



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID
HDC2025-00054

PROPERTY INFORMATION

ADDRESS(ES): 1760 Wabash
HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|---------------------------------------|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/ Doors | <input checked="" type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) | |

<p>BRIEF PROJECT DESCRIPTION:</p> <p>Correcting the violations noted in most recent stop work order including:</p> <ul style="list-style-type: none"> - adding gables on the front (2), sides (1), and rear of property (3) - replacing the second story windows on the front of the house to be the original size depicted in the HDC designation photo. - adding window sills/casing so the bottom and top of the window sills butt out of the main plane of the home - removing siding from the chimney stack and replacing with brick veneer if brick is not already present - essentially we intend to comply with the approved drawings from our initial HDC application/permit and make the corrections that were noted on the stop work order

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner			
NAME: Sharif Affas	COMPANY NAME: Detroit Developing Properties LLC		
ADDRESS: 2260 Acorn Rd, Bloomfield Hills, MI	CITY: 2260 Acorn Rd, Bloomfield Hills, MI	STATE: MI	ZIP: 48302
PHONE: +1 (313) 690-3368	EMAIL: gustaf@atpropertiesremi.com		

I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that I am the legal owner and occupant of the subject property and that the information on this application is true and correct.

<p>Signed by: <i>Sharif Affas</i></p> <p><small>93A5D9892A3047A...</small></p> <hr/> <p>SIGNATURE</p>	<p>02/11/2025</p> <hr/> <p>DATE</p>
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NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

IDK

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")


4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

5. BROCHURES/CUT SHEETS

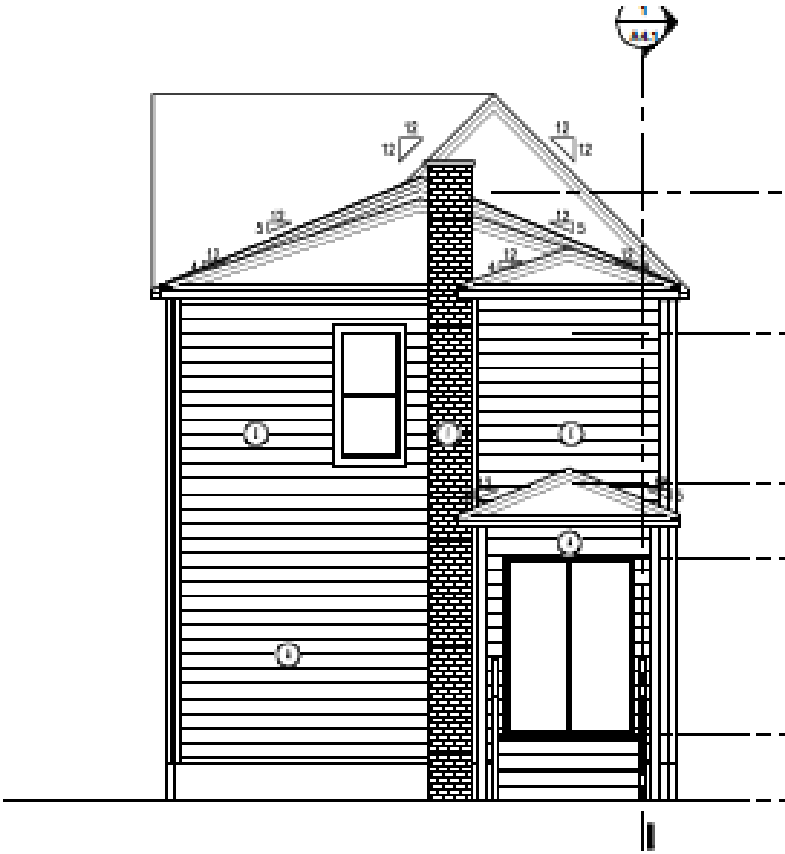
Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

ADDITIONAL DETAILS

6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i>	



This window trim is discussed on the last page



Rear Elevation



South side window, 2nd floor



Before



After



1714 Bagley



Window Trim and Wood Siding

Windows:

Left: Window at 1714 Bagley (similar date of construction as 1760 Bagley) 19th century houses have clearly defined window trim: butt joints, a header with a small overhang, equal-sized side trim and a narrower, protruding sill.

As identified on the first page, the window casing (covered with aluminum) exhibited this type of window casing, as did the window on the second floor, south side of 1760 Wabash. Both window's trim were replaced with flat window trim on all four sides. The change of window trim is one of the alterations that removed features one of the alterations that removed

As identified on the first page and at the top of this page, the window casings (covered with aluminum) exhibited this type of 19th century window casing. The trim on both windows were replaced with flat window trim on all four sides.

Siding:

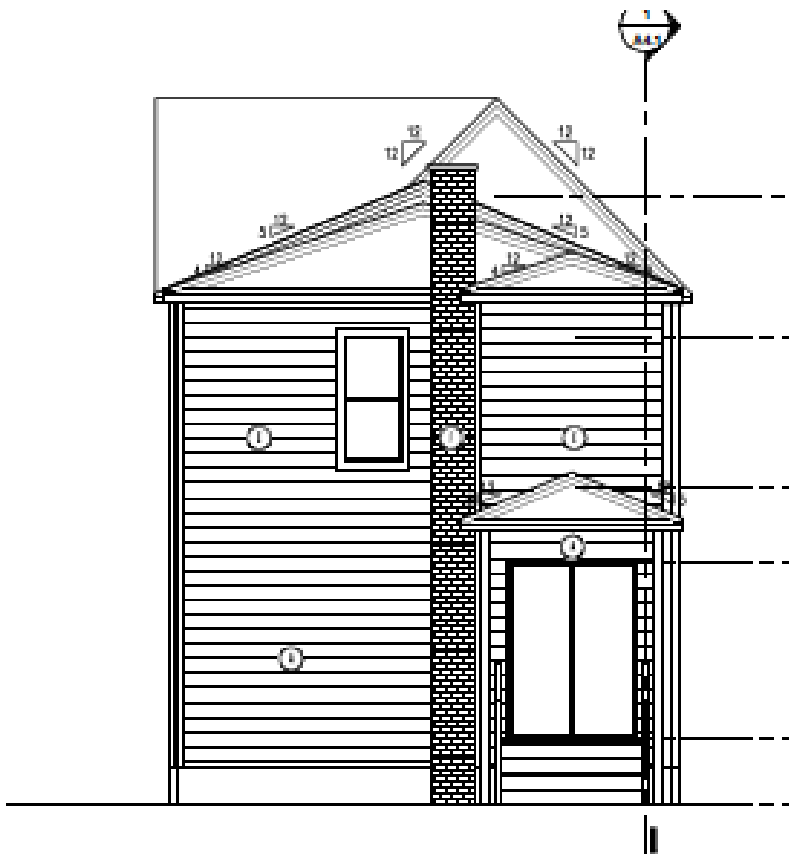
I understand the siding on the house might be wood, one problem is that it is new siding. Staff didn't approve this change and at my August site visit with you, explained the historic siding had to be retained. As seen in the photo of 1714 Bagley, historic siding shows its age – which is important.

The change of window trim and replacement of the historic wood siding are two of the alterations that removed features/examples of craftsmanship that characterized this property.

integrity of the historic property



This window trim is discussed on the last page



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