



HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 3/14/2025

Application Number: HDC2025-00082

APPLICANT & PROPERTY INFORMATION

NAME: Roland F Day, II, AIA, NOMA

COMPANY NAME: N/A

ADDRESS: 2169 Hampton Rd

CITY: Grosse Pointe Woods

STATE: MI

ZIP: 48236

PROJECT ADDRESS: 470 Brainard Street, Detroit, MI

HISTORIC DISTRICT: Willis-Selden

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not complete. Please provide dimensioned plan for the new side porch which calls out materials. Also, note that this case will need to be reviewed by the Commission at a meeting. The next meeting is scheduled for 4/9/2025. In order for the case to be included on that agenda, we will need the outstanding info re: the side porch on 3/24/2025.

PSR: 250314jr

APPLICANT RESPONSE

Response Date: 03/20/2025



Sheet A7.00 has new elevation and framing details with notes for the proposed deck.
The elevation sheet, A7.00, is included to reflect the revision of the depth of the deck.

LASALLE ELECTRIC MIDTOWN LOFTS

Building Renovations

Project Address
 470 Brainard Avenue
 Detroit, MI 48201
 Client Name
 RICHARD + TERI BENNETT

SHEET TITLE:
**INTERIOR + EXTERIOR
 ELEVATIONS - NEW
 WORK**

PROJECT NUMBER: 24.07.007

NOTE:
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CORRECT DESIGN SIZE OF ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO: BEAMS, JOISTS, LINTELS, POSTS, LUMBER AND STEEL.
 IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND HAVE COMPLETE KNOWLEDGE OF THE DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT SITE.
 THESE PLANS ARE FOR ESTIMATING PURPOSES AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.

NOTE:
 DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSIONS

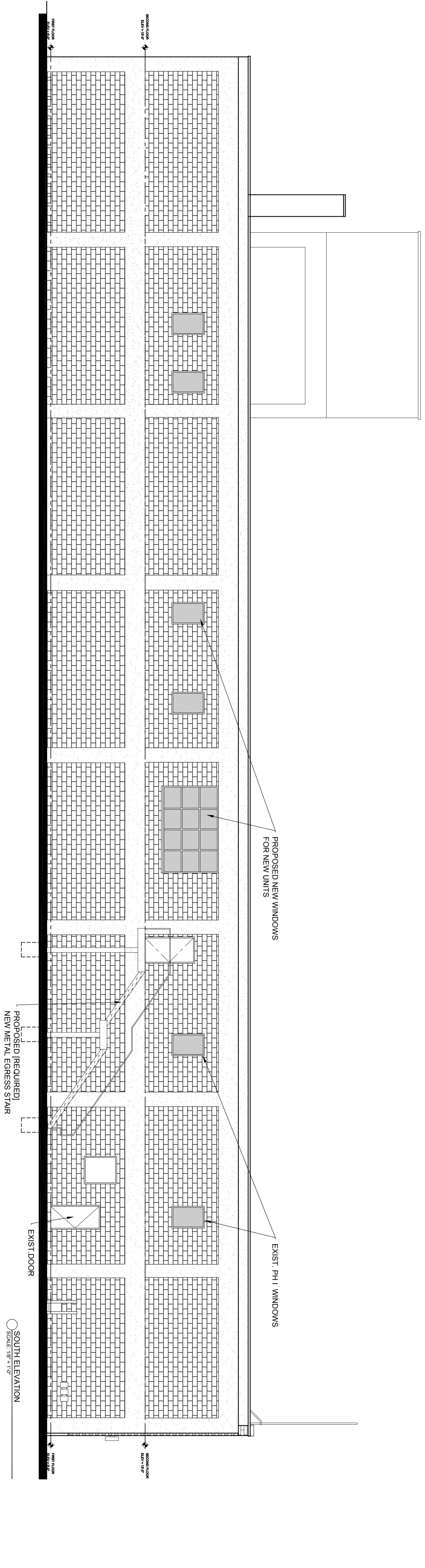
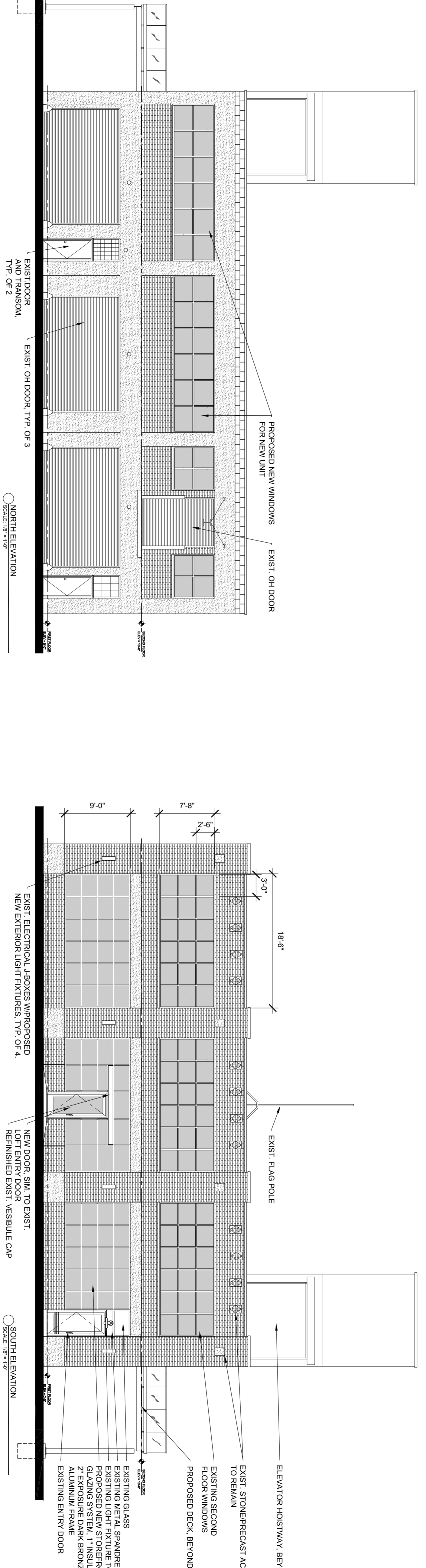
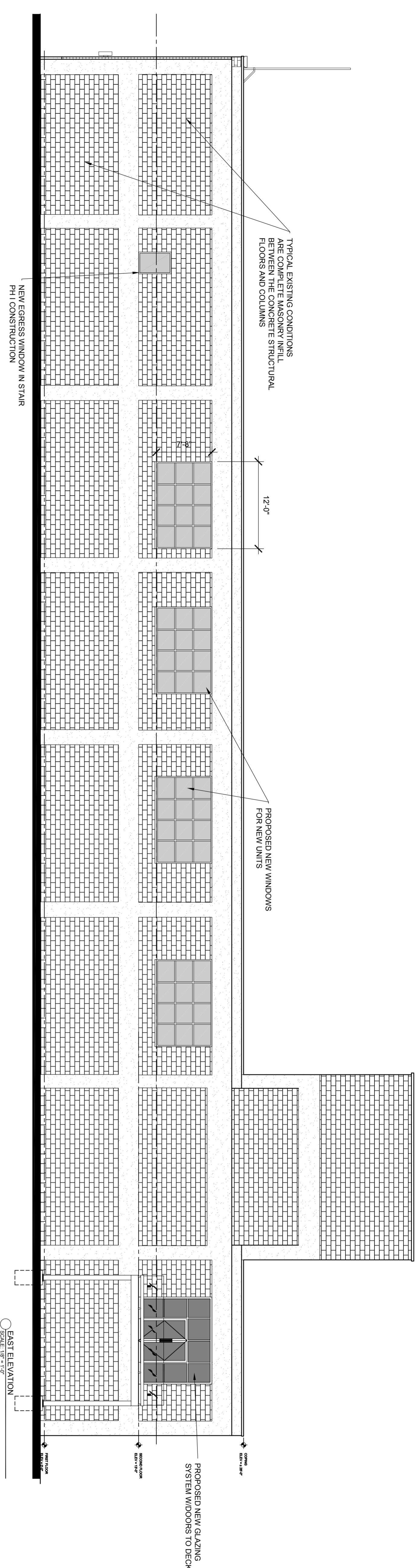
NOTE:
 CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CODE:
 DESIGNED IN ACCORDANCE WITH MICHIGAN REHABILITATION CODE 2015 - CHAPTER 14

DATE SIGNED: 15.01.2024 LICENSE EXPIRATION: 17.12.2025

ISSUED FOR DATE:	
07.10.2024: GC REVIEW	
10.15.2024: PERMITS REVIEW COMMENTS	
03.05.2025: HDG REVIEW	
03.19.2025: HDG REVIEW	



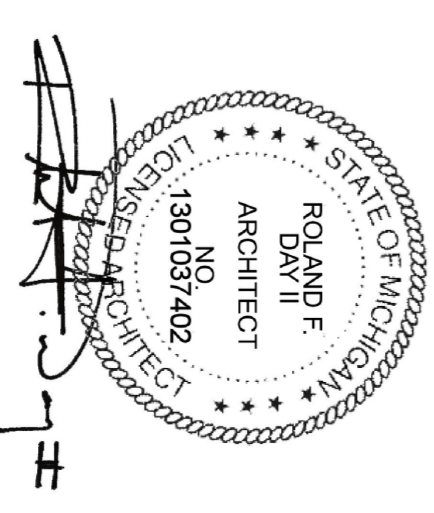
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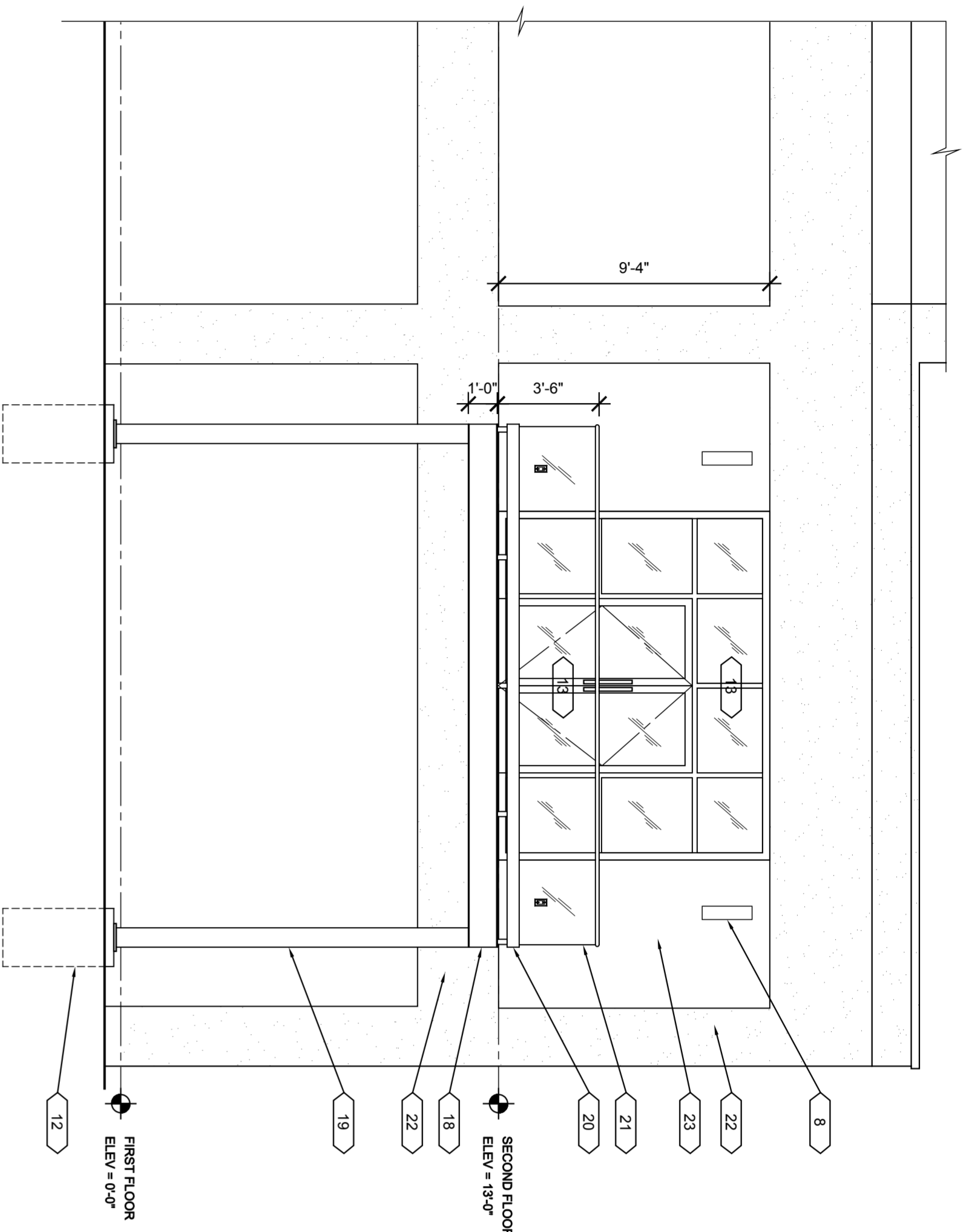
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GENERAL CONSTRUCTION SHEET NOTES

- PATCH WALLS/FLOORS AT ALL AREAS WHERE DEMOLITION HAS OCCURRED TO MATCH ADJACENT CONSTRUCTION AND PREPARE LEVEL AS REQUIRED TO ACCOMMODATE NEW FINISHES.
- GC TO PROVIDE WOOD BLOCKING AT WINDOW AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW WINDOW TREATMENTS.
- ALL NEW SMOKE AND CO DETECTORS SHALL BE HARDWIRED. IT IS THE RESPONSIBILITY OF THE GC TO CHECK FOR WET MOLD INFESTATION AND NOTIFY THE PM OF ALL WET MOLD/OR WET/DAMP WALLS. IF DRY MOLD IS FOUND, CLEAN AS NECESSARY WITH BLEACH AND/OR MOLDSICIDE.
- ALL NEW RATED WALL CONSTRUCTION SHALL REMAIN UNINTERRUPTED AND INTACT FROM CEILING TO FLOOR AND CORNER TO CORNER. ALL PENETRATIONS SHALL BE PROPERLY SEALED WITH APPROVED AND CODE COMPLIANT RED FIRE STOP CALK/SEALANT.
- PATCH DAMAGED WALLS TO ENSURE SMOOTH AND DEFECT FREE SUBSTRATE FOR NEW PAINT.
- GC TP PROVIDE AND INSTALL NEW GUTTERS AND DOWNSPOUTS GC TO PROVIDE IN-WALL FIRE RETARDANT BLOCKING FOR ALL NEW WALL MOUNTED FREE WALL WORK.
- ALL INTERIOR DRYWALL SHALL BE 5/8" FIRECODE X OR EQUAL.
- ALL FOOTINGS SHALL BE 42" BELOW GRADE, MINIMUM.

GENERAL CONSTRUCTION SHEET KEYNOTES

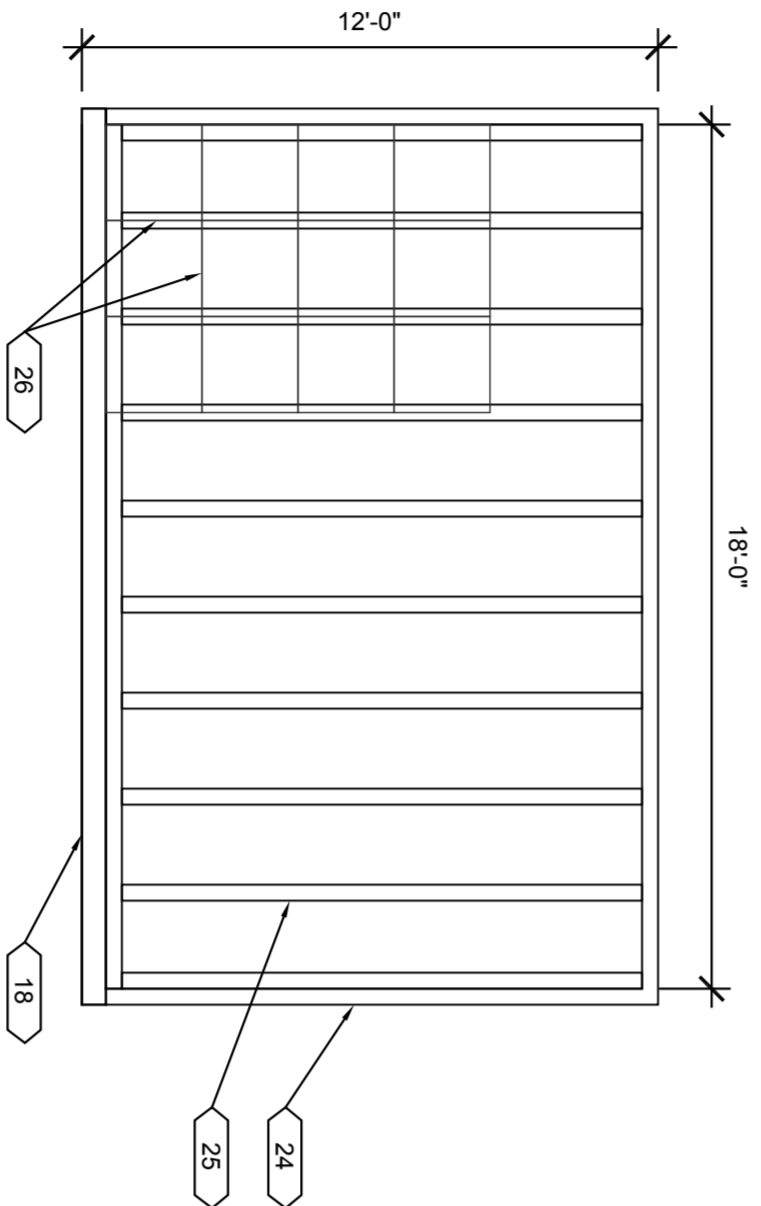
- | | |
|----|---|
| 1 | NEW PAINTED GYPSUM BOARD |
| 2 | NEW 2HR DOOR AND FRAME IN EXISTING OPENING, PAINTED |
| 3 | NOT USED |
| 4 | NEW GLASS SHELVING UNIT, BY OWNER |
| 5 | NOT USED |
| 6 | NOT USED |
| 7 | NOT USED |
| 8 | NEW WALL SCONCES, BY OWNER |
| 9 | NEW METAL DOOR AND FRAME, 3' X 6'-8", PAINTED |
| 10 | NOT USED |
| 11 | NEW 10' X 14' STEEL DECK W/GLASS RAILS, BY OTHERS |
| 12 | REINFORCED CONCRETE FOOTINGS |
| 13 | NEW THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM WITH A PAIR OF 3' X 6'-8" DOORS, TRANSOM AND SIDELITES. |
| 14 | EXISTING MASONRY WALL |
| 15 | NEW WOOD WALL BASE, PAINTED |
| 16 | NOT USED |
| 17 | NEW TRACK LIGHT @ 9' AFF |
| 18 | NEW 12" D STEEL W SECT, PAINTED |
| 19 | NEW 8" X 8" STEEL TUBE COLUMNS, PAINTED |
| 20 | NEW STAINLESS GLASS FRAME |
| 21 | NEW GLASS RAILING SYSTEM W/METAL RAILING |
| 22 | EXISTING REINFORCED CONCRETE BUILDING STRUCTURE |
| 23 | EXISTING MASONRY INFILL |
| 24 | 4" X 8" STEEL TUBE |
| 25 | 4" X 8" STEEL TUBE |
| 26 | 2' X 2' NOM. CONCRETE PAVERS |



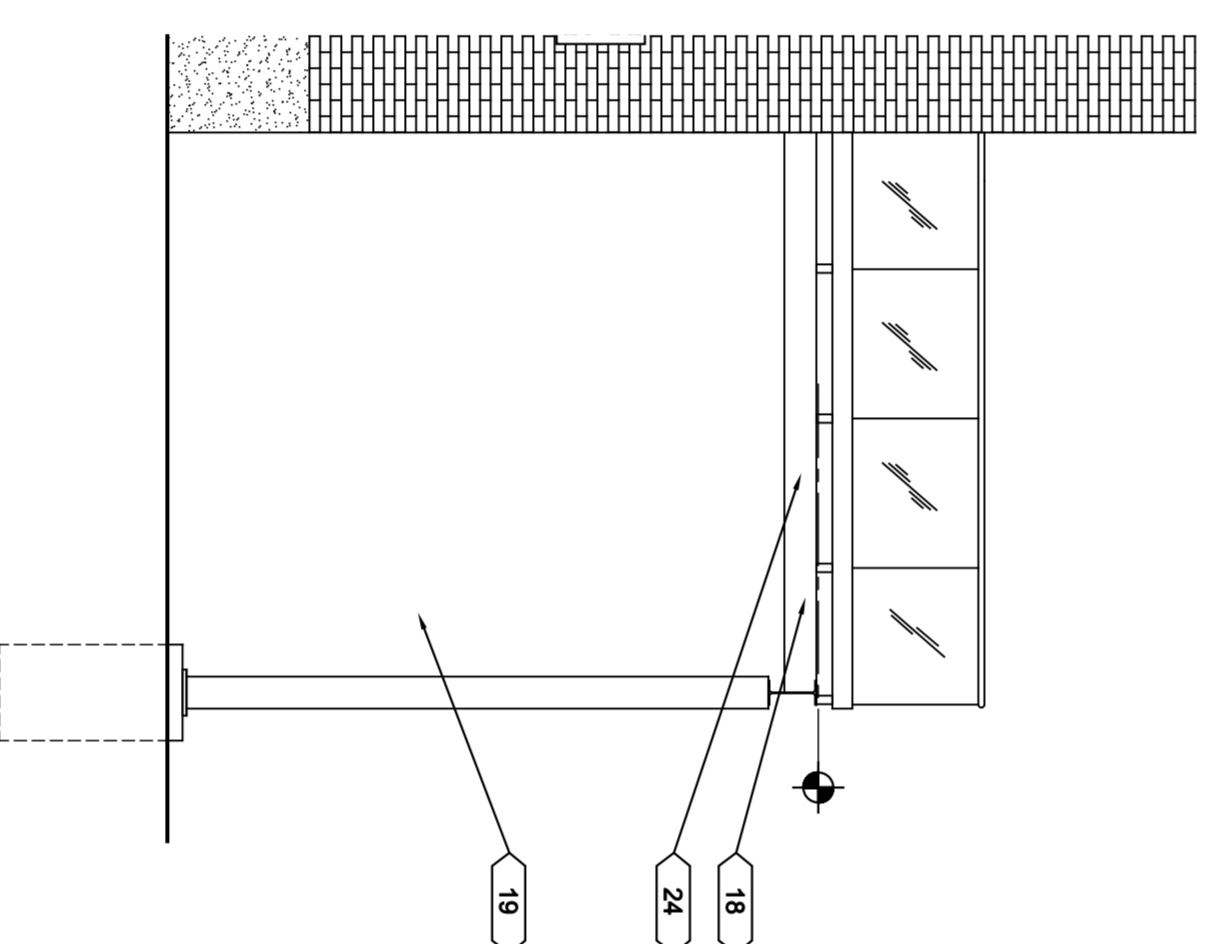
**WEST DECK ELEVATION
EXTERIOR ELEVATION - PARTIAL**
SCALE: 1/4" = 1'-0"

NOTE:
THE NEW DECK DESIGN, INCLUDING CODE COMPLIANT STRUCTURAL DESIGN, IS BY OTHERS. THE GC IS TO PROVIDE AND CONSTRUCT THE DECK PER THE APPROVED DESIGN AND DRAWINGS.

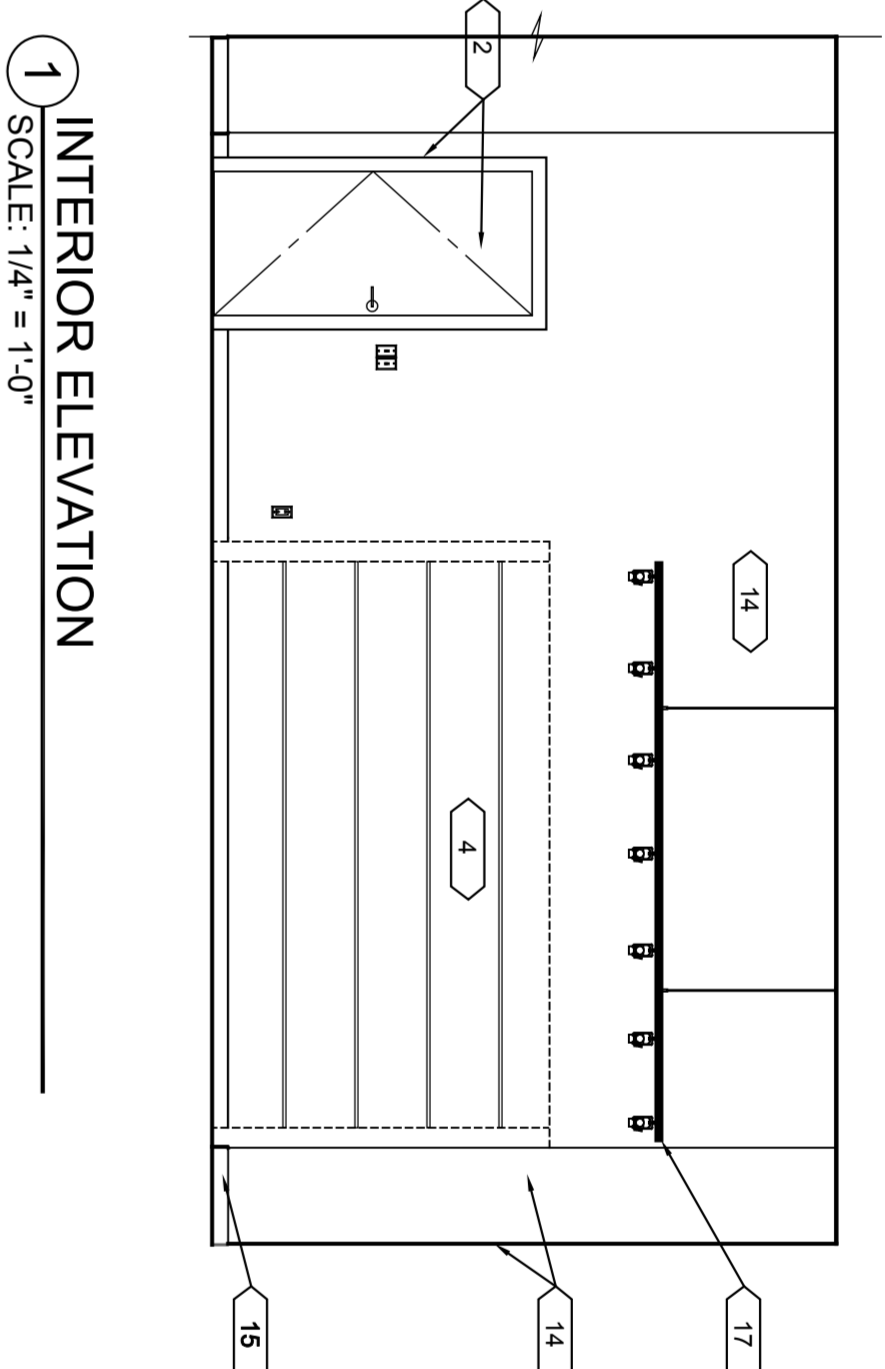
REF #8
CHANGEMARK NOTE 4



DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION, NORTH SIM.
SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"