  
**TOTAL BUILDING:** 2,565 SF

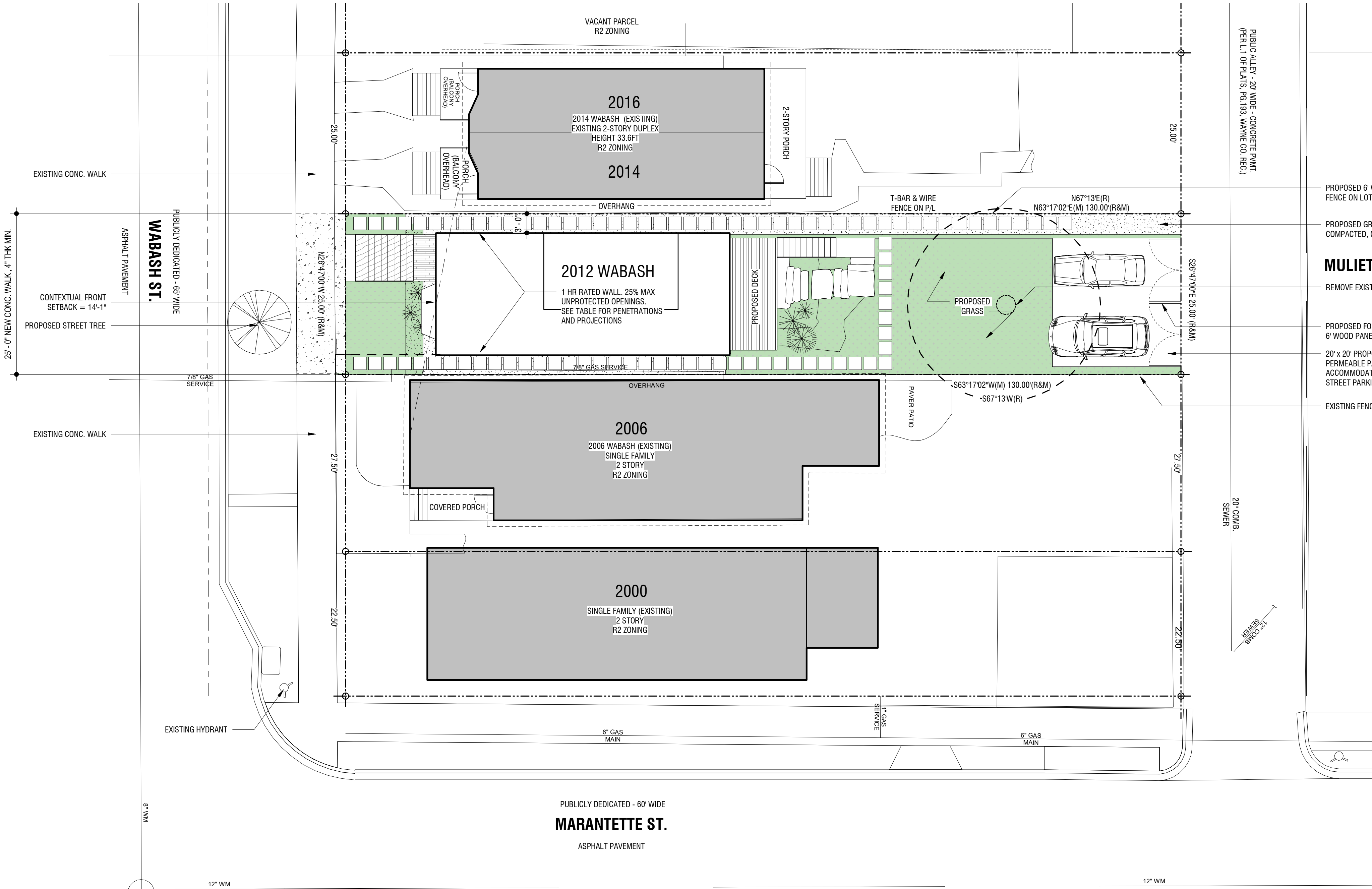
**USE GROUP(S) (CHAPTER 3):** R

**SECTION R302**  
**FIRE-RESISTANT CONSTRUCTION**  
R302.1 Exterior walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1).

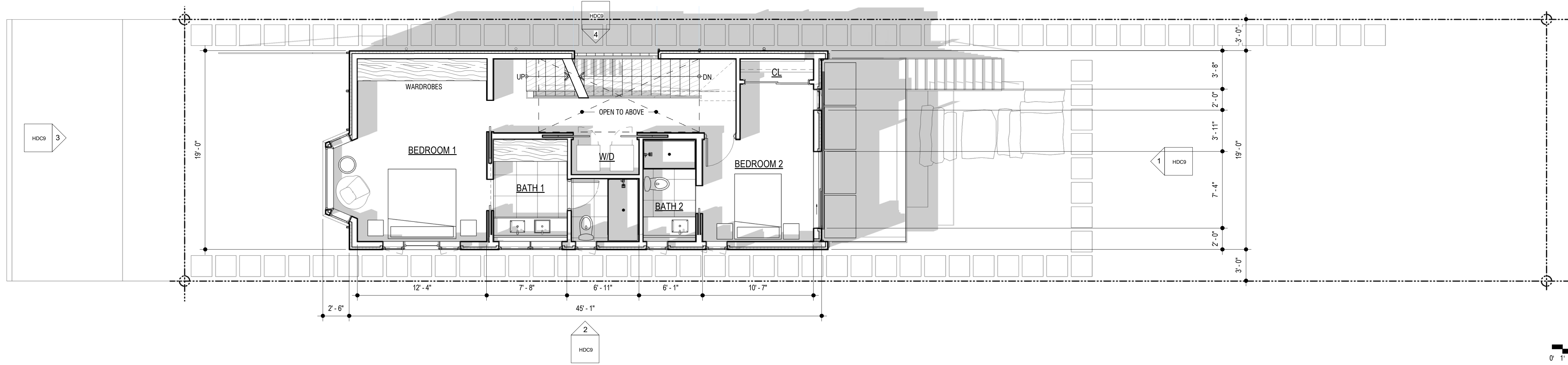
TABLE R302.1(1) EXTERIOR WALLS		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E119 or UL 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated	N/A	≥ 5 feet
Projections	Fire-resistance rated	1 hour on the underside	≥ 2 feet
	Not fire-resistance rated	N/A	≥ 2 feet to < 5 feet
Openings in walls	Fire-resistance rated	0 hours	≥ 5 feet
	Not fire-resistance rated	N/A	< 3 feet
Penetrations	Fire-resistance rated	25% maximum of wall area	≥ 3 feet
	Not fire-resistance rated	0 hours	3 feet
Penetrations	Fire-resistance rated	Unlimited	< 5 feet
	Not fire-resistance rated	Comply with Section R302.4	5 feet

For SI: 1 foot = 304.8 mm.  
N/A = Not Applicable.  
\* Except as allowed as per Section R302.1 exceptions 3 and 4.  
R 408.305(4)d

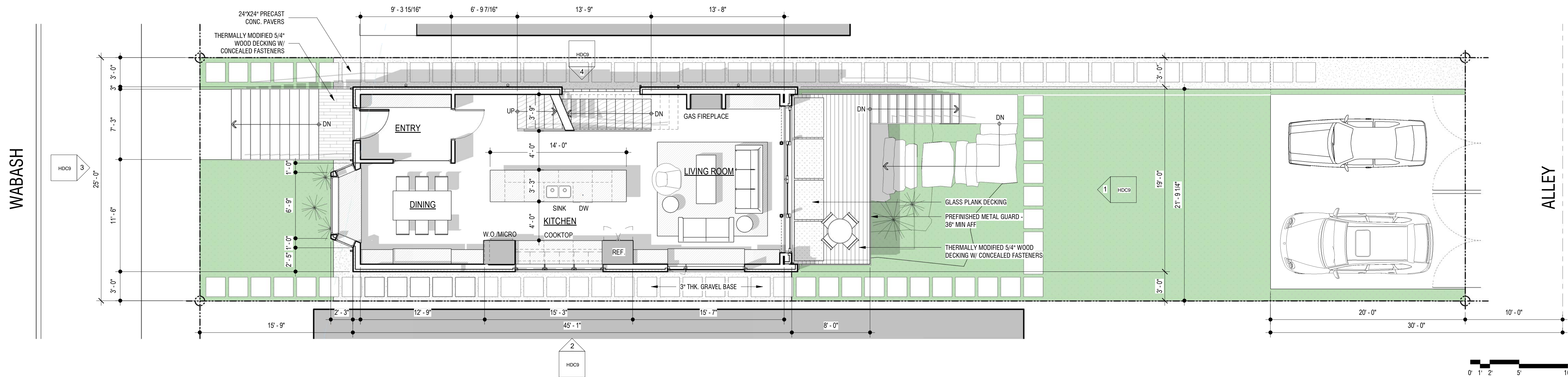
ANY EXTERIOR WALLS > 5FT FROM PROPERTY LINE MUST BE FIRE RATED 1HR  
ANY PROJECTIONS 2FT < 5FT MUST BE FIRE RESISTANCE RATED 1HR ON THE UNDERSIDE  
ANY NON-RATED OPENINGS IN EXTERIOR WALLS > 5FT FROM PROPERTY LINE LIMITED TO 25% OF TOTAL WALL AREA.  
ANY PENETRATIONS IN WALLS > 5FT MUST BE COMPLY WITH SECTION R302.4 (R302.4 Dwelling unit rated penetrations.)



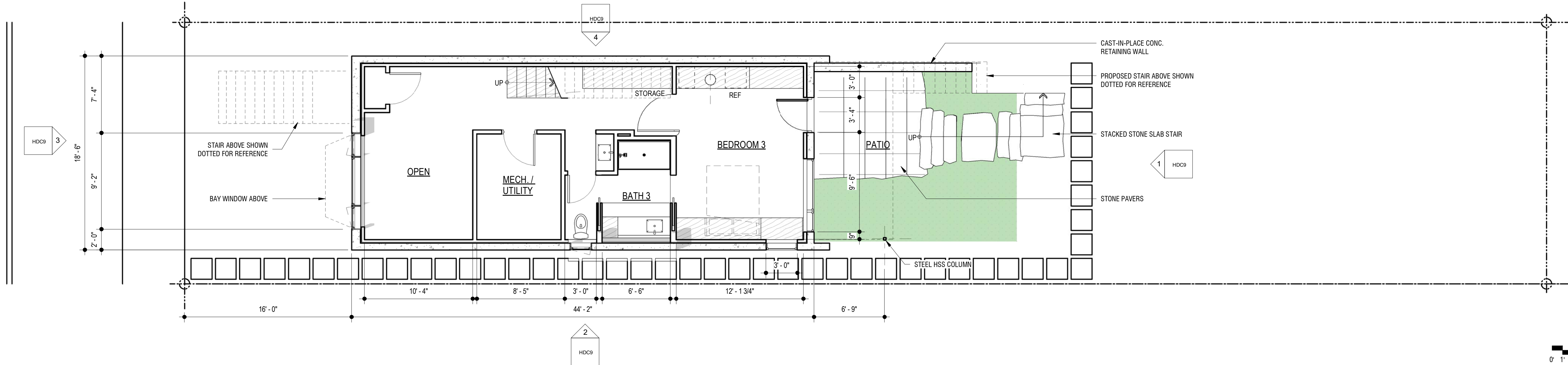




**3 SECOND FLOOR CONSTRUCTION PLAN**  
3/16" = 1'-0"



**2 FIRST FLOOR CONSTRUCTION PLAN**  
3/16" = 1'-0"



**1 GARDEN LEVEL CONSTRUCTION PLAN**  
3/16" = 1'-0"

NO. DATE DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**PROPOSED FLOOR  
PLANS**

**HDC7**



NO.	DATE	DESCRIPTION
-----	------	-------------

ISSUE FOR:  
**HDC APPLICATION**

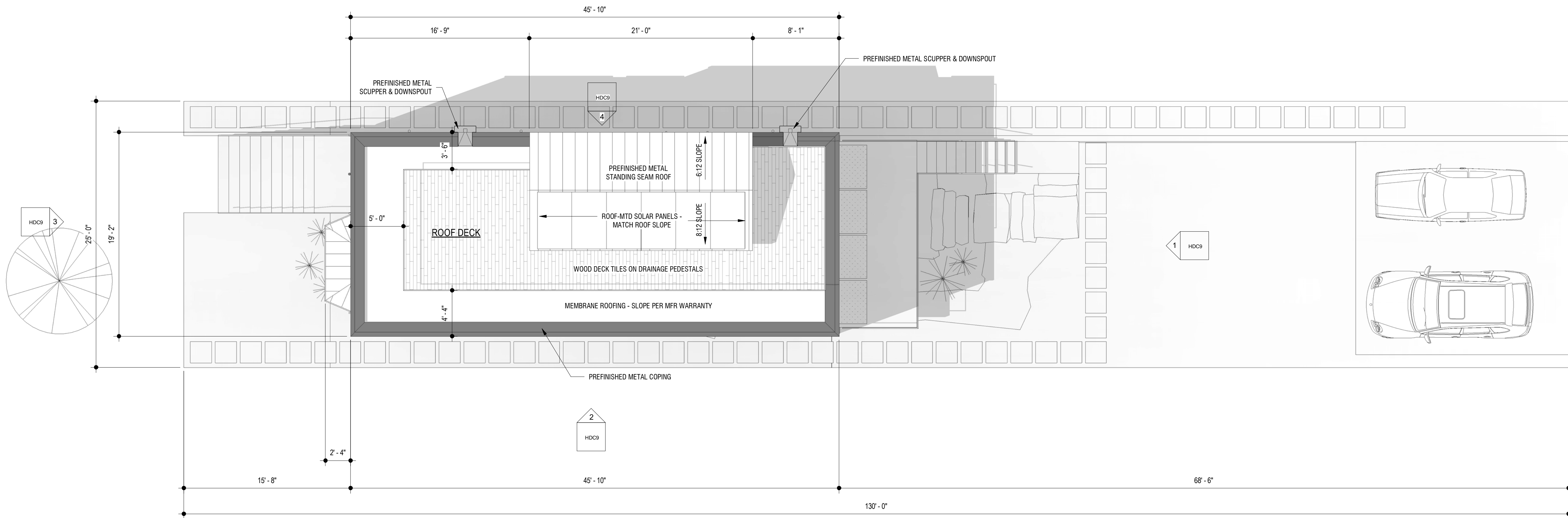
PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

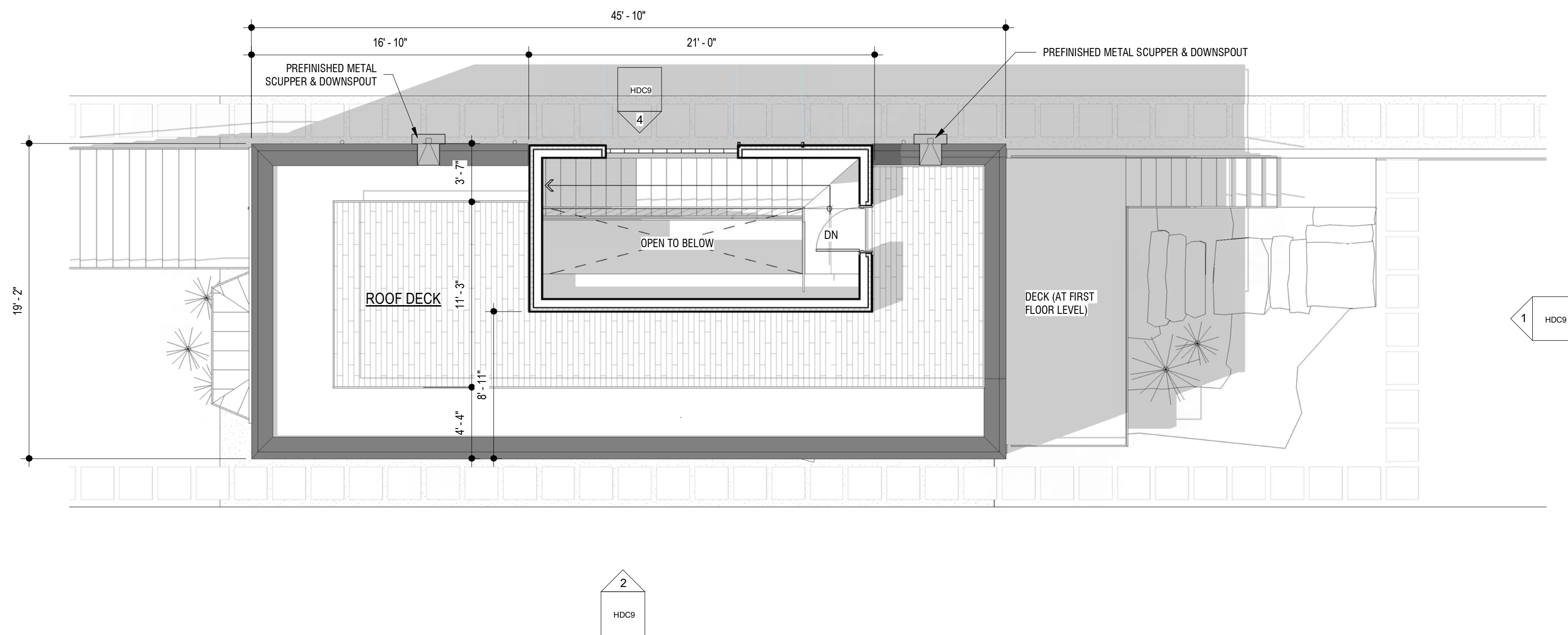
**PROPOSED FLOOR  
PLANS**

**HDC8**

05.9.2025

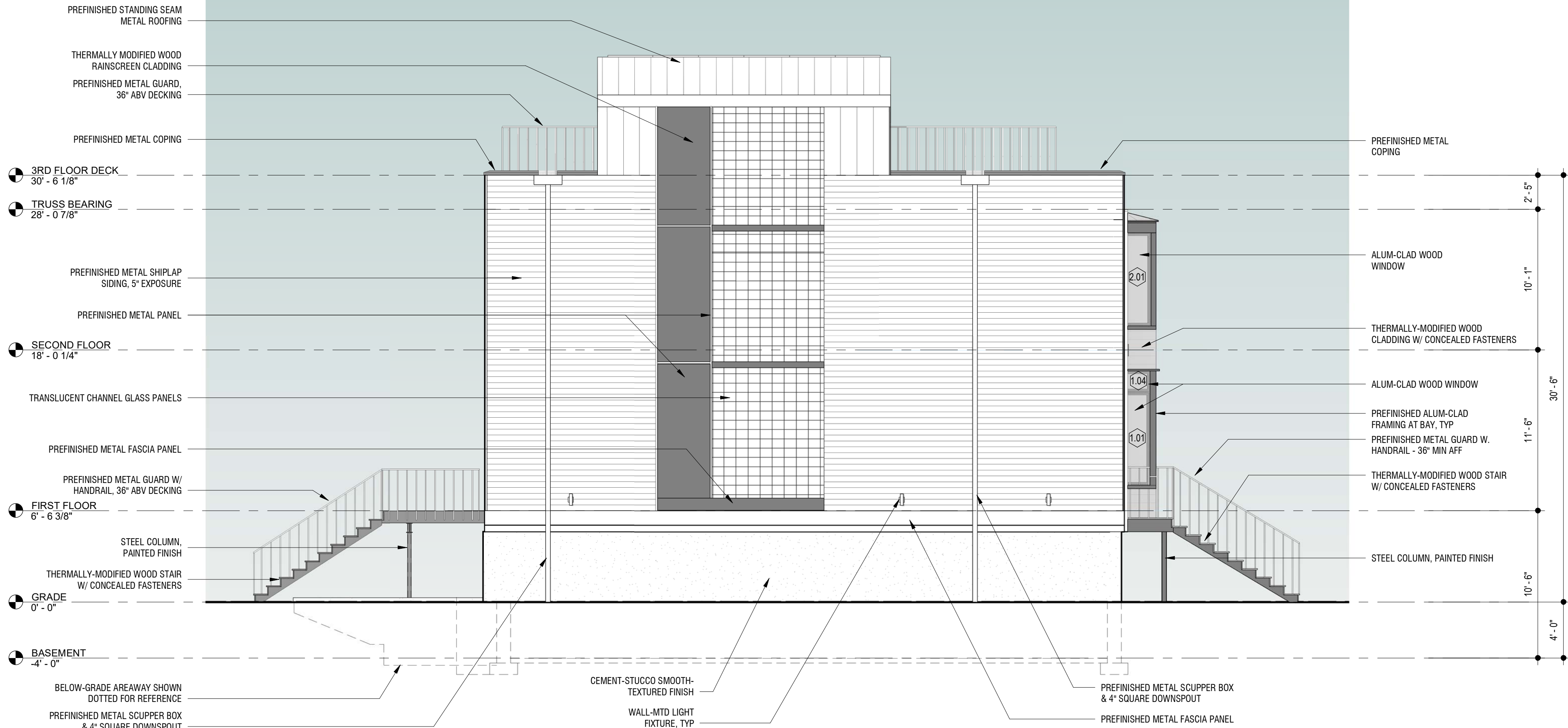


**2 ROOF PLAN**  
3/16" = 1'-0"

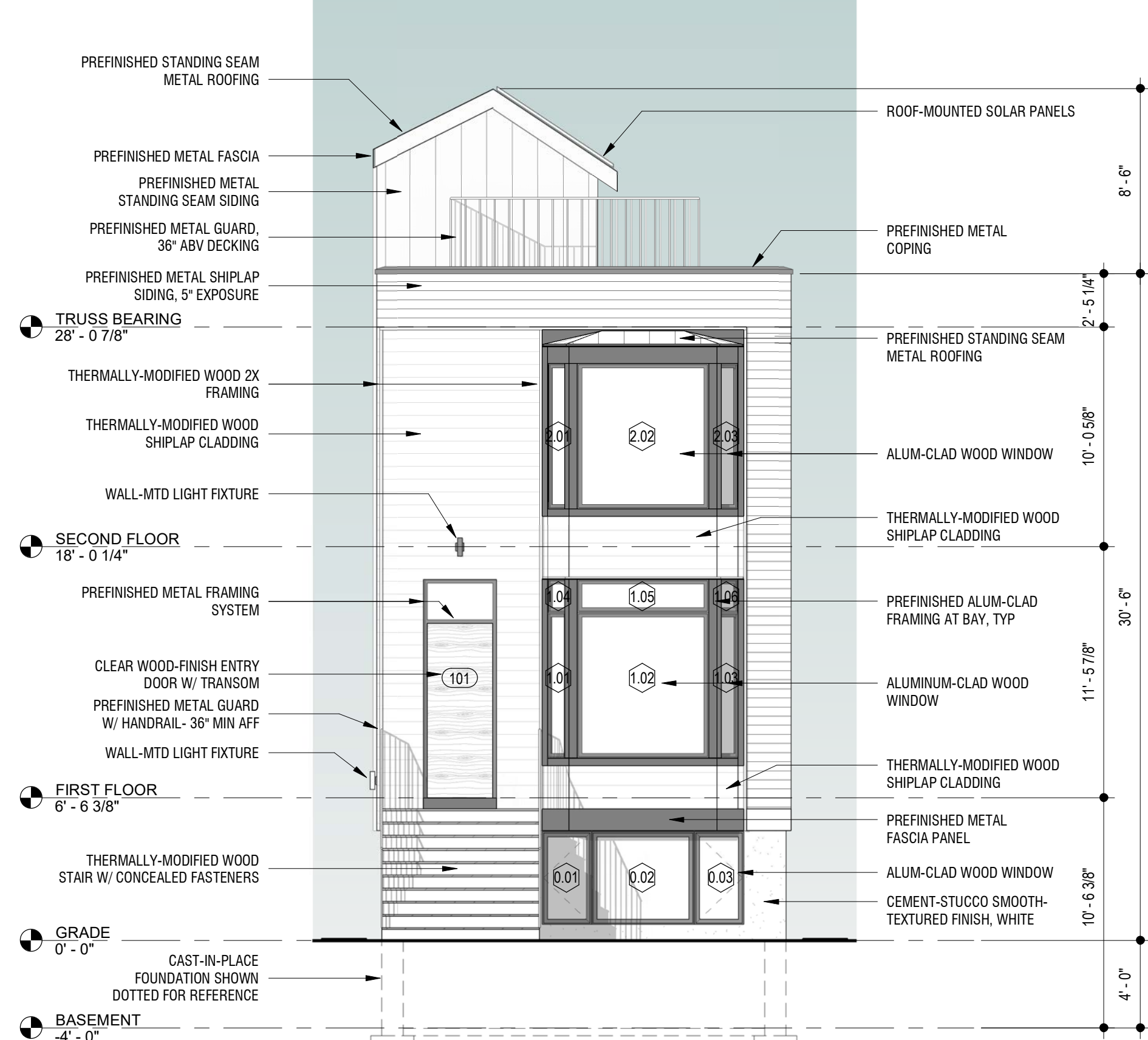


**1 ROOF BULKHEAD PLAN**  
3/16" = 1'-0"

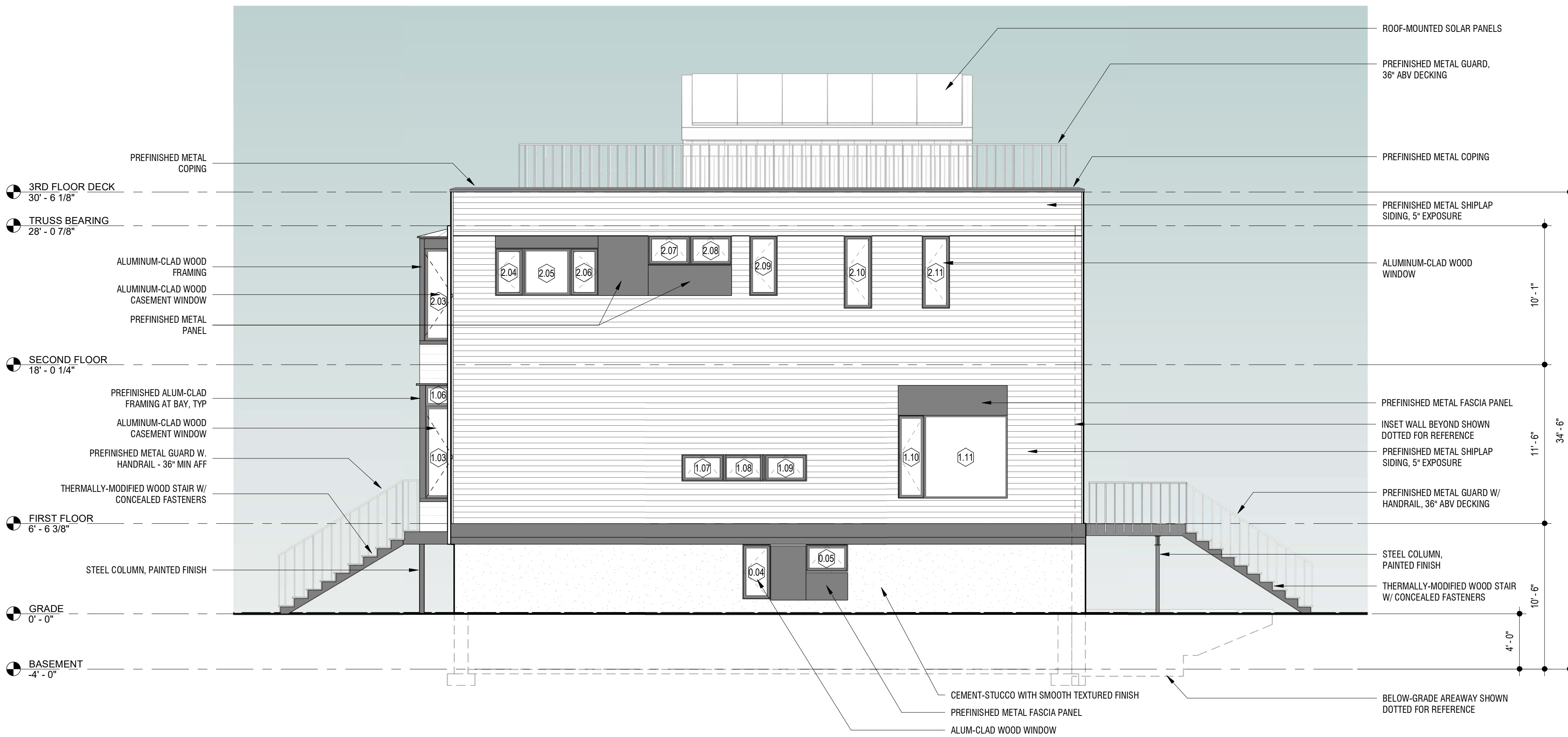




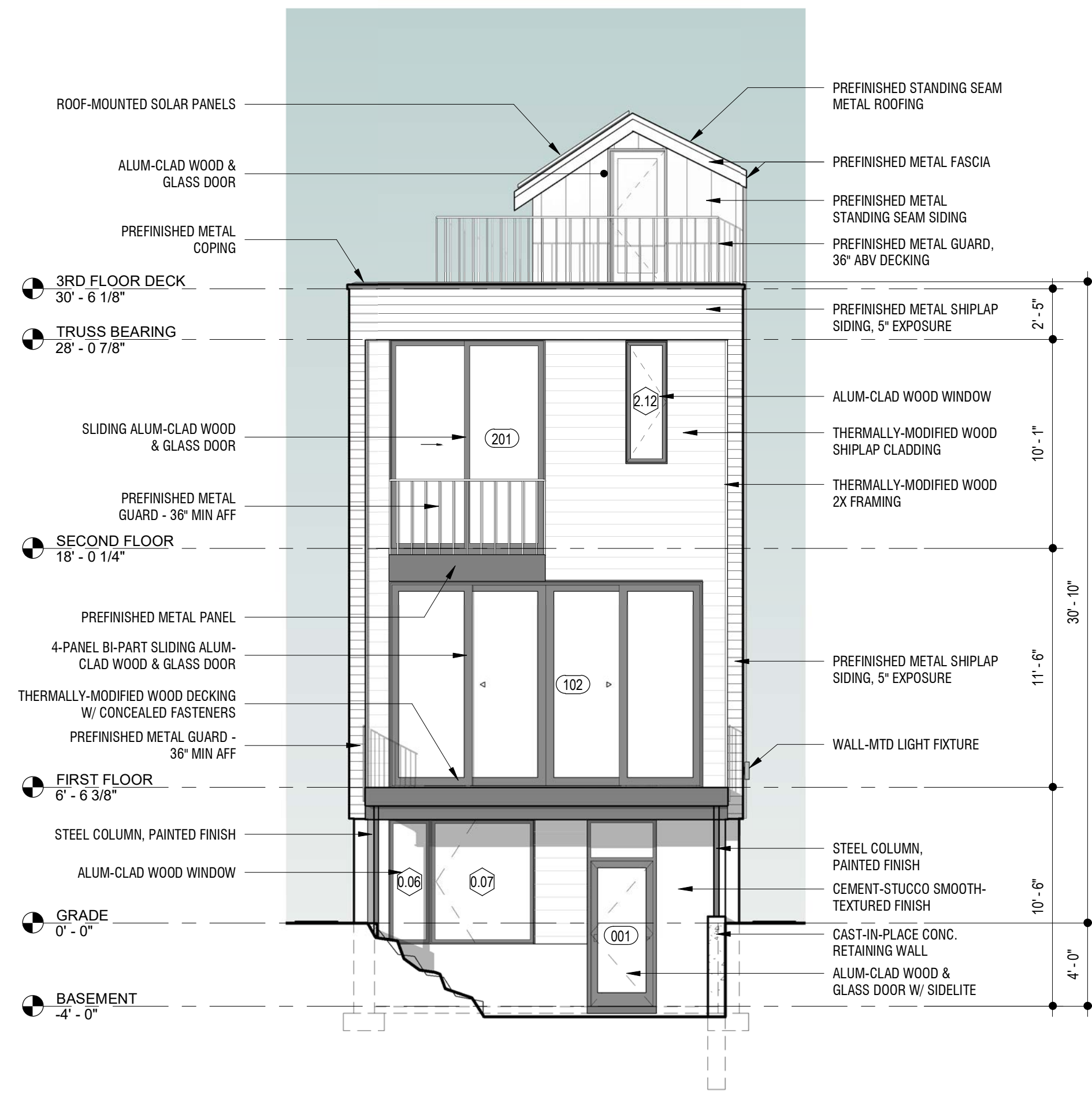
**4 NORTH ELEVATION**  
3/16" = 1'-0"



**3 WEST ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"



**1 EAST ELEVATION**  
3/16" = 1'-0"

NO.      DATE      DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

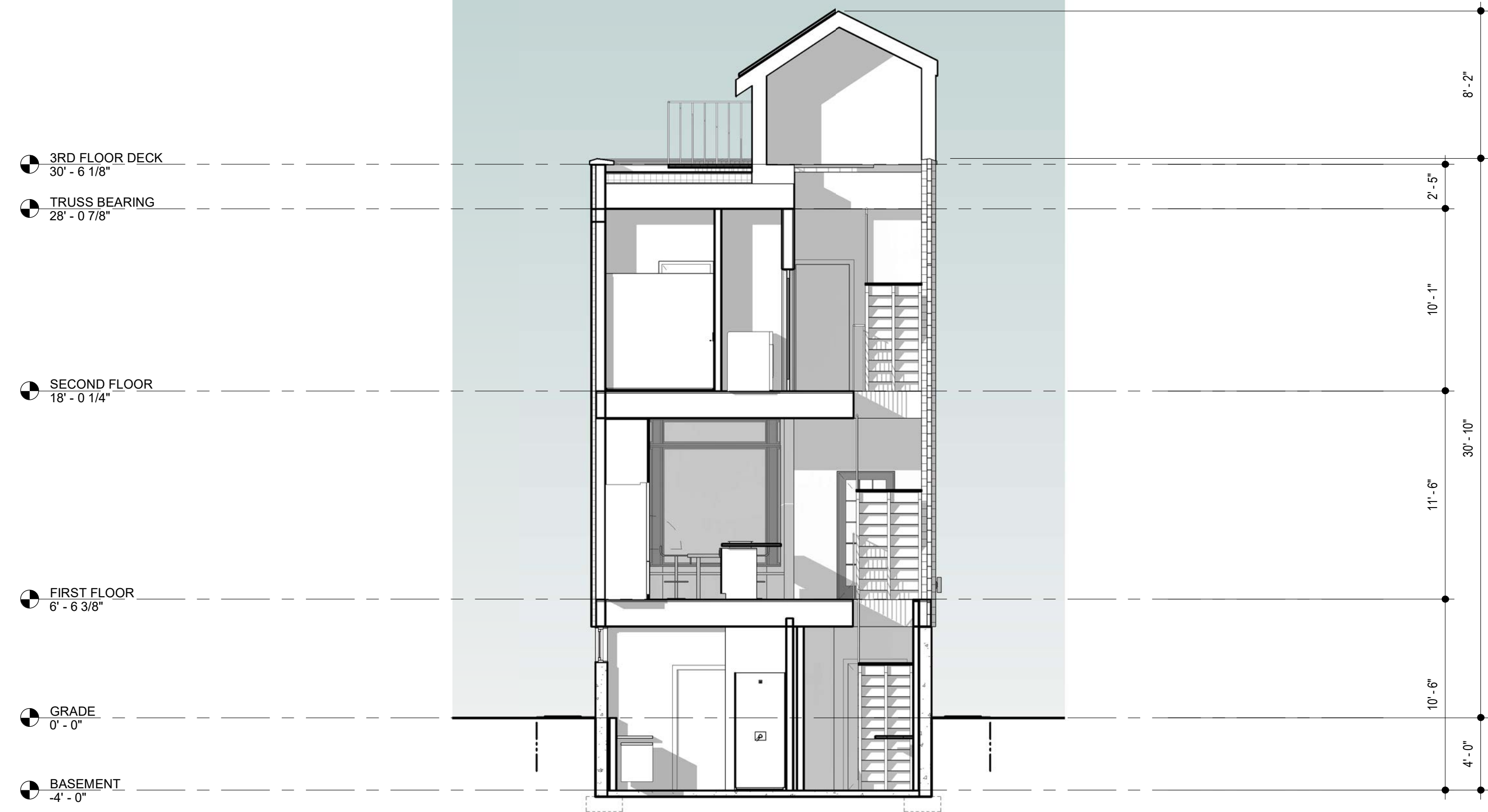
PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

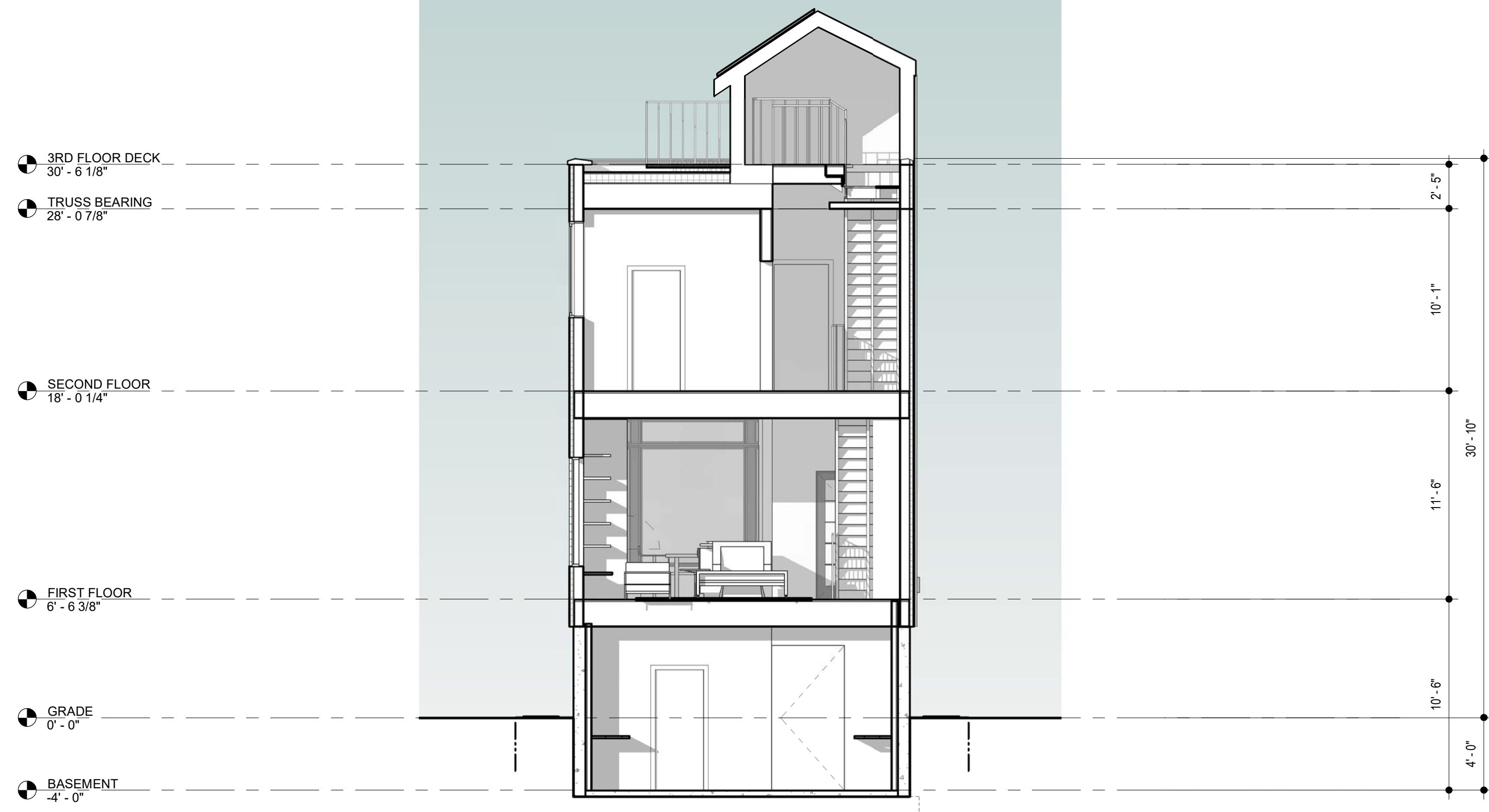
**PROPOSED EXTERIOR  
ELEVATIONS**

**HDC9**

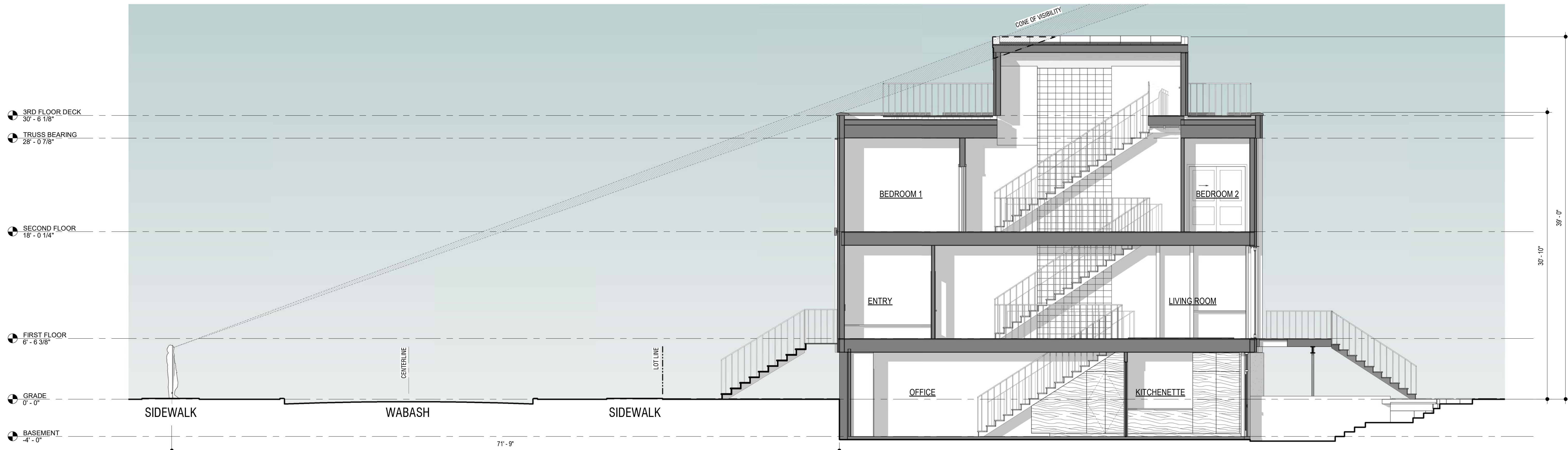




**2** BUILDING SECTION  
3/16" = 1'-0"



**3** BUILDING SECTION  
3/16" = 1'-0"



**1** BUILDING SECTION  
3/16" = 1'-0"

NO. DATE DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

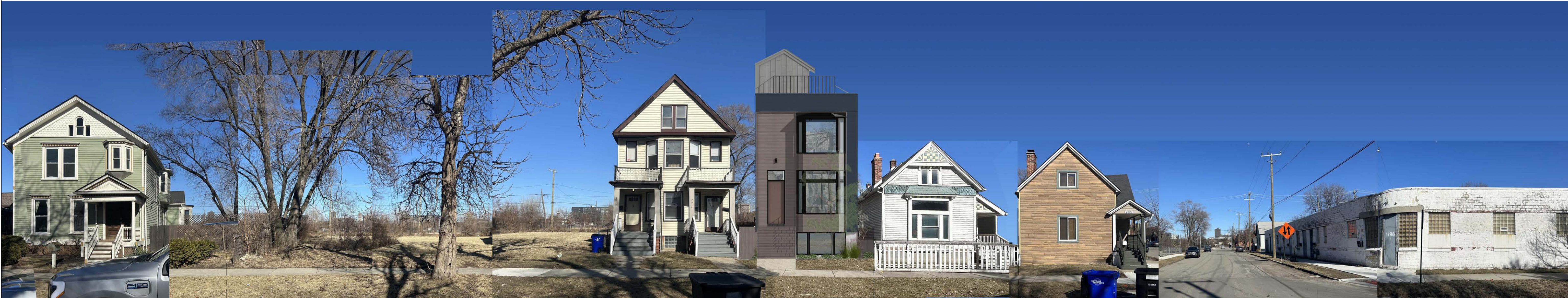
PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**PROPOSED BUILDING  
SECTIONS**

**HDC10**





2038 WABASH	2020 WABASH	2014 WABASH	2012 WABASH	2006 WABASH	2000 WABASH	MARANTETTE	1798 WABASH
-------------	-------------	-------------	-------------	-------------	-------------	------------	-------------

PROPOSED PROJECT LOCATION

PROPOSED CONDITIONS - STREET ELEVATION



2038 WABASH	2020 WABASH	2014 WABASH	2012 WABASH	2006 WABASH	2000 WABASH	MARANTETTE	1798 WABASH
-------------	-------------	-------------	-------------	-------------	-------------	------------	-------------

PROPOSED PROJECT LOCATION

EXISTING CONDITIONS - STREET ELEVATION

NO.      DATE      DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

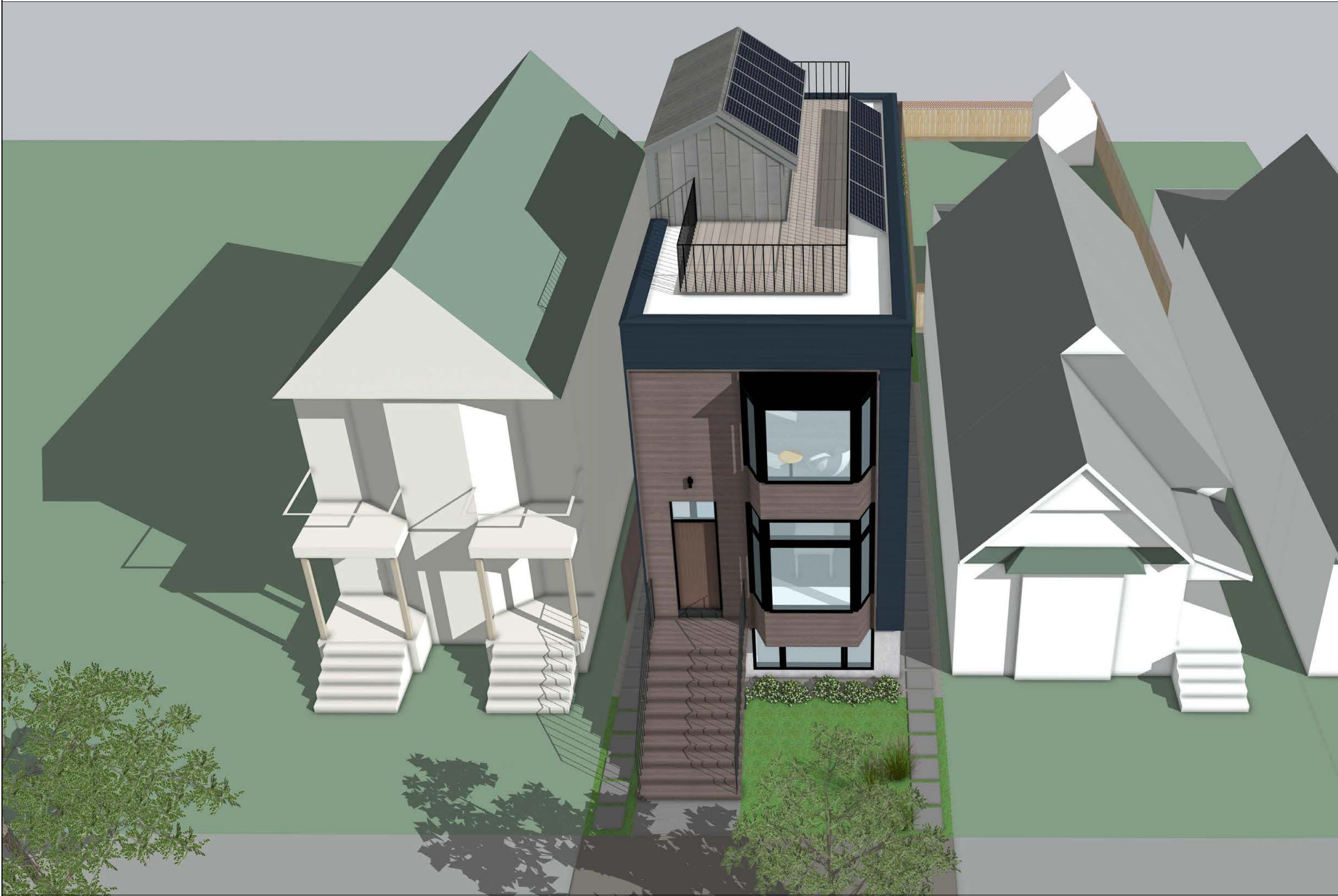
PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**EXISTING &  
PROPOSED STREET  
ELEVATIONS**

**HDC11**





4. PROPOSED RENDERING - AERIAL

3. PROPOSED RENDERING - STREET FRONT

2. PROPOSED RENDERING - AERIAL

1. PROPOSED RENDERING - STREET FRONT

NO.	DATE	DESCRIPTION
-----	------	-------------

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**PROPOSED EXTERIOR VIEWS**

**HDC12**





4. PROPOSED RENDERING - VIEW FROM ALLEY



3. PROPOSED RENDERING - STREET FRONT



2. PROPOSED RENDERING - AERIAL AT REAR



1. PROPOSED RENDERING - VIEW FROM ALLEY

NO.	DATE	DESCRIPTION
-----	------	-------------

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**PROPOSED EXTERIOR  
VIEWS**

**HDC13**





**CHANNEL GLASS NOTES:**  
PROFILIT GLASS  
MANUFACTURER: PILKINGTON  
GLASS TYPE: LOW IRON, CAST UNWIRED SANDBLASTED  
THERMALLY BROKEN FRAMES



**MULTI-SLIDE DOOR NOTES:**  
ALUMINUM CLAD WOOD DOOR: MARVIN ULTIMATE MULTI-SLIDE DOOR  
CONFIGURATION: 4-PANEL BI-PARTING, FIXED PANEL AT EACH END  
EXTERIOR FINISH: EBONY  
INTERIOR FINISH: DESIGNER BLACK  
GLAZING PROFILE: SQUARE  
HARDWARE FINISH: MATTIE BLACK  
SCREEN: BLACK ALUMINUM  
CASING: FLAT



**TYPICAL WINDOW FINISH NOTES:**  
ALUMINUM CLAD WOOD WINDOWS: MARVIN ULTIMATE NARROW FRAME WINDOWS  
EXTERIOR FINISH: EBONY  
INTERIOR FINISH: DESIGNER BLACK  
GLAZING PROFILE: SQUARE  
HARDWARE FINISH: MATTIE BLACK  
SCREEN: BLACK ALUMINUM  
CASING: FLAT

WINDOW SCHEDULE					
Mark	Description	Width	Height	Sill Height	Head Height
0.01	CASEMENT	2'-3"	4'-3"	4'-9"	9'-0"
0.02	FIXED	4'-8"	4'-3"	4'-9"	9'-0"
0.03	CASEMENT	2'-3"	4'-3"	4'-9"	9'-0"
0.04	CASEMENT	2'-0"	3'-11"	5'-1"	9'-0"
0.05	AWNING	3'-0"	7'-11"	7'-1"	9'-0"
0.06	CASEMENT	2'-0"	6'-0"	3'-0"	9'-0"
0.07	FIXED	5'-0"	6'-0"	3'-0"	9'-0"
1.01	CASEMENT	2'-0"	6'-8"	1'-10"	8'-6"
1.02	FIXED	6'-0"	6'-8"	1'-10"	8'-6"
1.03	CASEMENT	2'-0"	6'-8"	1'-10"	8'-6"
1.04	FIXED	2'-0"	1'-6"	8'-6"	10'-0"
1.05	FIXED	6'-0"	1'-6"	8'-6"	10'-0"
1.06	FIXED	2'-0"	1'-6"	8'-6"	10'-0"
1.07	AWNING	3'-0"	1'-11"	3'-1"	5'-0"
1.08	AWNING	3'-0"	1'-11"	3'-1"	5'-0"
1.09	AWNING	3'-0"	1'-11"	3'-1"	5'-0"
1.10	CASEMENT	1'-10 1/2"	8'-0"	-0'-2"	7'-10"
1.11	FIXED	6'-0"	6'-0"	1'-10"	7'-10"
2.01	CASEMENT	2'-0"	6'-8"	1'-8 3/4"	8'-4 3/4"
2.02	FIXED	6'-0"	6'-8"	1'-8 3/4"	8'-4 3/4"
2.03	CASEMENT	2'-0"	6'-8"	1'-8 3/4"	8'-4 3/4"
2.04	CASEMENT	2'-0"	3'-5"	5'-0"	8'-5"
2.05	CASEMENT	3'-5"	3'-5"	5'-0"	8'-5"
2.06	CASEMENT	2'-0"	3'-5"	5'-0"	8'-5"
2.07	AWNING	3'-0"	2'-1"	7'-3"	9'-4"
2.08	AWNING	3'-0"	2'-1"	7'-3"	9'-4"
2.09	CASEMENT	2'-0"	4'-4"	5'-0"	9'-4"
2.10	CASEMENT	2'-0"	5'-3"	4'-1"	9'-4"
2.11	CASEMENT	2'-0"	5'-3"	4'-1"	9'-4"
2.12	CASEMENT	2'-0"	5'-11"	4'-1"	10'-0"



## CHANNEL GLASS



CEMENT-BASED STUCCO  
FINISH: SMOOTH TROWLED  
COLOR: LIGHT GREY

## STUCCO

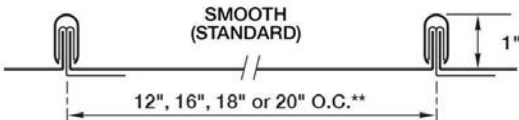
## PROPOSED MULTI-SLIDE DOORS



**MATERIALS**  
.032 aluminum 24 gauge steel\*

**SPECS**  
12", 16", 18" or 20" O.C. 1" High

UL-90



**SNAP-ON STANDING SEAM METAL PANELS**  
MANUFACTURER: PAC-CLAD  
12" PANEL, SMOOTH  
FINISH: KYNAR-COATED  
COLOR: WEATHERED ZINC

## STANDING SEAM METAL PANELS

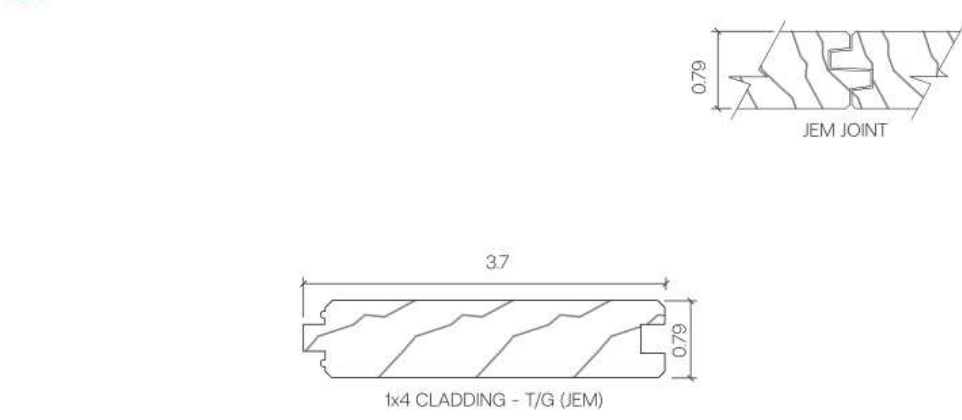


**BENCHMARK ASH SERIES**  
MANUFACTURER: THERMORY  
DECKING: 1"x4" GROOVED WITH CONCEALED FASTENERS  
FRAMING: 2"x4" TRIM  
FINISH: UNOILED

## THERMALLY MODIFIED WOOD DECKING & FRAMING



BENCHMARK ASH

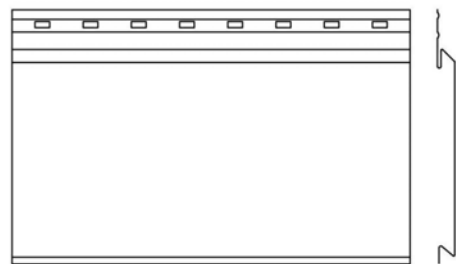


**Profile Type:** Siding  
**Installation:** 60mm FG Screw  
**Scale:** T=2" x T=2"

**Benchmark Ash**  
Cladding 1x4 T/G (JEM)

USE:	APPLICATION:
Exterior, Interior	Cladding, Siding, Ceiling
MODIFICATION STRENGTH:	FINISH:
Intense	Uncoated
TEXTURE:	COLOR:
Smooth	Black
BRAND:	SPECIES:
Benchmark Ash	White Ash
PROFILE:	COVERAGE:
1x4	21 ft
WIDTH:	THICKNESS:
3.7 in	7/8 in

## THERMALLY MODIFIED WOOD SIDING



**VESTA**  
5" Plank - Solid  
5PS12  
Steel 0.020"

**VESTA SERIES**  
MANUFACTURER: QUALITY EDGE  
PROFILE: 5" STEEL PLANK SIDING  
FINISH: MIDNIGHT BLUE, SMOOTH

## PREFINISHED METAL SIDING

**PUSH**  
**DESIGN LLC**  
info@pushdetroit.com  
313.757.5006

NO. DATE DESCRIPTION

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**PROPOSED EXTERIOR MATERIALS**

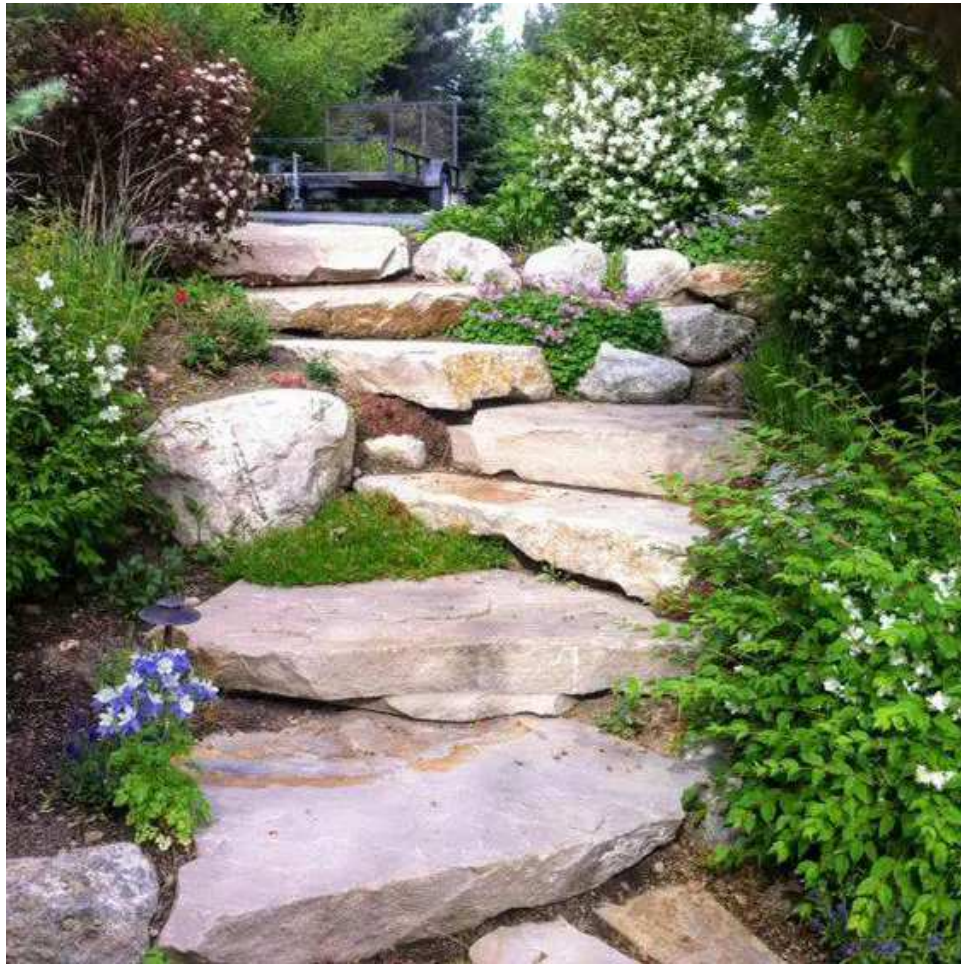
**HDC14**





**TYPICAL WINDOW FINISH NOTES:**  
MANUFACTURER: PROGRESS LIGHTING  
TYPE: 6" LED Outdoor Up/Down Modern Black Wall Cylinder with Glass Top Lense  
EXTERIOR FINISH: BLACK  
INTERIOR FINISH: DESIGNER BLACK  
GLAZING PROFILE: SQUARE  
HARDWARE FINISH: MATTE BLACK  
SCREEN: BLACK ALUMINUM  
CASING: FLAT

PROPOSED EXTERIOR LIGHT FIXTURE



NO.	DATE	DESCRIPTION
-----	------	-------------

ISSUE FOR:  
**HDC APPLICATION**

PROPOSED NEW RESIDENCE AT  
**2012 WABASH**

2012 WABASH, DETROIT MI 48216

**PROPOSED EXTERIOR MATERIALS**

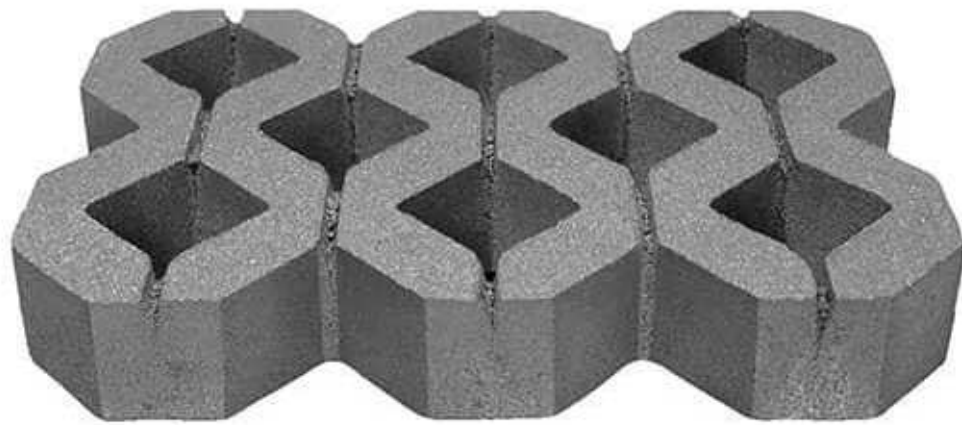
**HDC15**



**TYPICAL PANEL NOTES:**  
MANUFACTURER: SUNPOWER  
TYPE: 72 CELL PANEL  
DIMENSIONS: 3'-3" X 6'-5" X 1-5/8"



ROOF-MOUNTED SOLAR PANELS



PERMEABLE CONCRETE PAVERS

EXAMPLES OF  
PROPOSED STACKED STONE SITE STEPS