

HAMILTON SQUARE DETROIT, LLC

9851 HAMILTON AVE
DETROIT, MICHIGAN 48202

SPALDING DeDECKER
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UTILITY NOTE

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HAMILTON SQUARE
9851 HAMILTON AVE,
DETROIT, MI 48202

COVER

SECTION 35
TOWN 01 SOUTH RANGE 11 EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

DATE	DATE
DRAM TER	2024-10-28
JCI	
DESIGNER	2024-10-28
JCI	
CHECKED	2024-10-28
TLD	
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-10-28
JOB NO.	DRAWING NO.
DE23002	DE23002CVR
SCALE:	SHEET NO.
N.T.S.	C-000

SHEET INDEX

C-000 - COVER
C-100 - EXISTING CONDITIONS
C-110 - DEMOLITION PLAN
C-120 - SITE ENGINEERING PLAN
C-130 - GRADING PLAN
C-520 - SITE ENGINEERING PLAN DETAILS
C-521 - SITE ENGINEERING PLAN DETAILS
D-1.0 - DUMPSTER ENCLOSURE DETAILS (BY OTHERS)
L-100 - LANDSCAPE PLAN

LEGAL DESCRIPTION

AS PROVIDED BY:
COVENANT DEED RECORDED IN LIBER 57933, PAGE 1487, WAYNE COUNTY RECORDS DATED OCTOBER 31, 2022

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

PARCEL 1: 06004346 - R4 ZONING DESIGNATION
LOTS 10, 11, AND 12 INCLUDING VACATED ALLEYS ADJACENT THERETO, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS; ALSO THE NORTH 24 FEET OF LOTS 463 AND 454, BOSTON BOULEVARD SUBDIVISIONS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 23, WAYNE COUNTY RECORDS.

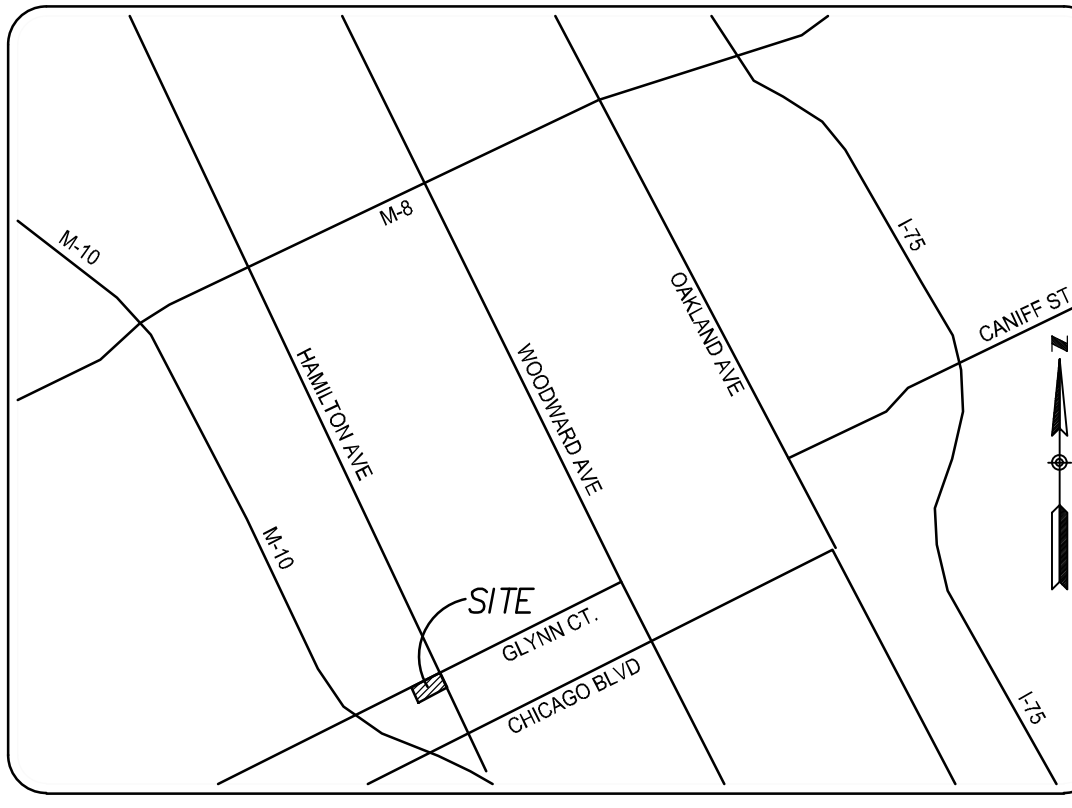
PARCEL 2: 06002635-7 - R3 ZONING DESIGNATION
THE WEST 32.02 OF LOT 13, AND ALL OF LOTS 14 AND 15, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 3: 06002638 - R3 ZONING DESIGNATION
LOT 16, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

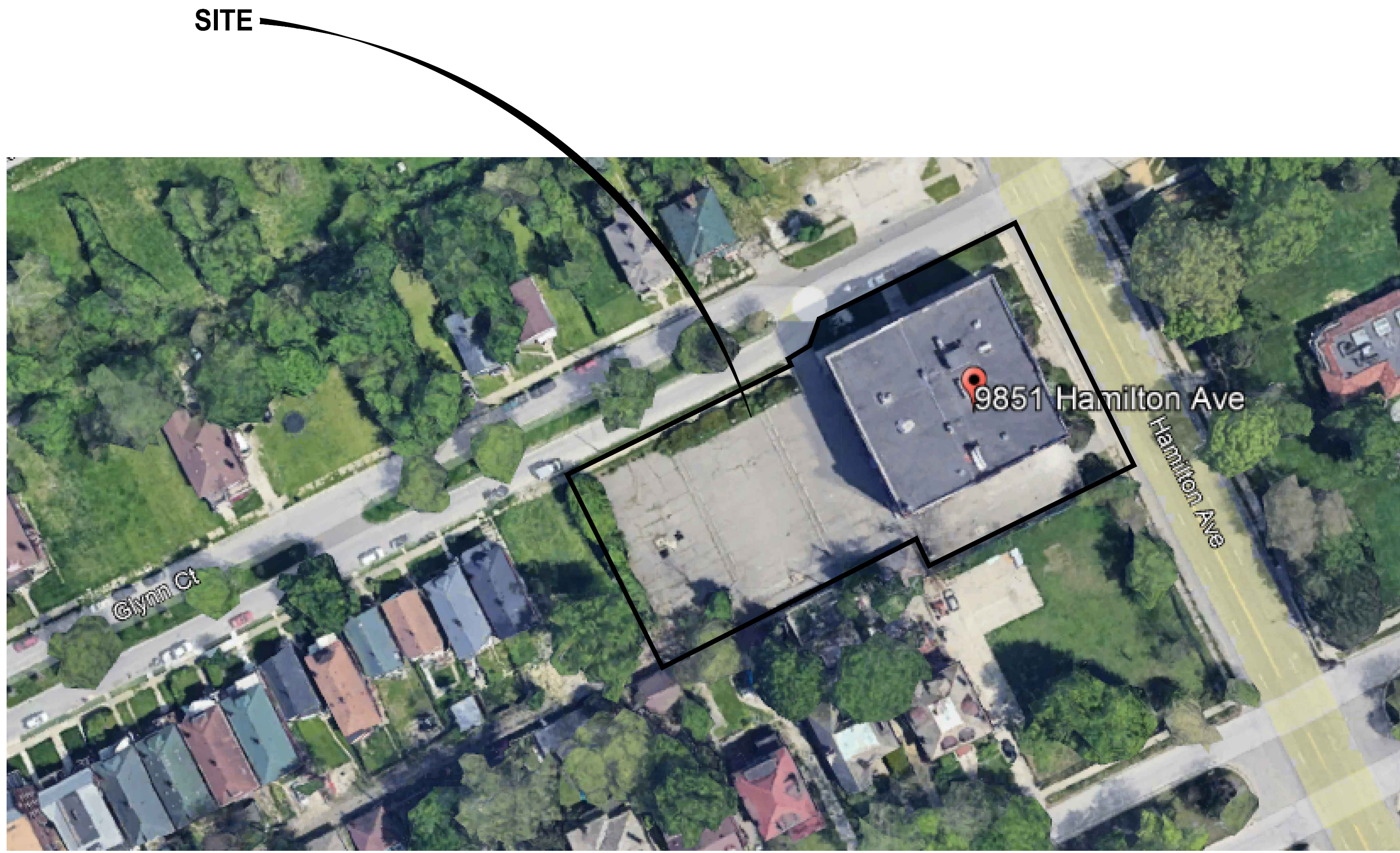
PARCEL 4: 06002639 - R3 ZONING DESIGNATION
LOT 17, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

CIVIL ENGINEER
SPALDING DeDECKER
119 STATE STREET, SUITE 500
DETROIT, MICHIGAN 48226
PHONE (313) 305-9120

OWNER
HAMILTON SQUARE DETROIT, LLC
79502 MOORSBRIDGE 104
PORTAGE, MI, 49025



LOCATION MAP
NOT TO SCALE



OVERALL SITE MAP
NO SCALE

PROJECT INFORMATION

PROJECT DESCRIPTION:
REMODELING OF EXISTING STRUCTURE, CREATING AN APARTMENT COMPLEX OF FOUR (4) FLOORS (INCLUDING BASEMENT) CONSISTING OF FORTY-NINE (49) APARTMENT UNITS; AND TWO (2) COMMERCIAL SPACES. OTHER SPACES INCLUDE STORAGE, ELECTRICAL ROOM AND MECHANICAL ROOM. EXISTING FOOTPRINT OF BUILDING IS 13,540 SQ.FT. AND 61 FEET TALL.

BUILDING SUMMARY:	EXISTING GROSS BUILDING AREAS:	
BASEMENT:	RESIDENTIAL DWELLING UNITS & ACCESSORY MECHANICAL & STORAGE AREAS	6345 SFG
FIRST FLOOR:	COMMERCIAL SPACE & RESIDENTIAL DWELLING UNITS	13,443 SFG
SECOND FLOOR:	RESIDENTIAL DWELLING UNITS	13,443 SFG
THIRD FLOOR:	RESIDENTIAL DWELLING UNITS	13,443 SFG
TOTAL EXISTING GROSS BUILDING AREA		46,674 SFG

LAND AREA SUMMARY:	
PARCEL "1":	0.271 ACRES
PARCEL "2":	0.271 ACRES
PARCEL "3":	0.081 ACRES
PARCEL "4":	0.081 ACRES
TOTAL LAND AREA:	0.704 ACRES

FLOOR AREA RATIO:	
1.522	
TOTAL EXISTING GROSS BUILDING AREA:	46,674 SFG
TOTAL LAND AREA:	30,666 SFG

OFF-STREET PARKING REQUIRED:	
OFFICE (BUSINESS) (SEC. 50-14-52):	11 SPACES
1 PER 400 SFG	
MULTIPLE FAMILY DWELLING (SEC. 50-14-34):	37 SPACES
*0.75 PER UNIT x 49 UNITS	
*REDUCTION: 0.25 MILES FROM WOODWARD AVE HFTC	

TOTAL REQUIRED PARKING SPACES:	
48 SPACES	
TOTAL PROVIDED PARKING SPACES:	59 SPACES

INTERIOR LANDSCAPING REQUIREMENT:	
25-100 OFF-STREET PARKING SPACES (SEC. 50-14-343)	1,062 SFG
18 SFG x 59 SPACES PER PARKING SPACE	
4 SHADE TREES	

TOTAL REQUIRED INTERIOR LANDSCAPING:	
1,062 SFG	
TOTAL PROVIDED INTERIOR LANDSCAPING:	1,088 SFG

OFF-STREET LOADING ZONE REQUIREMENT:	
RETAIL (OFFICE) (SEC. 50-14-52):	1 - 12' X 35'
4,474 SFG	
MULTIPLE-FAMILY DWELLING (SEC. 50-14-112):	1 - 12' x 35'
49 UNITS	

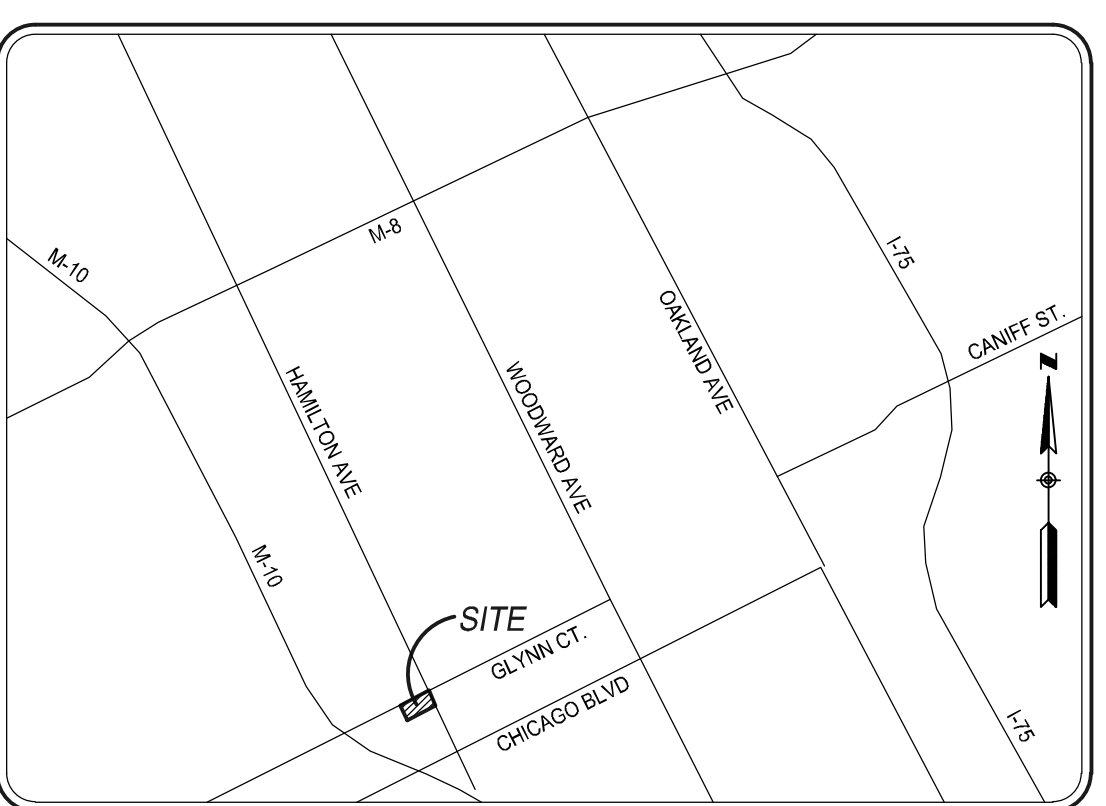
TOTAL REQUIRED OFF-STREET LOADING ZONES:	
2 - 12' X 35'	
TOTAL PROVIDED OFF-STREET LOADING ZONES:	2 - 12' X 35'

RIGHT OF WAY SCREENING REQUIRED: (SEC. 50-14-341)
RIGHT OF WAY SCREENING PROVIDED: (SEC. 50-14-341)
30 INCH HIGH VEGETATION SCREENING - 75 PERCENT OPACITY
1 TREE PER 30 LINEAR FEET

Plotted: Nov 1, 2024, 1:34 PM by user: 1225 - Saved: 11/1/2024 by user: 1225
LANDSCAPE Projects DE23002 - Hamilton Square Detroit ALLTANDW\JIE23002CVR.dwg

LEGEND

- MANHOLE
- ⊕ CATCH BASIN
- ⊙ SEWER CLEAN OUT
- ⊕ GAS METER
- ⊕ GAS SHUT OFF VALVE
- ⊕ VALVE BOX
- ⊕ GATE VALVE & WELL
- ⊕ WATER SHUT OFF VALVE
- ⊕ FIRE HYDRANT
- ⊕ SPRINKLER VALVE BOX
- ⊕ LAWN SPRINKLER HEAD
- ⊕ HAND HOLE
- ⊕ ELECTRIC RISER OR METER
- ⊕ TELEPHONE RISER
- ⊕ CABLE TV RISER
- ⊕ AIR CONDITION UNIT
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W/ TRANSFORMER
- ⊕ UTILITY POLE W/ LAMP EXTENSION
- ⊕ LIGHT POLE
- ⊕ LIGHT POLE WITH LAMP EXTENSION
- ⊕ TRAFFIC SIGNAL
- ⊕ POLE W/ TRAFFIC SIGNAL (OVER ROAD)
- ⊕ GUY WIRE
- ⊕ GUY POLE
- ⊕ GROUND LEVEL (DECORATIVE LIGHTING)
- ⊕ FLAG POLE
- ⊕ PHONE OR PHONE BOOTH
- ⊕ METAL OR CONC. POST
- ⊕ MAILBOX
- ⊕ SIGN
- ⊕ WATER FOUNTAIN
- ⊕ PARKING METER
- ⊕ BILLBOARD OR LARGE SIGN
- ⊕ BASKETBALL HOOP
- ⊕ BOULDER
- ⊕ STATUE OR SCULPTURE
- ⊕ BENCH
- ⊕ STUMP
- ⊕ DS-S DOWNSPOUT INTO STORM DRAIN
- ⊕ DS-G DOWNSPOUT TO GROUND
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- ⊕ DECIDUOUS SHRUB
- ⊕ CONIFEROUS SHRUB
- ⊕ SECTION CORNER
- ⊕ TRAVERSE POINT
- ⊕ STRUCTURE NUMBER
- ⊕ SDA POINT No.
- ⊕ SPOT ELEVATION
- ⊕ TOP OF CURB ELEVATION
- ⊕ GUTTER ELEVATION
- ⊕ TOP OF PAVEMENT ELEVATION
- ⊕ EDGE OF METAL ELEVATION
- ⊕ TW WALL TOP OF WALL ELEVATION
- ⊕ BW WALL BOTTOM OF WALL ELEVATION
- ⊕ GR GROUND ELEVATION
- ⊕ US UNDERGROUND
- ⊕ FO FIBER OPTIC
- ⊕ CONC CONCRETE
- ⊕ ASPH ASPHALT
- ⊕ FF FINISH FLOOR ELEVATION
- ⊕ DOOR LEDGE ELEVATION
- ⊕ F.I. FOUND IRON
- ⊕ F.M. FOUND MOUNTAIN
- ⊕ F.P.K. FOUND P.K. NAIL
- ⊕ S.I. SET IRON W/SDA CAP
- ⊕ S.P.K. SET P.K. NAIL
- ⊕ S.P.K.TAG SET P.K. NAIL W/SDA TAG
- ⊕ MAG SET MAGNETIC NAIL
- ⊕ MAG.TAG SET MAGNETIC NAIL W/SDA TAG
- ⊕ M MEASURED
- ⊕ R RECORD
- ⊕ C CALCULATED
- ⊕ INV. INVERT ELEVATION
- ⊕ CMP CORRUGATED METAL PIPE
- ⊕ G GAS
- ⊕ SN SANITARY SEWER (SAN)
- ⊕ ST STORM SEWER (STW)
- ⊕ WM WATERMAIN (WM)
- ⊕ OH OVERHEAD WIRE
- ⊕ STE STEAM LINE
- ⊕ O OIL LINE
- ⊕ F UG FIBER (COMM.)
- ⊕ E UG ELECTRIC (ELEC.)
- ⊕ T UG PHONE (PH)
- ⊕ C UG CABLE (CBL)
- ⊕ CHAIN LINK FENCE (CL)
- ⊕ WOOD FENCE
- ⊕ WOVEN WIRE FENCE (WW)
- ⊕ QUARD RAIL
- ⊕ EDGE OF BRUSHWOODS
- ⊕ CENTERLINE OF DITCH
- ⊕ CULVERT
- ⊕ BANKTOP OF SLOPE
- ⊕ 650 MAJOR CONTOUR
- ⊕ 651 MINOR CONTOUR
- ⊕ BOUNDARY LINES
- ⊕ ROW LINES
- ⊕ SECTION LINES
- ⊕ PROPERTY LINES
- ASPHALT
- CONCRETE
- GRAVEL
- BRICK / PAVERS
- WATER



BENCHMARK NAVIGATIONS

DATUM: GPS-DERIVED NAVIG8S

SITE	DESCRIPTION	ELEV.
SITE BM#100	SET A CHISELED "X" ON CONCRETE LIGHT POLE BASE, LOCATED ±12 FEET E-AST-NORTHEAST STORM MANHOLE, ±5 FEET WEST-SOUTHWEST FROM BACK OF WALK AND ±30 FEET SOUTH FROM 22" TREE.	#636.46
SITE BM#101	BENCH TIE ON THE EAST FACE OF UTILITY POLE, LOCATED ±18 FEET SOUTH FROM UTILITY POLE, ±17 FEET SOUTHEAST FROM SOUTH BUILDING CORNER AND ±30 FEET WEST-SOUTHWEST FROM ROUND CATCH BASIN (STRUCTURE NO. 7).	#638.42
SITE BM#102	ARROW ON HYDRANT PAINTED YELLOW, LOCATED ±7 FEET SOUTHWEST FROM GATE VALVE, ±18 FEET WEST-SOUTHWEST FROM STUMP SIGN AND ±24 FEET NORTH-WEST FROM NORTH CORNER OF BRICK BUILDING.	#640.17

STRUCTURE TABLE

THE STRUCTURE TABLE ON THIS DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES. PIPE SIZES, DIRECTIONS AND ELEVATIONS ARE INDICATED BY A COMBINATION OF FIELD EVIDENCE AND AVAILABLE RECORD INFORMATION. UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE MANY TIMES AMBIGUOUS. SOME STRUCTURES MAY HAVE PIPES WITH UNKNOWN CONNECTIONS, SUMPS AND / OR PIPES THAT ARE FILLED WITH DEBRIS. IT WILL BE UP TO THE DESIGN ENGINEER TO LOOK AT THE PRESENTED SURVEY RESULTS AND DECIDE IF FURTHER INVESTIGATION BY OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SMOKE TESTING AND PHYSICAL EXCAVATION IS REQUIRED AS AN ADDITIONAL SERVICE.

#	TYPE	RIM	SIZE	MTRL	INVERT	DIRECTION	CONNECT
1	ELECTRIC MANHOLE	636.13					NW - SE
	TOP / PIPE	630.63					
	TOP / WATER	628.83					
	BOTTOM	628.23					
2	ROUND CATCH BASIN	636.11					
	NO PIPES VISIBLE						
	TOP / WATER	633.21					
	TOP / DEBRIS	632.81					
3	SQUARE CATCH BASIN	636.22	12"	CLAY	632.22	NW	6
	TOP / WATER	632.52					
	TOP / DEBRIS	631.52					
4	SQUARE CATCH BASIN	635.62					
	FOD TO THE RIM	635.12					
	TOP / DEBRIS	635.12					
5	SQUARE CATCH BASIN	635.70	12"	CLAY	632.00	SSE	4
	TOP / WATER	631.80					
	TOP / DEBRIS	631.50					
6	STORM MANHOLE	636.59	12"	CLAY	631.29	NNW	3
	TOP / WATER	631.39					
	TOP / DEBRIS	631.41					
	TOP / WATER	628.39					
	TOP / DEBRIS	627.09					
7	SEWER MANHOLE	636.96	6"	CLAY	633.26	NNW	8
	TOP / WATER	633.82					
	TOP / DEBRIS	633.82					
8	SEWER MANHOLE	636.72	N/A	N/A	N/A	WSW	7
	TOP / WATER	633.82					
	TOP / DEBRIS	633.82					
9	ELECTRIC MANHOLE	637.70					
	FOD UP TO RIM	637.20					
	TOP / WATER	633.44					
	TOP / DEBRIS	632.94					
10	ELECTRIC MANHOLE	637.71					
	COULD NOT OPEN						
11	ROUND CATCH BASIN	635.64	6"	PVC	633.64	ESE	
	TOP / WATER	633.44					
	TOP / DEBRIS	632.94					
12	GATE VALVE & WELL	636.77					
	TOP / PIPE	633.07					N - S
	TOP / WATER	634.57					
	TOP / DEBRIS	632.57					
13	ROUND CATCH BASIN	636.05	6"	CLAY	632.25	SW	
	TOP / WATER	632.35					
	TOP / DEBRIS	631.95					

SURVEYOR'S COMMENTS

- THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DEDECKER DURING JANUARY OF 2023 (ALTA SURVEY) AND JANUARY OF 2024.
- THE PROPERTY LINES/RIGHT-OF-WAY LINES SHOWN ON THIS TOPOGRAPHICAL SURVEY ARE FROM THE 2023 ALTA SURVEY BY SPALDING DEDECKER. PROPERTY LINES AS SHOWN IN DRAWING ARE BASED UPON THIS WORK. VARIATIONS MAY EXIST BETWEEN THE EXISTING PROPERTY DESCRIPTION AS SHOWN AND THE GRAPHICAL LINES COMPUTED IN THE DRAWING. A COMPLETE PROPERTY LINE ANALYSIS IS NOT PART OF THE SCOPE OF SERVICES AND PROPERTY CORNERS HAVE NOT BEEN SET IN THE FIELD PER THE AGREED TO SCOPE OF SERVICES.
- THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH THAT WOULD IDENTIFY ANY RECORDED EASEMENTS THAT ENCLUMBER THIS PROPERTY. THEREFORE, THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAY TAKINGS AND RESTRICTIVE COVENANTS THAT ARE NOT SHOWN.
- BEARINGS AND DISTANCES AS LABELED ON THE PROPERTY LINES ARE BASED UPON THE 2023 ALTA SURVEY BY SPALDING DEDECKER. THE PROPERTY LINES IN THE ELECTRONIC CAD FILE HAVE BEEN ROTATED TO STATE PLANE GRID BEARINGS. THEREFORE, THE BEARINGS OF THE PROPERTY LINES IN THE ELECTRONIC CAD FILE MAY NOT MATCH THOSE SHOWN IN THE LEGAL DESCRIPTION AND LABELED ON THE SURVEY DRAWING.
- THE COORDINATE SYSTEM FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE (2113), BASED ON NAD83 (NRS2011). UNITS ARE INTERNATIONAL FEET. COORDINATES WERE ESTABLISHED USING A DATA LINK TO THE MDOOT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
- THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS ESTABLISHED WITH RTK GPS MEASUREMENTS USING A DATA LINK TO THE MDOOT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
- THE PARKING LOT STRIPING SHOWN ON THIS SURVEY IS APPROXIMATE. DIMENSIONAL AND/OR ORIENTATION VARIATIONS MAY EXIST. THIS DRAWING SHOULD NOT BE USED FOR A PARKING SPACE COUNT.
- THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. A MISS DIG DESIGN TICKET NUMBER OF 2023012601475-000 HAS BEEN REFERENCED TO THIS PROJECT AND A MISS DIG FIELD VERIFICATION CHART IS SHOWN ON THIS DRAWING. THERE ARE NO ASSURANCES THAT ALL PROVIDERS HAVE RESPONDED AND THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO RESOLVE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-482-7171.

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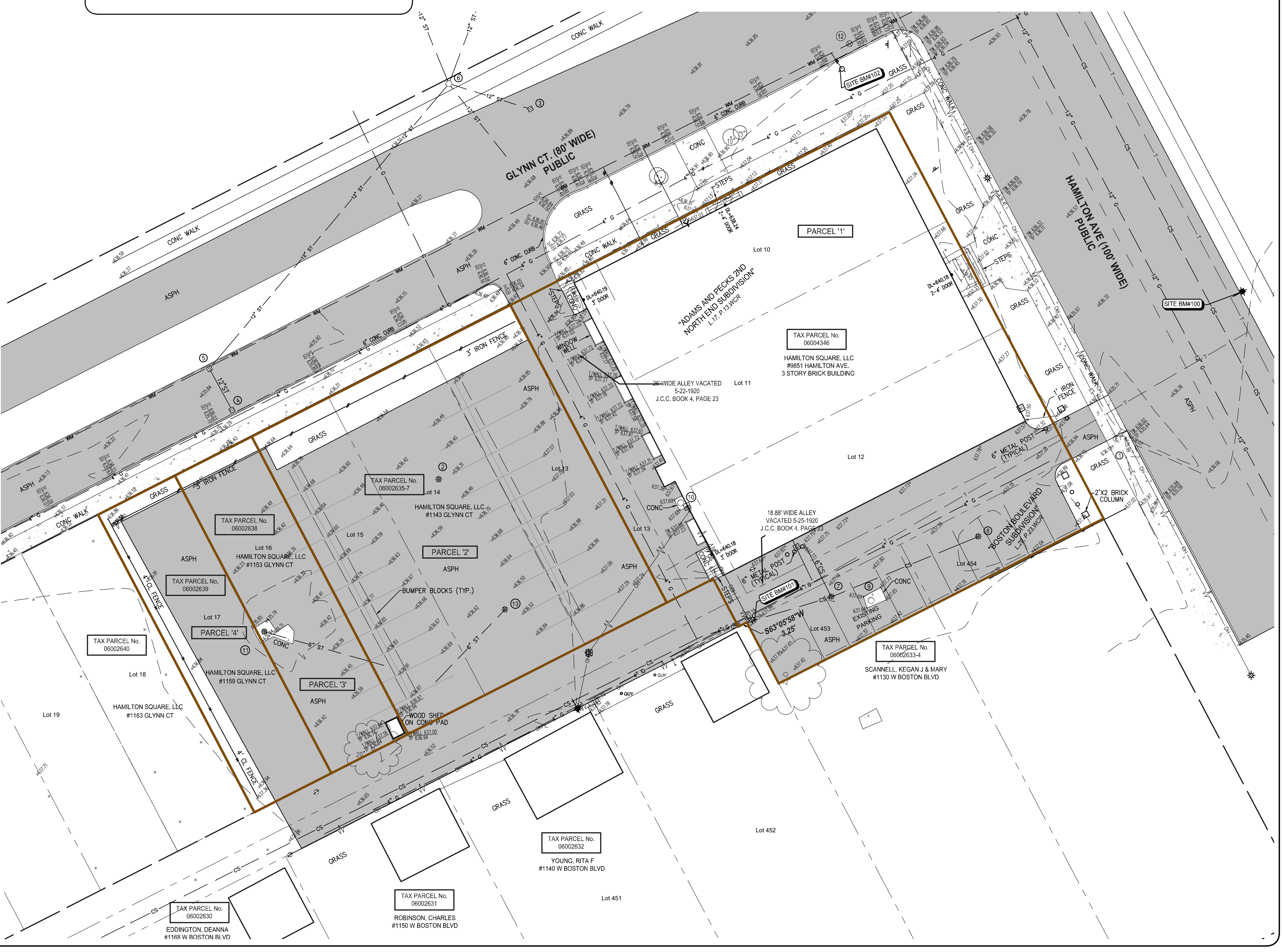
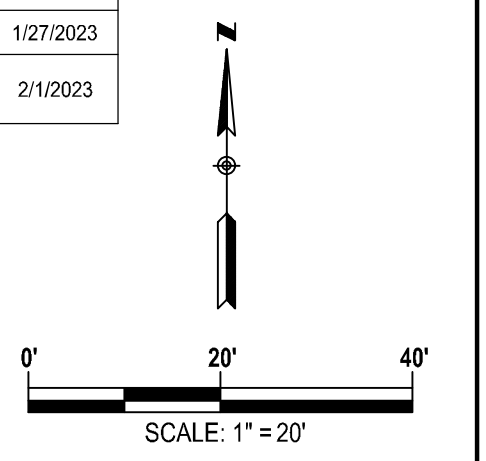
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UTILITY CHART

UTILITY PROVIDER	CONTACT #	MISS DIG RESULTS	DATE
AT&T TELEPHONE	(800) 778-9140	RECEIVED	2/1/2023
COMCAST CABLE TV	(855) 962-4525	RECEIVED	2/7/2023
COMCAST FIBER OPTICS	(855) 962-4525	RECEIVED	2/7/2023
DETROIT CITY WATER & SEWERAGE POTABLE WATER	(313) 999-4761	RECEIVED	1/26/2023
DETROIT CITY WATER & SEWERAGE SEWER (COMBINED SANITARY ONLY)	(313) 999-4761	RECEIVED	1/26/2023
DETROIT PUBLIC LIGHTING ELECTRIC	(313) 267-5130	NOT RECEIVED	
DTE ENERGY (ELECTRIC) ELECTRIC	(313) 407-5364	RECEIVED	2/8/2023
DTE ENERGY (GAS) GAS	(248) 316-7839	RECEIVED	1/27/2023
GREAT LAKES WATER AUTHORITY SEWER (COMBINED SANITARY ONLY)	(313) 799-0289	RECEIVED	2/1/2023



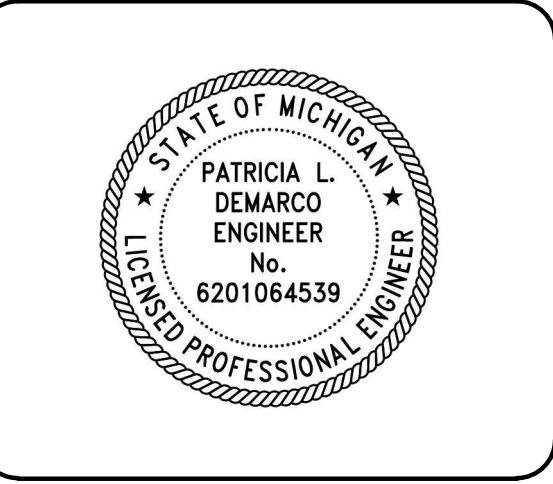
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SECTION 35
TOWN 01 SOUTH RANGE 11 EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	05-01-23	ADDED LAND AREAS
2	05-14-24	ADDED PARCEL 5
3	07-10-24	BSEED SUBMITTAL
4	09-13-24	BSEED V2 SUBMITTAL
5	10-15-24	REMOVE PARCEL 5
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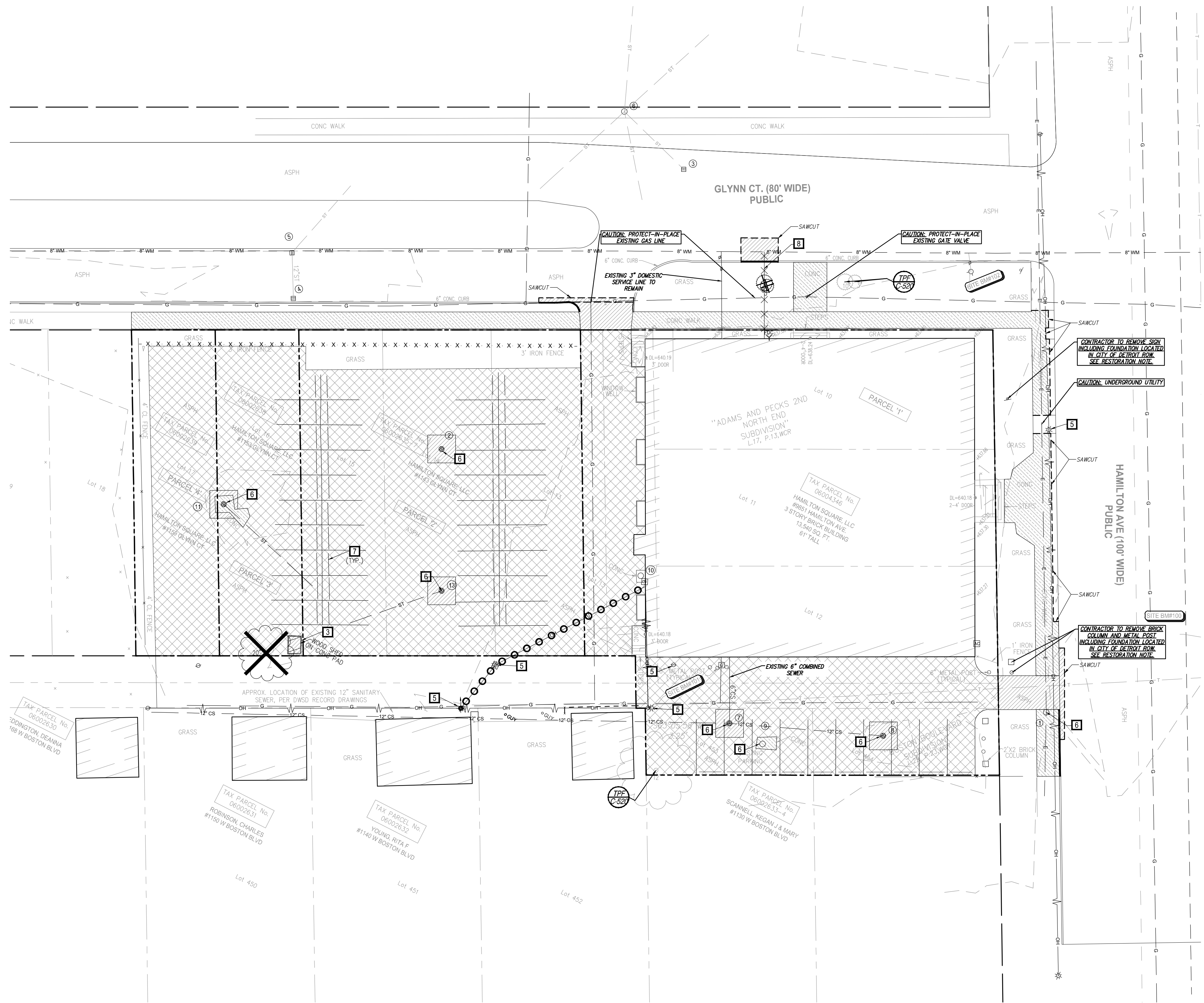
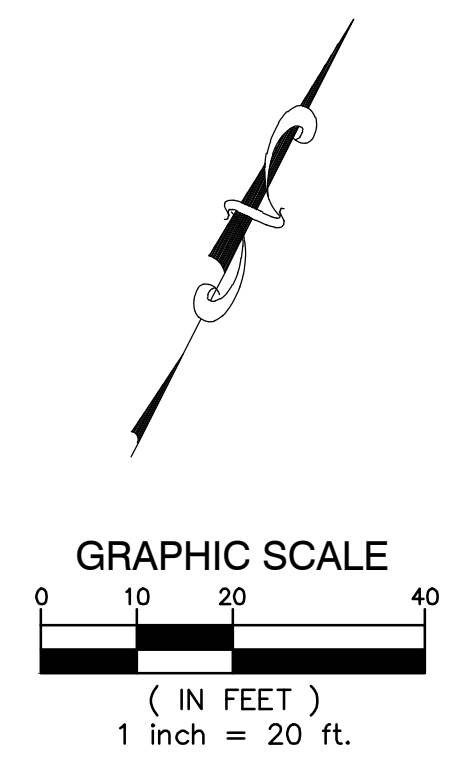
HAMILTON SQUARE

9851 HAMILTON AVE,
DETROIT, MI 48202

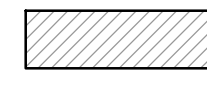
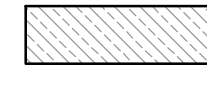

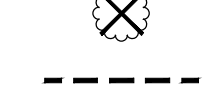
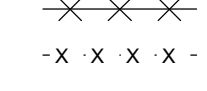
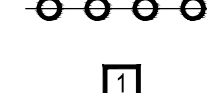
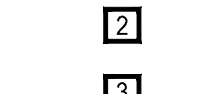

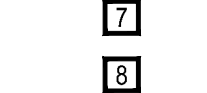

EXISTING CONDITIONS

VERIFY SCALES
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DRAWER	DATE
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DESIGNER	DATE
S. NEUMANN	2024-01-29
CHECKED	DATE
S. NEUMANN	2024-01-29
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-07-10
JOB NO.	DRAWING NO.
DE23002	DE23002TPG - NP
SCALE:	SHEET NO.
1" = 20'	C-100



DEMOLITION LEGEND

-  REMOVE ASPHALT PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. EXCAVATE EXISTING AGGREGATE BASE AND SUBGRADE AS NECESSARY TO INSTALL NEW PAVEMENT SECTION AS SHOWN ON THE PAVING PLANS, INCLUDING NEW AGGREGATE BASE.
 -  REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT.
 -  MILL AND FILL EXISTING ASPHALT PAVEMENT TO 2" DEPTH.
 -  REMOVE CONCRETE CURB TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW CURB AND/OR INTEGRAL WALK WILL BE PLACED ADJACENT TO EXISTING CURB TO REMAIN.
 -  REMOVE EXISTING TREE (INCLUDING STUMPS AND ROOTS).
 -  LIMITS OF EXCAVATION
 -  ABANDON-IN-PLACE EXISTING WATER PIPE. CUT AND CAP AT MAIN.
 -  REMOVE EXISTING FENCE, POSTS, AND FOOTINGS.
 -  PROJECT BOUNDARY.
 -  PROTECT-IN-PLACE OVERHEAD UTILITY WIRES.
- 1 CONTRACTOR TO COORDINATE WITH DTE ON REMOVAL AND REPLACEMENT OF UTILITY POLES.
 - 2 REMOVE EXISTING LIGHT POLES, INCLUDING POSTS AND FOOTINGS AND ALL ASSOCIATED ELECTRICAL EQUIPMENT. CAP EXISTING ELECTRICAL. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
 - 3 REMOVE EXISTING BUILDING INCLUDING FOUNDATION TO FULL DEPTH.
 - 4 REMOVE EXISTING POST UNINCLUDING FOUNDATION TO FULL DEPTH.
 - 5 PROTECT EXISTING UTILITY POLE AND GUY WIRE.
 - 6 PROTECT EXISTING UTILITIES AND UTILITY STRUCTURE. CONTRACTOR TO ADJUST STRUCTURE RIM TO MATCH PROPOSED ELEVATIONS.
 - 7 REMOVE AND SALVAGE PARKING BLOCK.
 - 8 CONTRACTOR TO CONDUCT EXPLORATORY INVESTIGATION TO DETERMINE EXACT LOCATION OF EXISTING SERVICE LINE TO BE ABANDONED.

DEMOLITION NOTES

- ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8' LIFTS COMPACTED TO 90% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.
- CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR SHALL UTILIZE A UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITY LINES.
- CONTRACTOR TO ESTABLISH SEDIMENT EROSION CONTROL MEASURES PRIOR TO BEGINNING WORK, AS REQUIRED BY WAYNE COUNTY AND THE STATE OF MICHIGAN.
- ALL WORK IS TO BE IN CONFORMANCE WITH LOCAL STANDARDS, RULES AND REGULATIONS AS DETERMINED BY THE STATE OF MICHIGAN, WAYNE COUNTY, CITY OF DETROIT, AND ASSOCIATED UTILITIES.
- RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL, AND 500 PER SPEC SECTION 2920. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.
- CONTRACTOR TO PROTECT EXISTING UTILITY STRUCTURES, SIGNS, POSTS, TREES, ETC. UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR TO PROTECT-IN-PLACE ALL TREES THAT AREN'T SCHEDULED FOR REMOVAL SEE SHEET C-500 - TREE PROTECTION FENCE DETAIL.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY OPERATION MANAGER AND ENGINEER PRIOR TO DEMOLITION/REMOVAL OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE TO RECONNECT EXISTING UTILITIES THAT ARE FOUND IN THE FIELD AT OPERATION MANAGER'S DIRECTION.

RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL, AND 500 PER SPEC SECTION 2920. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.



UTILITY NOTE

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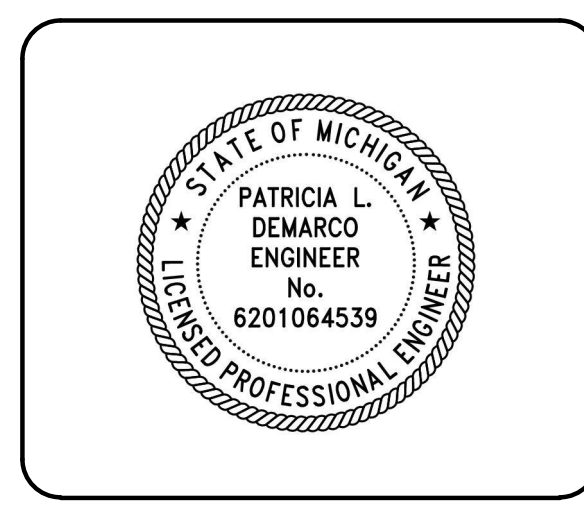
DEMOLITION PLAN

SECTION 35
 TOWN 01 SOUTH RANGE 11 EAST
 CITY OF DETROIT
 WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES
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JCI	2024-10-31
DESIGNER <th>DATE</th>	DATE
JCI	2024-10-31
CHECKED <th>DATE</th>	DATE
TLD	2024-10-31
PROJECT MANAGER <th>BID PLAN DATE</th>	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL <th>DATE</th>	DATE
TLD	2024-10-31
JOB NO. <td>DE23002</td>	DE23002
DRAWING NO. <td>DE23002STP</td>	DE23002STP
SCALE: <td>SHEET NO.</td>	SHEET NO.
1" = 20'	C-110



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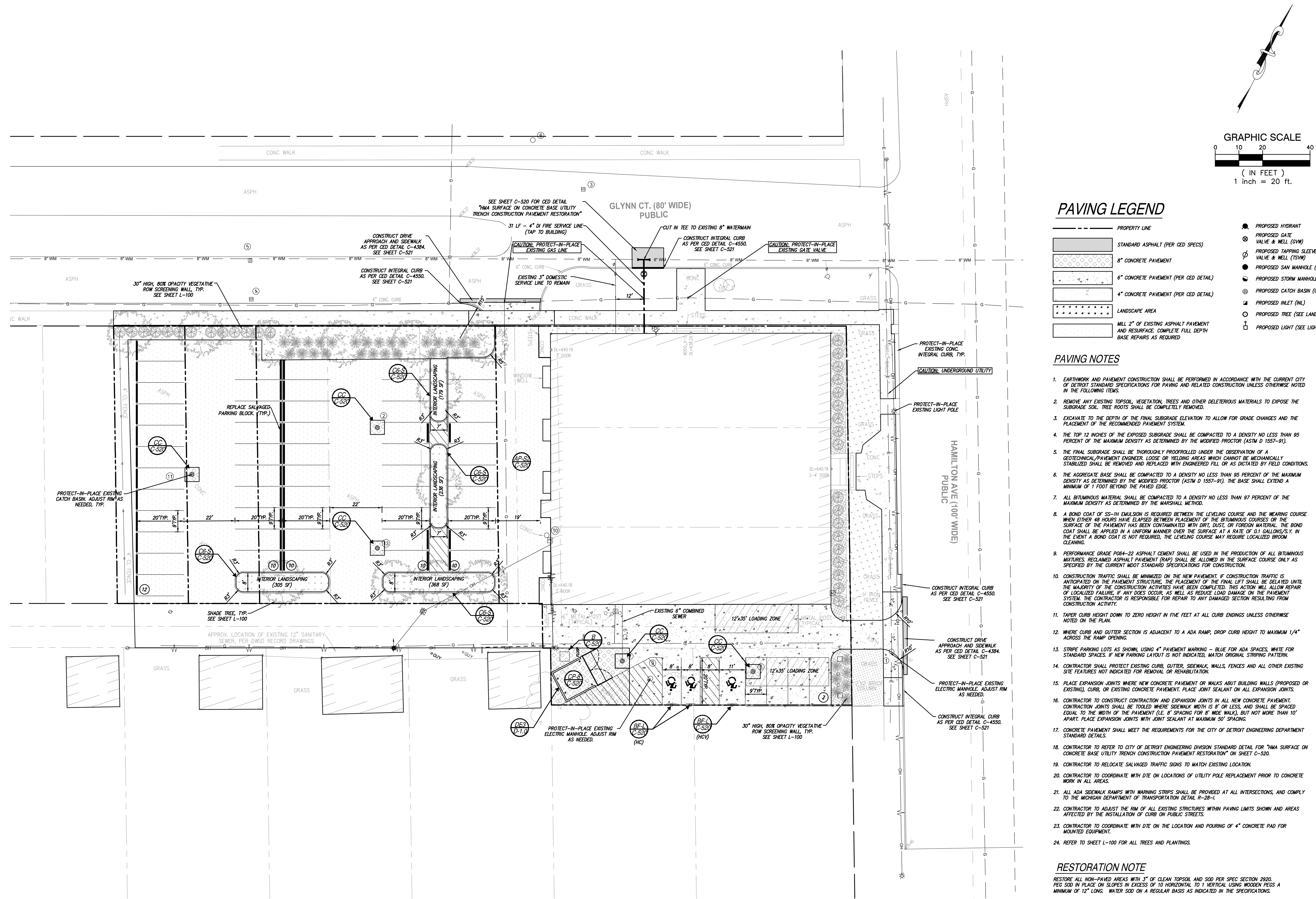
SITE ENGINEERING PLAN

SECTION 35
 TOWN 01 SOUTH RANGE 11 EAST
 CITY OF DETROIT
 WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
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6	11-01-24	BSEED V3 SUBMITTAL

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JCI	2024-11-01
CHECKED	DATE
TLD	2024-11-01
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-11-01
JOB NO.	DRAWING NO.
DE23002	DE23002SPL
SCALE:	SHEET NO.
1" = 20'	C-120



PAVING LEGEND

- PROPERTY LINE
- STANDARD ASPHALT (PER CED SPECS)
- 8" CONCRETE PAVEMENT
- 6" CONCRETE PAVEMENT (PER CED DETAIL)
- 4" CONCRETE PAVEMENT (PER CED DETAIL)
- LANDSCAPE AREA
- MILL 2" OF EXISTING ASPHALT PAVEMENT AND RESURFACE. COMPLETE FULL DEPTH BASE REPAIRS AS REQUIRED

- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)
- PROPOSED SAN MANHOLE (SM)
- PROPOSED STORM MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED INLET (INL)
- PROPOSED TREE (SEE LANDSCAPE PLAN)
- PROPOSED LIGHT (SEE LIGHTING PLAN)

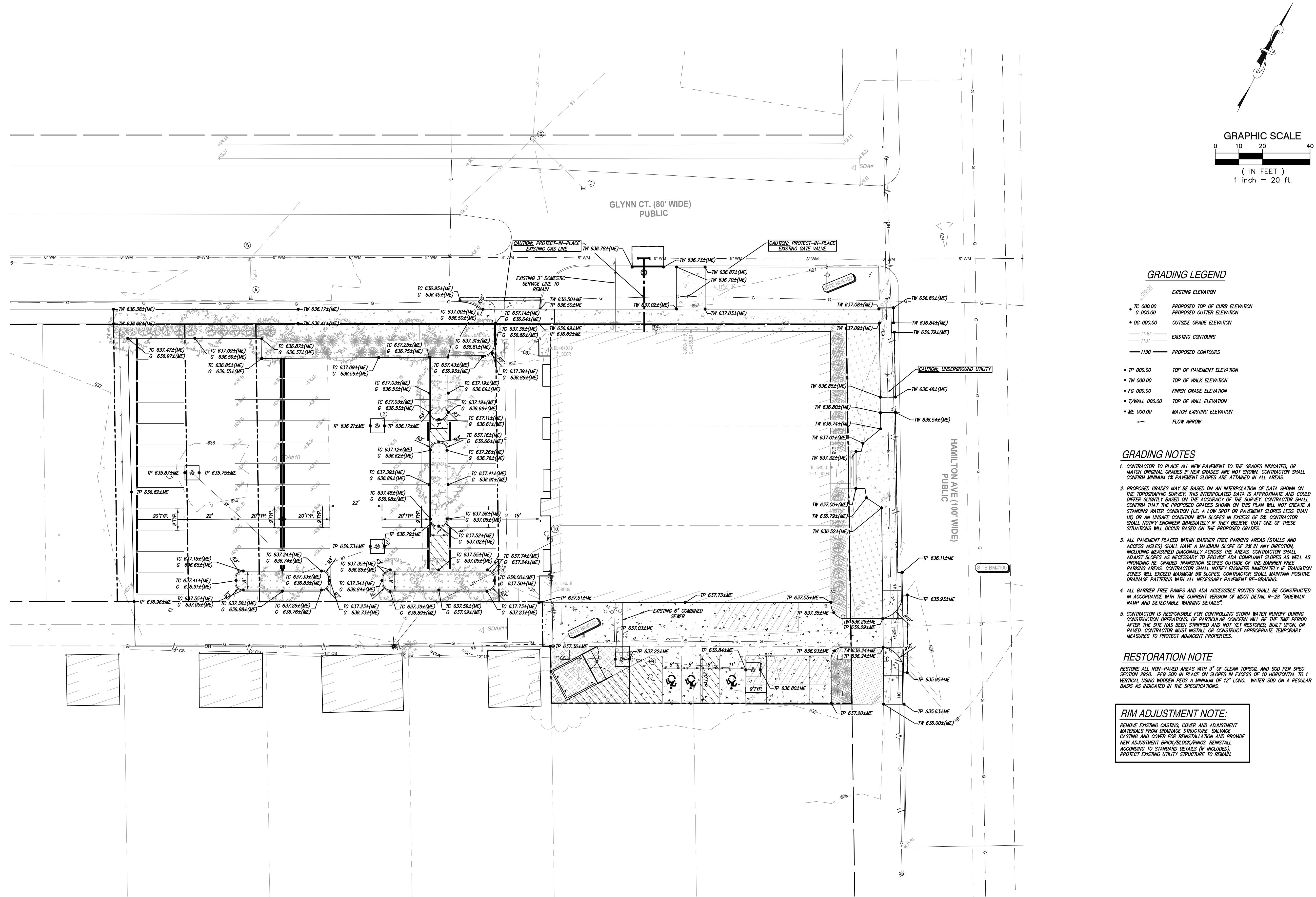
- PAVING NOTES**
- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE ACCORDANCE WITH THE CURRENT CITY OF DETROIT STANDARD SPECIFICATIONS FOR PAVING AND RELATED CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
 - REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
 - EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
 - THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
 - THE FINAL SUBGRADE SHALL BE THOROUGHLY PROFFERED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR WELDING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
 - THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
 - ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY NO LESS THAN 97 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
 - A BOND COAT OF 55-1H EMULSION IS REQUIRED BETWEEN THE LEVELING COURSE AND THE WEARING COURSE WHEN EITHER 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT OF THE BITUMINOUS COURSES OR THE SURFACE OF THE PAVEMENT HAS BEEN CONTAMINATED WITH DIRT, DUST, OR FOREIGN MATERIAL. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.1 GALLONS/SY. IN THE EVENT A BOND COAT IS NOT REQUIRED, THE LEVELING COURSE MAY REQUIRE LOCALIZED BROOM CLEANING.
 - PERFORMANCE GRADE PG64-22 ASPHALT CEMENT SHALL BE USED IN THE PRODUCTION OF ALL BITUMINOUS MIXTURES. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE ALLOWED IN THE SURFACE COURSE ONLY AS SPECIFIED BY THE CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURES, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY.
 - TAPER CURB HEIGHT DOWN TO ZERO HEIGHT IN FIVE FEET AT ALL CURB ENDINGS UNLESS OTHERWISE NOTED ON THE PLAN.
 - WHERE CURB AND GUTTER SECTION IS ADJACENT TO A ADA RAMP, DROP CURB HEIGHT TO MAXIMUM 1/4" ACROSS THE RAMP OPENING.
 - STRIPED PARKING LOTS AS SHOWN, USING 4" PAVEMENT MARKING - BLUE FOR ADA SPACES, WHITE FOR STANDARD SPACES. IF NEW PARKING LAYOUT IS NOT INDICATED, MATCH ORIGINAL STRIPING PATTERN.
 - CONTRACTOR SHALL PROTECT EXISTING CURBS, GUTTERS, SIDEWALKS, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
 - PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), CURBS OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
 - CONTRACTOR TO CONSTRUCT CONTRACTION AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOoled WHERE SIDEWALK WIDTH IS 8' OR LESS AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8" SPACING FOR 8" WIDE WALK), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 50' SPACING.
 - CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR THE CITY OF DETROIT ENGINEERING DEPARTMENT STANDARD DETAILS.
 - CONTRACTOR TO REFER TO CITY OF DETROIT ENGINEERING DIVISION STANDARD DETAIL FOR "MA SURFACE ON CONCRETE BASE UTILITY TRENCH CONSTRUCTION PAVEMENT RESTORATION" ON SHEET C-520.
 - CONTRACTOR TO RELOCATE SALVAGED TRAFFIC SIGNS TO MATCH EXISTING LOCATION.
 - CONTRACTOR TO COORDINATE WITH DTE ON LOCATIONS OF UTILITY POLE REPLACEMENT PRIOR TO CONCRETE WORK IN ALL AREAS.
 - ALL ADA SIDEWALK RAMP WITH WARNING STRIPS SHALL BE PROVIDED AT ALL INTERSECTIONS, AND COMPLY TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION DETAIL R-28-B.
 - CONTRACTOR TO ADJUST THE RIM OF ALL EXISTING STRUCTURES WITHIN PAVING LIMITS SHOWN AND AREAS AFFECTED BY THE INSTALLATION OF CURB ON PUBLIC STREETS.
 - CONTRACTOR TO COORDINATE WITH DTE ON THE LOCATION AND POURING OF 4" CONCRETE PAD FOR MOVED EQUIPMENT.
 - REFER TO SHEET L-100 FOR ALL TREES AND PLANTINGS.

RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SOO PER SPEC SECTION 2020. PER SOO IN PLACE ON SLOPES IN EXCESS OF 1:1 HORIZONTAL TO 1 VERTICAL USING WOODEN PESS A MINIMUM OF 12" LONG. WATER SOO ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.

RIM ADJUSTMENT NOTE:

REMOVE EXISTING CASTING, COVER AND ADJUSTMENT MATERIALS FROM DRAINAGE STRUCTURE. SALVAGE CASTING AND COVER FOR REINSTALLATION AND PROVIDE NEW ADJUSTMENT BRICK/BLOCK/RINGS. REINSTALL ACCORDING TO STANDARD DETAILS (IF INCLUDED). PROTECT EXISTING UTILITY STRUCTURE TO REMAIN.



- GRADING LEGEND**
- TC 000.00 PROPOSED TOP OF CURB ELEVATION
 - G 000.00 PROPOSED OUTER ELEVATION
 - OG 000.00 OUTSIDE GRADE ELEVATION
 - 11.30 EXISTING CONTOURS
 - 11.31 PROPOSED CONTOURS
 - TP 000.00 TOP OF PAVEMENT ELEVATION
 - TW 000.00 TOP OF WALK ELEVATION
 - FG 000.00 FINISH GRADE ELEVATION
 - T/WALL 000.00 TOP OF WALL ELEVATION
 - ME 000.00 MATCH EXISTING ELEVATION
 - FLOW ARROW

- GRADING NOTES**
- CONTRACTOR TO PLACE ALL NEW PAVEMENT TO THE GRADES INDICATED, OR MATCH ORIGINAL GRADES IF NEW GRADES ARE NOT SHOWN. CONTRACTOR SHALL CONFIRM MINIMUM 1% PAVEMENT SLOPES ARE ATTAINED IN ALL AREAS.
 - PROPOSED GRADES MAY BE BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THIS INTERPOLATED DATA IS APPROXIMATE AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION. CONTRACTOR SHALL VERIFY THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (I.E. A LOW SPOT OR PAVEMENT SLOPES LESS THAN 1%) OR AN UNSAFE CONDITION WITH SLOPES IN EXCESS OF SIX PERCENT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.
 - ALL PAVEMENT PLACED WITHIN BARRIER FREE PARKING AREAS (STALLS AND ACCESS AISLES) SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION, INCLUDING MEASURED DIAGONALLY ACROSS THE AREAS. CONTRACTOR SHALL ADJUST SLOPES AS NECESSARY TO PROVIDE ADA COMPLIANT SLOPES AS WELL AS PROVIDING DE-GRADED TRANSITION SLOPES OUTSIDE OF THE BARRIER FREE PARKING AREAS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF TRANSITION ZONES WILL EXCEED MAXIMUM SIX PERCENT. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE PATTERNS WITH ALL NECESSARY PAVEMENT RE-GRADING.
 - ALL BARRIER FREE RAMPS AND ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF MDT DETAIL R-28 "SIDEWALK RAMP AND DETECTABLE WARNING DETAILS".
 - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORM WATER RUNOFF DURING CONSTRUCTION OPERATIONS. PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

RESTORATION NOTE
 RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND 500 PER SPEC SECTION 2820. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.

TRIM ADJUSTMENT NOTE:
 REMOVE EXISTING CASTING, COVER AND ADJUSTMENT MATERIALS FROM DRAINAGE STRUCTURES. SILENCE CASTING AND COVER FOR REINSTALLATION AND PROVIDE NEW ADJUSTMENT BRICK/BLOCK/RINGS. REINSTALL ACCORDING TO STANDARD DETAILS (IF INCLUDED). PROTECT EXISTING UTILITY STRUCTURE TO REMAIN.



811
 Know what's below.
 Call before you dig.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG'S WORKING DAYS PRIOR TO CONSTRUCTION.

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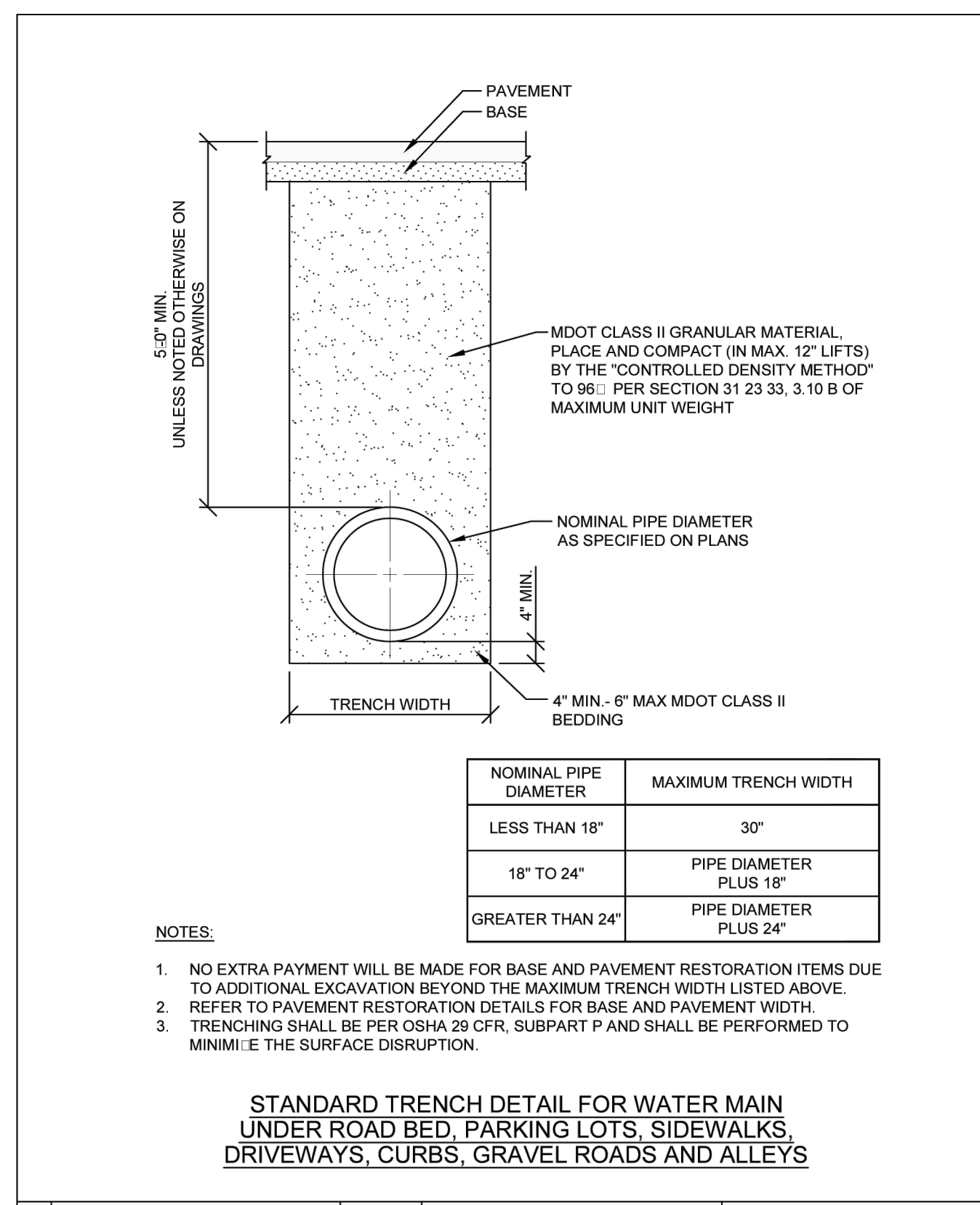
GRADING PLAN

SECTION 35
 TOWN 01 SOUTH RANGE 11 EAST
 CITY OF DETROIT
 WAYNE COUNTY, MICHIGAN

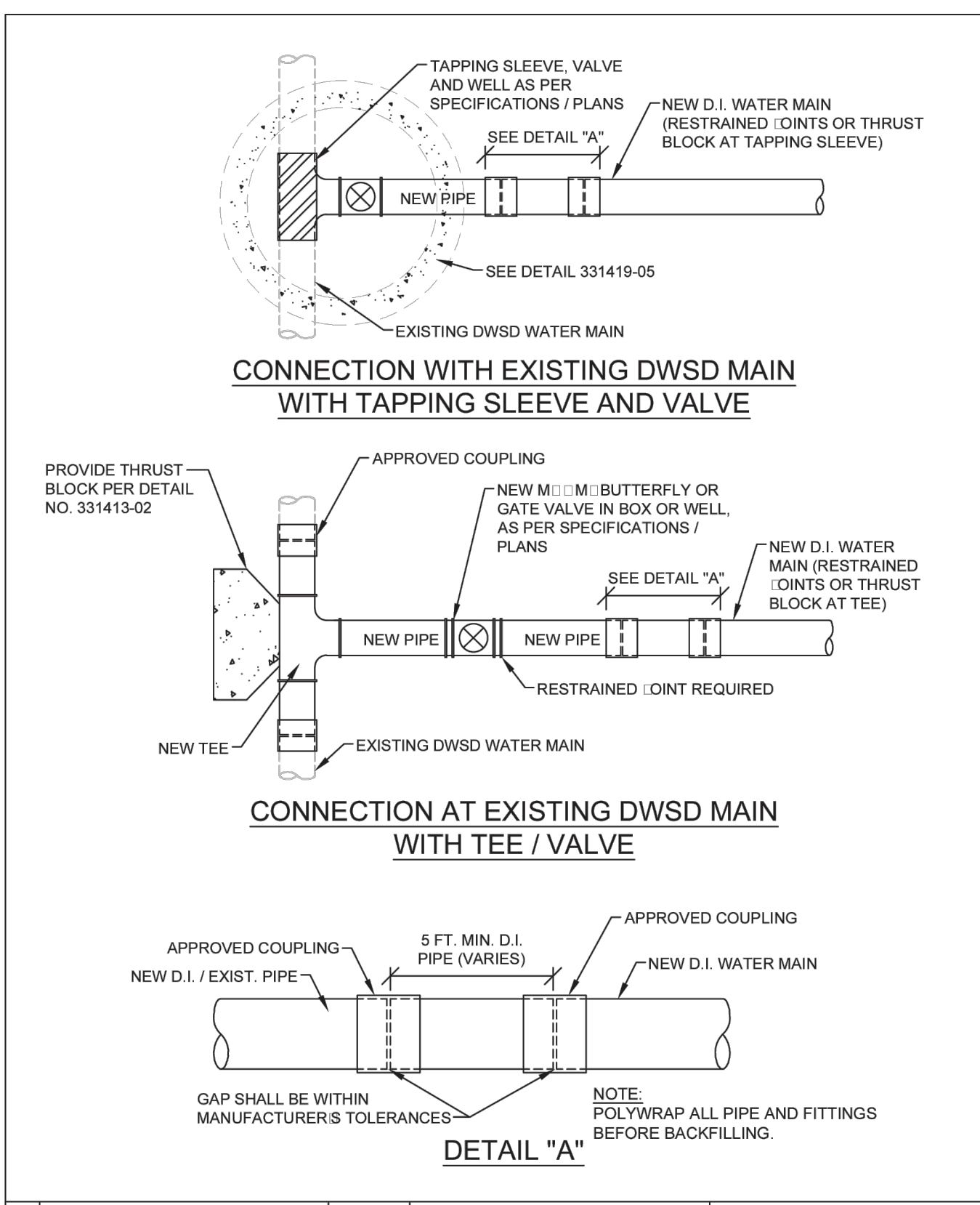
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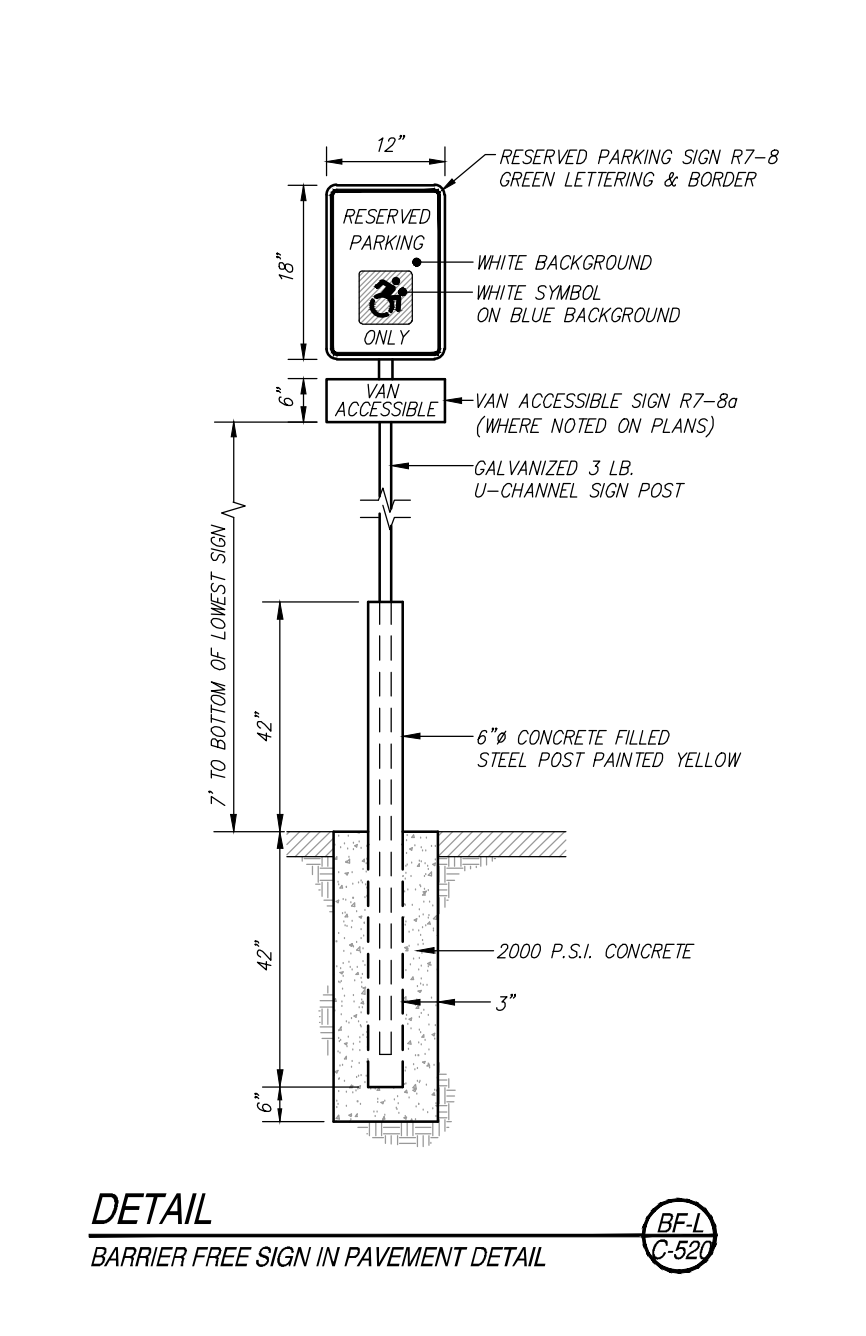
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DESIGNER JCI	2024-11-01
CHECKED TLD	2024-11-01
PROJECT MANAGER TLD	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL TLD	DATE 2024-11-01
JOB NO. DE23002	DRAWING NO. DE23002SPL
SCALE: 1" = 20'	SHEET NO. C-130



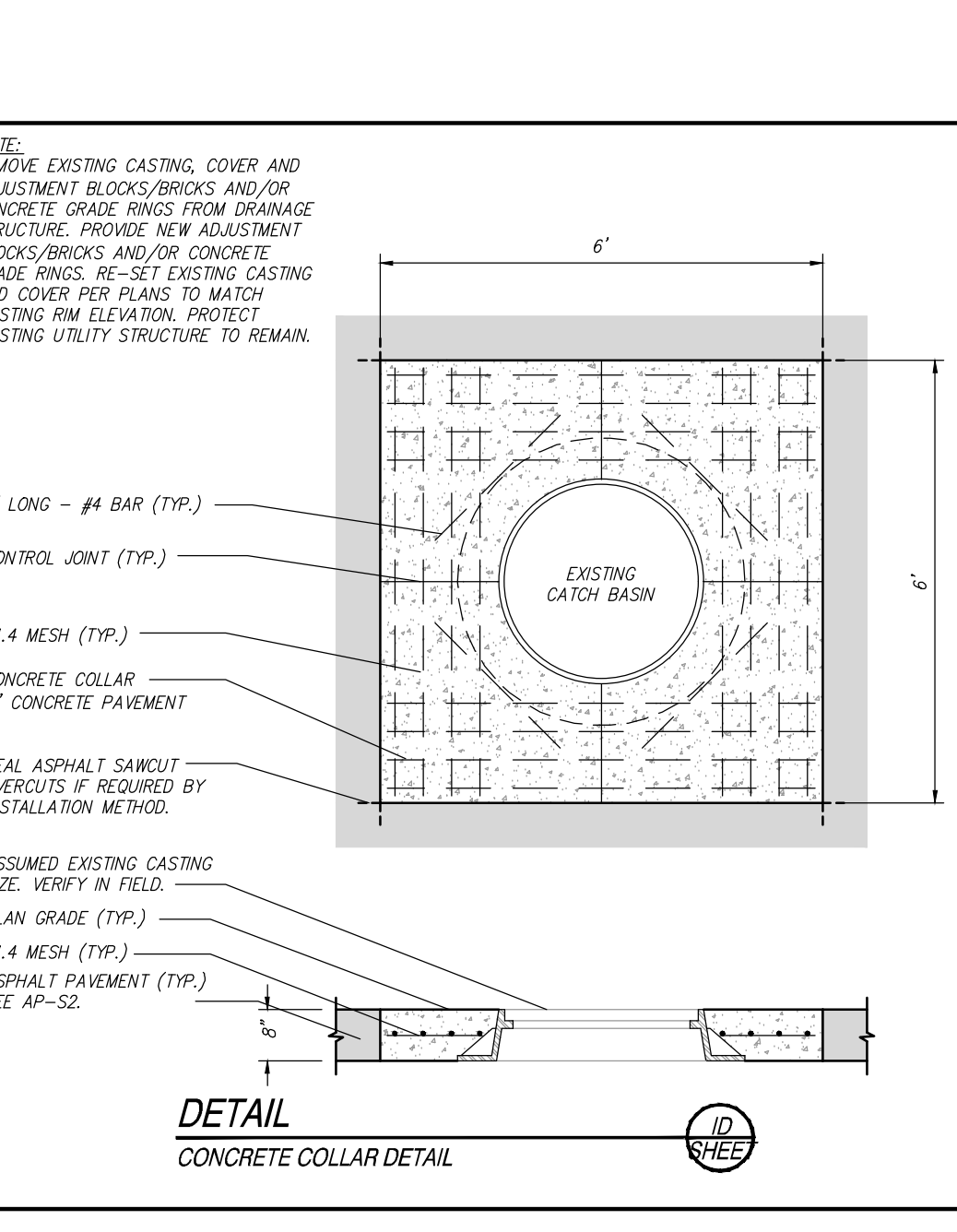
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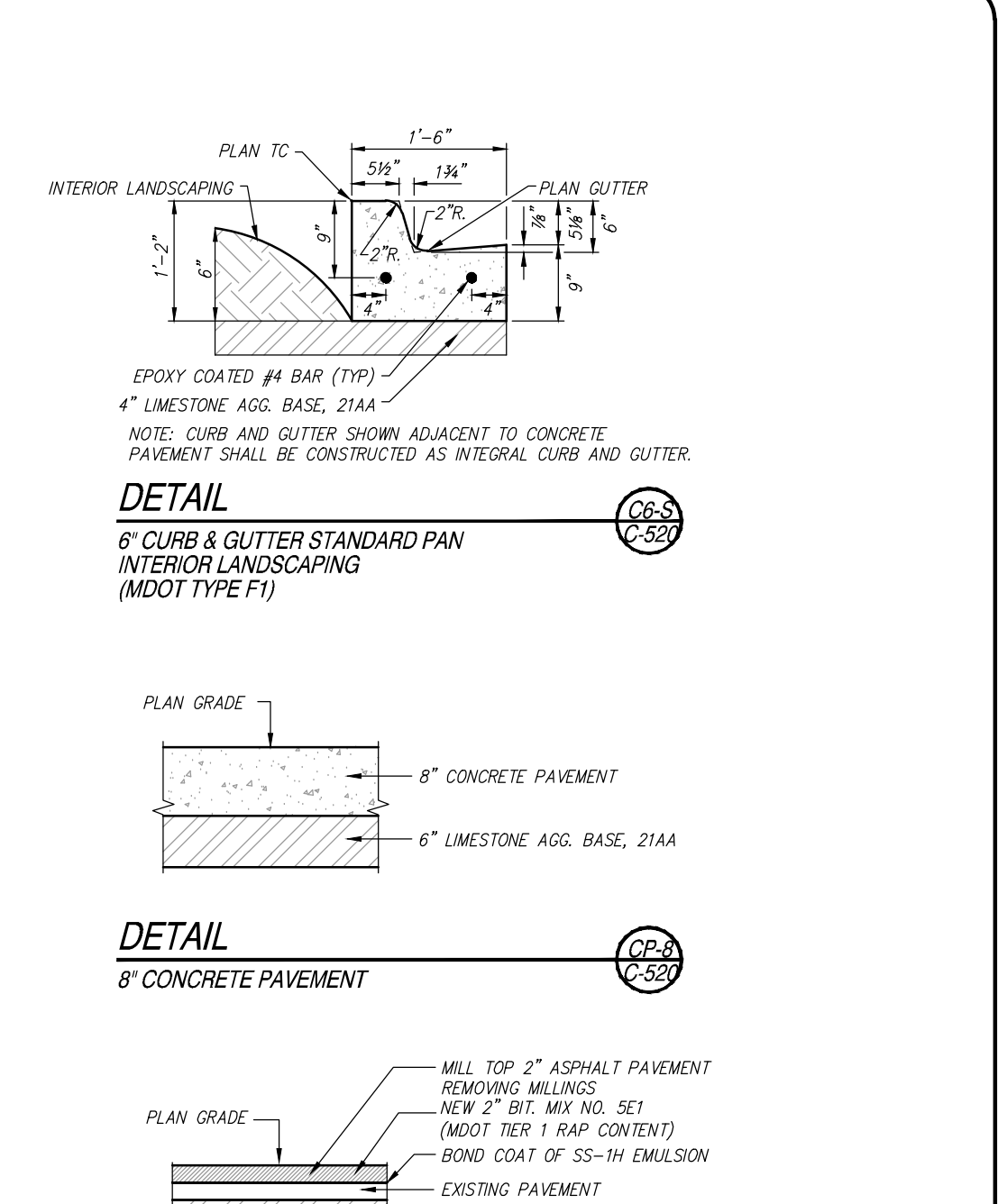
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REV	DESCRIPTION	DATE	SCALE	SHEET
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REV	DESCRIPTION	DATE	SCALE	SHEET
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REV	DESCRIPTION	DATE	SCALE	SHEET
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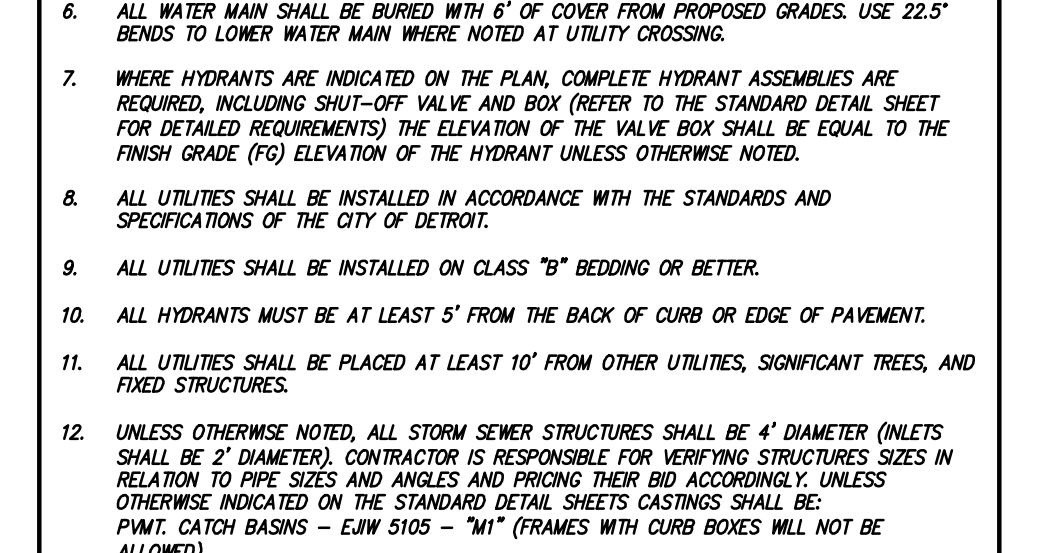
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REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET



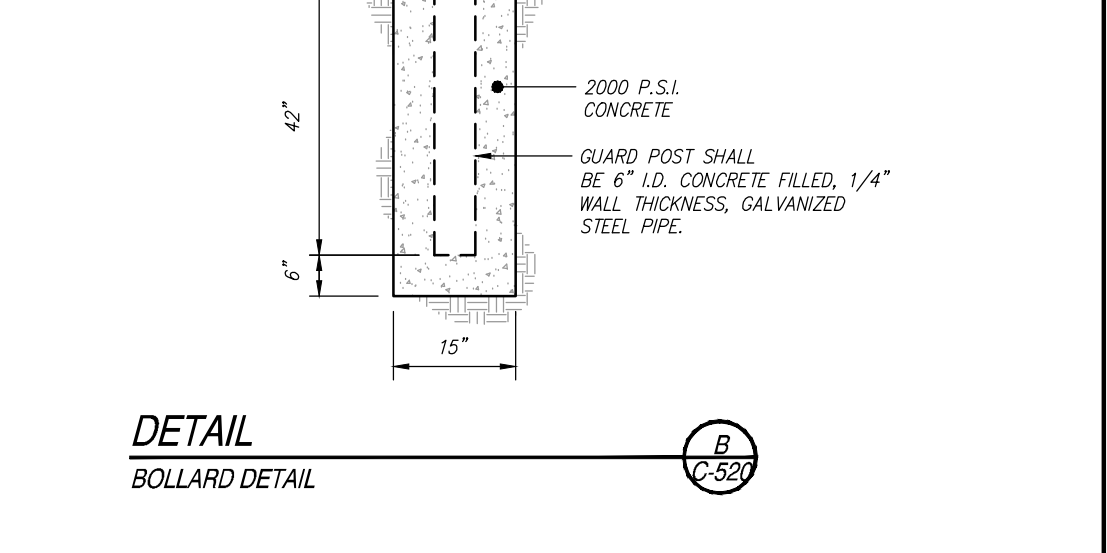
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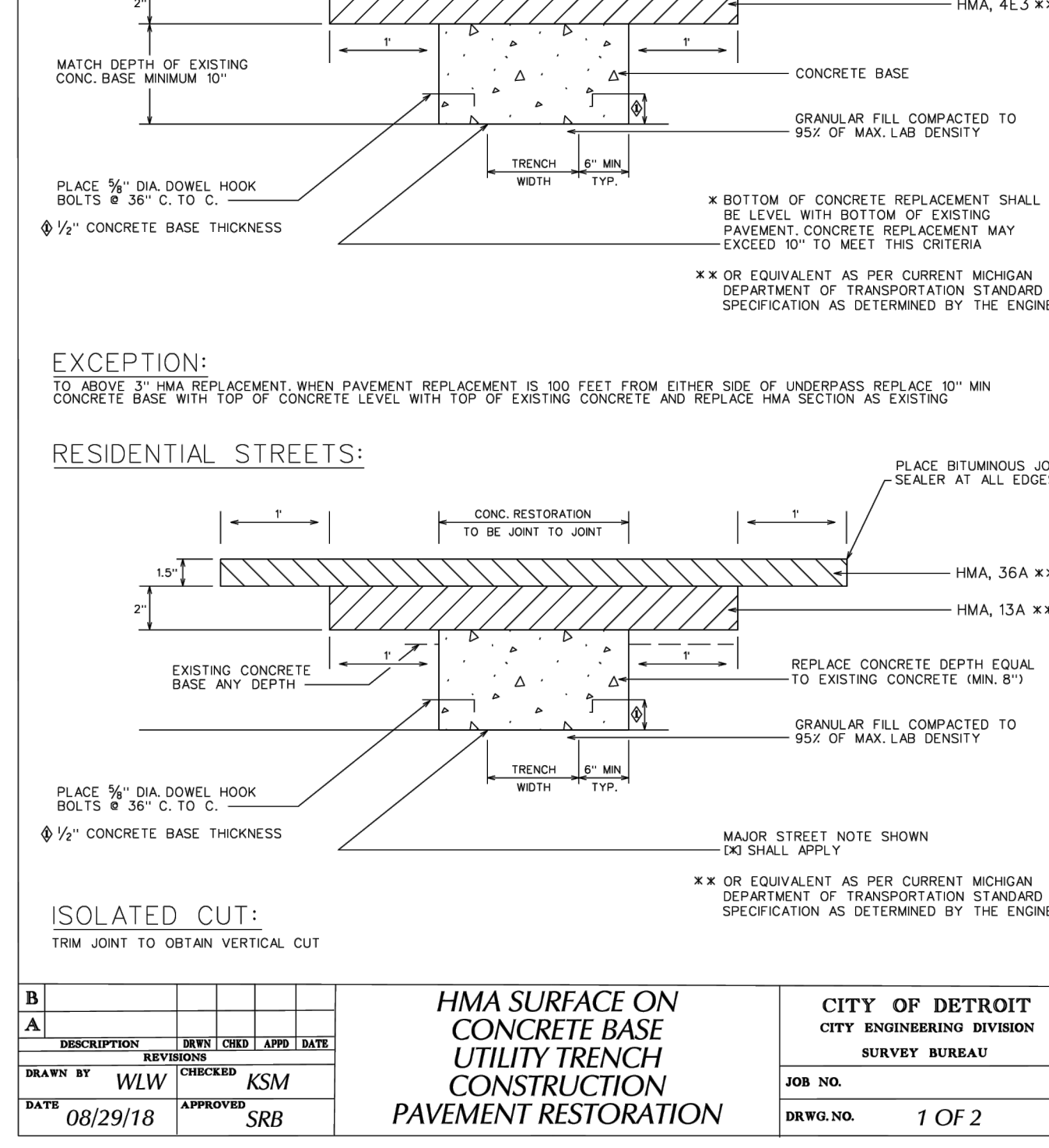
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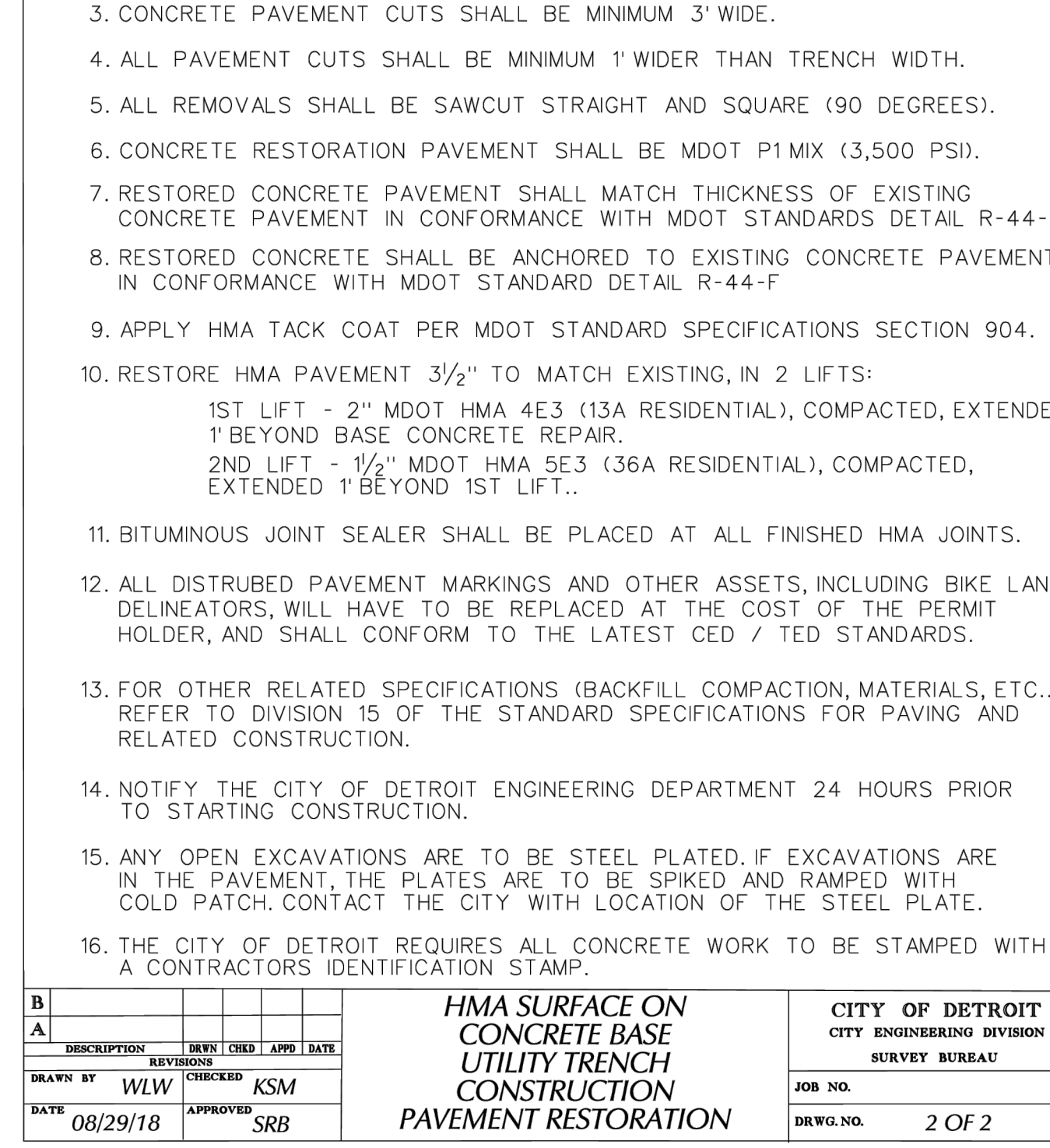
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REV	DESCRIPTION	DATE	SCALE	SHEET
1	UPDATED	5/2020	NONE	1 OF 1
REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET



REV	DESCRIPTION	DATE	SCALE	SHEET
1	UPDATED	5/2020	NONE	1 OF 1
REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET



REV	DESCRIPTION	DATE	SCALE	SHEET
1	UPDATED	5/2020	NONE	1 OF 1
REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET



REV	DESCRIPTION	DATE	SCALE	SHEET
1	UPDATED	5/2020	NONE	1 OF 1
REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET



REV	DESCRIPTION	DATE	SCALE	SHEET
1	UPDATED	5/2020	NONE	1 OF 1
REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET



REV	DESCRIPTION	DATE	SCALE	SHEET
1	UPDATED	5/2020	NONE	1 OF 1
REV	DESCRIPTION <td>DATE</td> <td>SCALE</td> <td>SHEET</td>	DATE	SCALE	SHEET

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PATRICIA L. DEMARCO
 ENGINEER
 No. 6201064539
 LICENSED PROFESSIONAL ENGINEER

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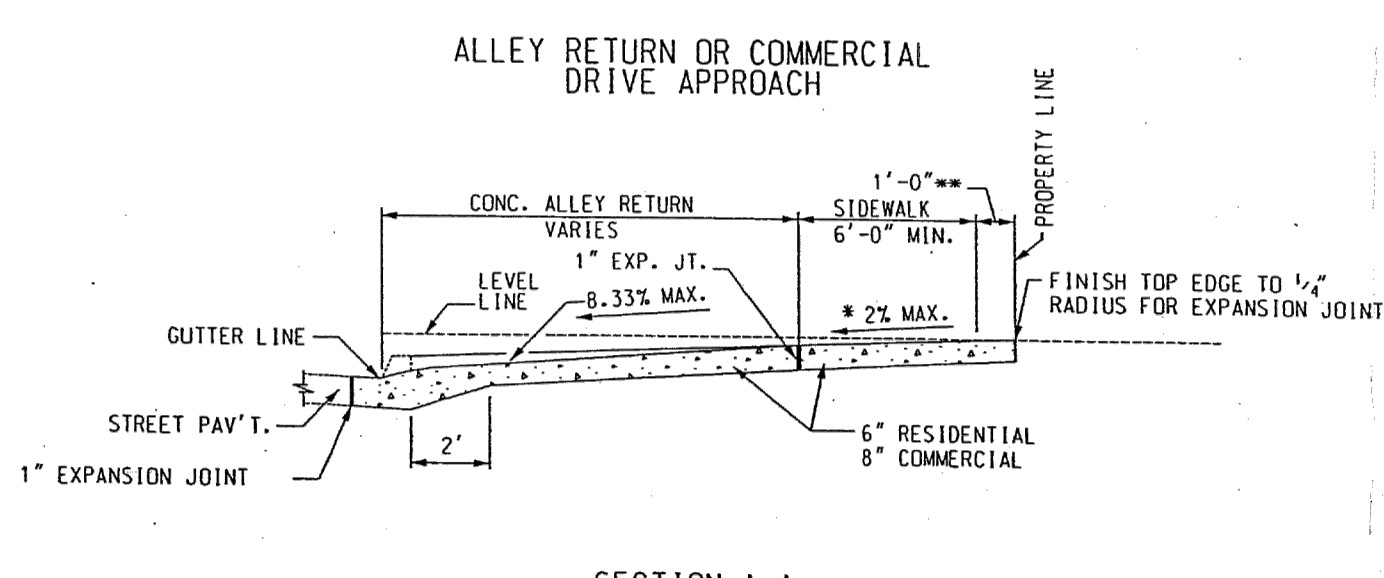
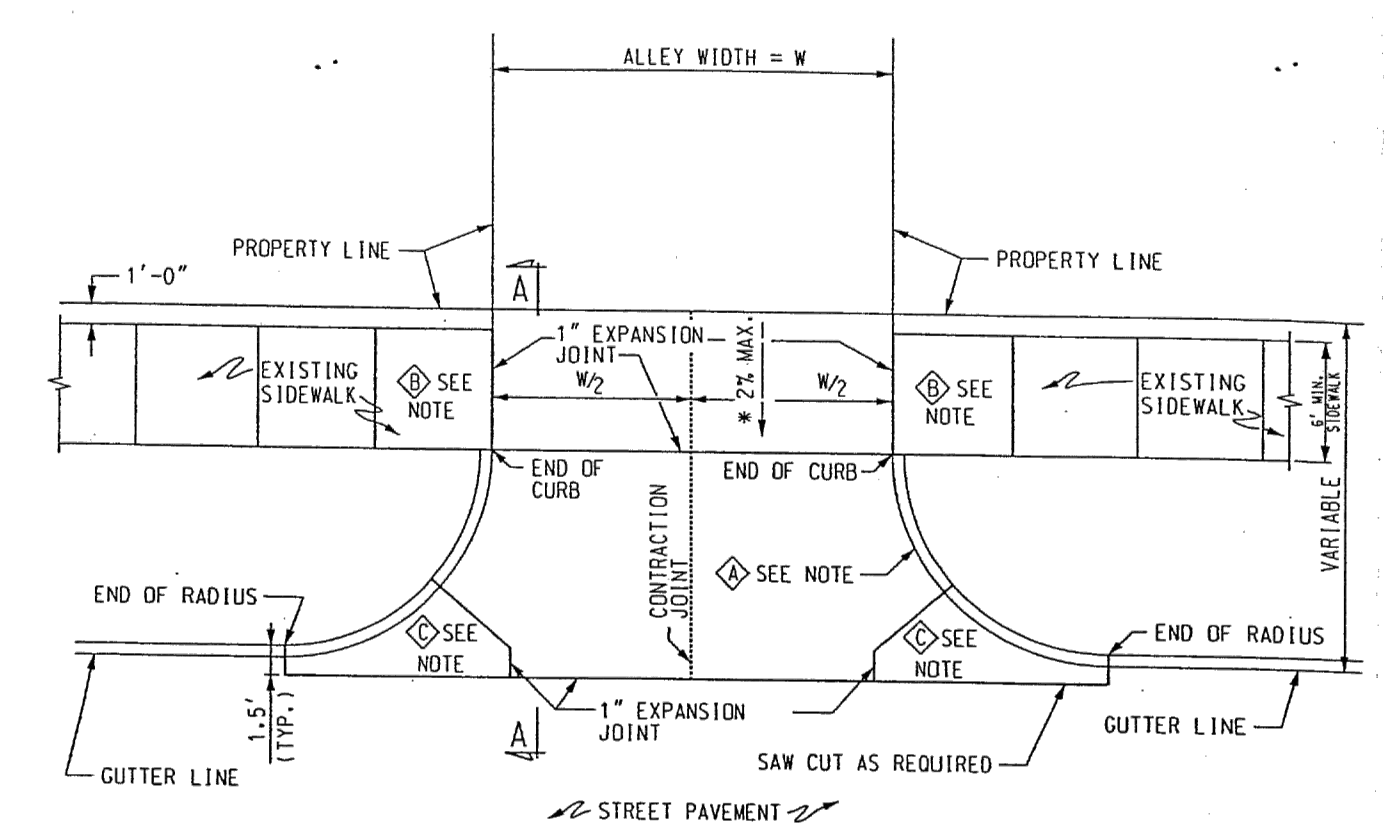
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HAMILTON SQUARE
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 DETROIT, MI 48202
SITE ENGINEERING DETAILS

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

DRAMA	DATE
JCI	2024-10-28
DESIGNER	DATE
JCI	2024-10-28
CHECKED	DATE
TLD	2024-10-28
PROJECT MANAGER	BID PLAN DATE
TLD	DATE
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-10-28
JOB NO.	DRAWING NO.
DE23002	DE23002SPL
SCALE:	SHEET NO.
N.T.S.	C-520

Plotted: Nov 1, 2024, 1:36 PM by user: 1225
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ALLEY RETURN OR COMMERCIAL DRIVE APPROACH

SECTION A-A

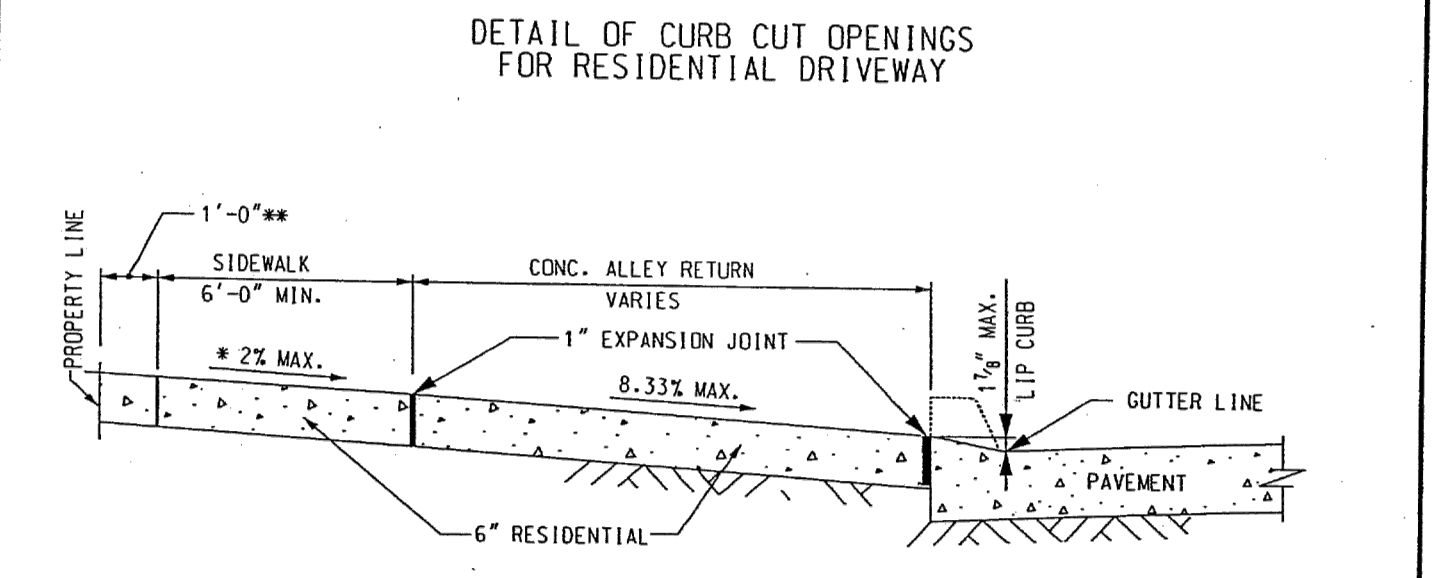
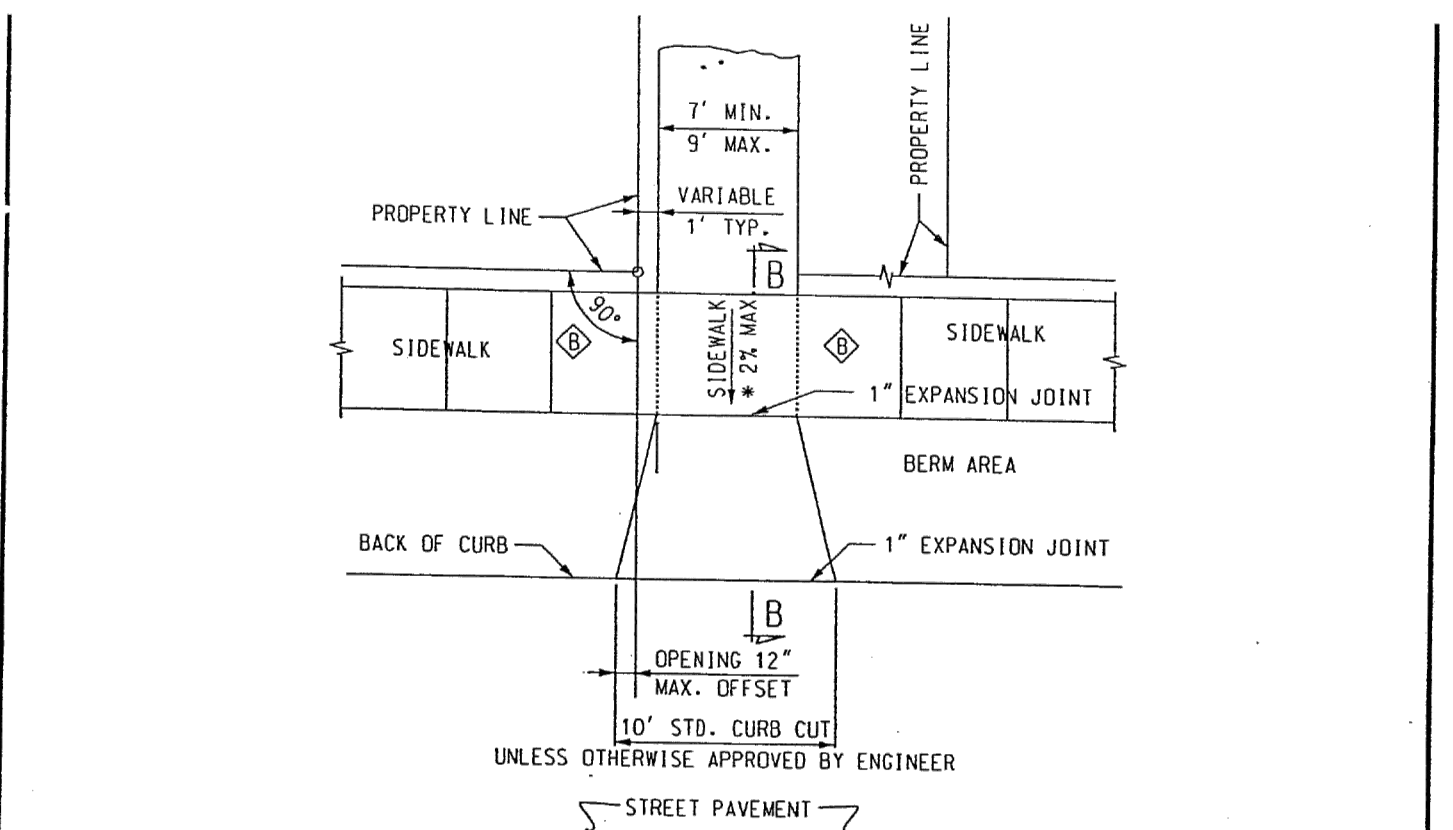
B	* SIDEWALK CROSS SLOPE	KSM	J.J.	2/1/01	
A	METRIC TO ENGLISH UNIT SYSTEM	KSM	M.S.	N.H.	12/02

APPROVED: *Sam Patel*, ENGINEER OF STREETS

DRAWN BY: *J.J.*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
DETAIL OF ALLEY RETURN AND DRIVE APPROACH

03/07/08 PLAN DATE 7 DRAWING NO. DETAIL STANDARD NO. C-4384 SHEET 1 OF 2



DETAIL OF CURB CUT OPENINGS FOR RESIDENTIAL DRIVEWAY

SECTION B-B

NOTES:

- IF ALLEY IS PAVED, CONSTRUCT RETURN WITH 1" EXPANSION JOINT ON PAVING PLAN.
- RADIUS TO BE 10' UNLESS OTHERWISE SHOWN ON PAVING PLAN.
- SIDEWALK FLAGS ABUTTING ALLEY SHALL BE 6" THICK. SIDEWALK SHALL BE REPLACED FOR A SMOOTH TRANSITION AND TO ATTAIN A CROSS SLOPE OF 2% MAX. OR AS DIRECTED BY THE ENGINEER.
- KEY JOINT OR "B" JOINT IF REINFORCED PAVEMENT.
- ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.
- * SIDEWALK CROSS SLOPE SHALL BE 2% MAX. OR AS DIRECTED BY THE ENGINEER.
- ** THE SLOPE OF THE DRIVEWAY IN THE 1 FT. SPACE ADJACENT TO THE PROPERTY LINE MAY BE ALTERED UP TO 10% TO MEET EXISTING CONDITIONS.

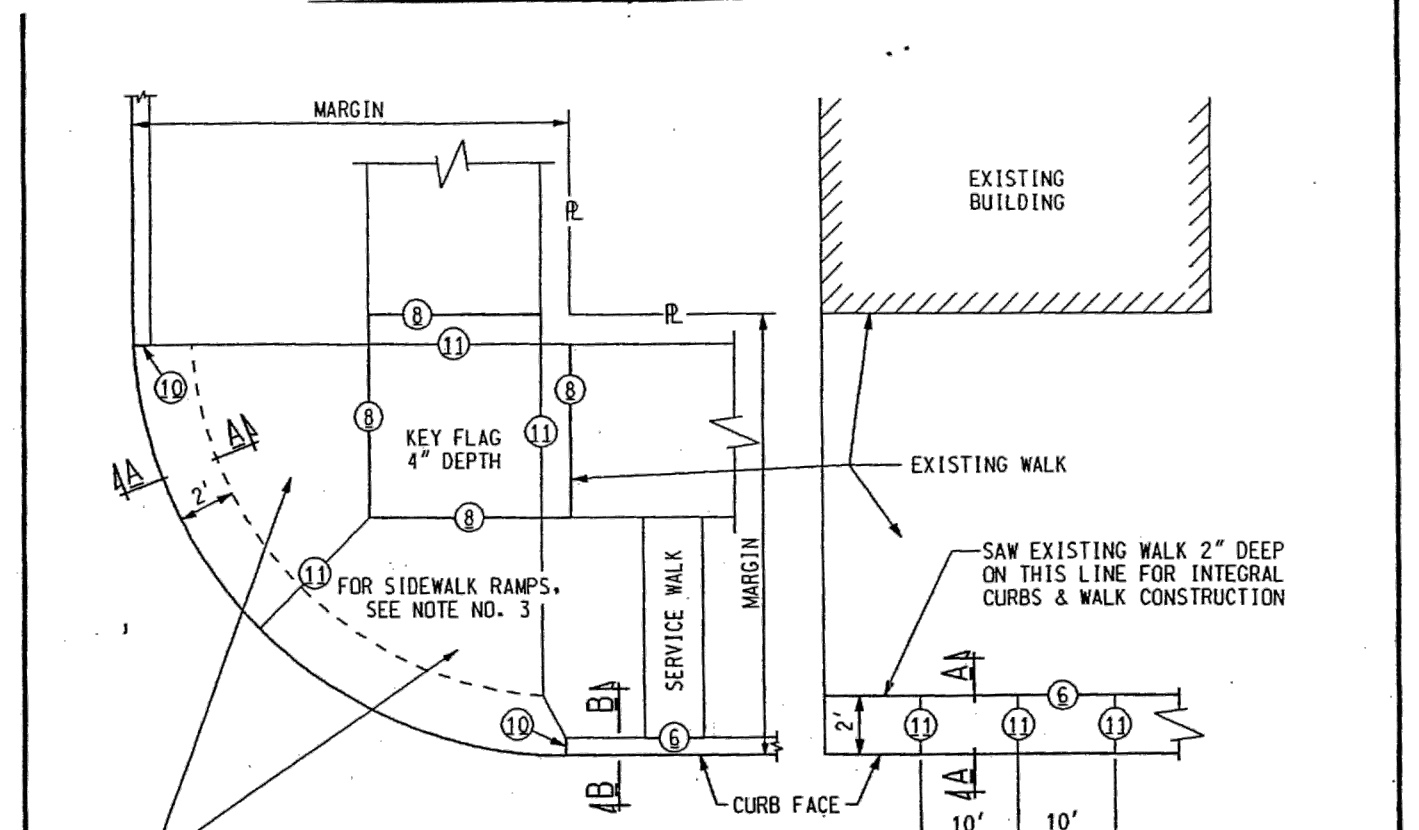
B	* SIDEWALK CROSS SLOPE	KSM	J.J.	2/1/01	
A	CHG. THICKNESS NOTE	KSM	N.H.	W.T.	10/02

APPROVED: *Dadun Haidar*, ENGINEER OF STREETS

DRAWN BY: *Wm. Jolley*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
DETAIL OF ALLEY RETURN AND DRIVE APPROACH

03/07/08 PLAN DATE 7 DRAWING NO. DETAIL STANDARD NO. C-4384 SHEET 2 OF 2



EXPANSION JOINTS NO. 6 - 8 - 10

LEGEND

- 6 - PLACE 1" EXPANSION JOINT
- 8 - CONTRACTION JOINT
- 10 - CONTRACTION JOINT

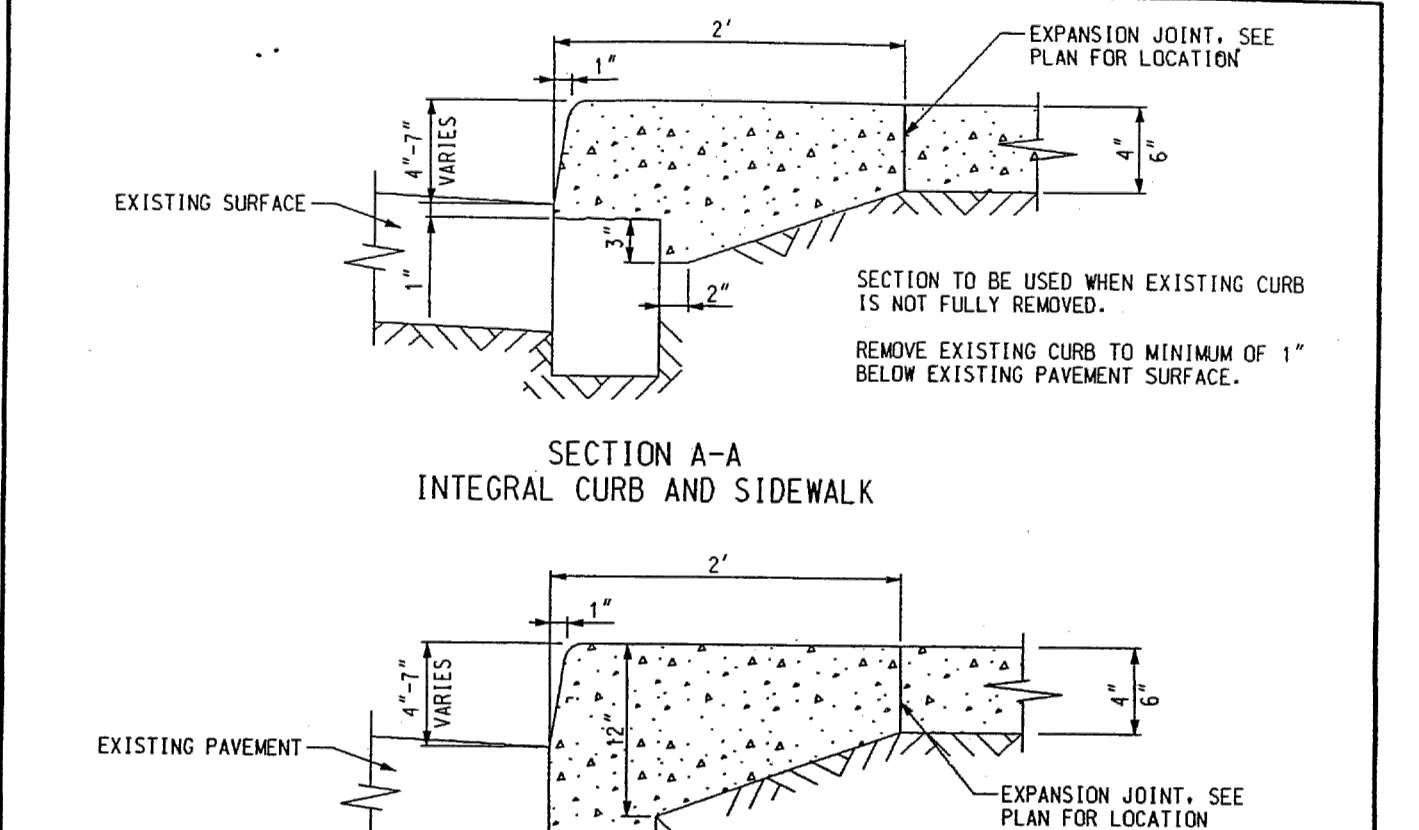
REVISÉ DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002

APPROVED: *Dadun Haidar*, ENGINEER OF STREETS

DRAWN BY: *Wm. Jolley*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
INTERGRAL CURB AND WALK
MODIFIED SEPARATE TYPE CURB

03/07/08 PLAN DATE 33 DRAWING NO. DETAIL STANDARD NO. C-4550 SHEET 1 OF 2



SECTION A-A INTEGRAL CURB AND SIDEWALK

SECTION A-A INTEGRAL CURB AND SIDEWALK

SECTION B-B MODIFIED SEPARATE TYPE CURB

NOTES:

- WHEN MARGIN DIMENSIONS ARE 20' OR LESS, CONSTRUCT SIDEWALK INTERSECTION AS SHOWN.
- WHEN MARGIN DIMENSIONS EXCEED 20', CONSTRUCT INTERSECTION OF SEPARATE TYPE CURB AND SIDEWALK AS DIRECTED BY ENGINEER.
- CONSTRUCT SIDEWALK RAMP AS SHOWN ON THE PLAN OR AS DIRECTED BY ENGINEER.
- GRADE "A" CONCRETE TO BE USED FOR CURBS AND INTEGRAL CURB AND SIDEWALK.
- ALL EXPANSION JOINT PAPER SHALL EXTEND 1" BELOW THE BOTTOM OF THINNEST ADJOINING SECTION.
- ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.

B	* SIDEWALK CROSS SLOPE	KSM	J.J.	2/1/01	
A	CHG. THICKNESS NOTE	KSM	N.H.	W.T.	10/02

REVISÉ DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002

APPROVED: *Dadun Haidar*, ENGINEER OF STREETS

DRAWN BY: *Wm. Jolley*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
INTERGRAL CURB AND WALK
MODIFIED SEPARATE TYPE CURB

03/07/08 PLAN DATE 33 DRAWING NO. DETAIL STANDARD NO. C-4550 SHEET 2 OF 2

Common Name	Horticultural Name
Silver maple	Acer saccharum
Boxelder	Acer nugundo
Honey locust (thorned)	Gleditsia t. (thorned)
Ginko (female)	Ginko biloba (female)
Mulberry	Morus species
Cottonwood; Aspen; Poplar	Populus species
Black locust	Robinis species
Willow	Salix species
American elm	Ulmus Americans
Siberian elm	Ulmus umila
Slipper elm (Red elm)	Ulmus rubra
Catalpa	Catalpa species

PROHIBITED TREE SPECIES
SEC. 50-14-324

REVISÉ DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002

APPROVED: *Dadun Haidar*, ENGINEER OF STREETS

DRAWN BY: *Wm. Jolley*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
TYPICAL PLAN AND PROFILE FOR STREET PAVING

03/07/08 PLAN DATE 1 DRAWING NO. DETAIL STANDARD NO. C-4378 SHEET 1 OF 2

REVISÉ DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002

APPROVED: *Dadun Haidar*, ENGINEER OF STREETS

DRAWN BY: *Wm. Jolley*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
SIDEWALK JOINTING STANDARD

03/07/08 PLAN DATE 9 DRAWING NO. DETAIL STANDARD NO. C-4462 SHEET 1 OF 2

EXPANSION JOINTS

ALL EXPANSION JOINT PAPER SHALL EXTEND 1" BELOW THE BOTTOM OF THE THINNER OF ADJOINING PAVEMENT SECTIONS.

- PLACE 1/2" PAPER EXPANSION JOINTS AT LOT LINES WHEN LOT LINES ARE BETWEEN 25' AND 50' APART.
- PLACE ADDITIONAL 1/2" PAPER EXPANSION JOINTS SO THAT THE DISTANCE BETWEEN JOINTS DOES NOT EXCEED 15.2 m WHEN LOT LINES ARE OVER 15.240 m APART.
- PLACE 1/2" PAPER EXPANSION JOINTS AT EVERY SECOND LOT LINE AND CONTRACTION JOINT AT INTERVENING LOT LINE WHEN LOT LINES ARE LESS THAN 25' APART.
- PLACE 1" PAPER EXPANSION JOINTS AT CURB AND BUILDING OR PROPERTY LINE OR AT ALTERNATE POSITION (A) AS SHOWN FOR DRIVEWAY.
- PLACE 1" PAPER EXPANSION JOINTS AT CURB AND BUILDING OR PROPERTY LINE FOR FULL WIDTH SIDEWALK EXCEEDING 7' IN WIDTH.
- PLACE 1" PAPER EXPANSION JOINTS AT CURB CIRCLES OR AT ALTERNATE POSITION (A) AS SHOWN.
- PLACE 1" PAPER EXPANSION JOINTS AT INTERSECTIONS OF SERVICE WALKS AND SIDEWALKS AND SERVICE WALKS AND CURBS.
- PLACE 1" PAPER EXPANSION JOINTS AT MARGIN FLAGS AT CROSSWALKS.
- PLACE 1" PAPER EXPANSION JOINTS AT ALLEY APRONS.
- PLACE 1/2" PAPER EXPANSION JOINT BOTH SIDES OF SIDEWALK FLAG ABUTTING TREE AND ON CENTERLINE JOINT.

CONTRACTION JOINTS

- PLACE CONTRACTION JOINTS AT INTERVALS OF NOT LESS THAN 5' NOR MORE THAN 7' ON WALKS 5' WIDE OR WIDER, INCLUDING FULL WIDTH WALKS.
- PLACE CONTRACTION JOINTS AT INTERVALS OF NOT LESS THAN 4' NOR MORE THAN 7' ON WALKS 4' WIDE.
- PLACE CONTRACTION JOINTS AT THE MARGIN LINE ON FULL WIDTH WALKS (OPTIONAL).

DRIVEWAYS

- PLACE CONTRACTION JOINTS IN DRIVEWAYS SO THAT NO SLAB WILL EXCEED THE DIMENSIONS OF 15' BY 15'.
- PLACE 1" PAPER EXPANSION JOINTS ON ALL SIDES OF COMMERCIAL DRIVES.
- PLACE CONTRACTION JOINTS AT THE MARGIN LINE ON FULL WIDTH WALKS WHEN WIDTH OF DRIVEWAY EXCEEDS 15'.
- PLACE 1/2" PAPER EXPANSION JOINTS ON BOTH SIDES OF RESIDENTIAL DRIVEWAYS. IF DRIVEWAY EDGE IS WITHIN 2' OF LOT LINE, PLACE THIS EXPANSION PAPER AT PROPERTY LINE.

B	* SIDEWALK CROSS SLOPE	KSM	J.J.	2/1/01	
A	CHG. THICKNESS NOTE	KSM	N.H.	W.T.	10/02

REVISÉ DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002

APPROVED: *Dadun Haidar*, ENGINEER OF STREETS

DRAWN BY: *Wm. Jolley*

CITY OF DETROIT
CITY ENGINEERING DIVISION, D.P.W.
STANDARD PLAN FOR
SIDEWALK JOINTING STANDARD

03/07/08 PLAN DATE 9 DRAWING NO. DETAIL STANDARD NO. C-4462 SHEET 2 OF 2

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PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG'S WORKING DAYS PRIOR TO CONSTRUCTION.

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HAMILTON SQUARE
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SITE ENGINEERING DETAILS

SECTION 35
TOWN 01 SOUTH RANGE 11 EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

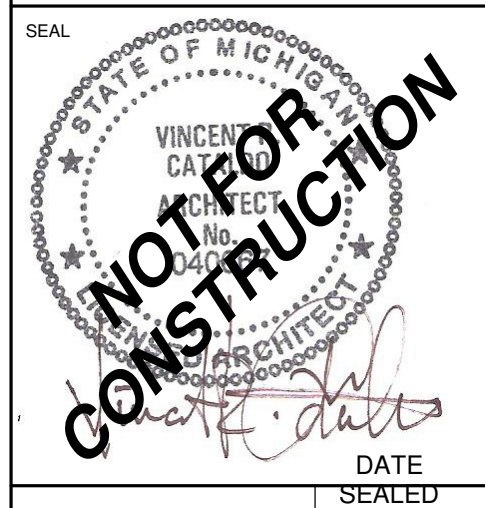
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DESIGNER	JCI	DATE	2024-07-10
CHECKED	TLD	DATE	2024-07-10
PROJECT MANAGER	JCI	BID PLAN DATE	
TLD		DATE	2024-07-10
DEPARTMENT MANAGER APPROVAL	JCI	DATE	2024-07-10
JOB NO.	DE23002	DRAWING NO.	DE23002SPL
SCALE:		SHEET NO.	C-521

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L:\IN\DE Projects\DE23002 - Hamilton Square Detroit ALI\DWG\DE23002SPL.dwg

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Revision Schedule

#	Description	Date
1	SITE PLAN APPROVAL ONLY	03.24.2023

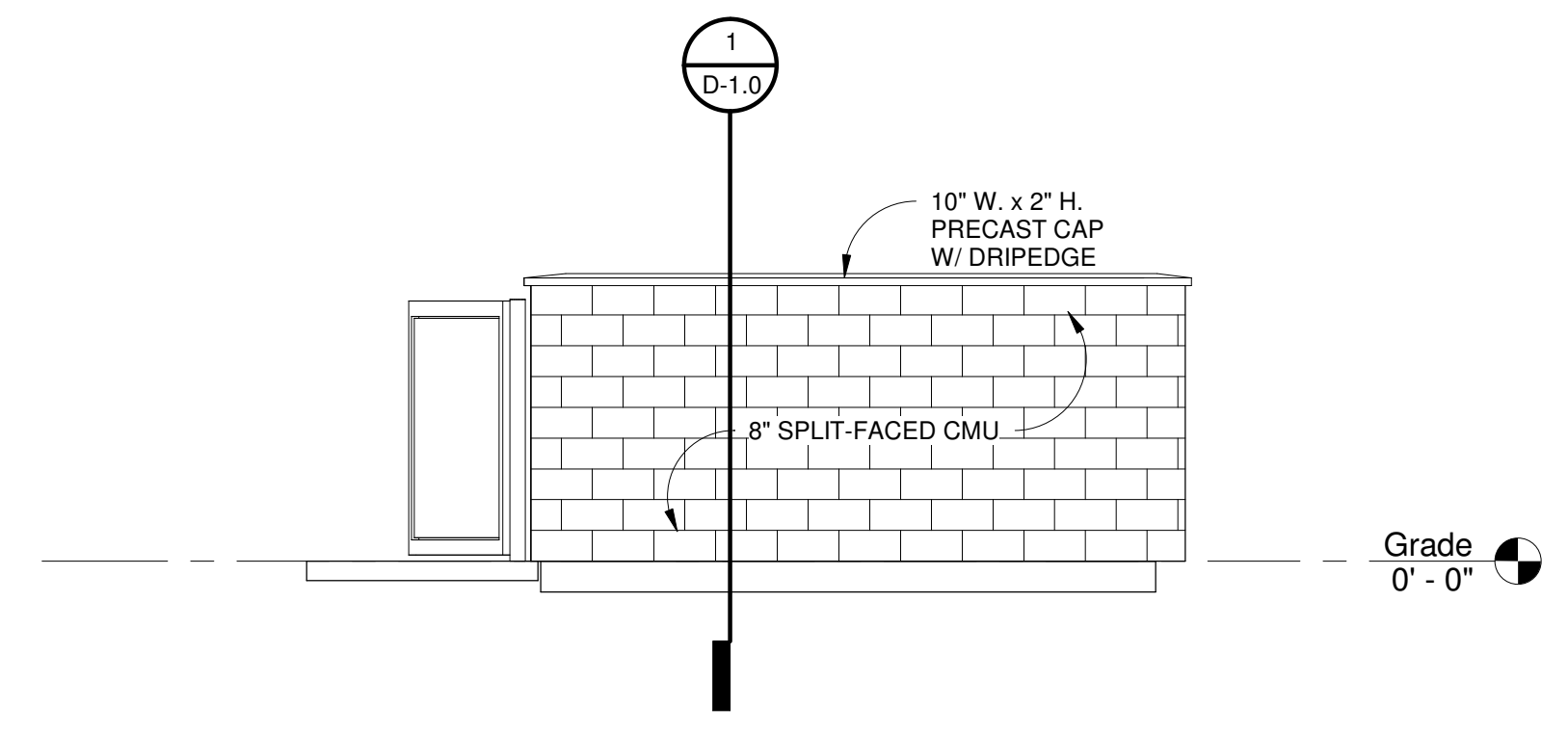


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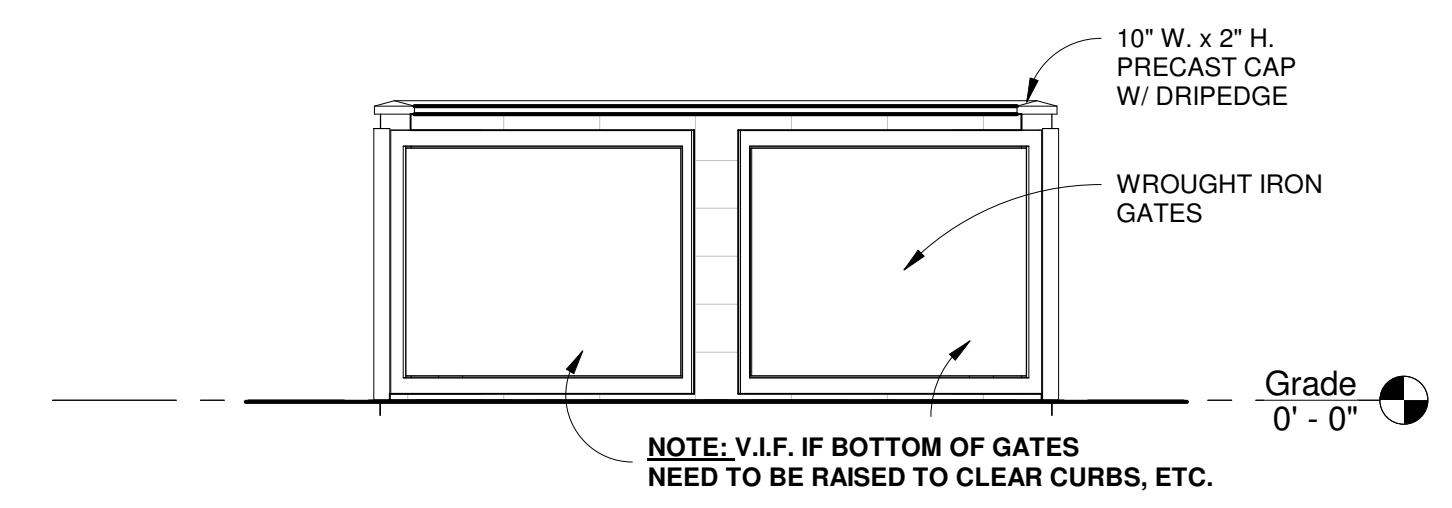
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 PROJECT NUMBER: Z22096
 9851 Hamilton Ave
 Detroit, MI 48202
HAMILTON SQUARE, LLC
 SHEET TITLE: **DUMPSTER ENCLOSURE DETAILS**

SHEET NUMBER

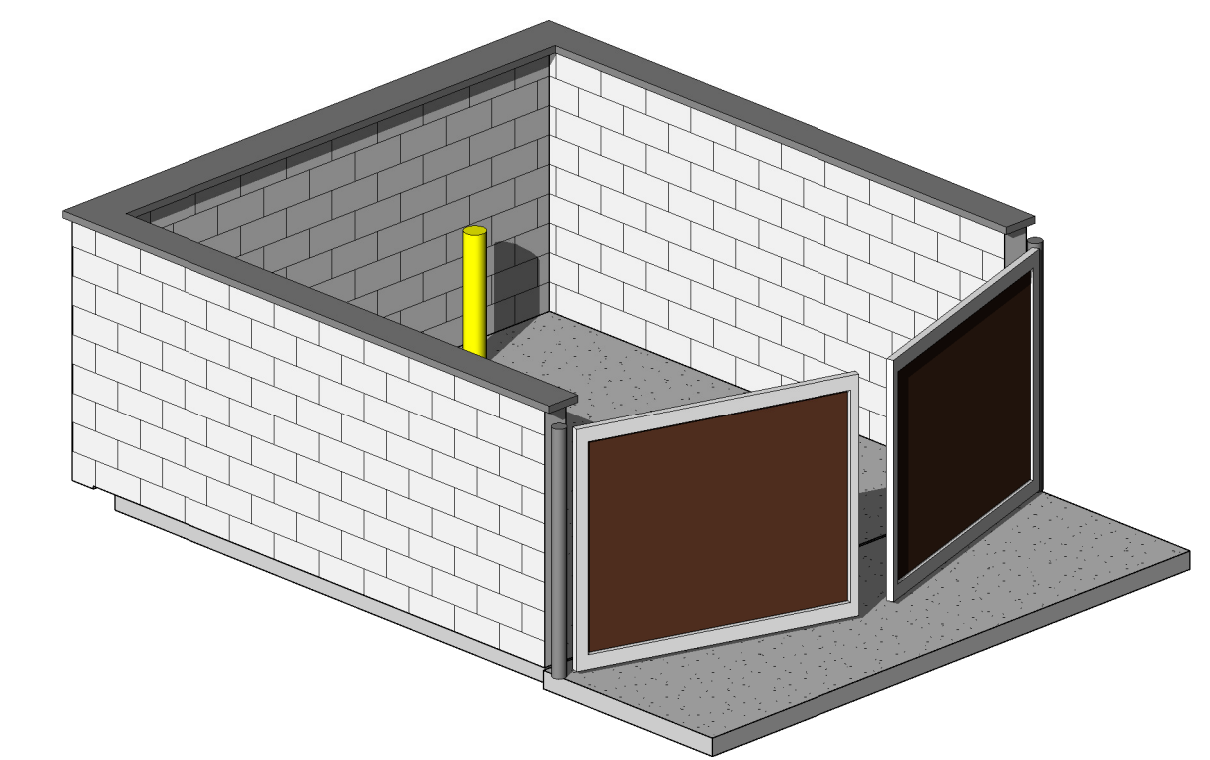
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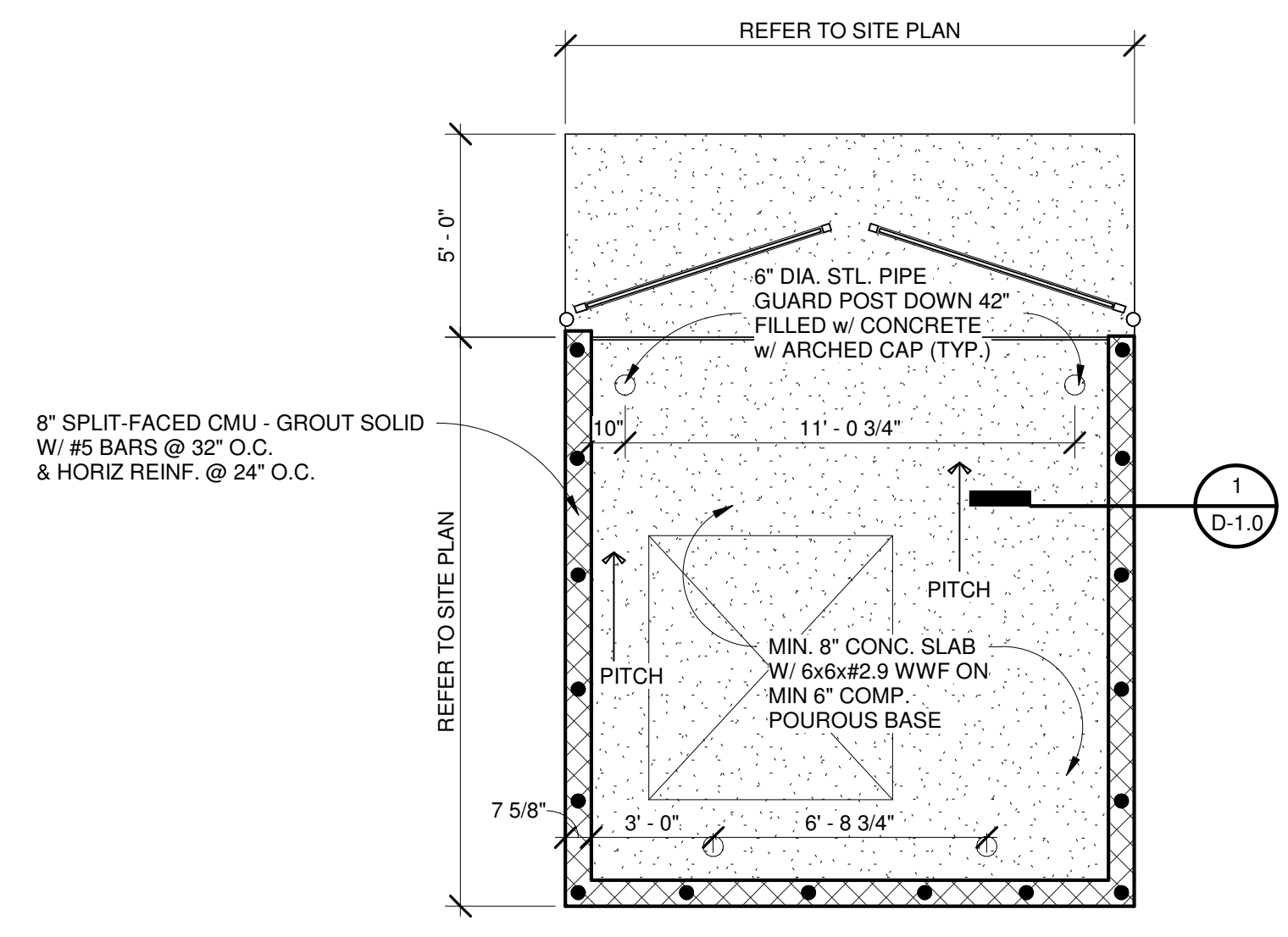
5 DUMPSTER ENCLOSURE SIDE ELEVATION
 1/4" = 1'-0"



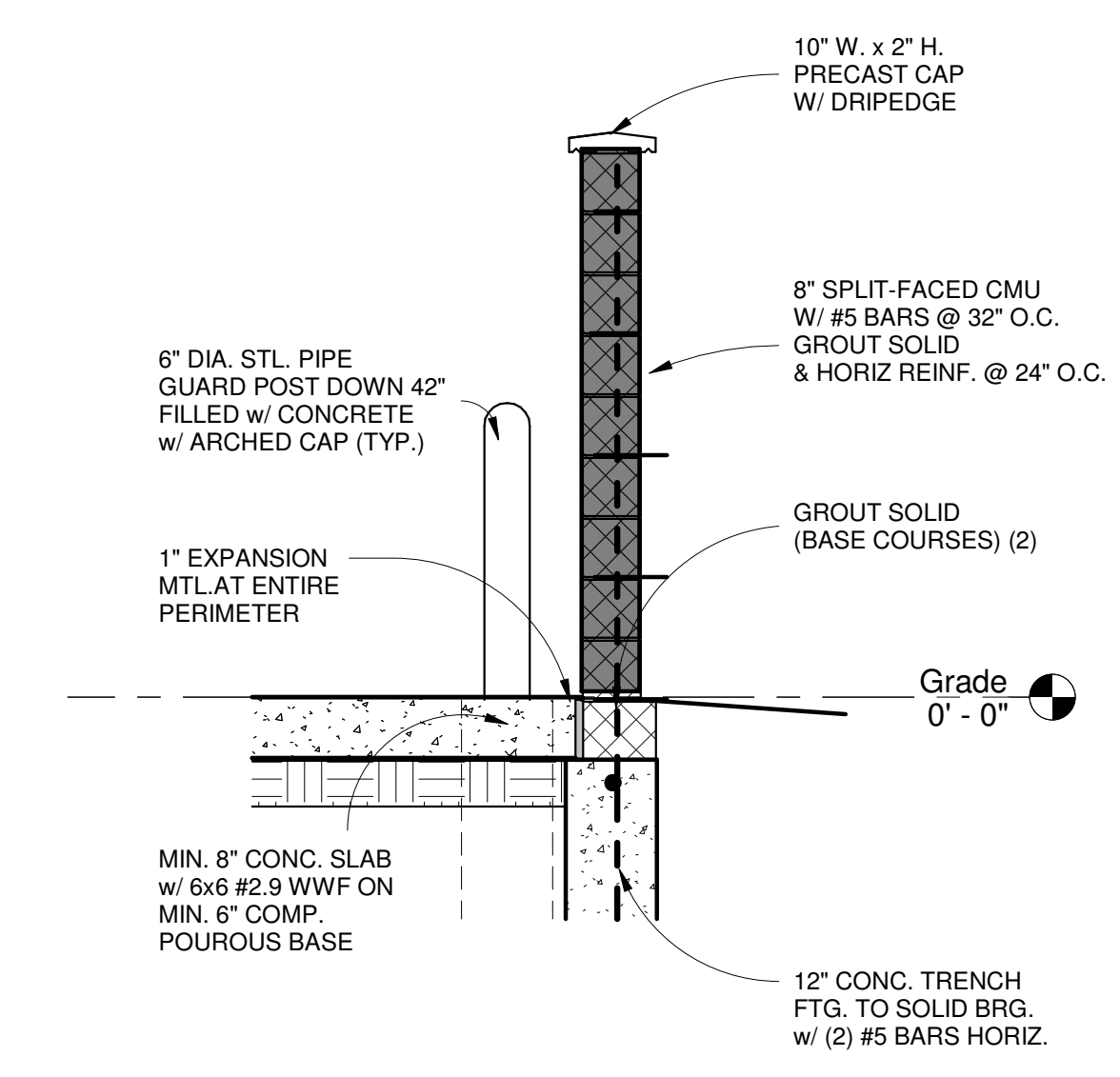
4 DUMPSTER ENCLOSURE FRONT ELEVATION
 1/4" = 1'-0"



2 DUMPSTER ENCLOSURE AXON



3 DUMPSTER ENCLOSURE PLAN
 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE SECTION
 1/2" = 1'-0"