



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

<b>APPLICATION ID</b>
HDC2025-00025

## PROPERTY INFORMATION

<b>ADDRESS(ES):</b> 23 E. Adams Ave
<b>HISTORIC DISTRICT:</b> Grand Circus Park

**SCOPE OF WORK: (Check ALL that apply)**

- |  |  |                                       |   |   |                                |
|--|--|---------------------------------------|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting     | <input checked="" type="checkbox"/> Roof/Gutters/ Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony                              | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition                | <input type="checkbox"/> Signage       | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition                         | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) |                                |

<b>BRIEF PROJECT DESCRIPTION:</b> Adaptive reuse of existing Church House building for Central United Methodist Church to 39 units of permanent supportive housing and future office and service space for CUMC and its partner organizations. Exterior scope of work includes restoration of existing historic windows, select replacement of existing non-historic windows (as needed), restoration/repair of existing slate tile roof (as needed), new membrane roof system at upper roof, and cleaning of stone masonry facade.
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## APPLICANT IDENTIFICATION

<b>TYPE OF APPLICANT:</b> Architect/Engineer/Consultant			
<b>NAME:</b> Ashley Wendela	<b>COMPANY NAME:</b> LBBA		
<b>ADDRESS:</b> 1625 W Carroll Ave	<b>CITY:</b> CHICAGO	<b>STATE:</b> IL	<b>ZIP:</b> 60612
<b>PHONE:</b> +1 (312) 614-1492	<b>EMAIL:</b> awendela@lbba.com		

## I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:  
  
56CB4FCF5312466...

01/21/2025  
DATE




**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**


**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

<b>ePLANS PERMIT NUMBER:</b> (only applicable if you've already applied for permits through ePLANS)	N/A
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**GENERAL**

<p><b>1. DESCRIPTION OF EXISTING CONDITION</b>  <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>Existing historic church house at Central United Methodist Church; areas of proposed exterior changes include select windows which are in poor condition/out of character with the building, existing 60's era aluminum storefront system, and existing membrane roofing not visible from the street. See attached presentation for more info.</p>	
<p><b>2. PHOTOGRAPHS</b>  <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p><b>3. DESCRIPTION OF PROJECT</b>  <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Restore historic windows and clean historic facade. Install new windows in select locations, new aluminum storefront on Adams St facade, new skylights and new membrane roof / roof deck (pavers on pedestals) at high roof (not visible from the street).</p>	
<p><b>4. DETAILED SCOPE OF WORK</b>  <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>Please see attached presentation for complete proposed scope of changes.</p>	
<p><b>5. BROCHURES/CUT SHEETS</b>  <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

## ADDITIONAL DETAILS

<b>6. WINDOWS/DOORS</b> <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i>	



# SITE PHOTOS



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

SOUTH ELEVATION ALONG E ADAMS AVE



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

CORNER OF WOODWARD AVE AND E ADAMS AVE



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

SOUTH ELEVATION OF CHURCH HOUSE ALONG E ADAMS AVE

FEBRUARY 12, 2025

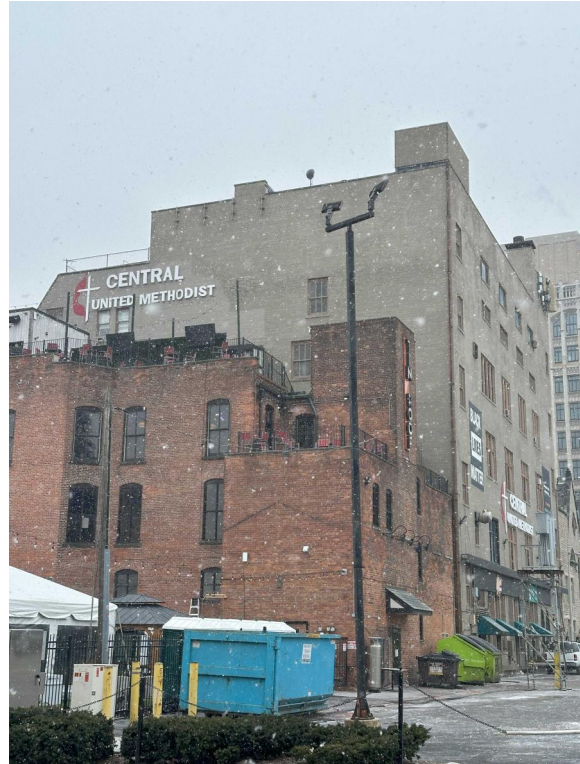


FULL CIRCLE COMMUNITIES AND THE CENTRAL UNITED METHODIST CHURCH

## Woodward & Adams Permanent Supportive Housing



# SITE PHOTOS



EAST ELEVATION



NORTH ELEVATION OF CHURCH HOUSE



NORTH VIEW OF CHURCH HOUSE



NORTH ELEVATION



WEST ELEVATION

FEBRUARY 12, 2025



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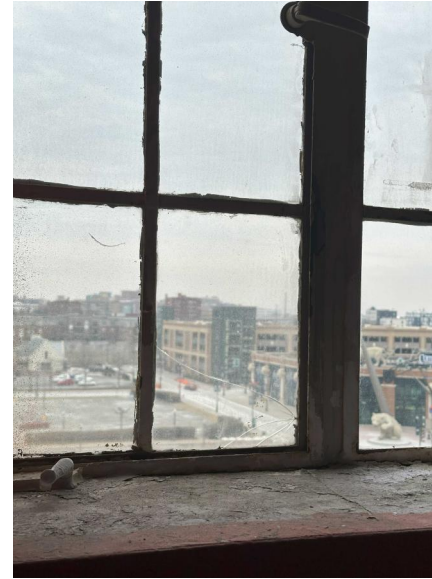
# ENLARGED WINDOW PHOTOS



INTERIOR VIEW OF 5TH FLOOR WINDOW



INTERIOR VIEW OF 5TH FLOOR WINDOW



INTERIOR VIEW OF 5TH FLOOR WINDOW



PHOTO 01



PHOTO 02

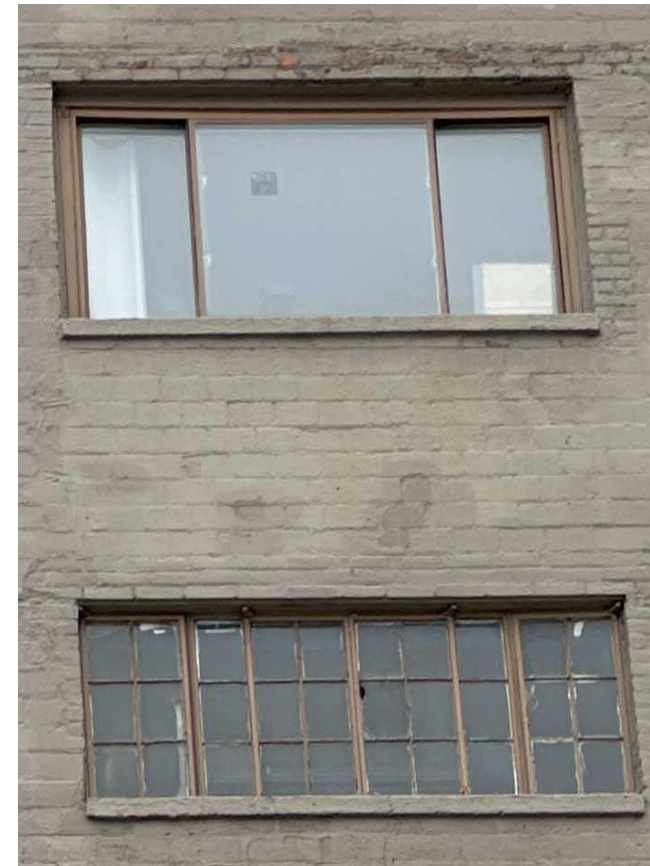


PHOTO 03

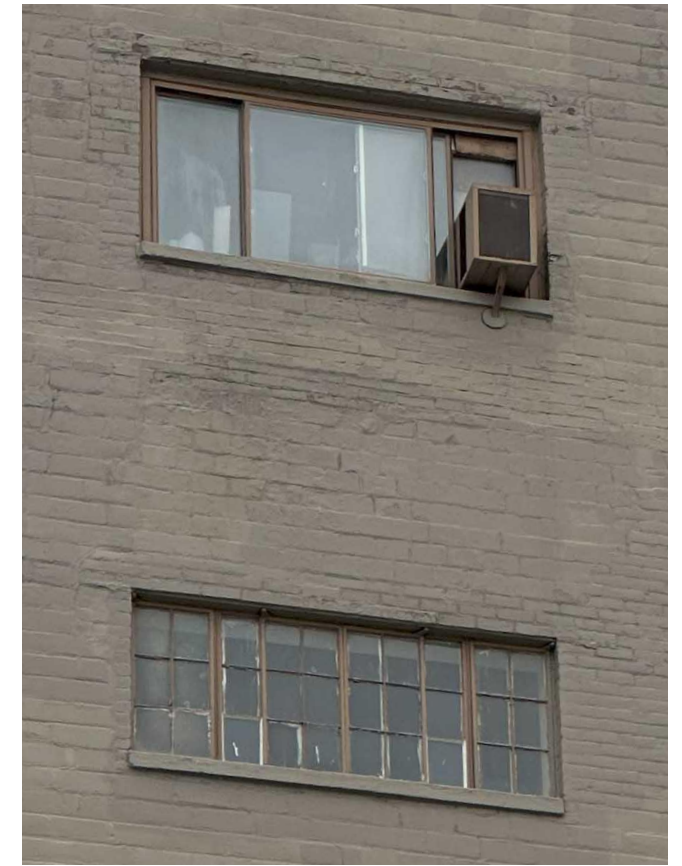


PHOTO 04

FEBRUARY 12, 2025

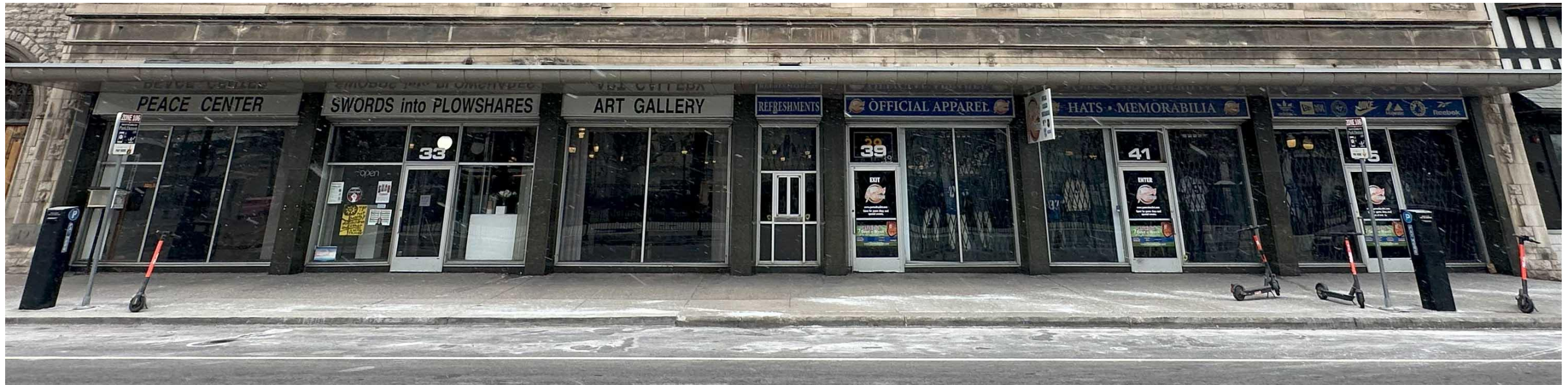


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**Woodward & Adams Permanent Supportive Housing**



# ENLARGED WINDOW PHOTOS



EXTERIOR VIEW OF STOREFRONT ALONG E ADAMS AVE



PHOTO 05



PHOTO 07



PHOTO 08

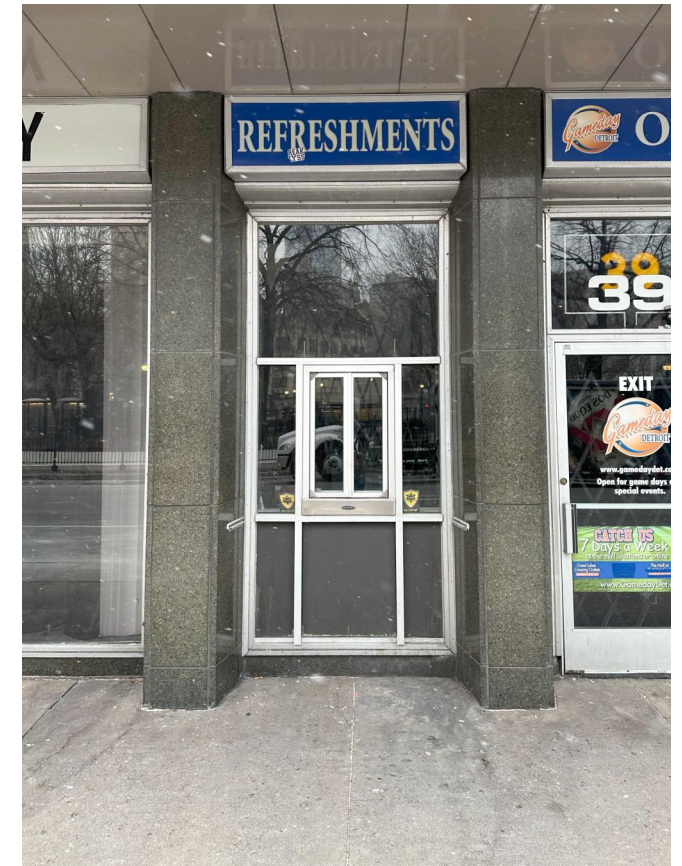


PHOTO 09

FEBRUARY 12, 2025



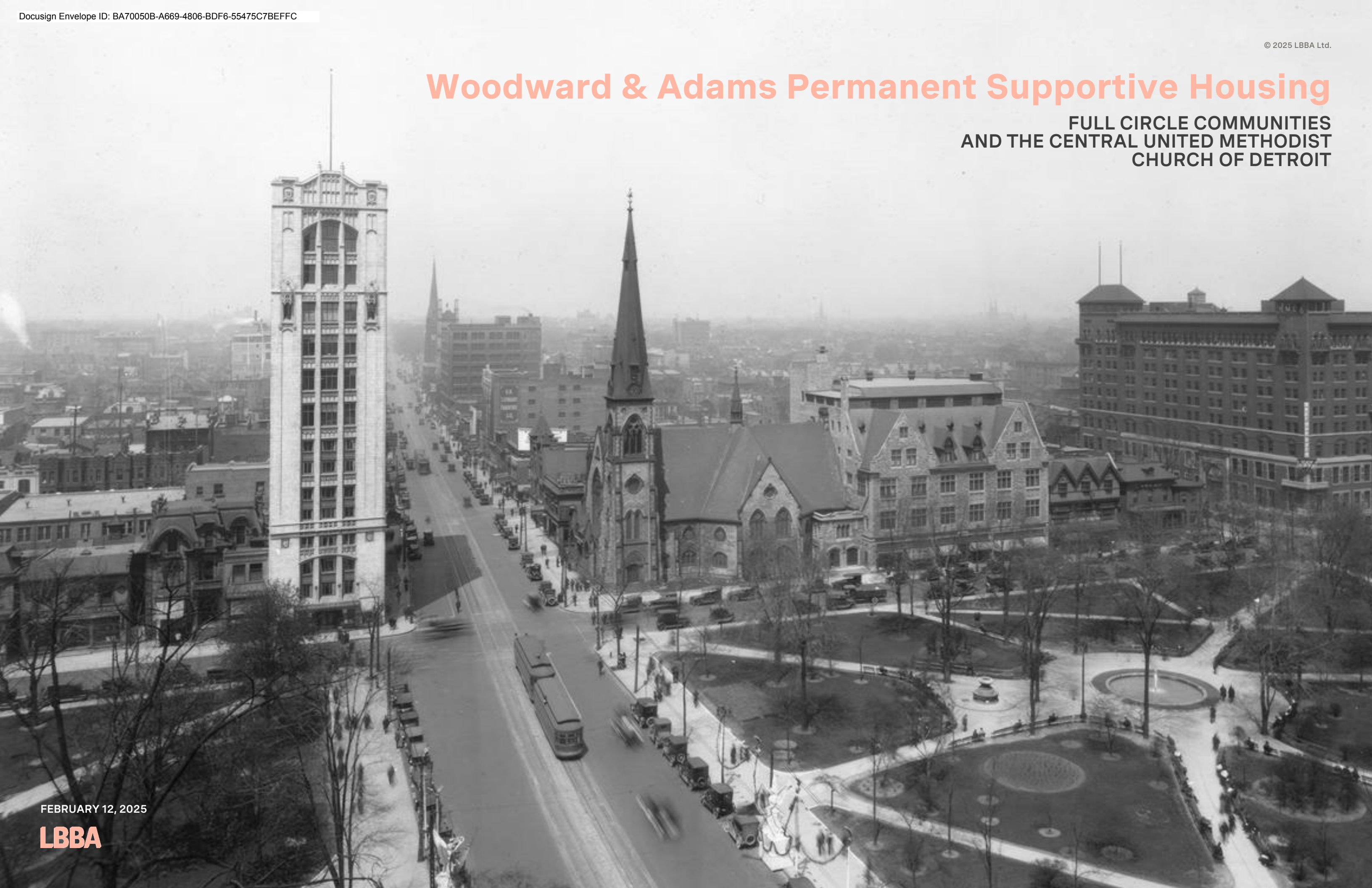
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## Woodward & Adams Permanent Supportive Housing



# Woodward & Adams Permanent Supportive Housing

FULL CIRCLE COMMUNITIES  
AND THE CENTRAL UNITED METHODIST  
CHURCH OF DETROIT

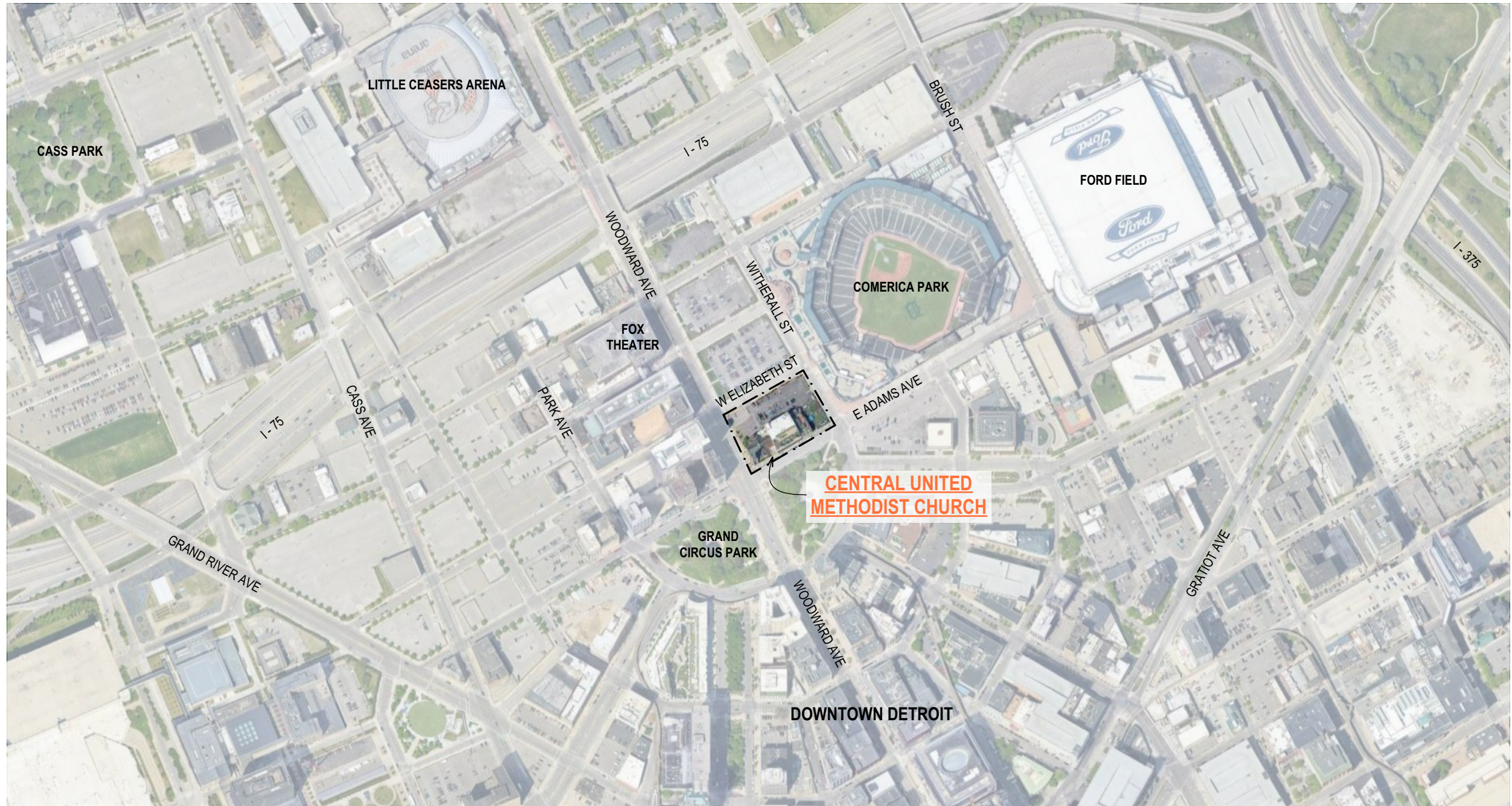


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**LBBA**



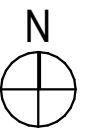
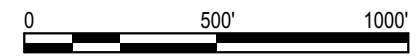
# SITE CONTEXT



1

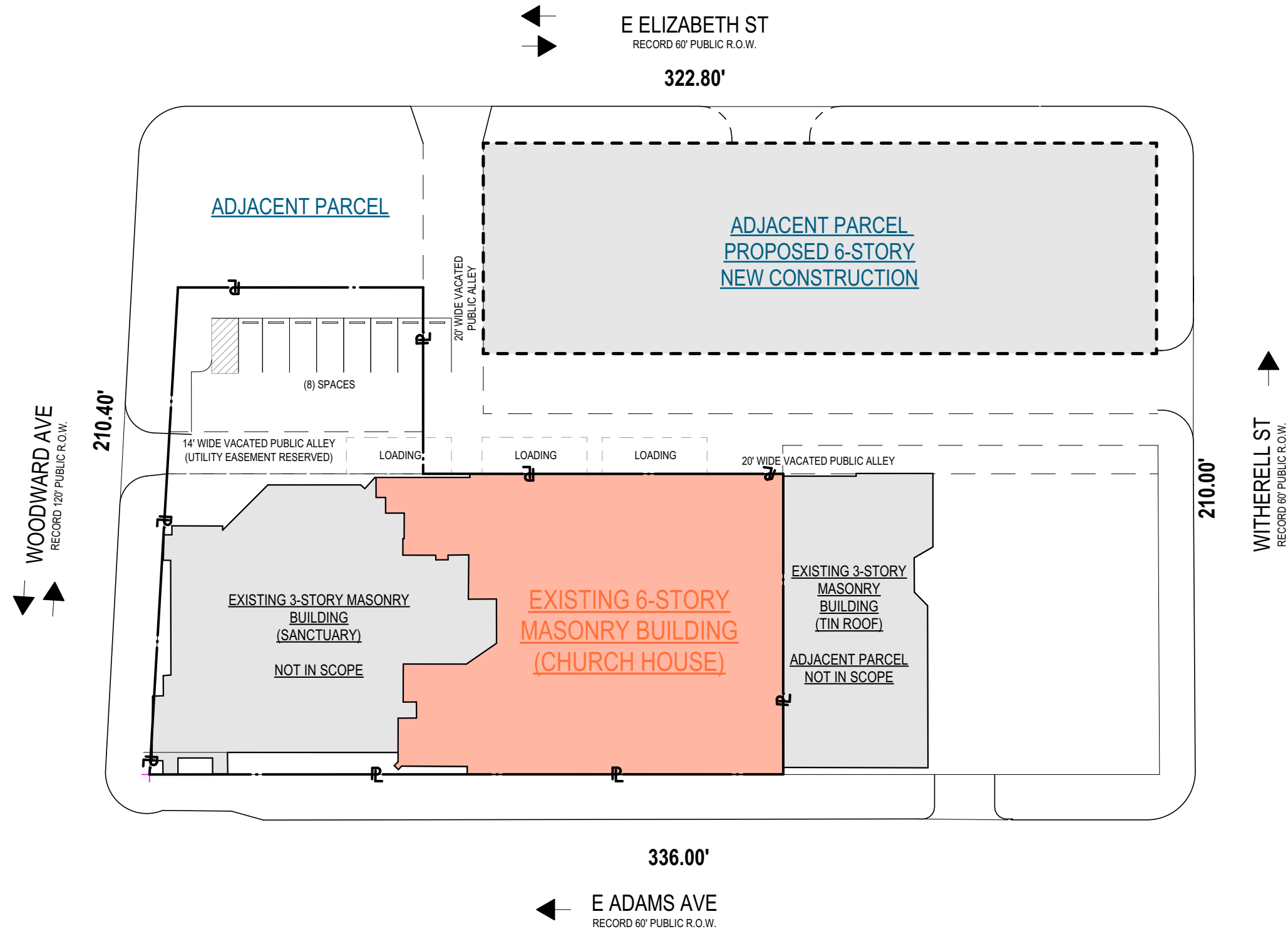
## CONTEXT PLAN

SCALE: 1" = 500'





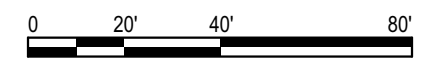
# SITE PLAN



1

## ARCHITECTURAL SITE PLAN

SCALE: 1" = 40'



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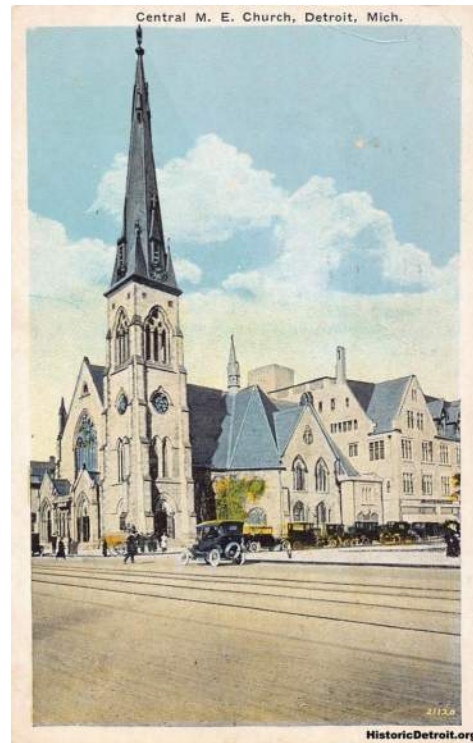
# HISTORIC PHOTOS



PHOTO © HISTORICDETROIT.ORG

CENTRAL METHODIST EPISCOPAL CHURCH - BUILT 1867

VIEW NORTH FROM GRAND CIRCUS PARK



Central M. E. Church, Detroit, Mich.

HistoricDetroit.org



PHOTO © HISTORICDETROIT.ORG

VIEW OF 1930'S RENOVATION



PHOTO © HISTORICDETROIT.ORG

CENTRAL METHODIST EPISCOPAL CHURCH - ANNEX BUILT 1915

SOUTH FACING E ADAMS AVE

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# SITE PHOTOS



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

SOUTH ELEVATION ALONG E ADAMS AVE



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

CORNER OF WOODWARD AVE AND E ADAMS AVE



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

SOUTH ELEVATION OF CHURCH HOUSE ALONG E ADAMS AVE

FEBRUARY 12, 2025



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# SITE PHOTOS



EAST ELEVATION



NORTH ELEVATION OF CHURCH HOUSE



NORTH ELEVATION



WEST ELEVATION



NORTH VIEW OF CHURCH HOUSE

FEBRUARY 12, 2025



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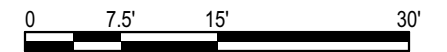
# ELEVATIONS



1

## SOUTH ELEVATION - PROPOSED

SCALE: 1" = 15'



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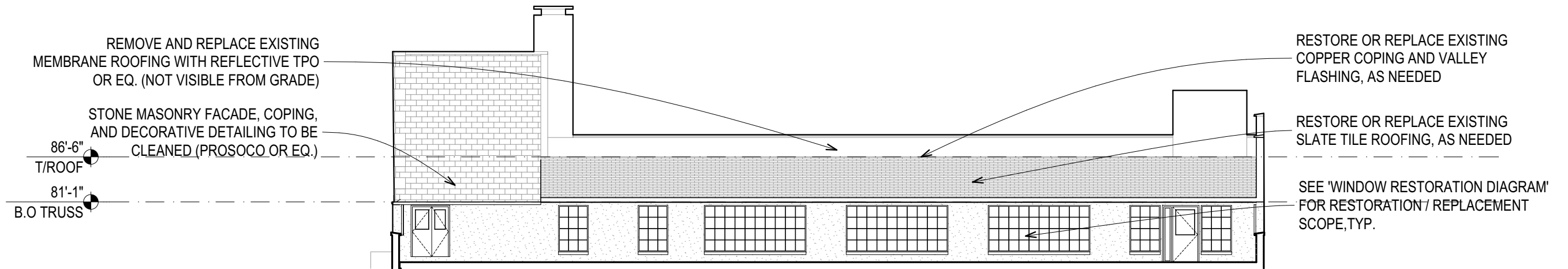


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# ELEVATIONS



1

## ROOF DECK SOUTH ELEVATION - PROPOSED

SCALE: 1" = 15'



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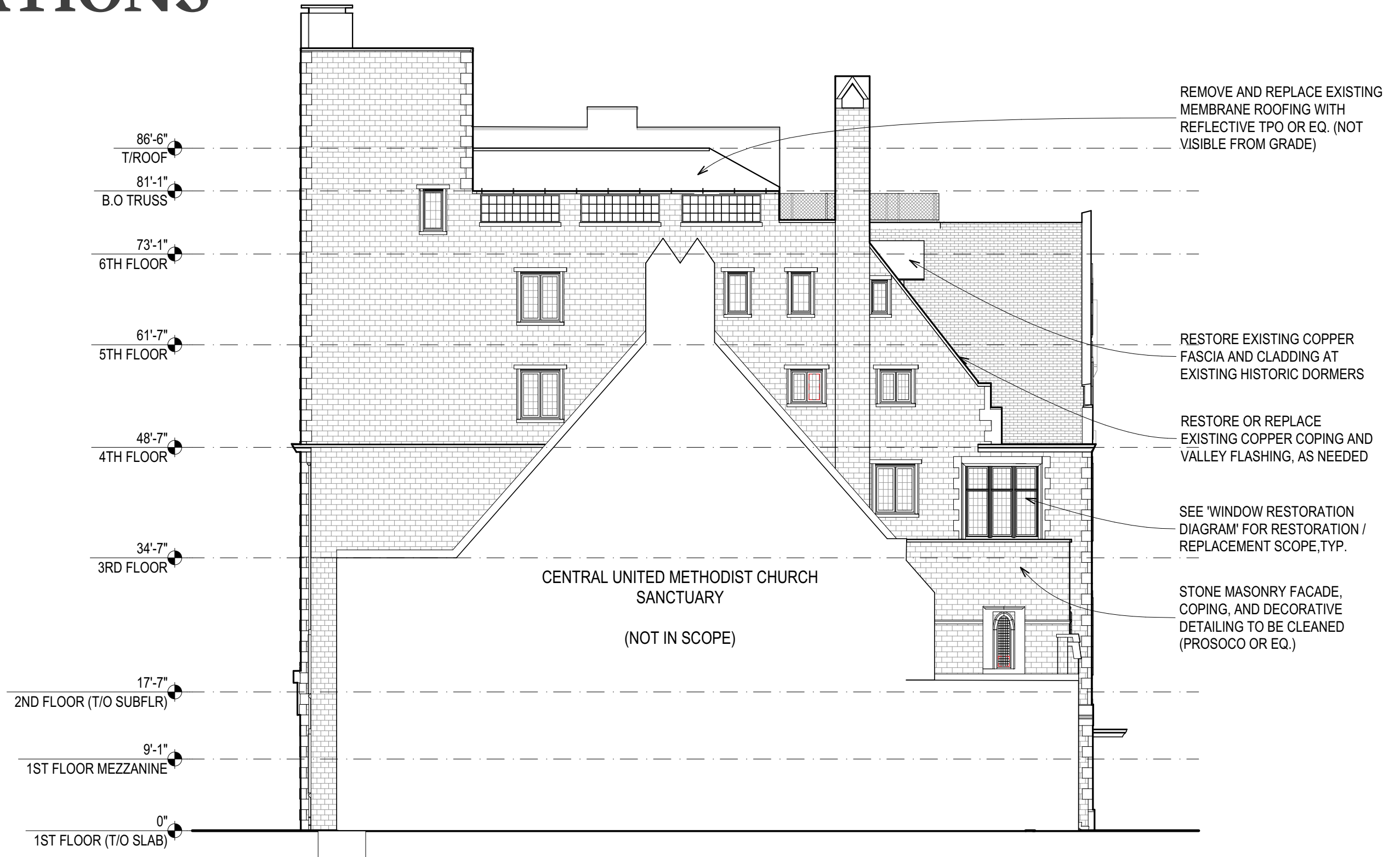


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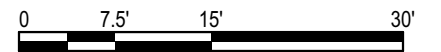
# ELEVATIONS



1

## WEST ELEVATION - PROPOSED

SCALE: 1" = 15'



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## Woodward & Adams Permanent Supportive Housing

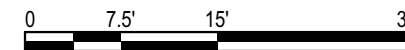


# ELEVATIONS



## 1 NORTH ELEVATION - PROPOSED

SCALE: 1" = 15'



FEBRUARY 12, 2025

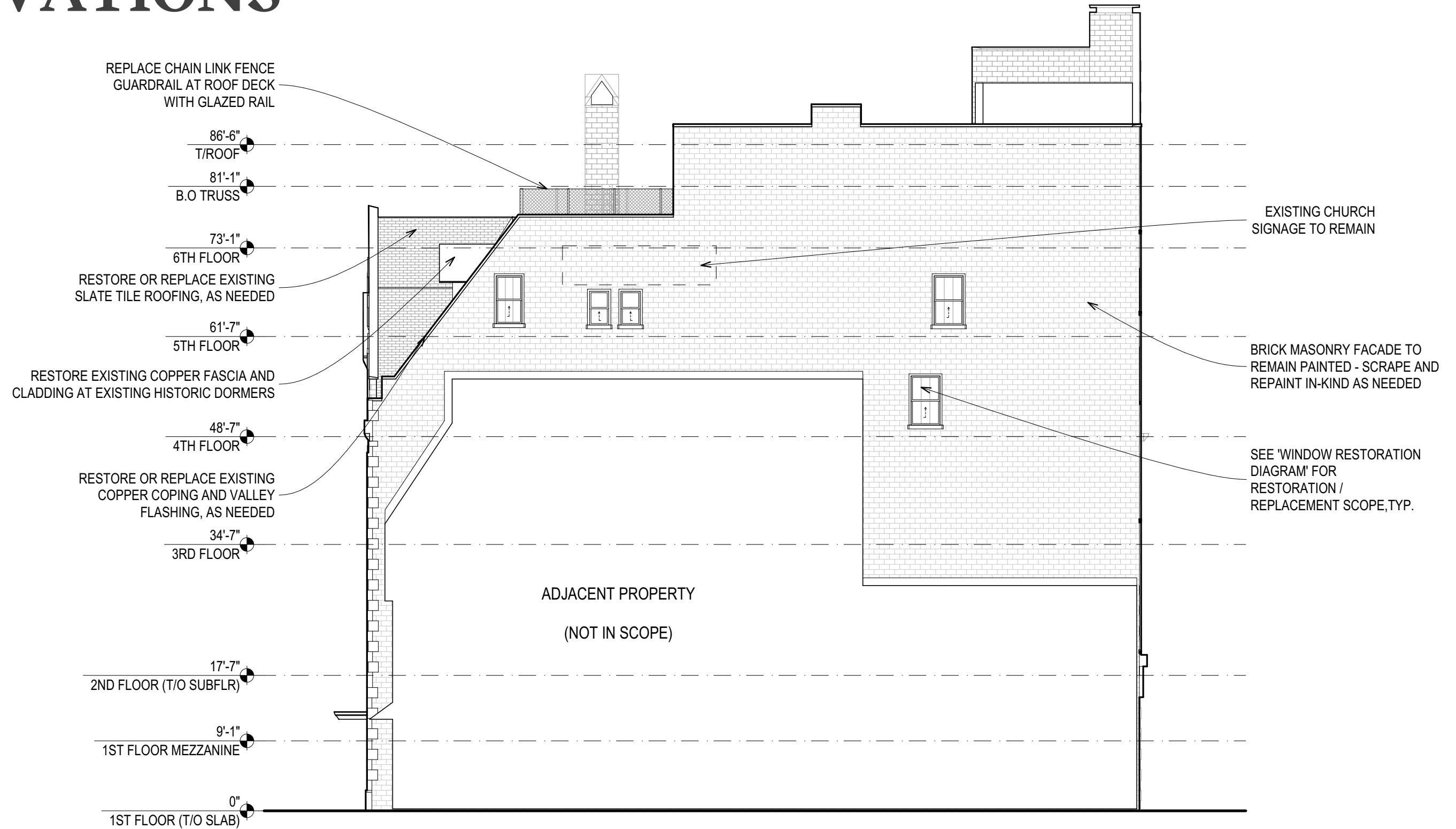


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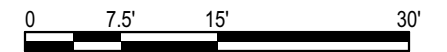
# ELEVATIONS



1

## EAST ELEVATION - PROPOSED

SCALE: 1" = 15'



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## Woodward & Adams Permanent Supportive Housing



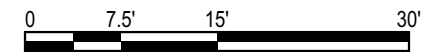
# WINDOW RESTORATION DIAGRAM

## WINDOW RESTORATION SCOPE LEGEND

- 1. HISTORIC WINDOW TO BE RESTORED
- 2. EXISTING NON-HISTORIC WINDOW TO BE REPLACED
- 3. EXISTING NON-HISTORIC WINDOW TO REMAIN
- 4. EXISTING WINDOW OPENING TO BE ENLARGED
- 5. A/C UNITS TO BE REMOVED. WINDOW TO BE RESTORED/  
REPLACED TO MATCH ADJACENT.



**1** WINDOW DIAGRAM SOUTH ELEVATION  
SCALE: 1" = 15'



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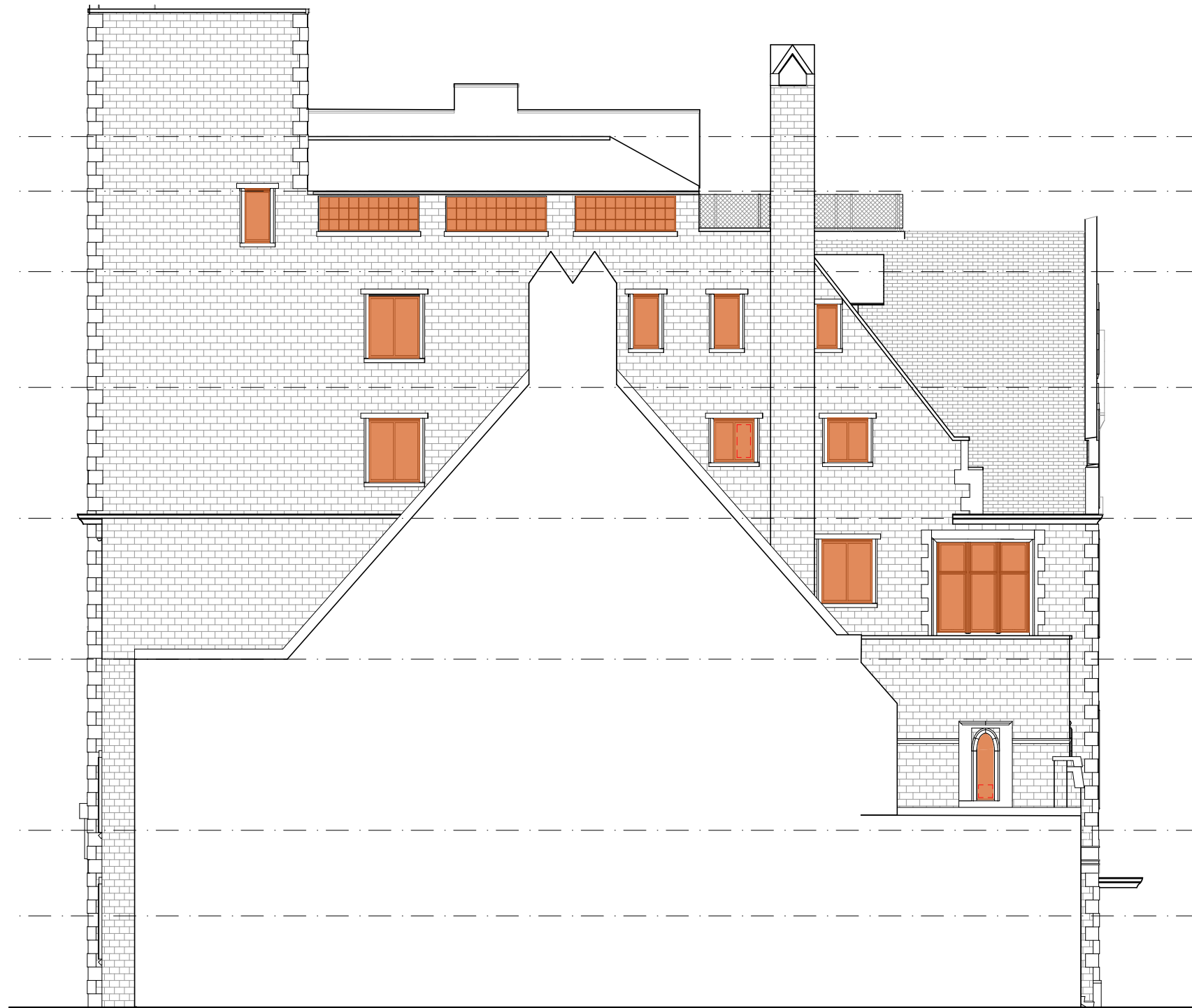
## Woodward & Adams Permanent Supportive Housing



# WINDOW RESTORATION DIAGRAM

## WINDOW RESTORATION SCOPE LEGEND

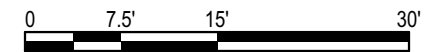
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- 5. A/C UNITS TO BE REMOVED. WINDOW TO BE RESTORED/  
REPLACED TO MATCH ADJACENT.



1

## WINDOW DIAGRAM WEST ELEVATION

SCALE: 1" = 15'



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# Woodward & Adams Permanent Supportive Housing



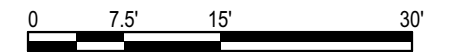
# WINDOW RESTORATION DIAGRAM

## WINDOW RESTORATION SCOPE LEGEND

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- 5. A/C UNITS TO BE REMOVED. WINDOW TO BE RESTORED/  
REPLACED TO MATCH ADJACENT.



**1** WINDOW DIAGRAM NORTH ELEVATION  
SCALE: 1" = 15'



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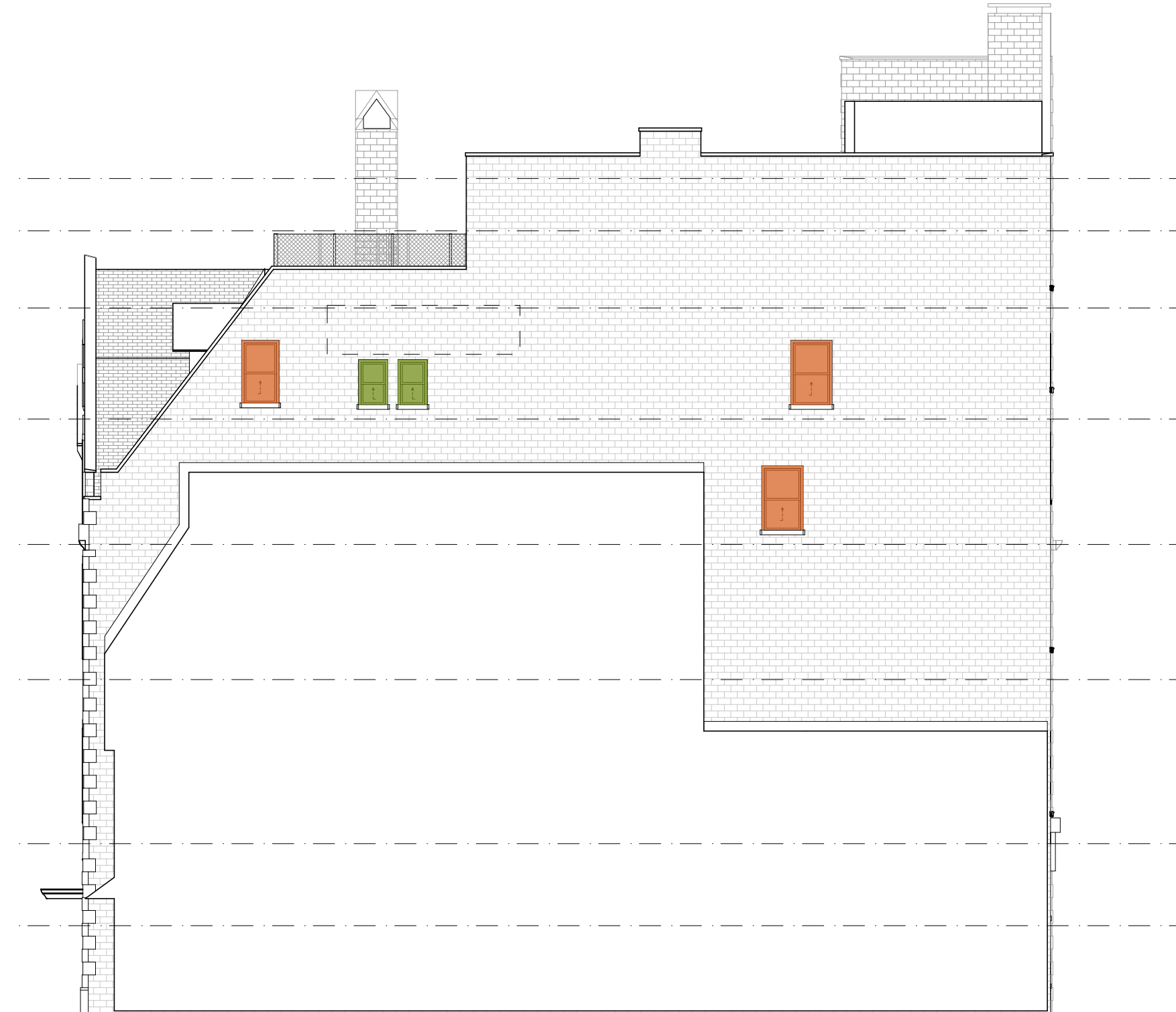
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# WINDOW RESTORATION DIAGRAM

## WINDOW RESTORATION SCOPE LEGEND

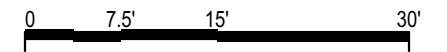
- 1. HISTORIC WINDOW TO BE RESTORED
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- 4. EXISTING WINDOW OPENING TO BE ENLARGED
- 5. A/C UNITS TO BE REMOVED. WINDOW TO BE RESTORED/  
REPLACED TO MATCH ADJACENT.



1

## WINDOW DIAGRAM EAST ELEVATION

SCALE: 1" = 15'



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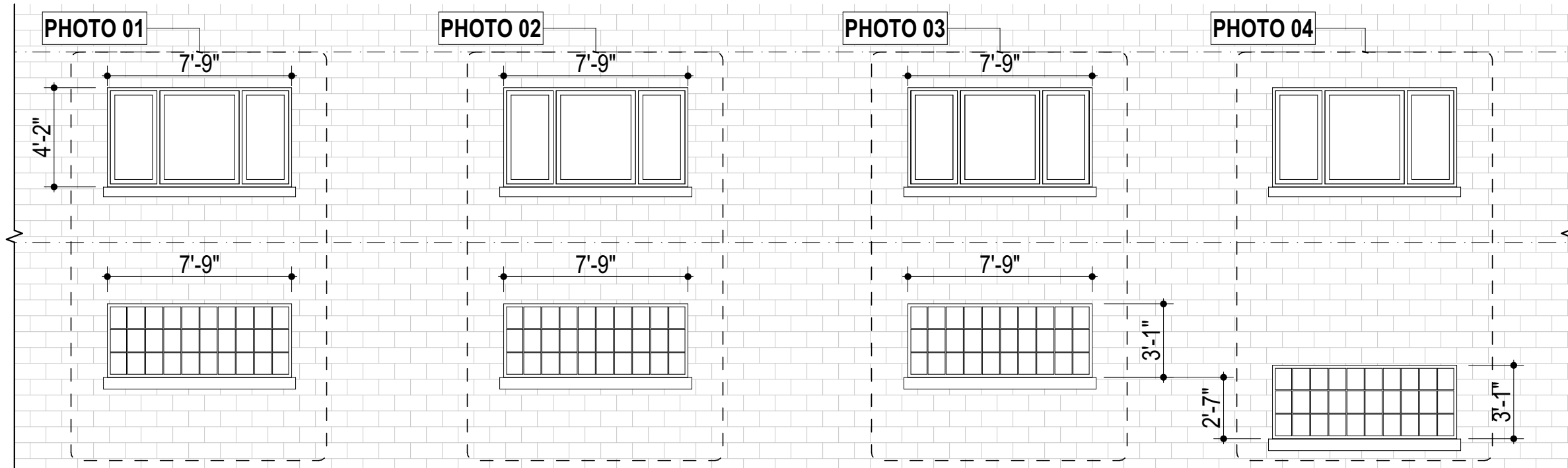
**LBBA**

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# ENLARGED ELEVATIONS



2 PARTIAL NORTH ELEVATION - EXISTING



1 PARTIAL NORTH ELEVATION - PROPOSED



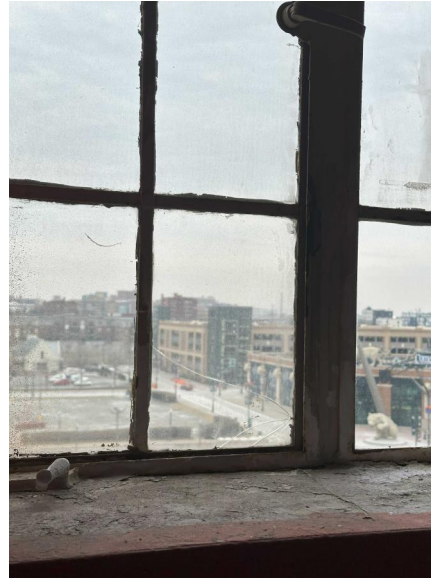
# ENLARGED WINDOW PHOTOS



INTERIOR VIEW OF 5TH FLOOR WINDOW



INTERIOR VIEW OF 5TH FLOOR WINDOW



INTERIOR VIEW OF 5TH FLOOR WINDOW



PHOTO 01

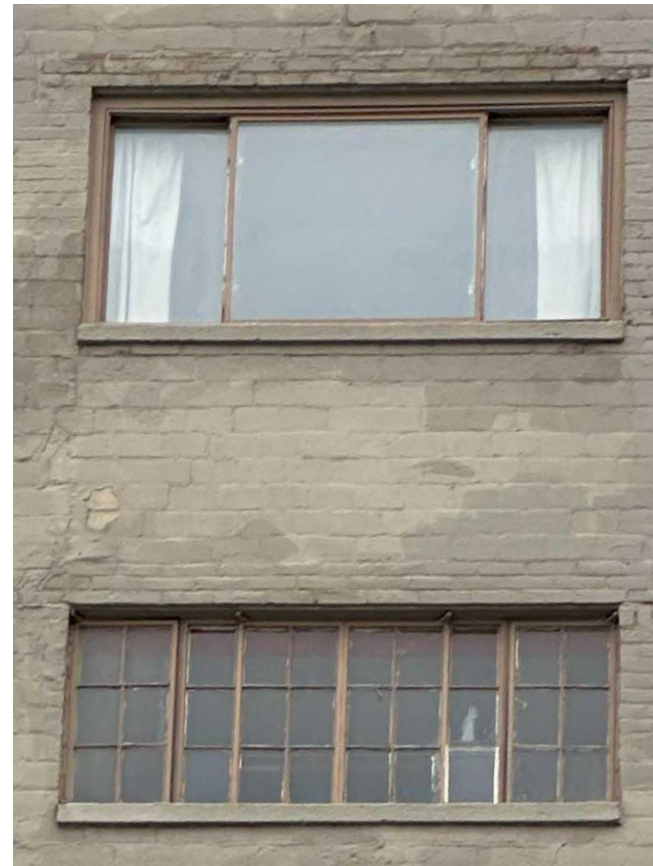


PHOTO 02

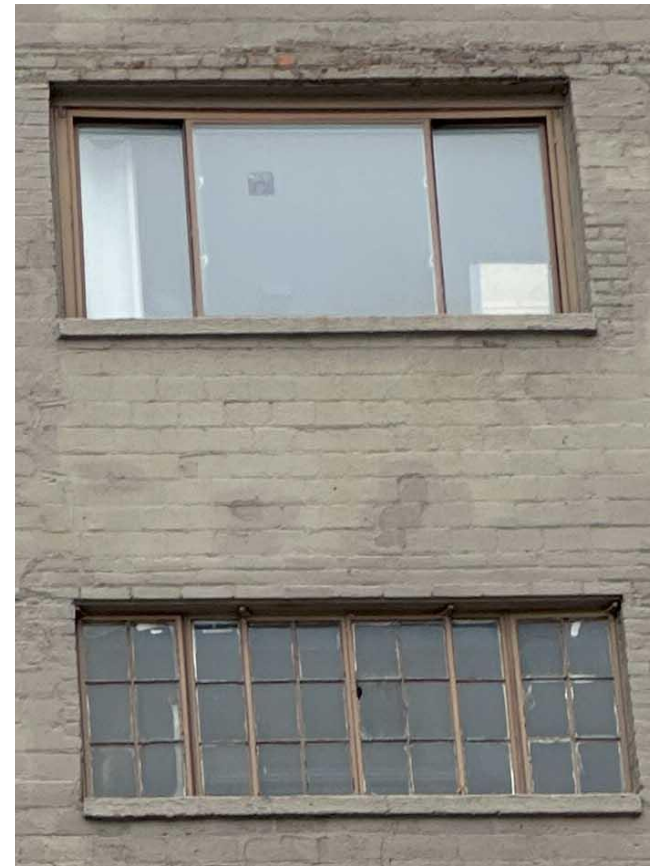


PHOTO 03

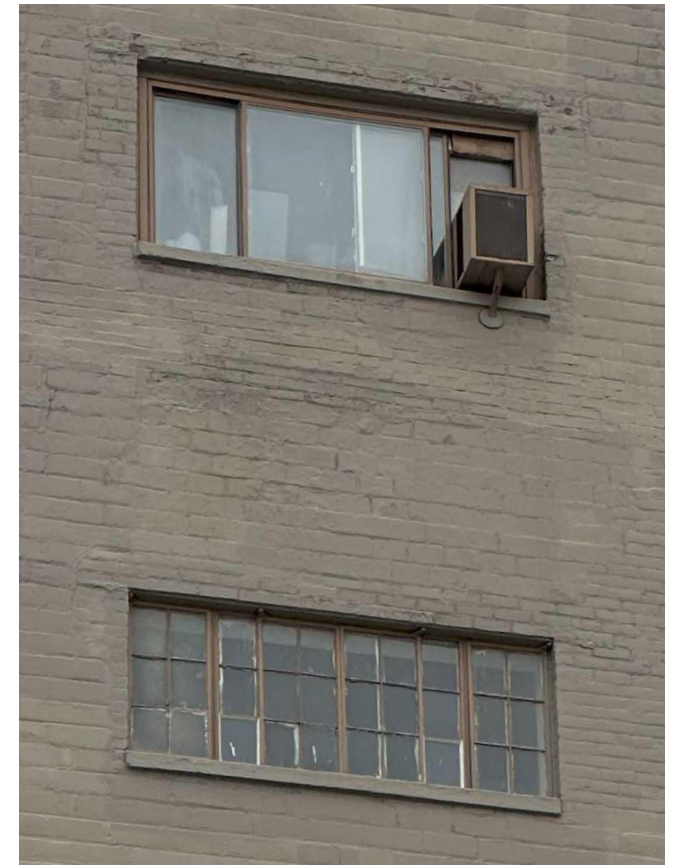


PHOTO 04

FEBRUARY 12, 2025

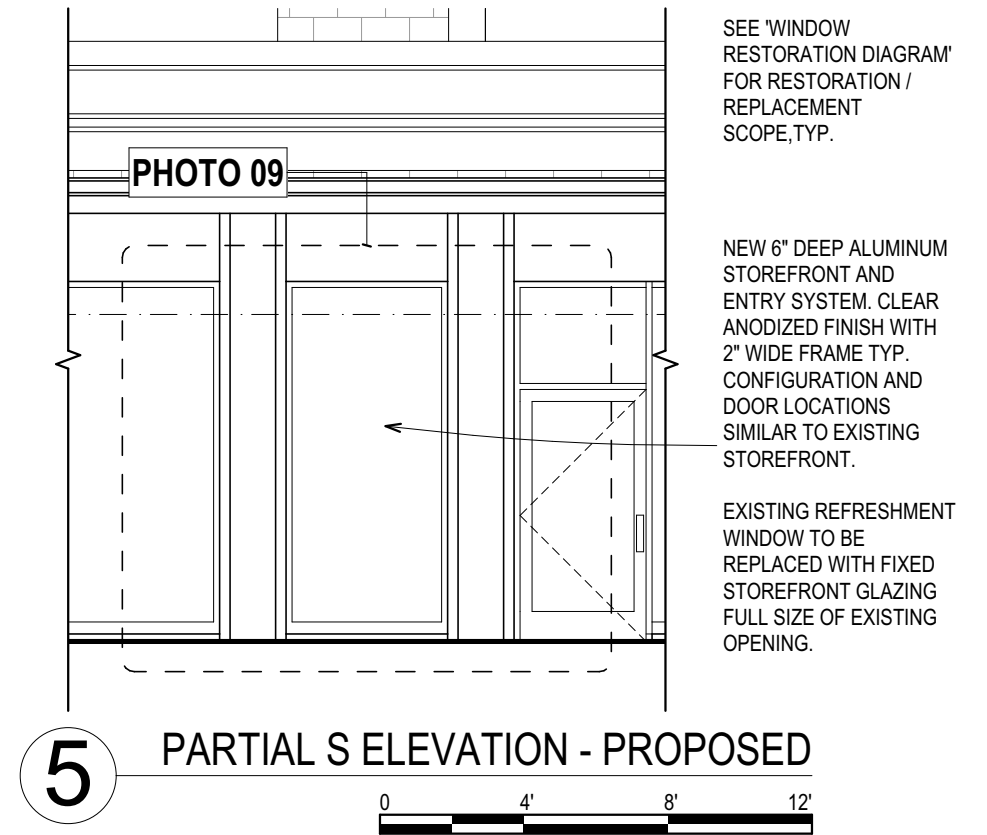
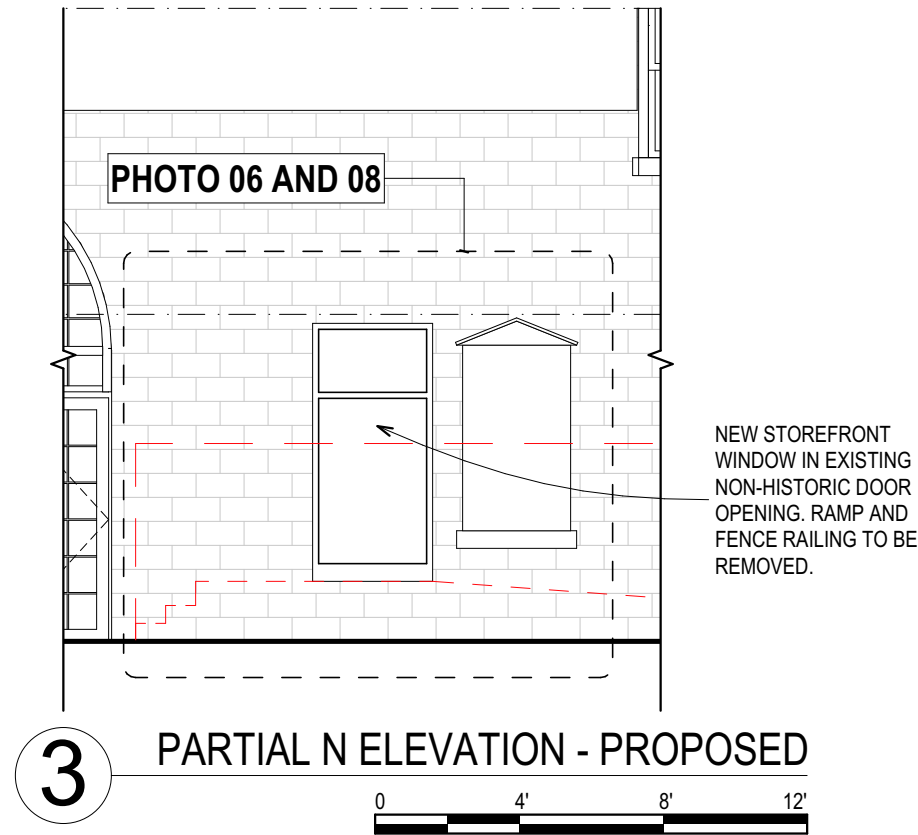
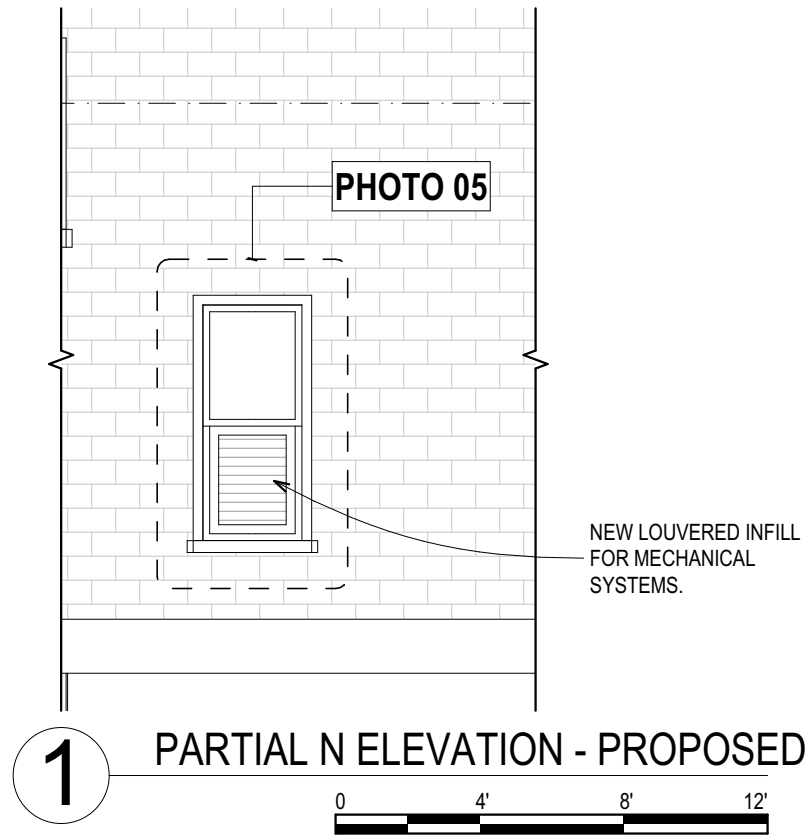
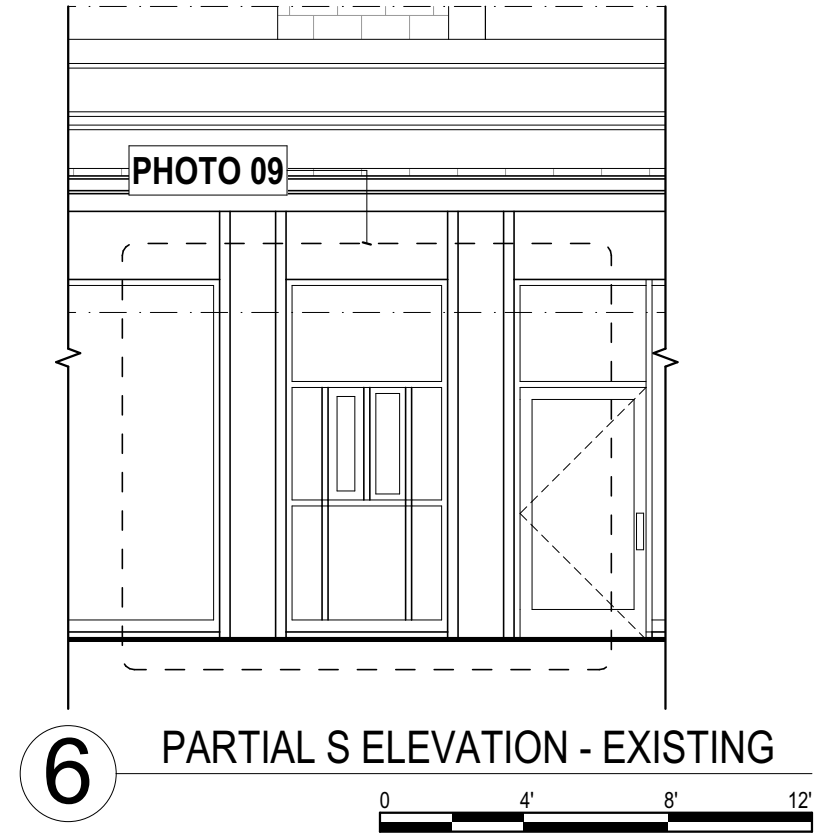
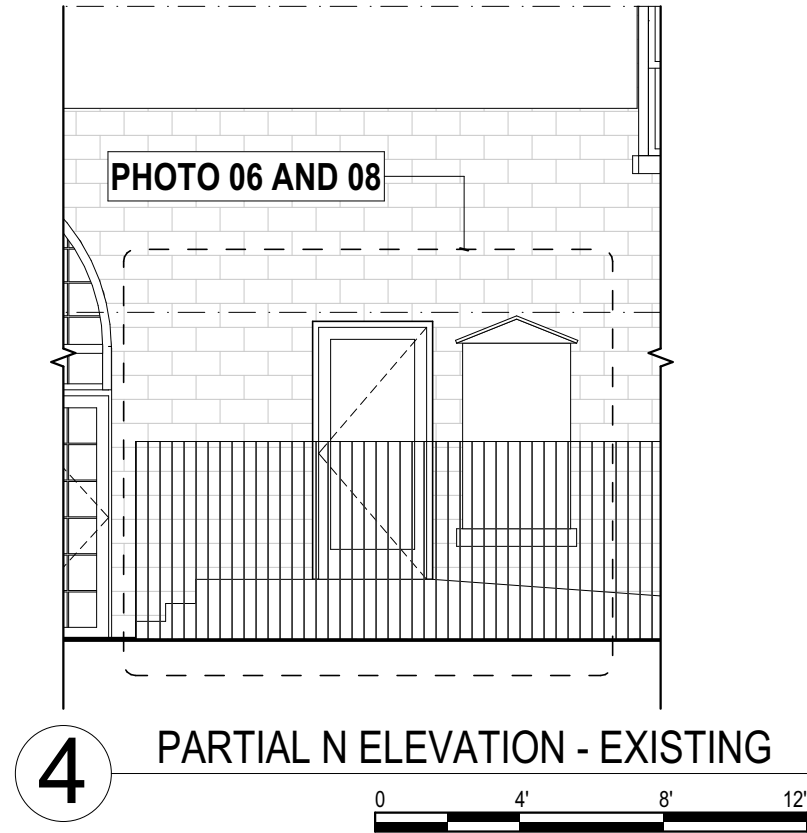
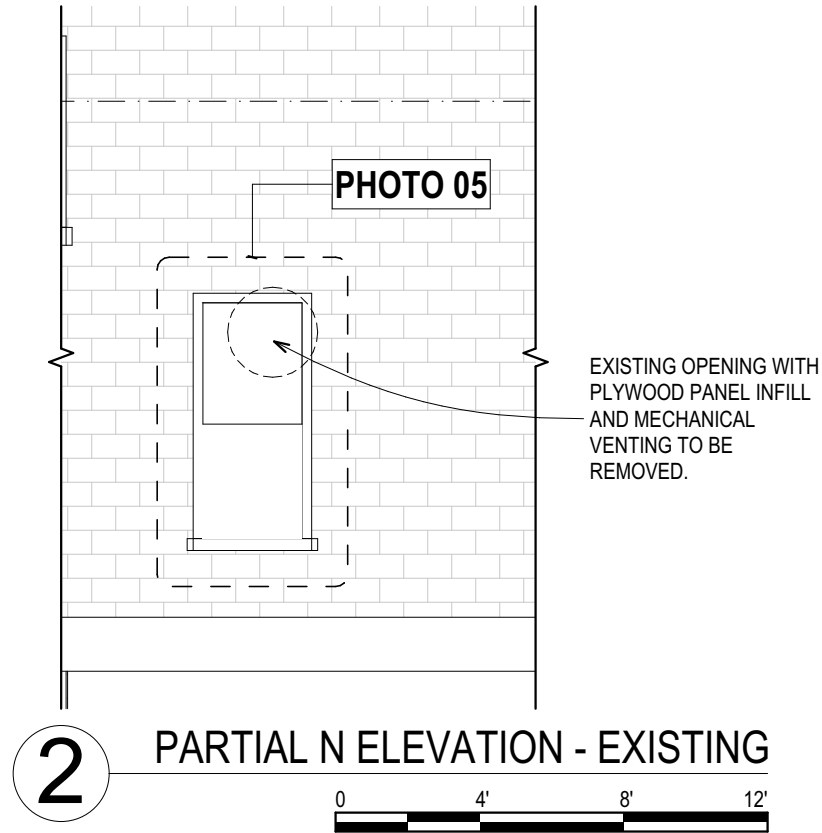


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## Woodward & Adams Permanent Supportive Housing



# ENLARGED ELEVATIONS





# ENLARGED WINDOW PHOTOS



EXTERIOR VIEW OF STOREFRONT ALONG E ADAMS AVE



PHOTO 05



PHOTO 07



PHOTO 08



PHOTO 09

FEBRUARY 12, 2025

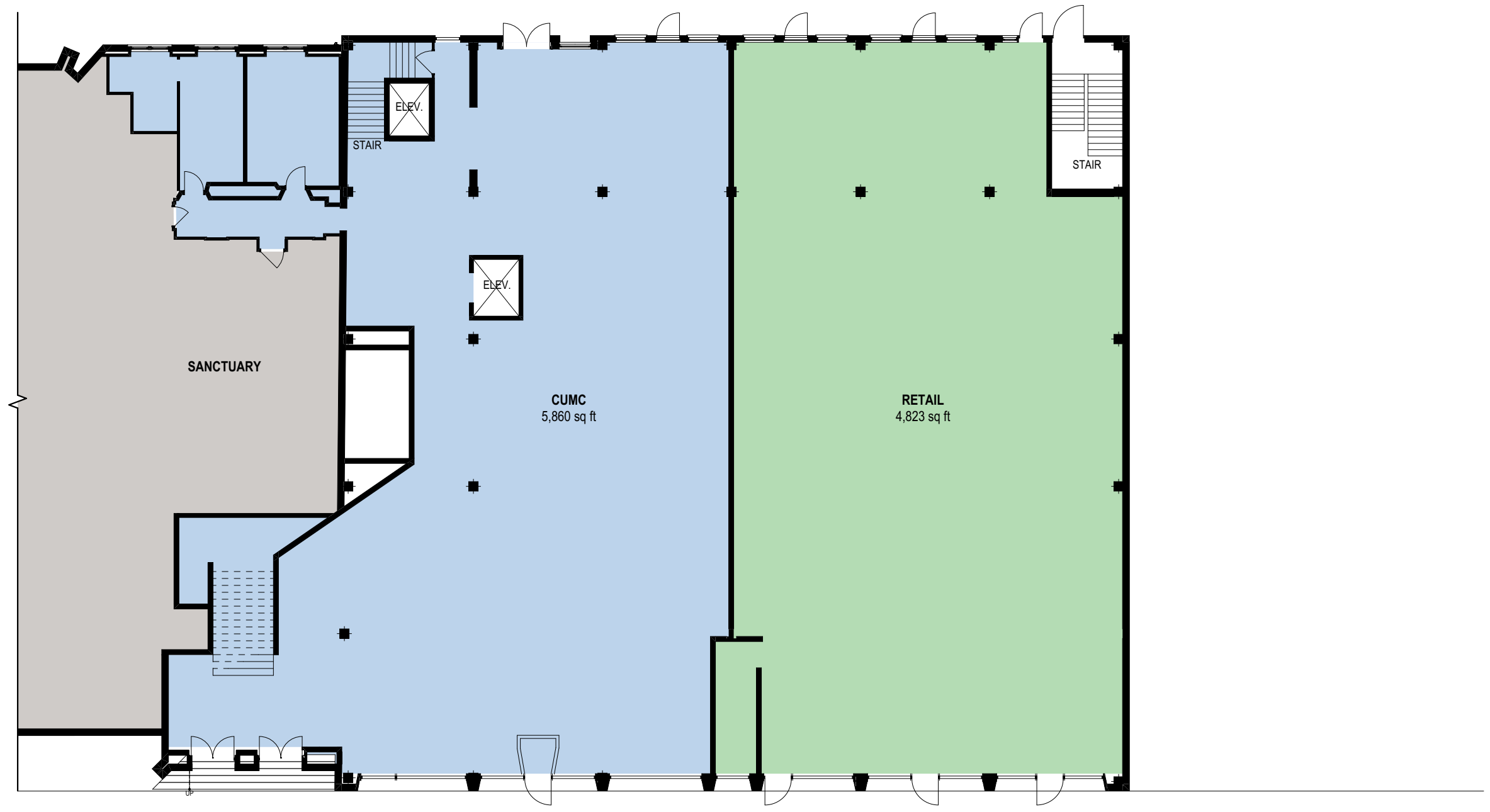


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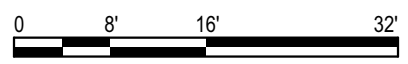
# FLOOR PLANS



1

## 1ST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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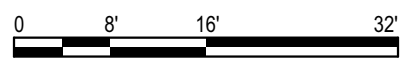
# FLOOR PLANS



1

## 2ND FLOOR PLAN

SCALE: 1/16" = 1'-0"



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## Woodward & Adams Permanent Supportive Housing



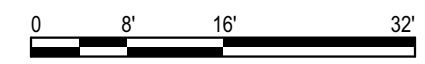
# FLOOR PLANS



1

## 3RD FLOOR PLAN

SCALE: 1/16" = 1'-0"



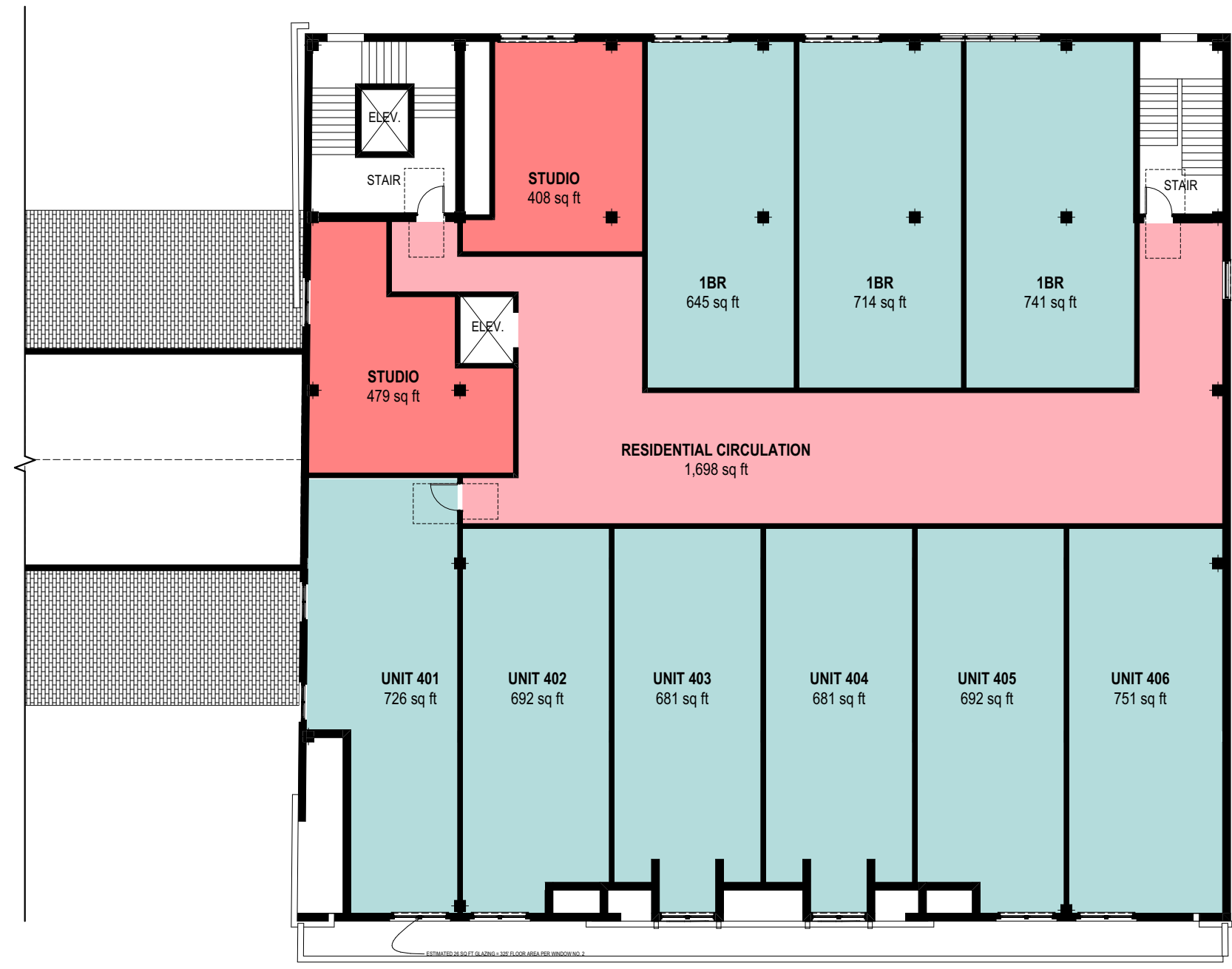
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## Woodward & Adams Permanent Supportive Housing

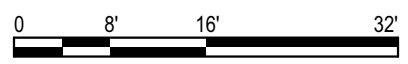
# FLOOR PLANS



1

## 4TH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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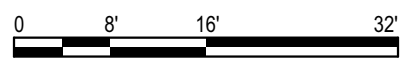
# FLOOR PLANS



1

## 5TH FLOOR PLAN

SCALE: 1/16" = 1'-0"



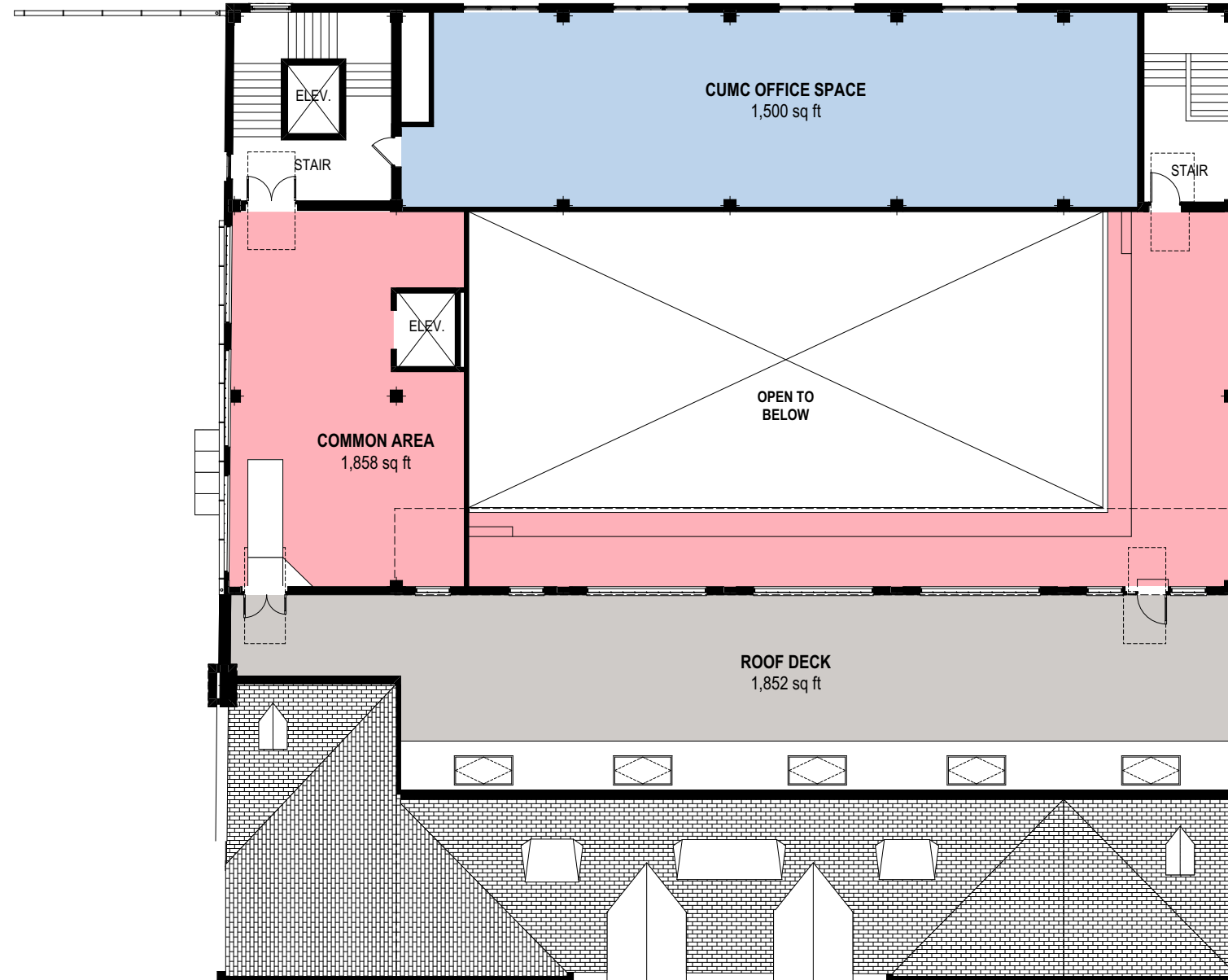
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FULL CIRCLE COMMUNITIES AND THE CENTRAL UNITED METHODIST CHURCH

## Woodward & Adams Permanent Supportive Housing

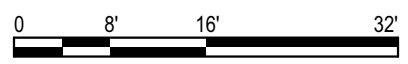
# FLOOR PLANS



1

## 6TH FLOOR PLAN

SCALE: 1/16" = 1'-0"



FEBRUARY 12, 2025

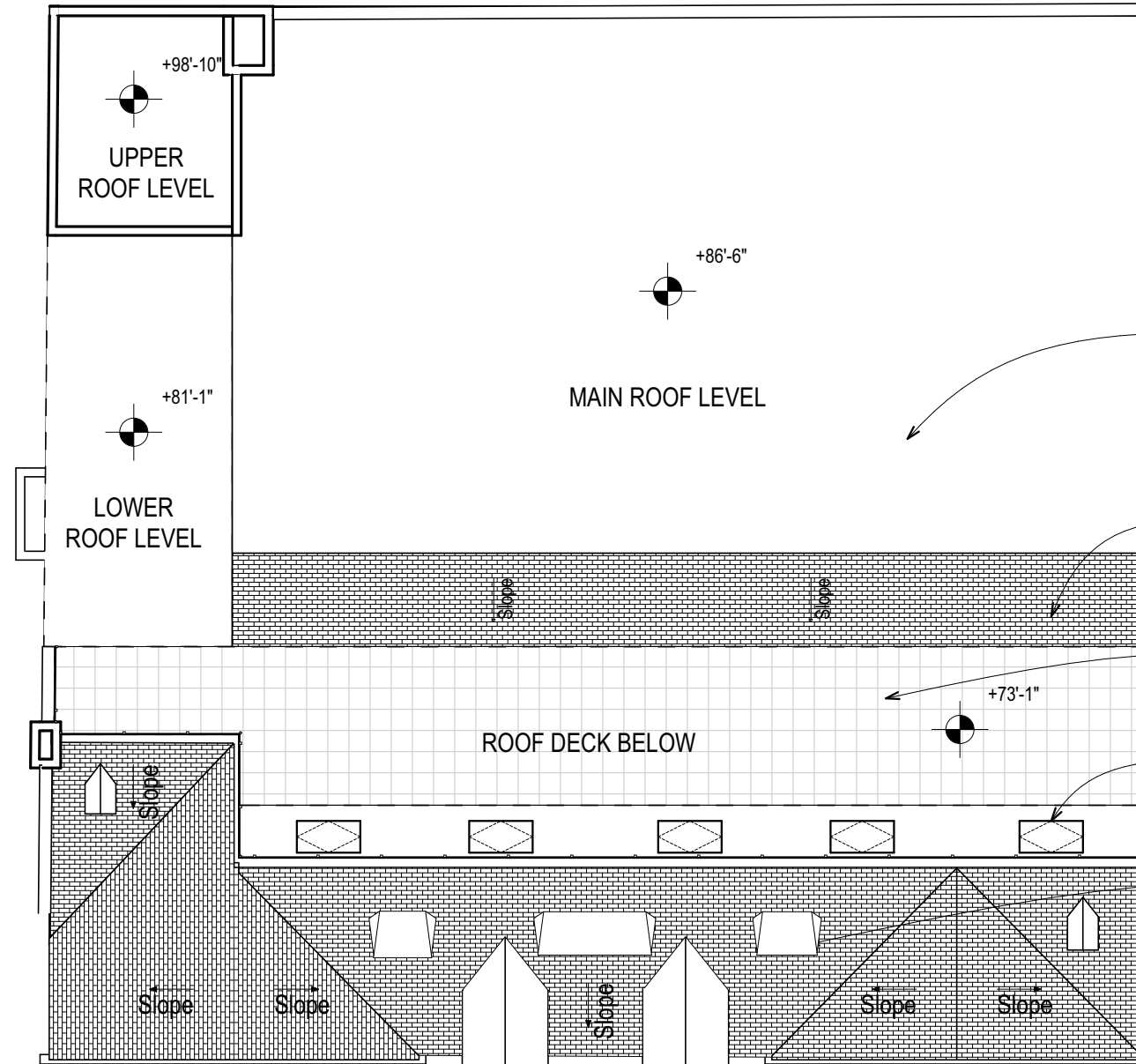


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# ROOF PLAN



REMOVE AND REPLACE EXISTING MEMBRANE ROOFING WITH REFLECTIVE TPO OR EQ. (NOT VISIBLE FROM GRADE)

RESTORE OR REPLACE EXISTING SLATE TILE ROOFING AS NEEDED

NEW PAVERS ON PEDESTALS

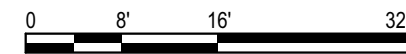
NEW SKYLIGHTS, TYP. (NOT VISIBLE FROM GRADE)

RESTORE OR REPLACE EXISTING COPPER COPING AND VALLEY FLASHING, AS NEEDED

1

## ROOF PLAN

SCALE: 1/16" = 1'-0"



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# SITE PHOTOS



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

SOUTH ELEVATION ALONG E ADAMS AVE



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

CORNER OF WOODWARD AVE AND E ADAMS AVE



PHOTO © HELMUT ZIEWERS OF HISTORICDETROIT.ORG

SOUTH ELEVATION OF CHURCH HOUSE ALONG E ADAMS AVE

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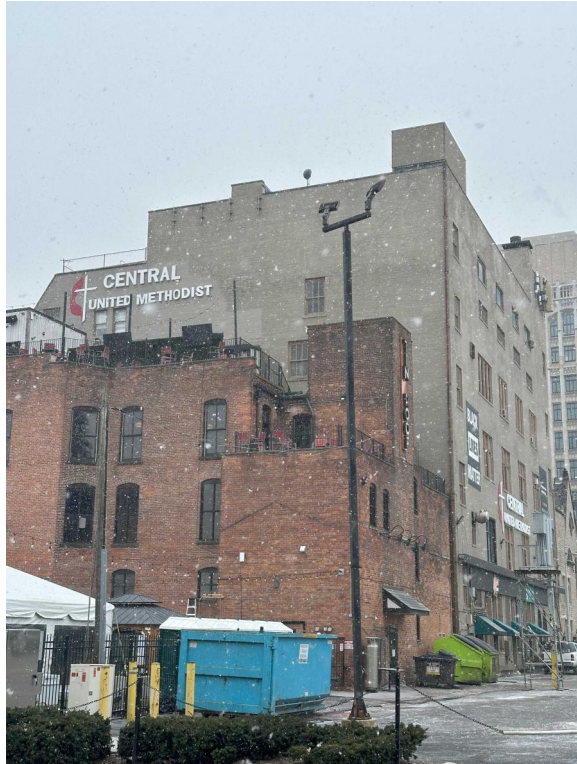


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# SITE PHOTOS



EAST ELEVATION



NORTH ELEVATION OF CHURCH HOUSE



NORTH VIEW OF CHURCH HOUSE



NORTH ELEVATION



WEST ELEVATION

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# ENLARGED WINDOW PHOTOS



INTERIOR VIEW OF 5TH FLOOR WINDOW



INTERIOR VIEW OF 5TH FLOOR WINDOW



INTERIOR VIEW OF 5TH FLOOR WINDOW



PHOTO 01



PHOTO 02



PHOTO 03

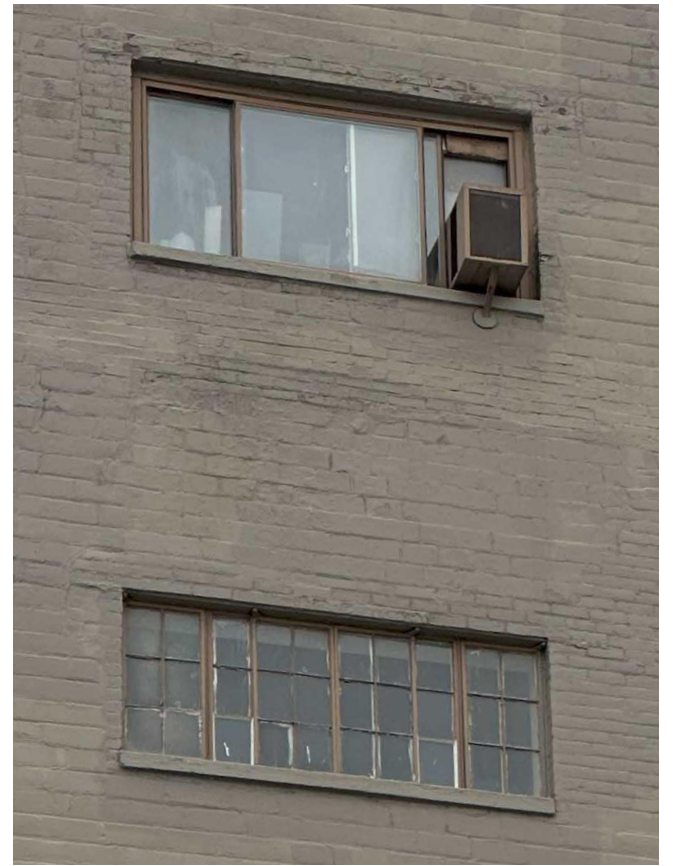


PHOTO 04

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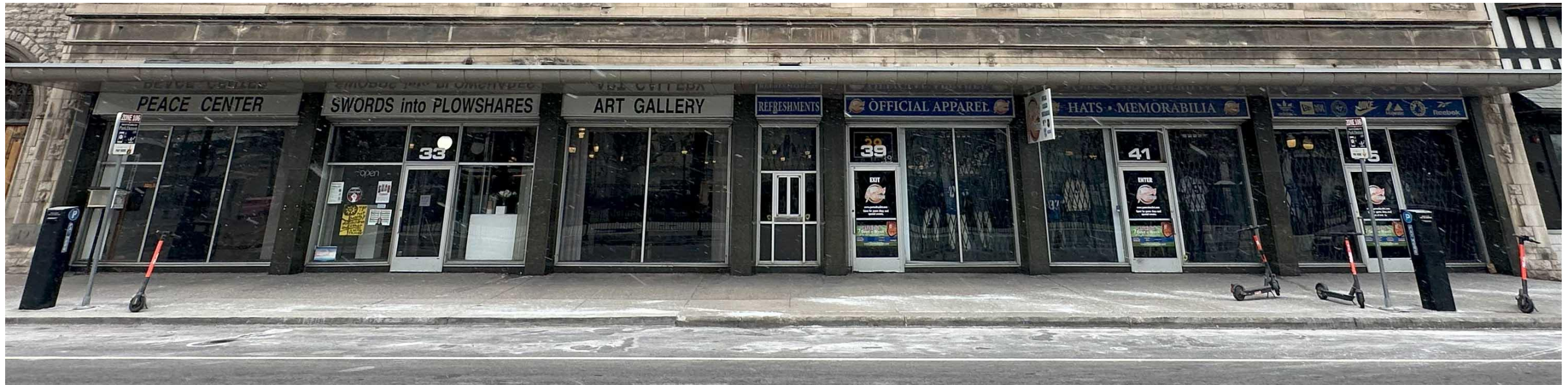


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# ENLARGED WINDOW PHOTOS



EXTERIOR VIEW OF STOREFRONT ALONG E ADAMS AVE



PHOTO 05



PHOTO 07



PHOTO 08

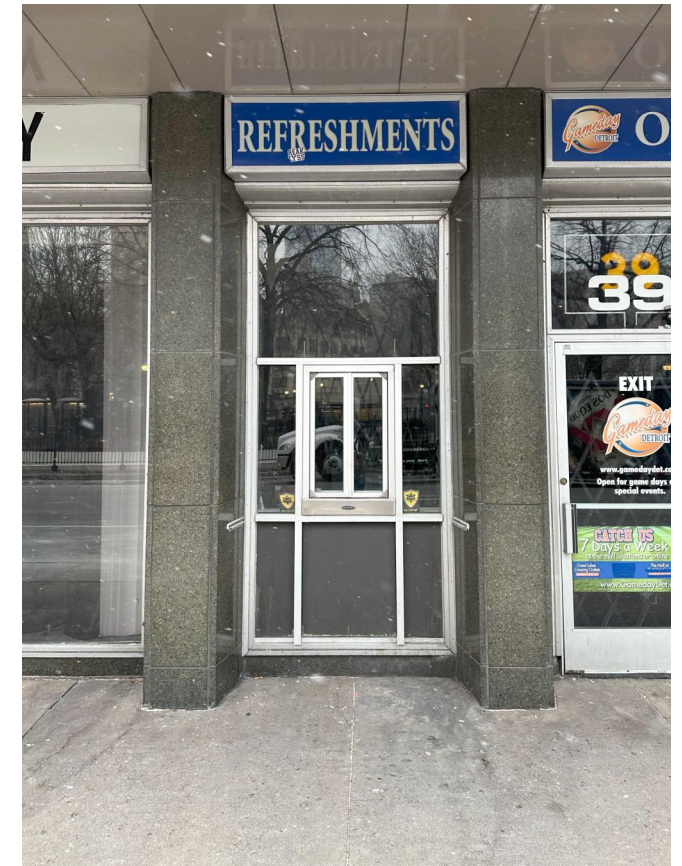


PHOTO 09

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