

TOPOGRAPHIC SURVEY



GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- Client/contractor shall obtain all pertinent permits when connecting to public utilities and comply to City's requirements.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
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LEGAL DESCRIPTION

#3020 Iroquois Street, Detroit, MI, 48214
 Part of the Private Claim 27 and Primate Claim 180, City of Detroit, Wayne County, Michigan, being more particularly described as follows:
 LOT 24 and the SOUTH 25 feet of LOT 25 of "Meredith Iroquois Park Subdivision", as being recorded in Liber 33 of Plats, on Page 67, Wayne County Records.
 Containing: 14,577 Square Feet---0.335 Acres, more or less. Parcel Identification Number:# 17007040-1.
 Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Note: Since our survey DOES NOT include a Title Search there could be easements and/or encumbrances upon the subject property that are not shown at this time.



Mende Bezanovski, P.S.#4001049430
 State of Michigan

811 Know what's below. Call before you dig.

SCALE: 1" = 10'	PAGE: 1 OF 1
JOB NUMBER: 2024-10-22-249-CBI	DRAWN: MB
FIELD: MB	CHECKED: MB
REVISIONS:	DATE: 11-15-2024
CLIENT: CBI Design Professionals, Inc.	
ADDRESS: 3020 Iroquois Street Detroit, MI, 48214	
TEL: (586) 822-4954 FAX: (586) 591-5930 info@ab-sb-landsurvey.com www.ab-sb-landsurvey.com	

LEGEND

- = LIGHT/ UTILITY POLE
- = OVER HEAD WIRE
- = CHAIN LINK FENCE
- = EX. STORM M.H.
- = PAVEMENT CATCH BASIN/CBP
- = EX. SANITARY M.H.
- = EX. CONTOUR
- = ELEVATION
- = FINISH FLOOR
- = GARAGE FLOOR
- = FINISH GRADE
- = PARCEL IDENTIFICATION NUMBER
-
- = TOWN/RANGE
- = LIBER/PAGE
- = FOUND IRON/CAPPED IRON
- = BENCH MARK
- = NORTH AMERICAN VERTICAL DATUM AS OF 1988
- = CONTROL POINT
- = INVERT
- = CHISELED "X" IN CONCRETE
- = EXISTING

LAND AREA
 14,577 ± SQUARE FEET
 0.335 ± ACRES

FLOOD NOTE

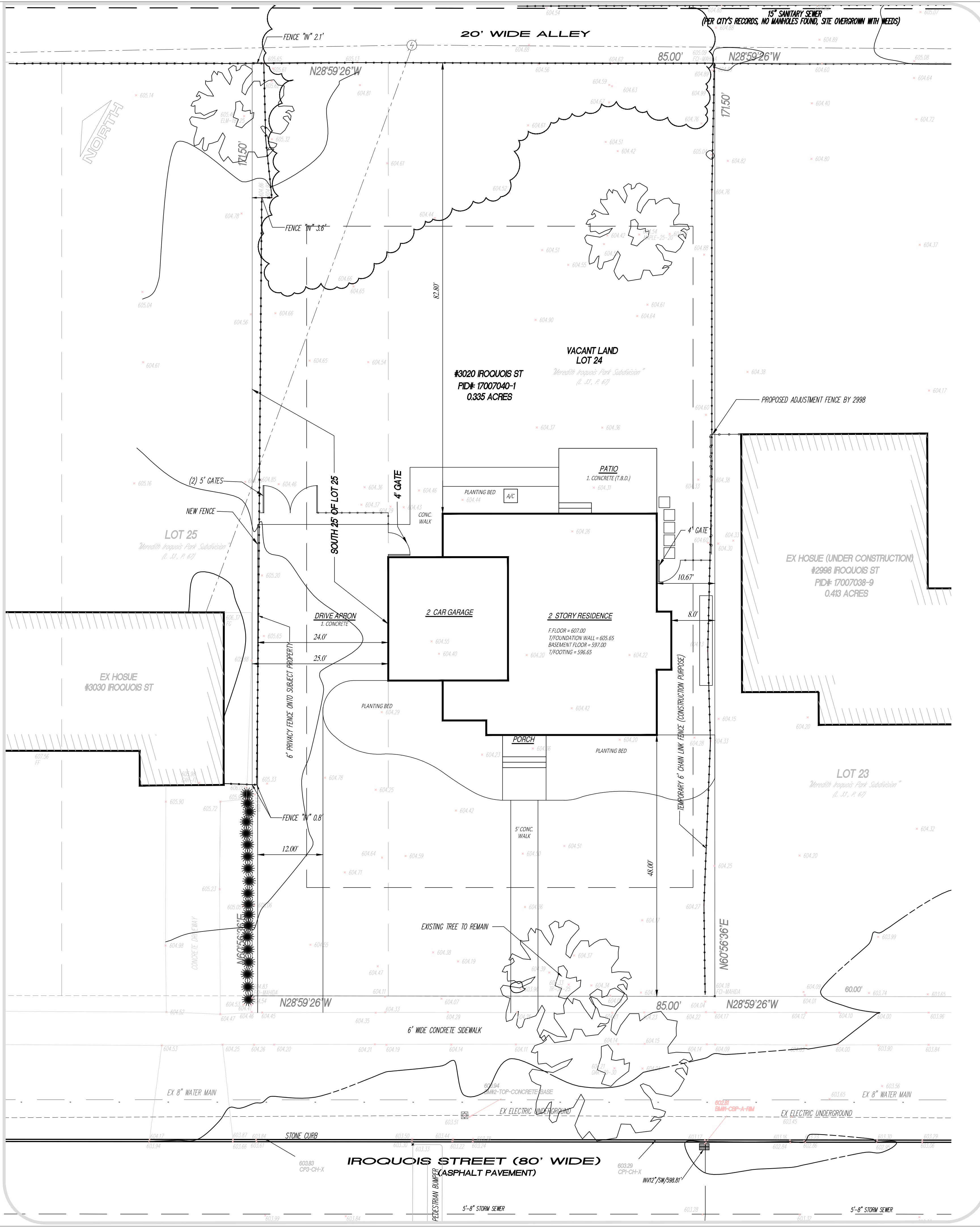
Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260222, Panel No. 0301F, Suffix "G", being effective as of October 21, 2021.

BENCH MARK INFORMATION

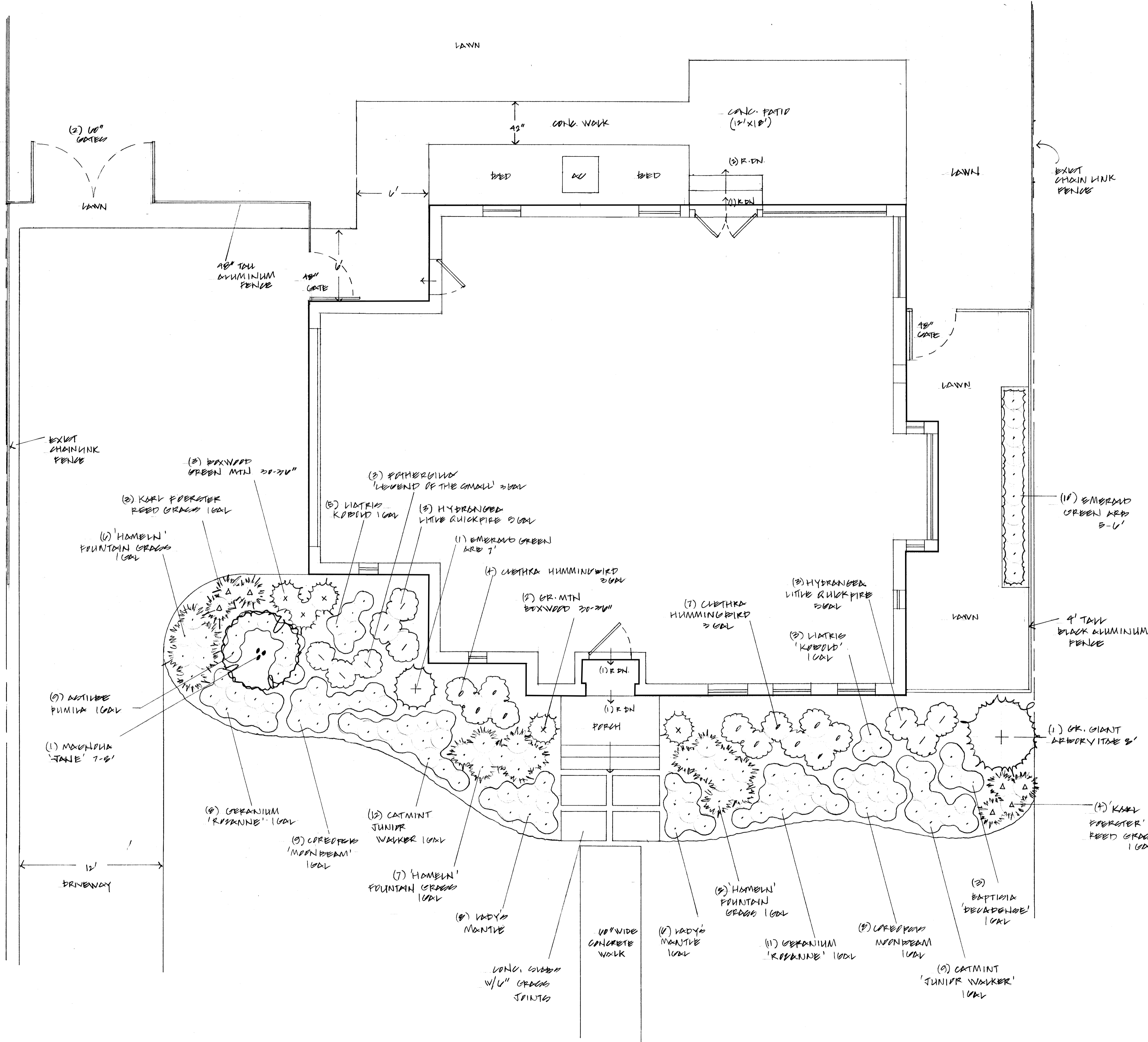
Site Bench Mark No. 1:
 Rim of a pavement catch basin located in front of the subject property within Northwesterly side of Iroquois Street.
 EL=602.81' (NAVD 88).

Site Bench Mark No. 2:
 Top of concrete base of a light pole in front of the subject property.
 EL=603.94' (NAVD 88).

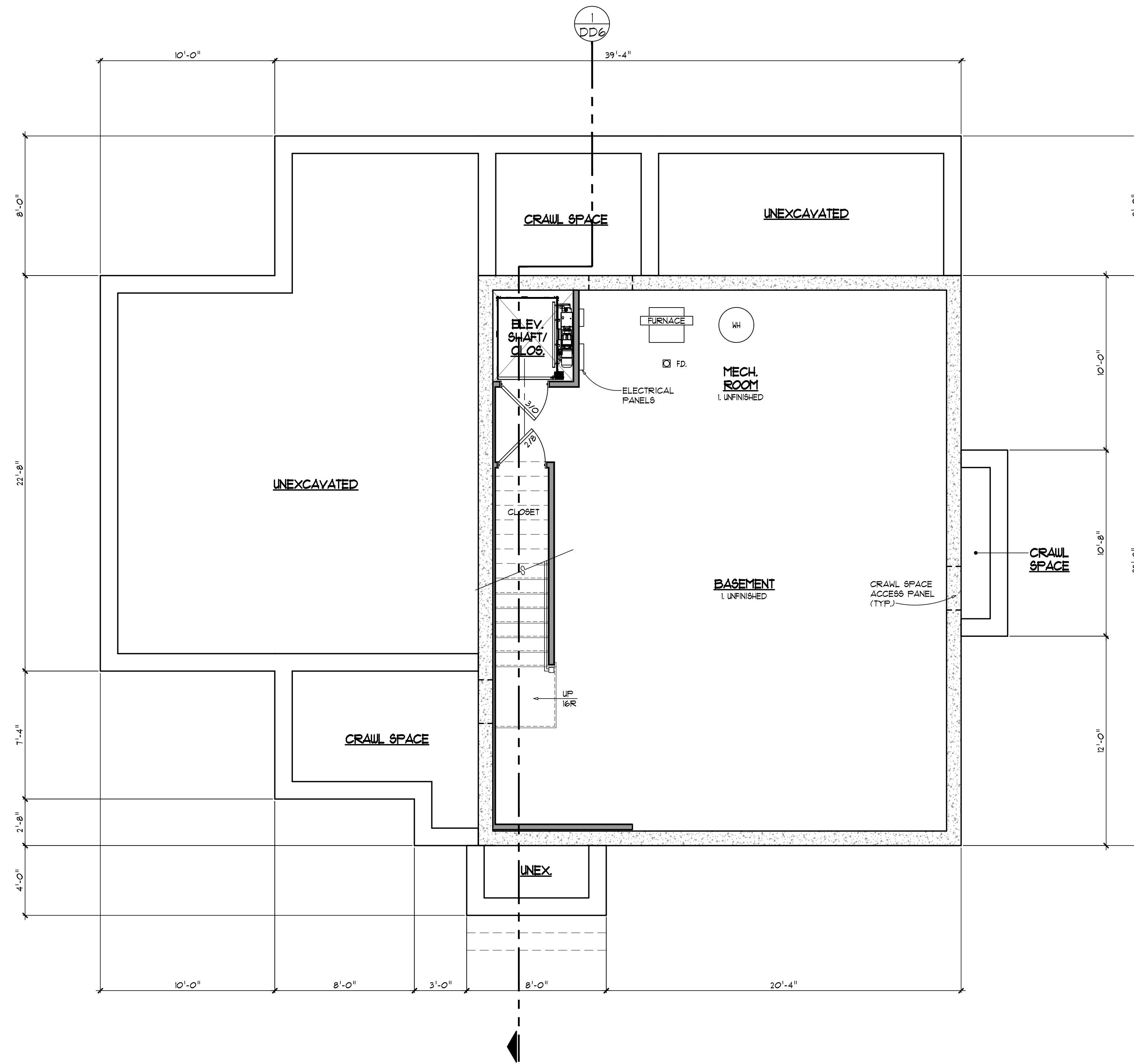
Site Plan:
 Revisions to original survey by:
 CBI Design Professionals, Inc. 01-30-2025



Landscape Notes:
 All work is to comply with applicable jurisdictional building codes, regulations and specifications. Contractors (relative to project) are responsible for obtaining all necessary permits and submitting plans for code compliance prior to the commencement of work. All dimensions, spot grade elevations, and quantities are approximate. Verify all information and measurements in the field. Report any discrepancies or issues to the Landscape Architect (LA). All MISSDIG to have all utilities staked at least 72 hours prior to job commencement and follow guidelines prescribed. The Contractors are to visit the site and familiarize themselves with the site and the plan. Contact Landscape Architect (LA) with any plan concerns prior to quotation commencement. Landscape Contractor (LC) shall meet with LA and Owner to review the plans and site and agree on final grades prior to commencement of landscape planting operations. LC shall expect & price for excavation of beds to 6" deep min, haul & dispose and install a minimum of 12" of plant mix at all areas to receive new plantings. Plant mix shall be comprised of the highest quality materials of the following: 50% 2NS sand and 50% compost. Compost shall be Indian Summer compost - fertile, friable, natural, without admixture of subsoil material, reasonably free of lumps, stones, plants, roots and other foreign matter. Prepare beds to provide a light, well-drained, friable and fertile bed conducive to the respective plantings. Ensure a Ph of 6.5-7.0 at all planting areas, amend plant mix as needed. Install Canadian Peat Moss for groundcover, 1" depth top-dressing, Morgan Composting FlowerDoo-201 1 cu ft bags, 2" depth for annual areas. LC shall excavate lawn areas to 3" deep min (in house construction zone), haul & dispose of compacted soil and install a minimum of 2" (additional as needed) of soil mix at all areas to receive new sod. Soil mix shall be comprised of the highest quality materials of the following: 50% 2NS sand and 50% screened topsoil. A sample of the soil and the plant mix are to be provided to and approved by the LA. LC will install 15' drainage piping and 4" round exit grates at each & all gutter downspouts using sch 35 perforated pvc pipe and sock in min 6" wide trench with peastone to 3" of finish grade with additional fabric wrap between earth and peastone. Install 4" round grates at end with perforated elbow and 48" deep x 36" dia fabric wrapped-pit filled with peastone beneath, at each exit point. LC shall provide shrubs and trees that are supplied by landscape supply, Taylor MI only. Perennials shall be obtained from Northfield Farms, South Lyon, MI, only. Provide stock true to botanical name and legibly tagged. Plants shall be delivered free of defects, diseases and all forms of insect infestations. Strict adherence will be enforced to see that all plants delivered to the site will meet the minimum size requirements noted on the plan. It will be the sole discretion of the LA to deny plant material that does not meet the standards/requirements set forth herein. LC shall install 3" of finely shredded pine bark mulch to all new plantings (available at Wiegand's Nursery Macomb, MI 800-955-3658). A sample of the mulch is to be supplied to and approved by the LA. Carefully apply an appropriate and safe pre-emergent herbicide at the manufacturer's recommendations to all beds prior to mulching avoid applying to areas designated for lawn seeding. LC shall water each plant immediately after installation and keep watering all plant material until the irrigation system is fully operational. Contractor is to coordinate the planting schedule with the Owner and the Irrigation Contractor and will be responsible to see that all areas are irrigated as necessary. Notify the Owner and the Irrigation Contractor immediately in the event of any deficiencies and concerns. The Irrigation Contractor shall install an irrigation system that applies water to 100% of all bed and grass areas. Beds shall be separated from lawn areas by placing on separate irrigation zones. Mist heads shall only be used in bed areas or install Netfim drip irrigation for all narrow bed areas &/or straight hedge runs. Annual flowers shall receive their own zone. Install Netfim zones separating from all others. Fabricate & install fixed copper risers to apply water over shrubs, where needed. Install a circle of Netafim soaker on the rootball of large evergreen trees and place on a separate zone by themselves. Use Hunter "HCC" controller for exterior use and place outside location with approval of LA and owner. Label all zones inside cover. Provide owner with manual and an instructional walk-thru at the end of the job. A licensed plumber shall be hired to tap the house water system, install the copper piping and the exterior PVB, as required by the municipality. The LC shall guarantee all trees, shrubs and perennials for a period of one year from date of installation (one time replacement) for plants that have declined, died, that are unhealthy or of unsightly condition, and/or lost their shape due to dead branches (owner responsible for proper watering, vandalism, weather extremes and pest/disease management).



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PROPOSED LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

JOB NO.	24029
DRAWN BY	LMF
COO BY	RGC
RELEASE DATE	

Client Review - 11/20/2024
Client Review - 12/18/2024
HDC Submission - 01/21/2025

REVISION NO.

ARCHITECTS SEAL

SHEET NO.

DD1

CBI Design Professionals
838 W. Long Lake, Suite 110
Bloomfield Hills, MI 48302

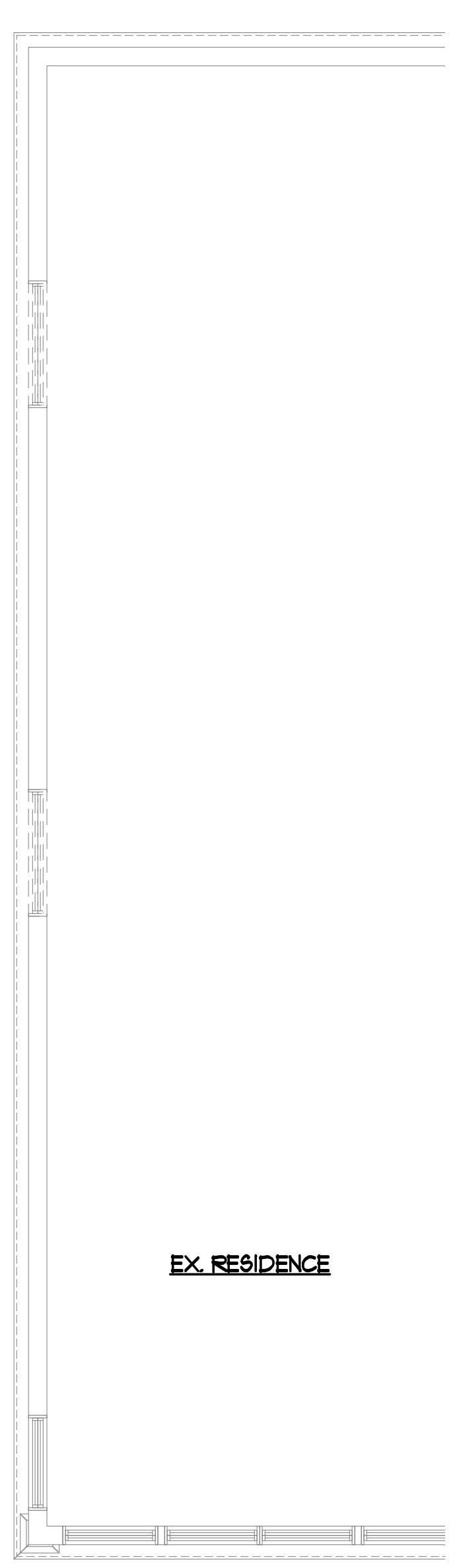
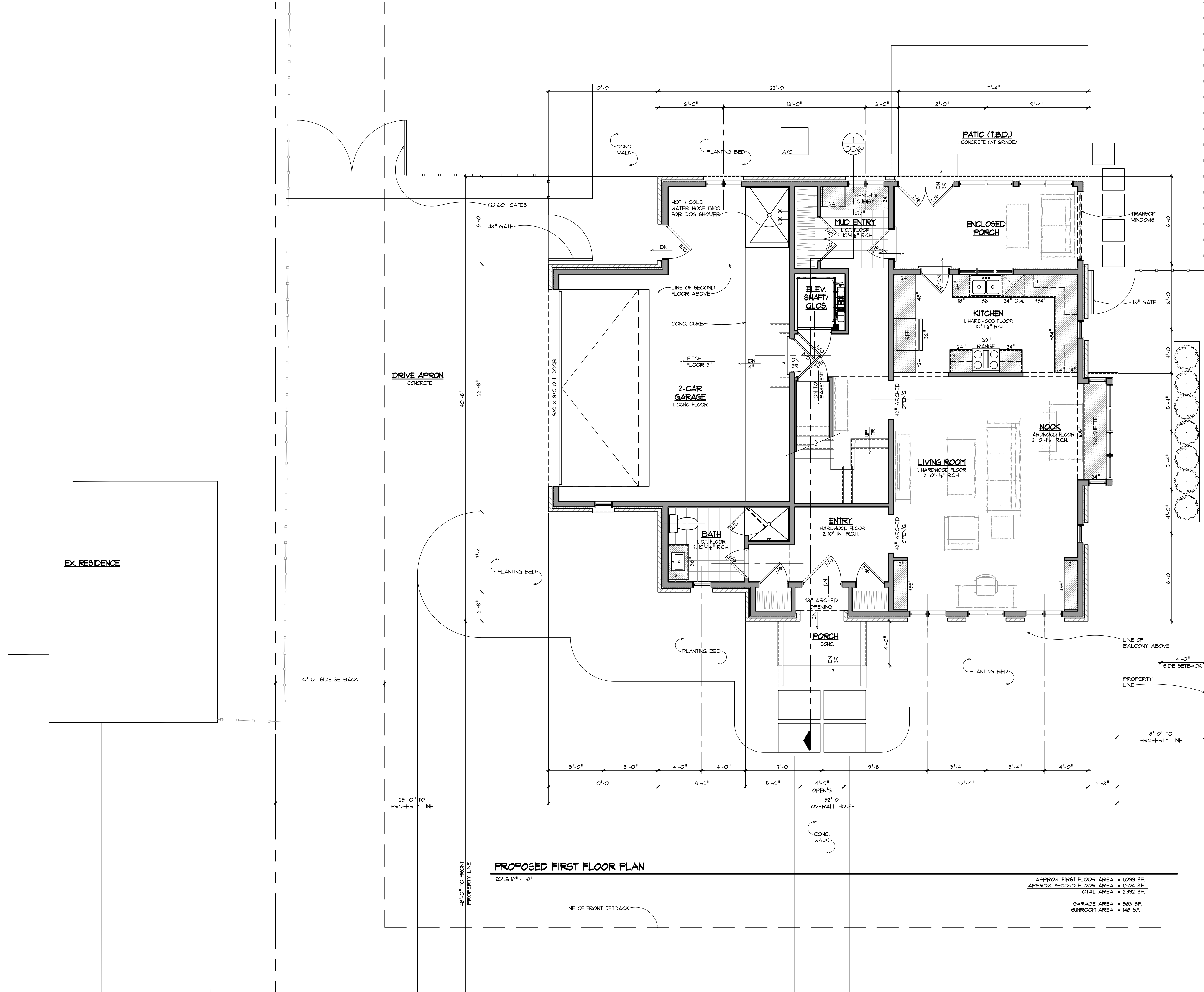
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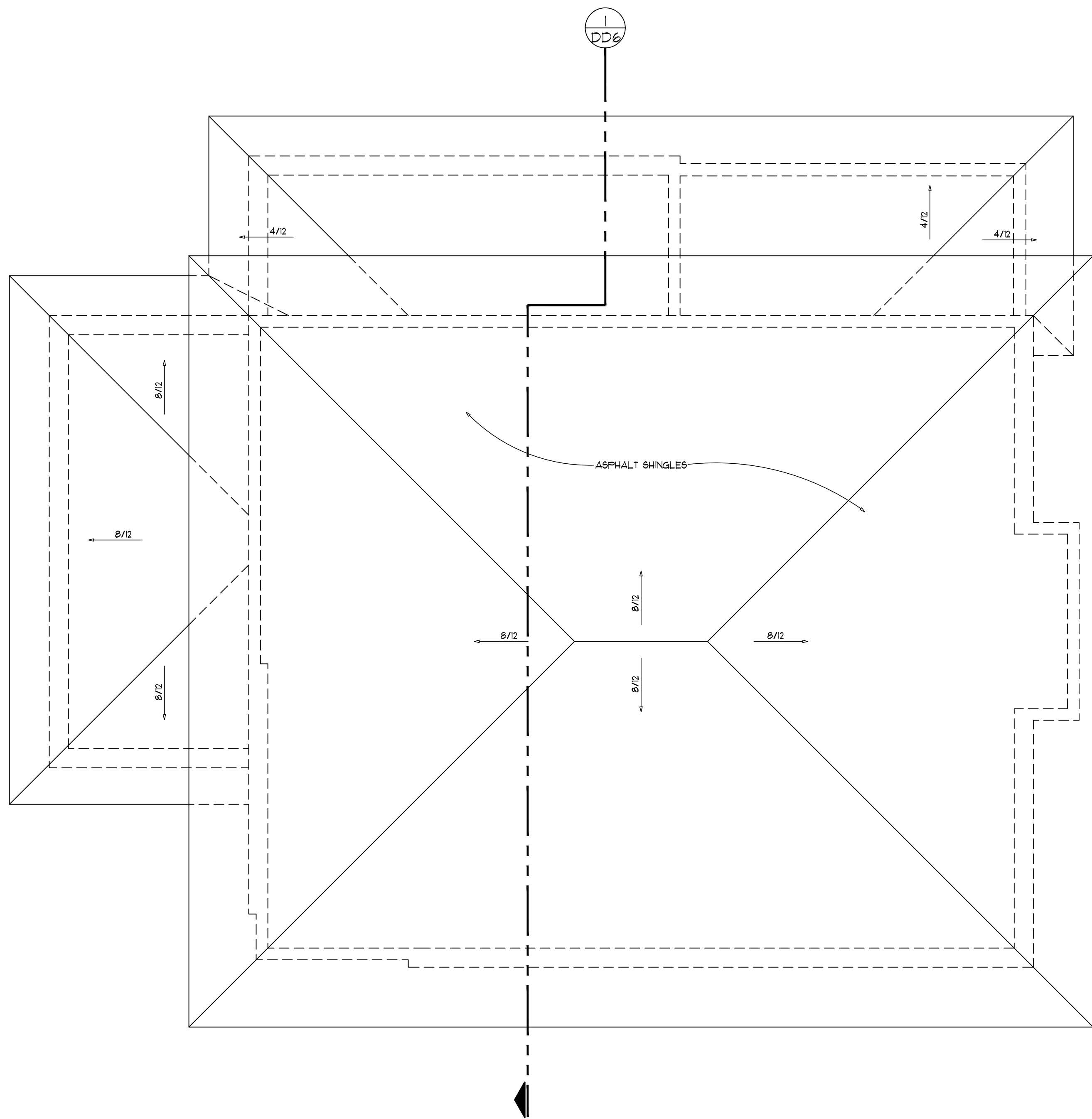


PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

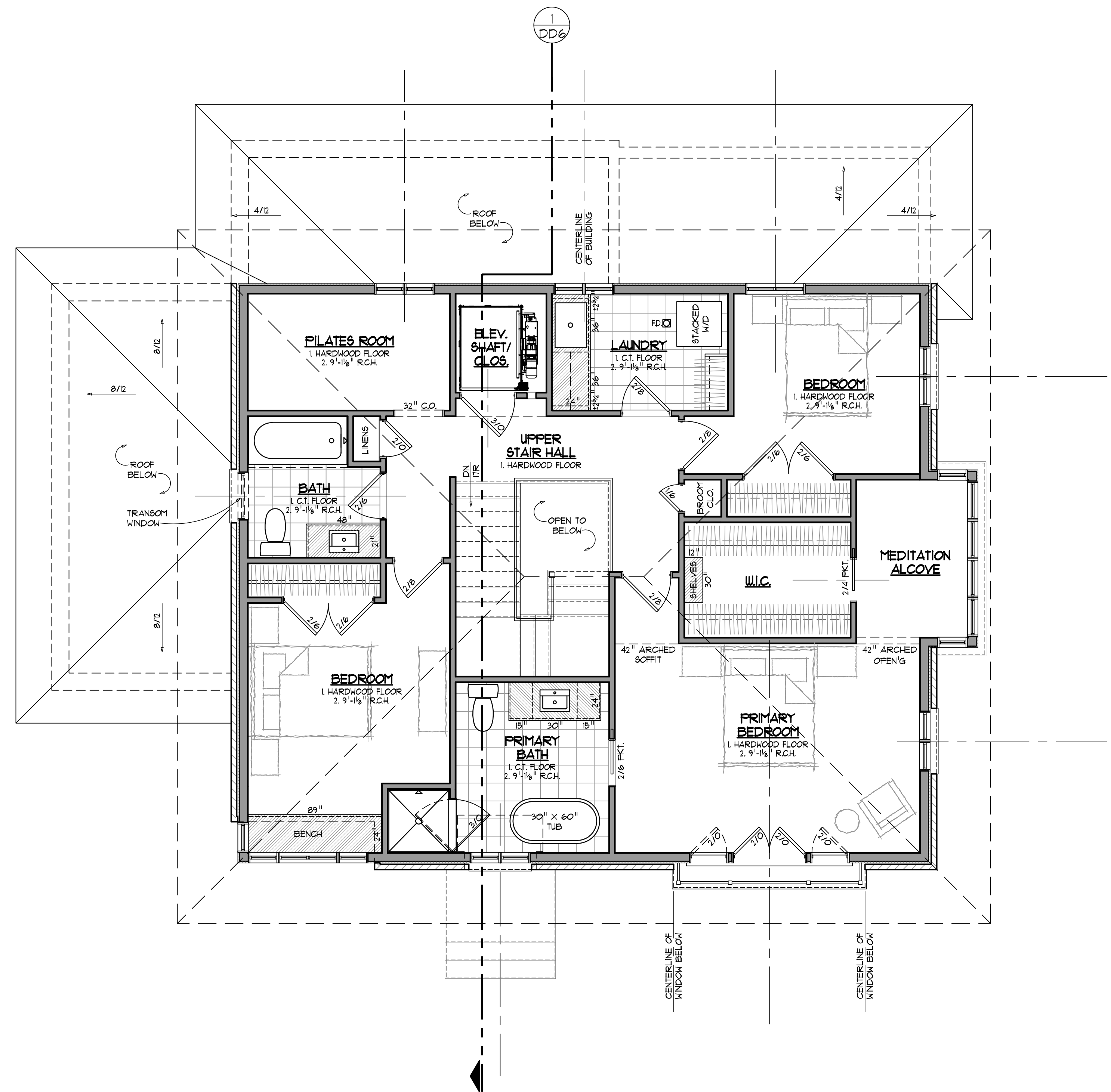
APPROX. FIRST FLOOR AREA + 1088 SF.
APPROX. SECOND FLOOR AREA + 1304 SF.
TOTAL AREA + 2392 SF.
GARAGE AREA + 583 SF.
SUNROOM AREA + 148 SF.





PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPROX. SECOND FLOOR AREA = 1304 SF.

JOB NO.
24029

DRAWN BY
LMF

COO BY
RGC

RELEASE DATE
Client Review - 11.20.2024
Client Review - 12.18.2024
HDC Submission - 01.21.2025

REVISION NO.

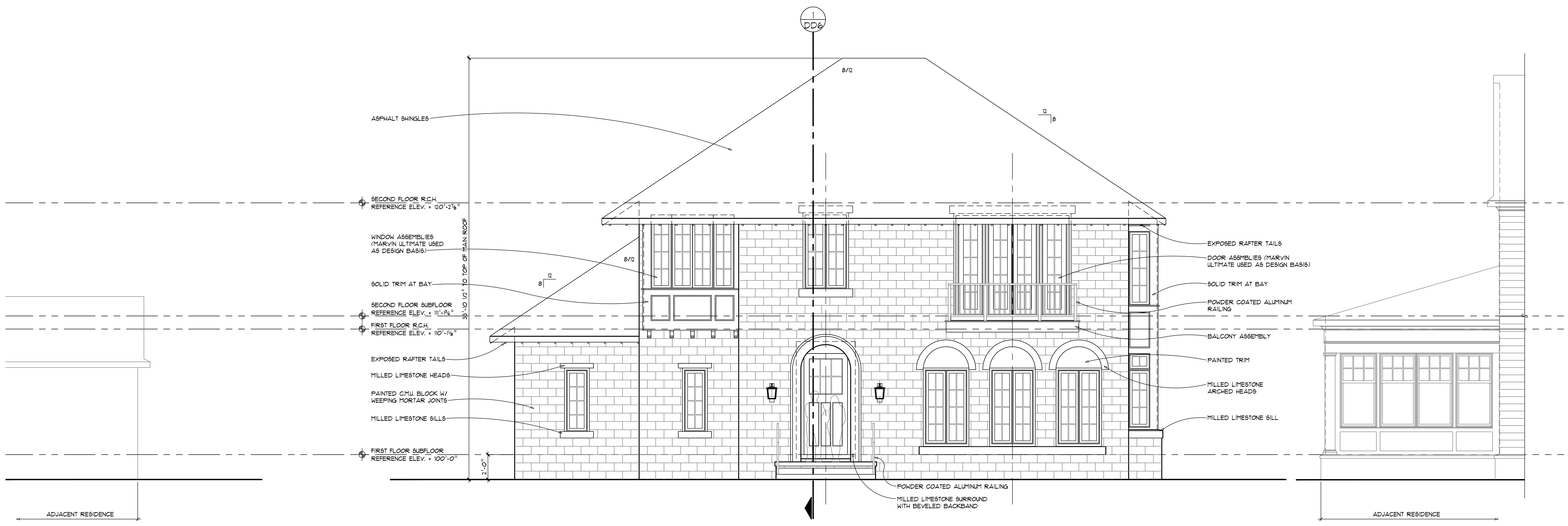
ARCHITECT'S SEAL

SHEET NO.

DD3



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PROPOSED FRONT (SOUTHWEST) ELEVATION

SCALE: 1/4" = 1'-0"

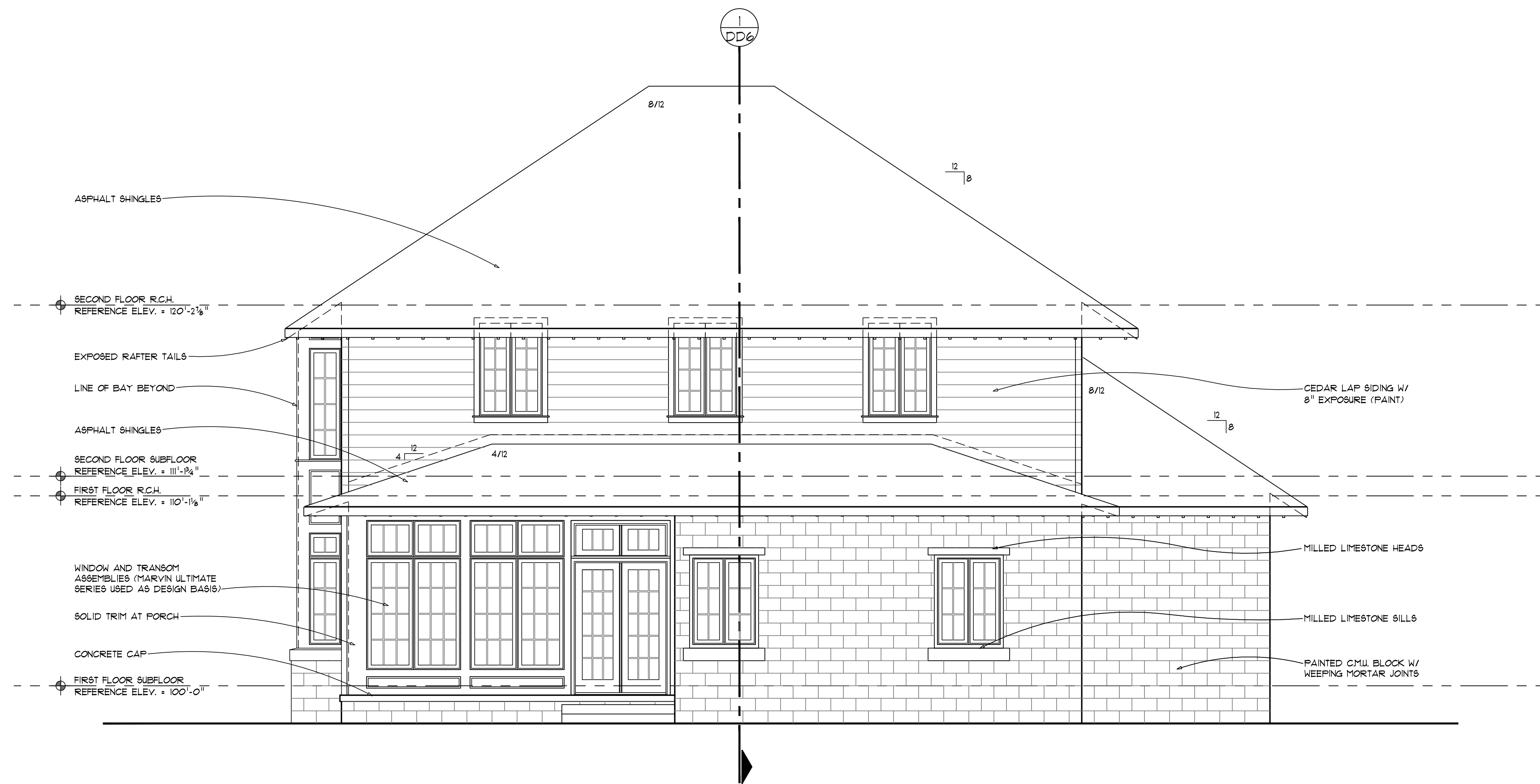
AVG. BUILDING HEIGHT CALCULATION:		
1.	3060 IROQUOIS	= 216'-7"
2.	2984 IROQUOIS	= 130'-6"
3.	2970 IROQUOIS	= 132'-0"
4.	2950 IROQUOIS	= 138'-8"
5.	2940 IROQUOIS	= 130'-9"
6.	2924 IROQUOIS	= 134'-3"
7.	2910 IROQUOIS	= 134'-1"
8.	2995 IROQUOIS	= 128'-11"
AVERAGE:		= 132'-0"
3020 IROQUOIS		= 33'-10"



PROPOSED SIDE (SOUTHEAST) ELEVATION

SCALE: 1/4" = 1'-0"

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PROPOSED REAR (NORTHEAST) ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SIDE (NORTHWEST) ELEVATION

SCALE: 1/4" = 1'-0"

JOB NO.

24029

DRAWN BY

LIP

COO BY

RGC

RELEASE DATE

Client Review - 12.18.2024
HDC Submission - 01.21.2025
HDC Change - 01.30.2025

REVISION NO.

ARCHITECTS SEAL

SHEET NO.

DD5

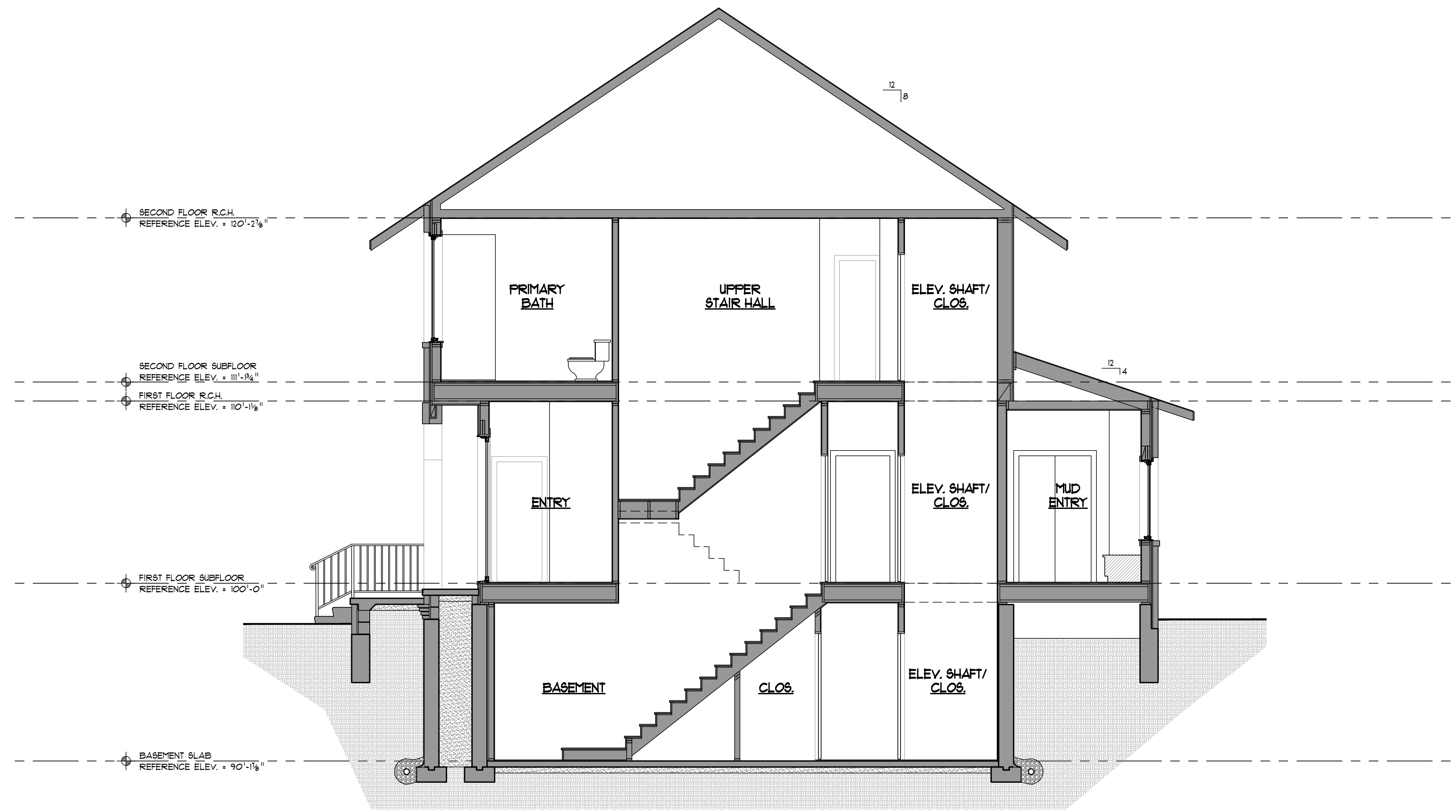
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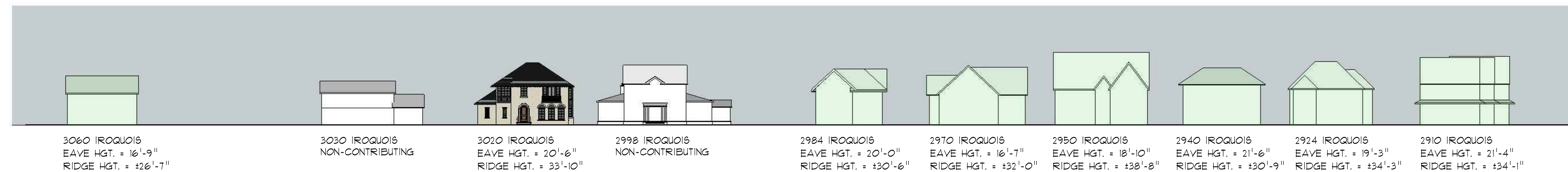
1
DD6 CONCEPTUAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

JOB NO.	24029
DRAWN BY	LIP
COO BY	RGC
RELEASE DATE	

HDC Submission - 01.21.2025
REVISION NO.

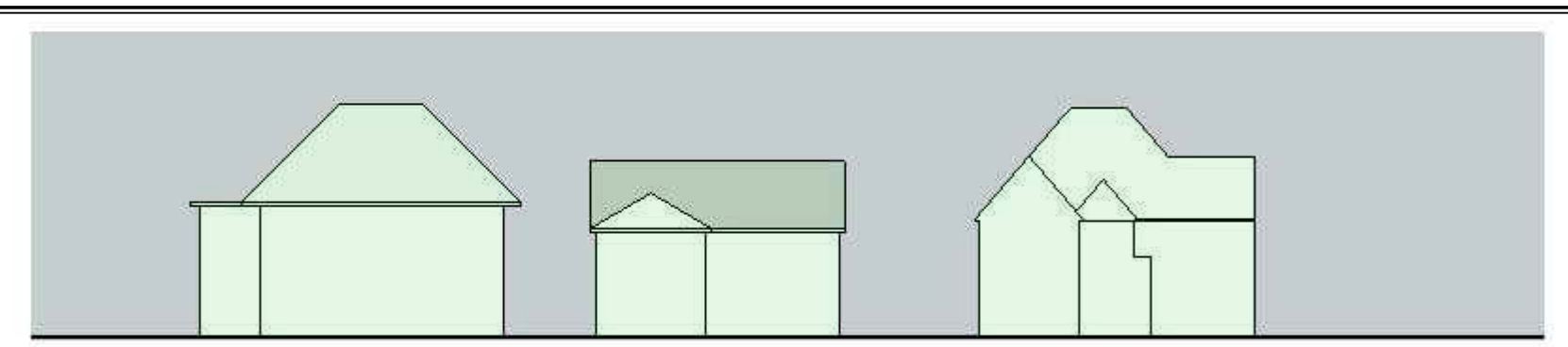
ARCHITECTS SEAL

SHEET NO.
DD6



STREETSCAPE VIEW - IROQUOIS AVE. (EAST SIDE)

SCALE: 1" = 30'-0"



STREETSCAPE VIEW - IROQUOIS AVE. (WEST SIDE - ACROSS THE STREET)

SCALE: 1" = 30'-0"



PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS GOETHE ST.

NO SCALE



PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS CHARLEVOIX ST.

NO SCALE



PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS GOETHE ST.

NO SCALE



PERSPECTIVE VIEW - IROQUOIS AVE. TOWARDS GOETHE ST.

NO SCALE

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VIEW FROM STREET (SOUTH)

NO SCALE



VIEW FROM STREET (SOUTHWEST)

NO SCALE



VIEW FROM STREET (WEST)

NO SCALE



VIEW FROM REAR (NORTH)

NO SCALE



VIEW FROM REAR (EAST)

NO SCALE



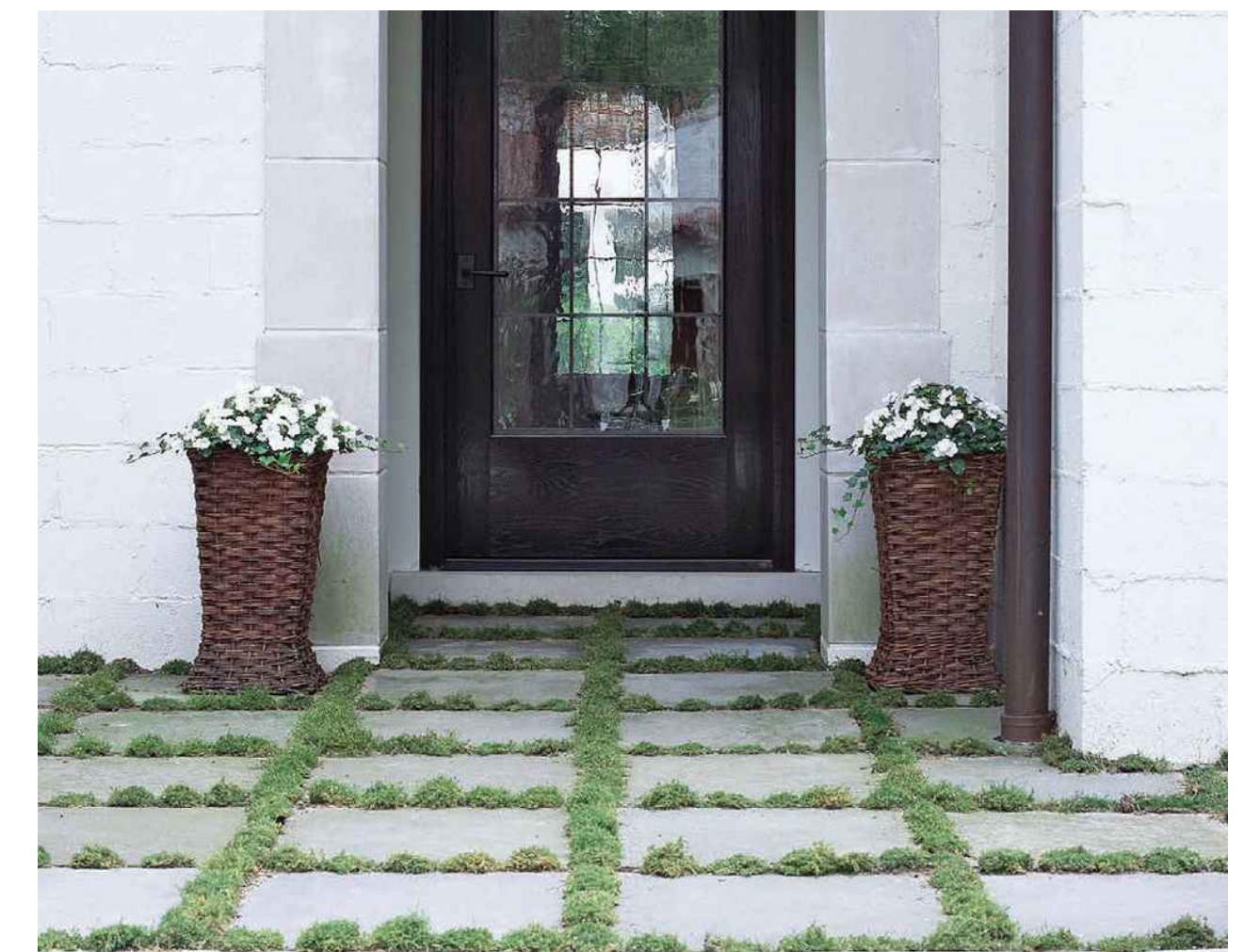
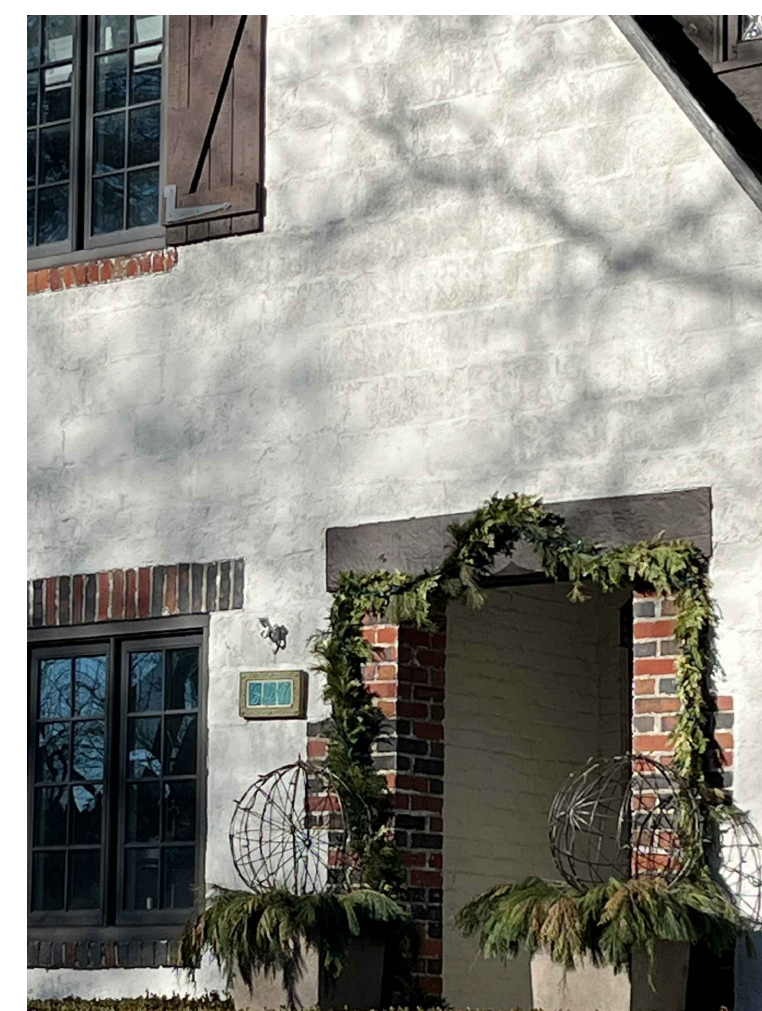
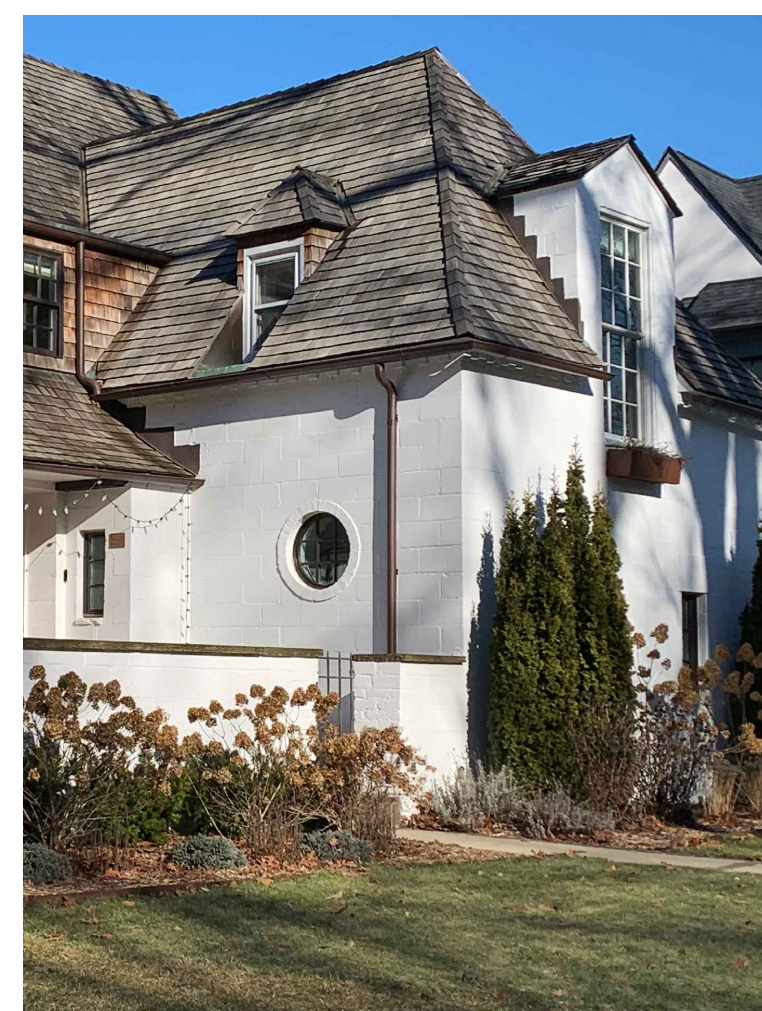
CMU BLOCK HOUSE EXAMPLES

NO SCALE



CMU BLOCK HOUSE EXAMPLES

NO SCALE



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VIEW FROM STREET (SOUTH) - ALTERNATE

NO SCALE



VIEW FROM STREET (SOUTHWEST) - ALTERNATE

NO SCALE



VIEW FROM STREET (WEST) - ALTERNATE

NO SCALE



VIEW FROM REAR (NORTH) - ALTERNATE

NO SCALE



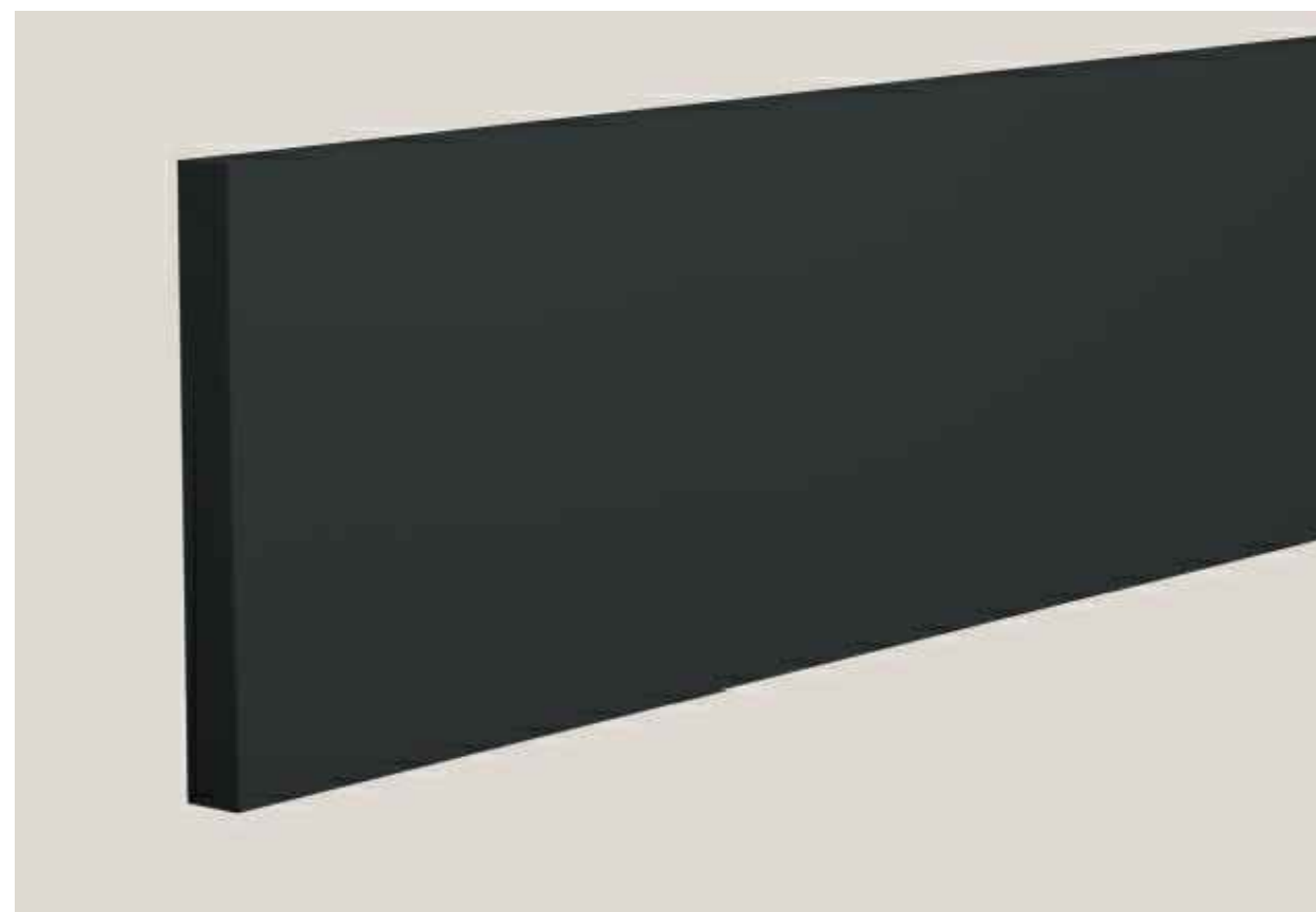
VIEW FROM REAR (EAST) - ALTERNATE

NO SCALE

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ROOF - ARCHITECTURAL DIMENSIONAL SHINGLES - BLACK



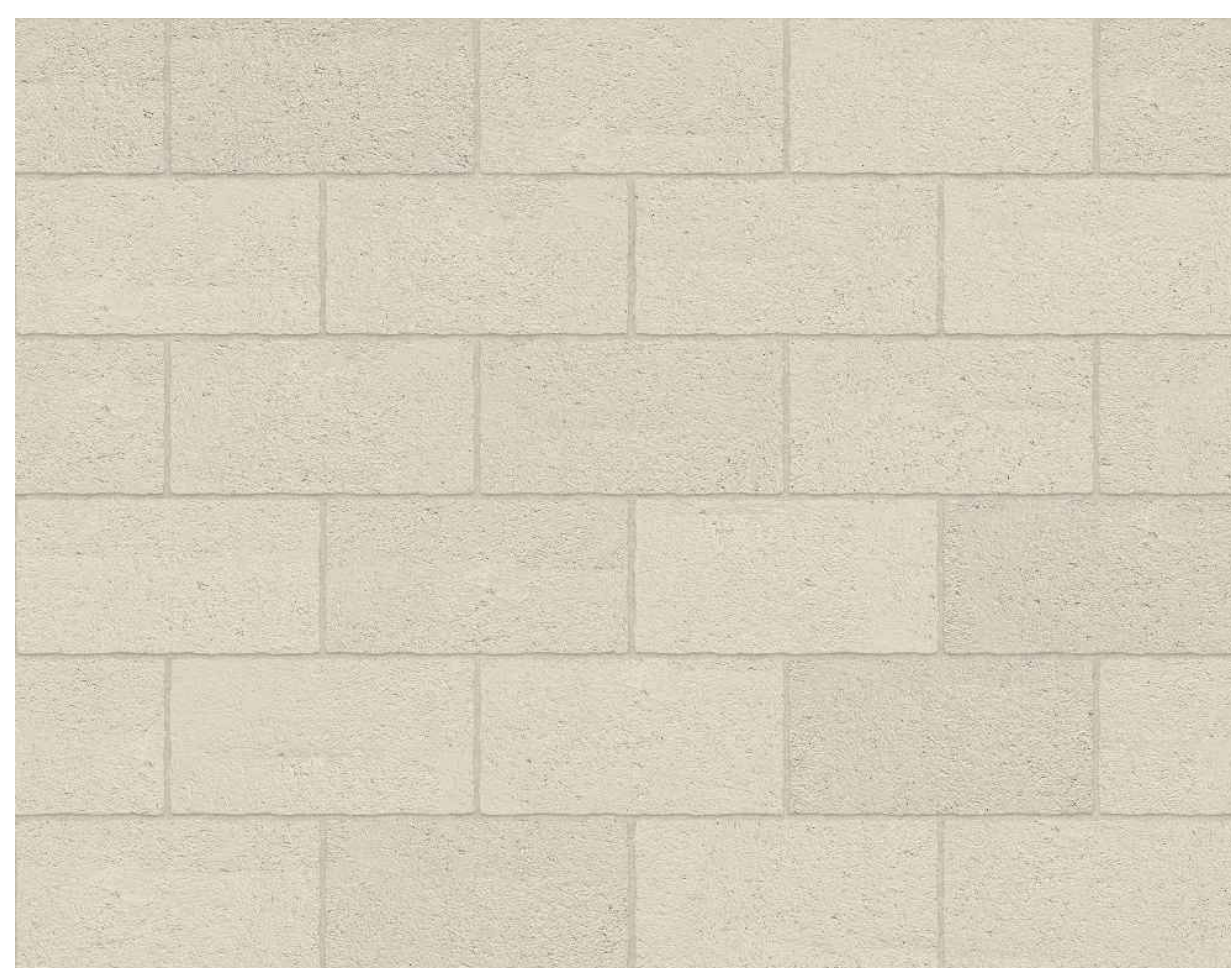
TRIM BOARDS - PAINTED WOOD - BLACK



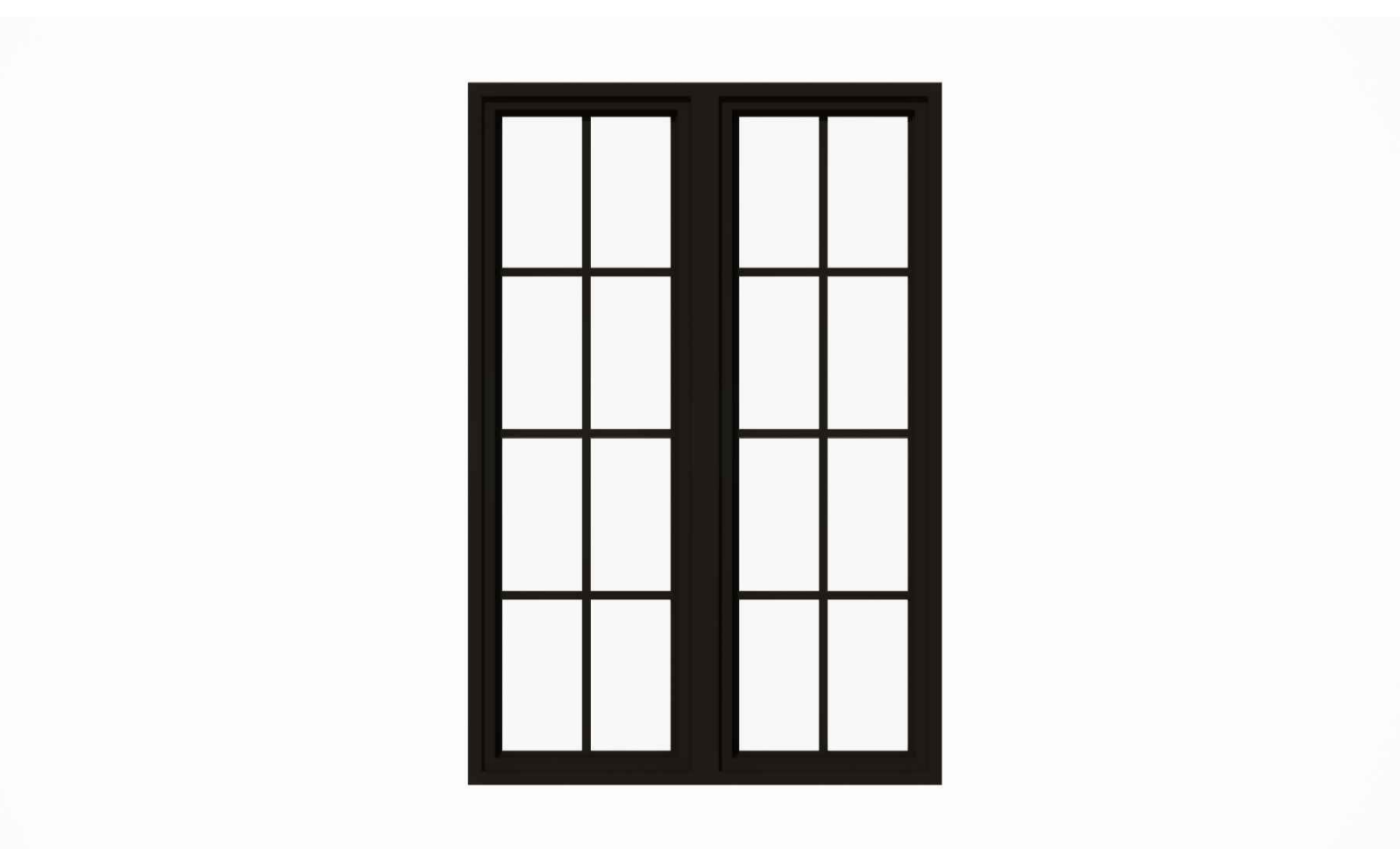
6" HALF ROUND ALUMINUM GUTTERS - PAINTED TO MATCH TRIM



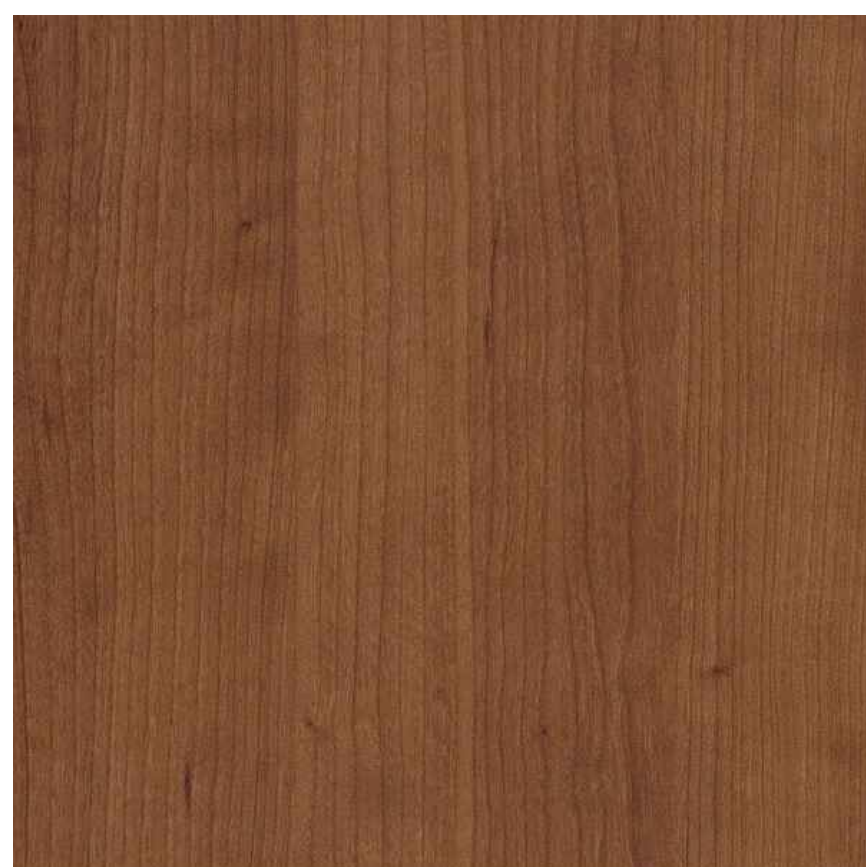
SIDING - PAINTED WOOD LAP SIDING - (COLOR MATCH TO C:4 YELLOWISH WHITE)



PAINTED CMU BLOCK (COLOR MATCH TO C:4 YELLOWISH WHITE)



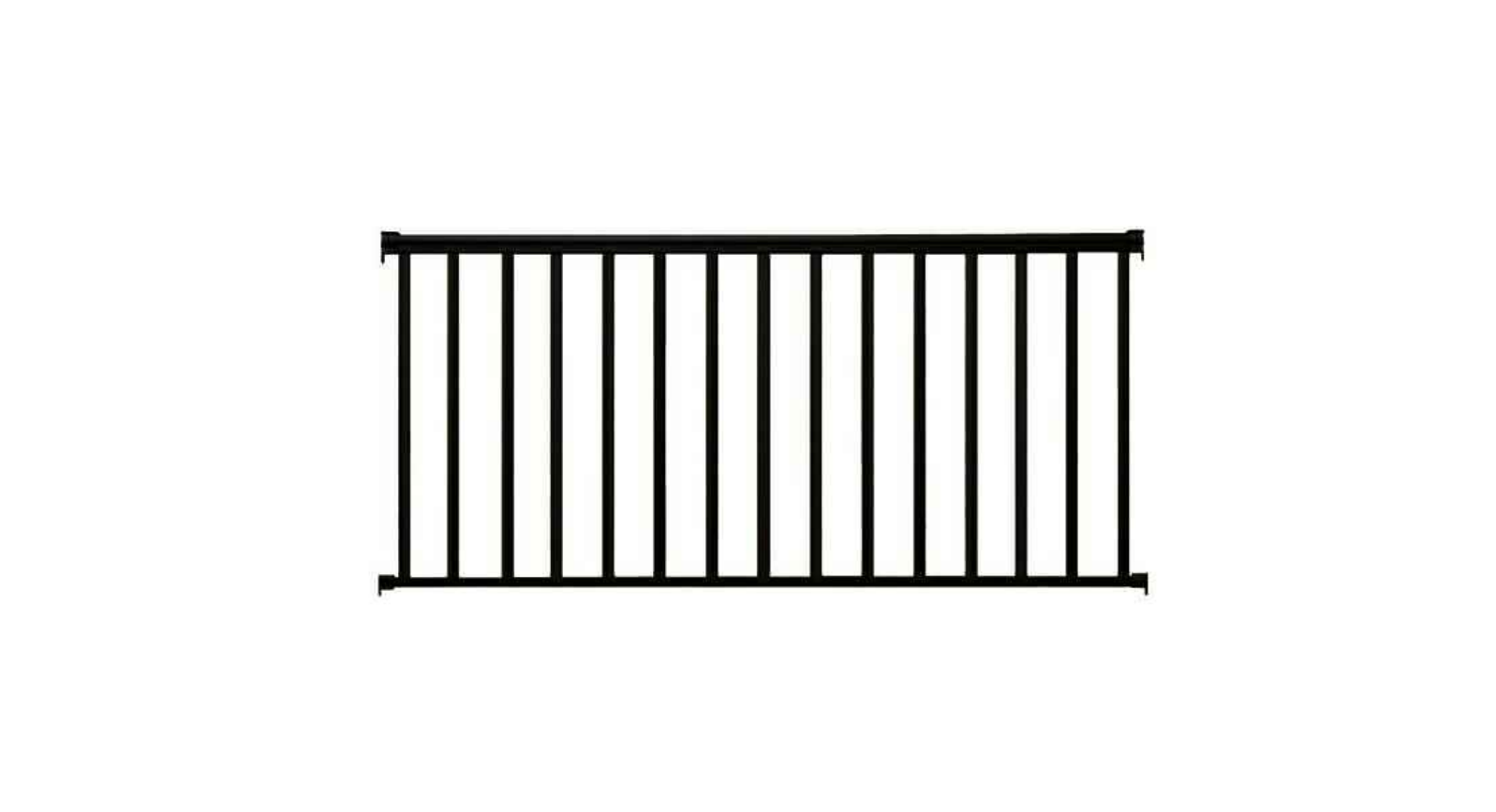
WINDOWS - MARVIN ULTIMATE - BLACK FINISH



ENTRY DOOR - STAINED WOOD



INDIANA BUFF LIMESTONE



POWDER COATED ALUMINUM RAILINGS - BLACK

EXTERIOR MATERIAL SELECTIONS

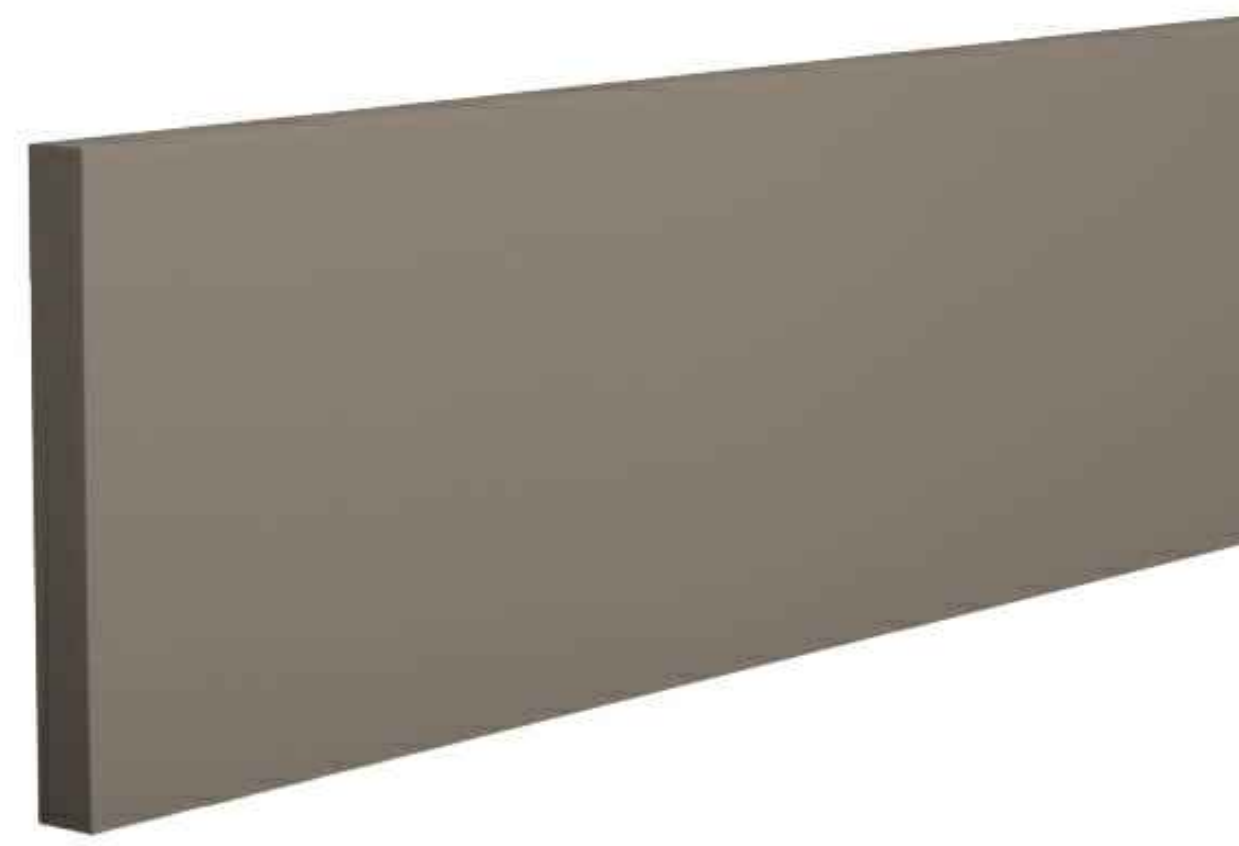
NO SCALE

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Exterior Materials



ROOF - ARCHITECTURAL DIMENSIONAL SHINGLES - BLACK



TRIM BOARDS - PAINTED WOOD - SW 2840



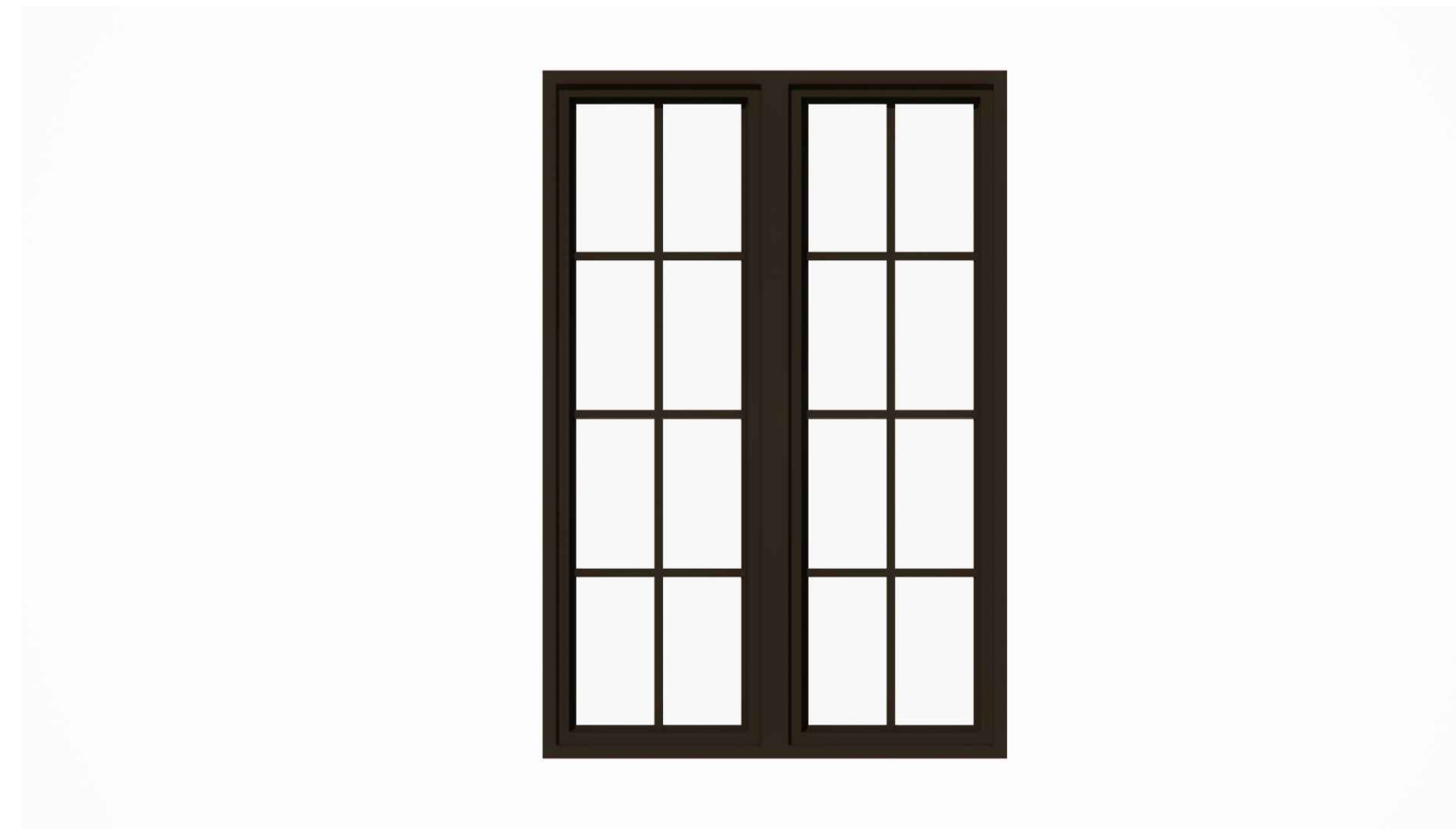
6" HALF ROUND ALUMINUM GUTTERS - PAINTED TO MATCH TRIM



SIDING - PAINTED WOOD LAP SIDING - (COLOR MATCH TO C:4 YELLOWISH WHITE)



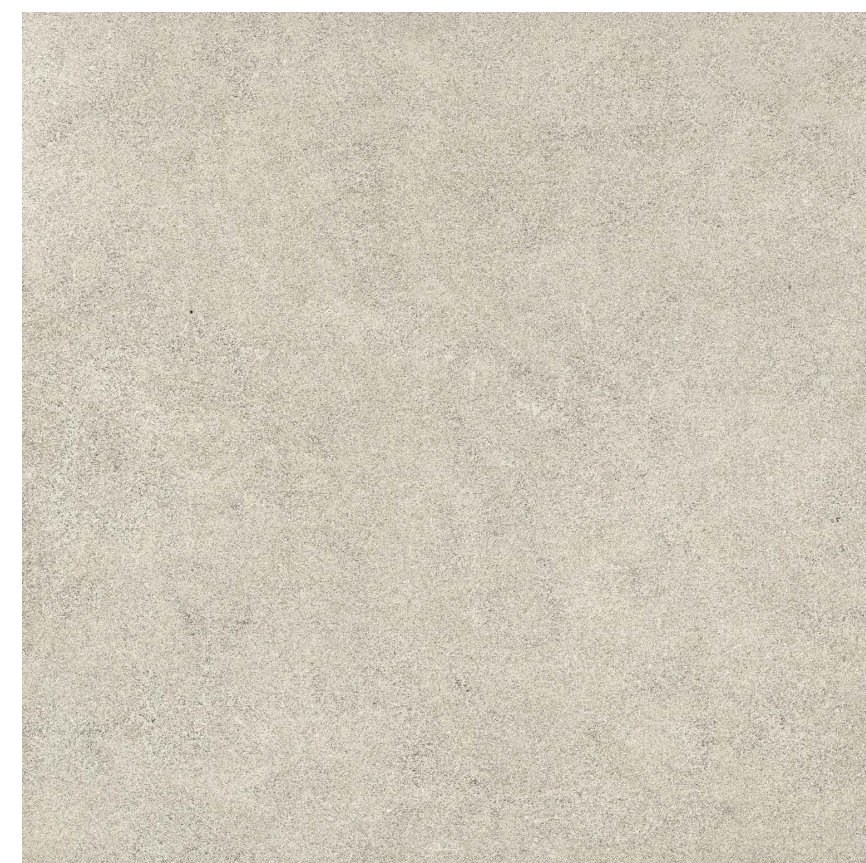
PAINTED BRICK VENEER (COLOR MATCH TO C:4 YELLOWISH WHITE)



WINDOWS - MARVIN ULTIMATE - BRONZE FINISH



ENTRY DOOR - STAINED WOOD



INDIANA BUFF LIMESTONE



POWDER COATED ALUMINUM RAILINGS - BRONZE

EXTERIOR MATERIAL SELECTIONS - ALTERNATE

NO SCALE