



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

<b>APPLICATION ID</b>
HDC2024-00560

## PROPERTY INFORMATION

<b>ADDRESS(ES):</b> 1819 Leverette
<b>HISTORIC DISTRICT:</b> Corktown

**SCOPE OF WORK: (Check ALL that apply)**

- |  |   |                                       |   |   |                                |
|--|---|---------------------------------------|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/ Doors | <input checked="" type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting     | <input checked="" type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/Balcony   | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Demolition     | <input type="checkbox"/> Signage                  | <input type="checkbox"/> New Building | <input checked="" type="checkbox"/> Addition              | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) |                                |

<b>BRIEF PROJECT DESCRIPTION:</b> Adding a first floor bathroom to the back of the house.
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## APPLICANT IDENTIFICATION

<b>TYPE OF APPLICANT:</b> Property Owner/Homeowner			
<b>NAME:</b> Elena Margaret Herrada	<b>COMPANY NAME:</b> N/A		
<b>ADDRESS:</b> 1819 Leverette	<b>CITY:</b> Detroit	<b>STATE:</b> MI	<b>ZIP:</b> 48216
<b>PHONE:</b> +1 (313) 974-0501	<b>EMAIL:</b> Elenamherrada2@gmail.com		

## I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that I am the legal owner and occupant of the subject property and that the information on this application is true and correct.

Signed by:   
13CFE818D093847D...

09/29/2024  
DATE

SIGNATURE




**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**



**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

<b>ePLANS PERMIT NUMBER:</b> <small>(only applicable if you've already applied for permits through ePLANS)</small>	BLD2024-011951
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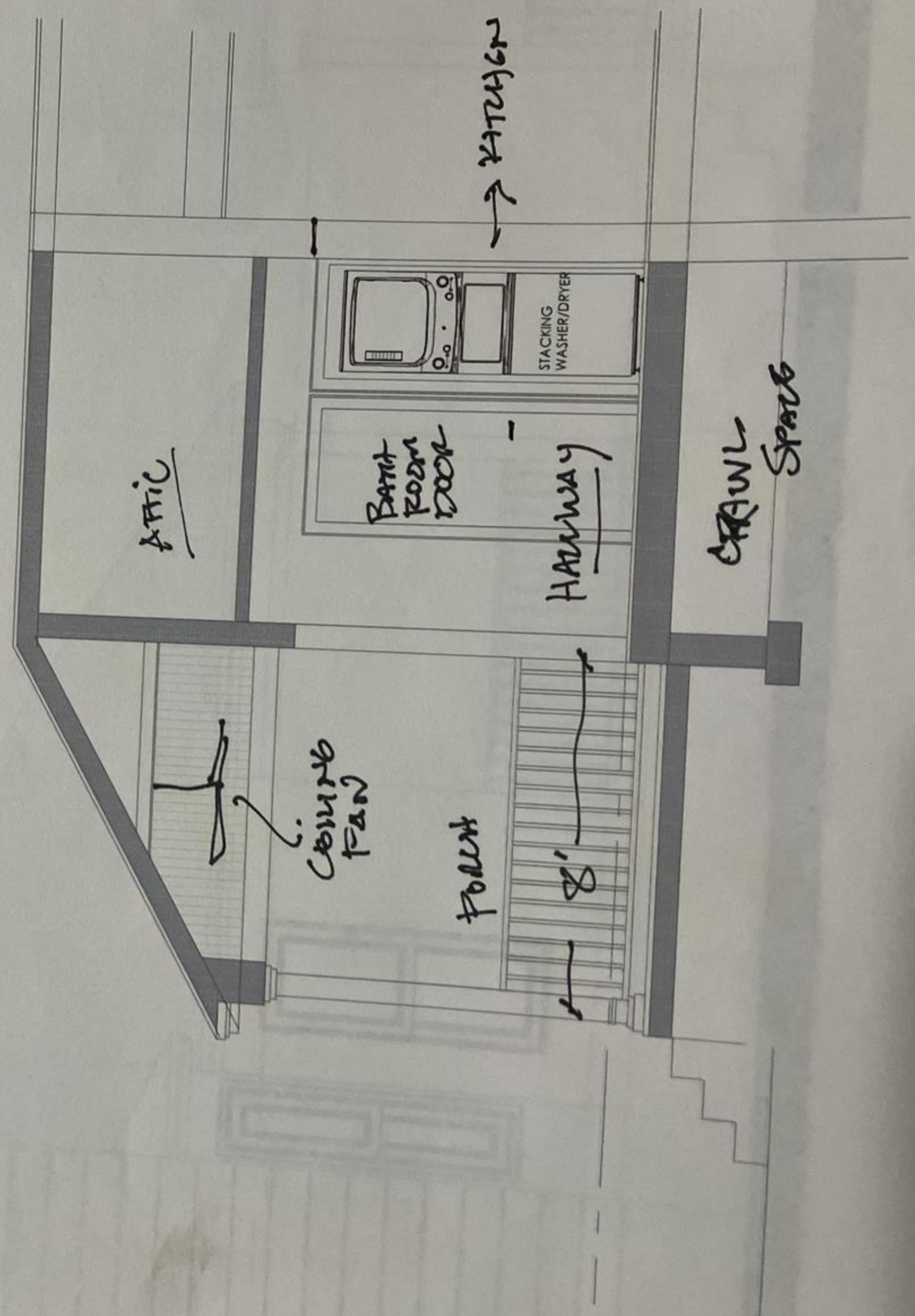
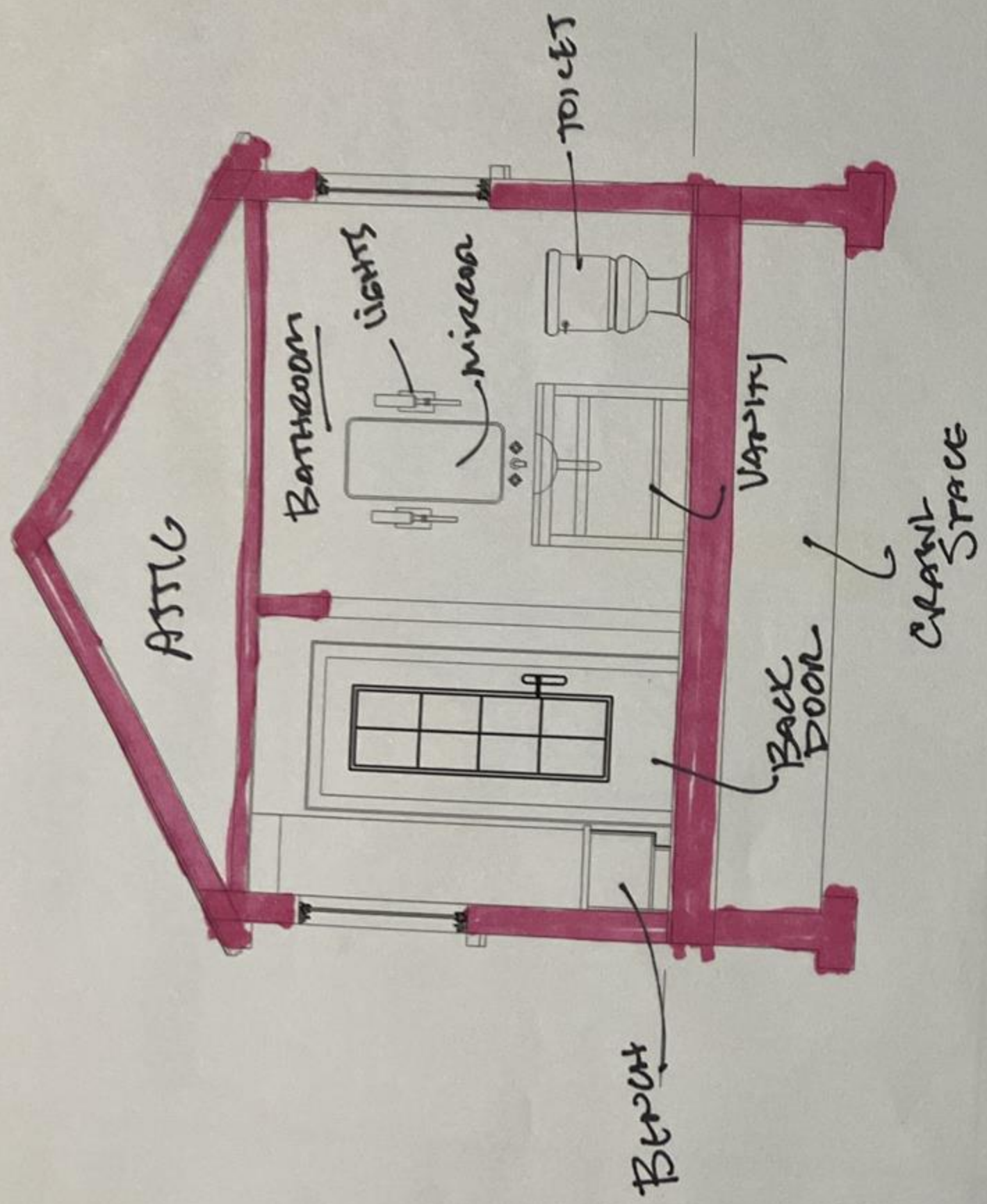
**GENERAL**

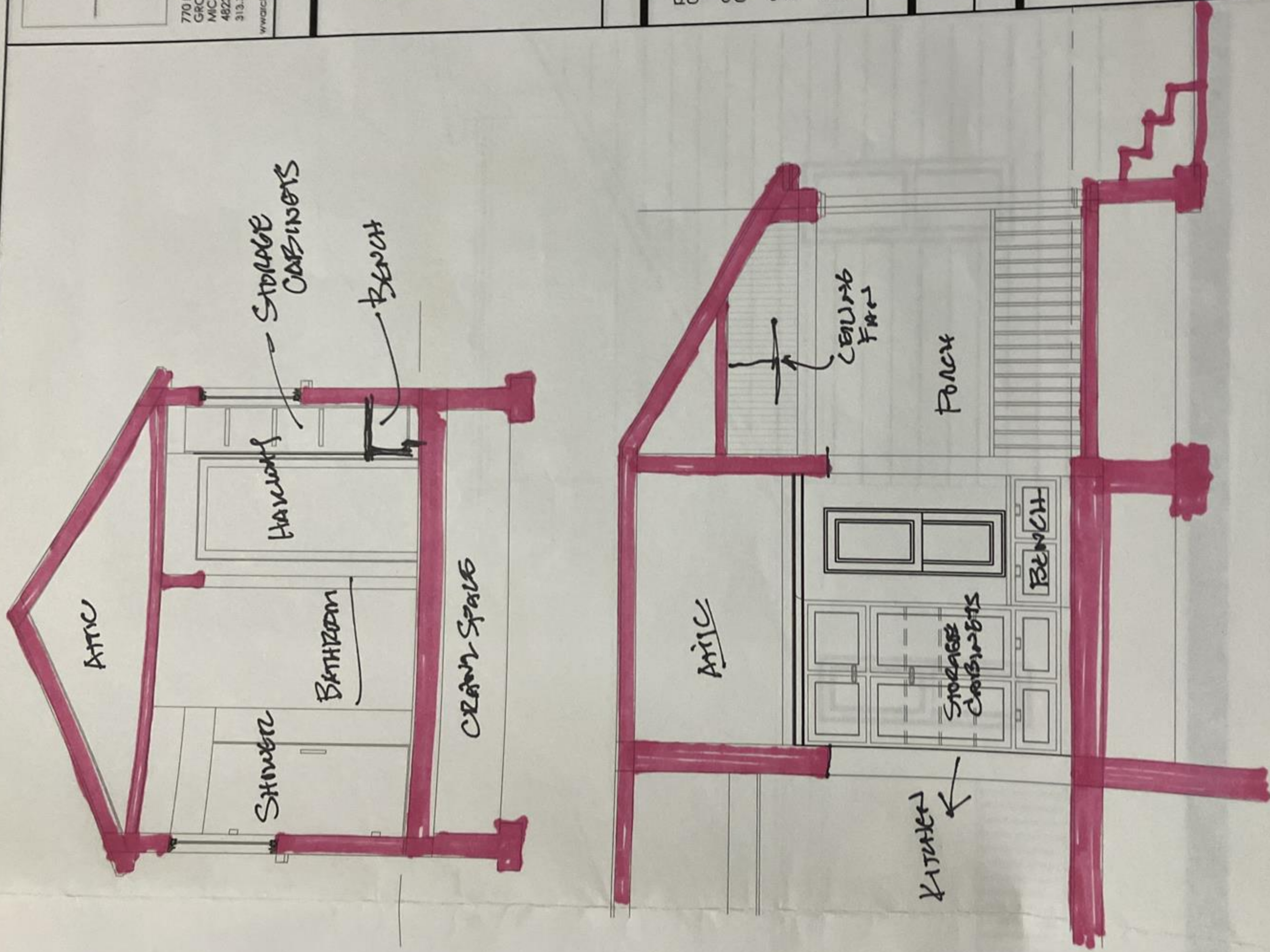
<p><b>1. DESCRIPTION OF EXISTING CONDITION</b> <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>I need to add a first floor bathroom to the back of the house. The back porch will be demolished, and the bathroom will go where it currently stands. This is necessary for accessibility to a relative who will be coming to stay with me. It will be a full bathroom and space for storage.</p>	
<p><b>2. PHOTOGRAPHS</b> <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p><b>3. DESCRIPTION OF PROJECT</b> <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Addition of the bathroom because there is none on the first floor. It will include walls in a roof windows in a door. It will open into the backyard where the current back porch opens into the yard.</p>	
<p><b>4. DETAILED SCOPE OF WORK</b> <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>Foundation will be a vented black foundation 42 inches below the ground. Footing Shelby installed in compliance with our 408.3041.et. Seq. The wall studs will be 16 inches on center with one 24x48 inch window for natural light on both the east side and west side of addition. The roof will be made with asphalt with a 4/12 pitch with matching current color. Bathroom:,sink standard Running schedule Schedule40 3 inch pipe for the shower apex 7 foot run; Running schedule 40 2 inch pipe for the sink approximately 6 feet. Running schedule 40 3 inch pipe; running schedule 40 3 inch pipe for the toilet into a wye that will convert to a 4 inch schedule. One gfci outlet. The bathroom will be lit with 2 six inch recessed lights. The shower will have one 3 inch recessed light; There will be 1 3 gang box i</p>	
<p><b>5. BROCHURES/CUT SHEETS</b> <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

## ADDITIONAL DETAILS

<p><b>6. WINDOWS/DOORS</b> <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i></p>	
<p><b>7. DEMOLITION</b> <i>If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.</i></p>	







# PROPOSED FLOOR PLAN

scale: 1/4" = 1'-0"

770 PEMBERTON  
GROSSE POINTE PARK  
MICHIGAN  
48230  
313.766.3815  
www.wendywardarchitecture.com

## PROJECT

**herrada**  
residence  
1819 leverette  
detroit, michigan

## REVISIONS

- preliminary design 06.17.2020
- owner review 09.02.2020
- city permits
- construction

## PROJECT

**20-500**

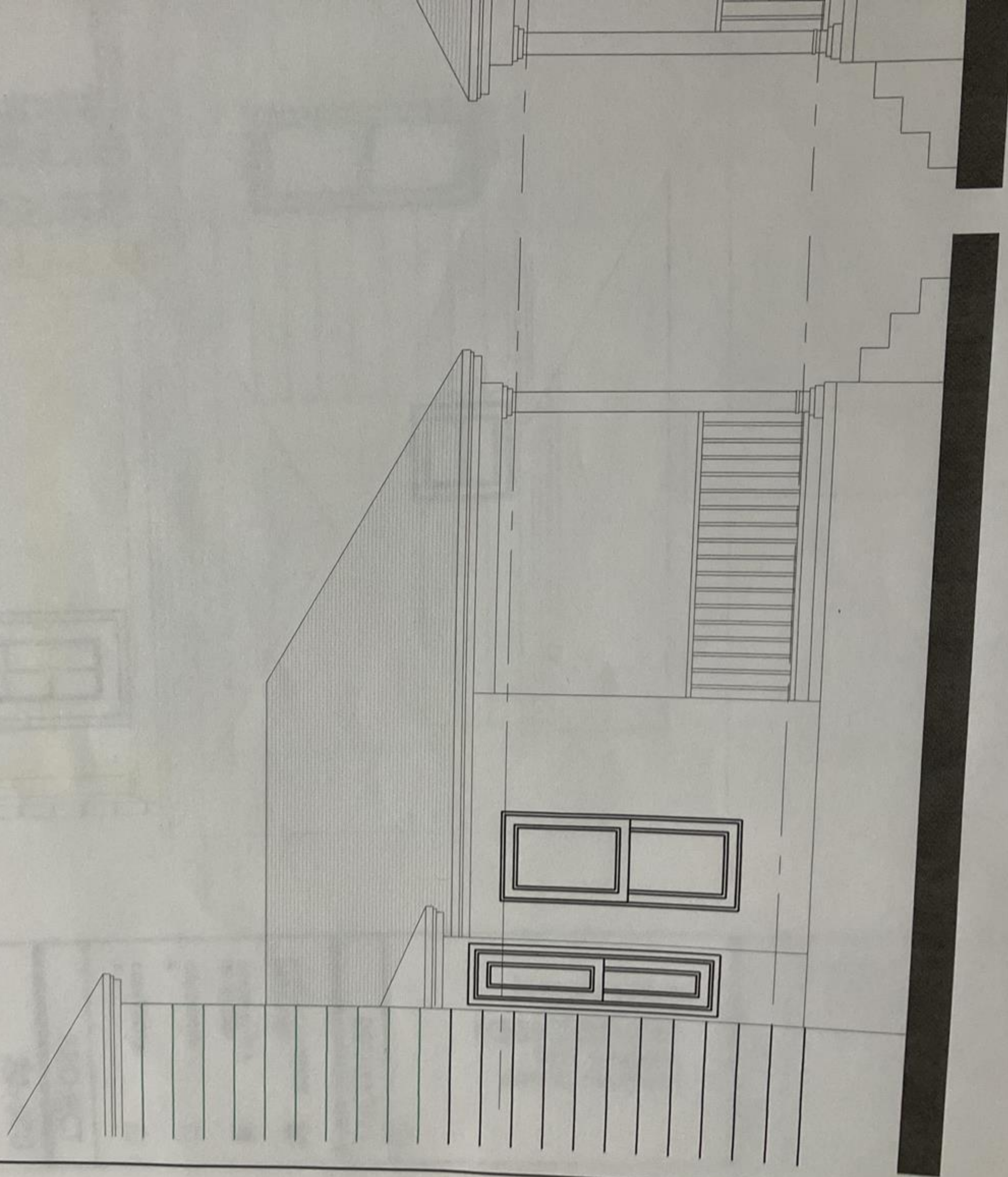
## TITLE

**exterior**  
**elevations**

do not scale drawings -  
scale as noted

# A-2

PROPOSED REAR ELEVATION



A-3

elevations  
exterior

770 PEMBERTON  
GROSSE POINTE PARK  
MICHIGAN  
48230  
313.766.3815  
wwarch@wendywardarchitecture.com

PROJECT

**herrada**  
residence  
1819 leverette  
detroit, michigan

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PROJECT

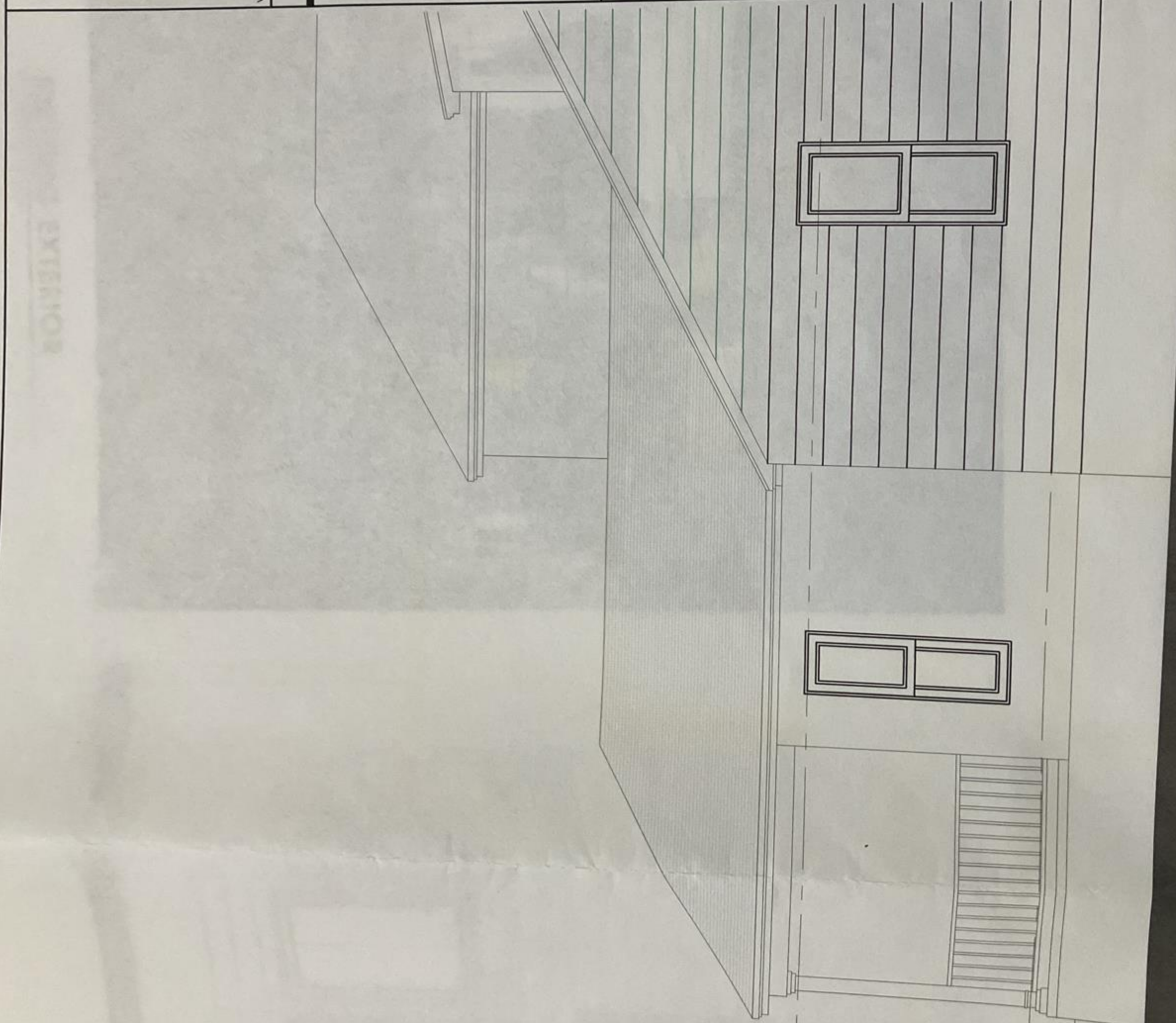
20-50

TITLE

**exterior  
elevation**

do not scale drawing  
scale as noted

**A-**



**PROPOSED FLOOR PLAN**

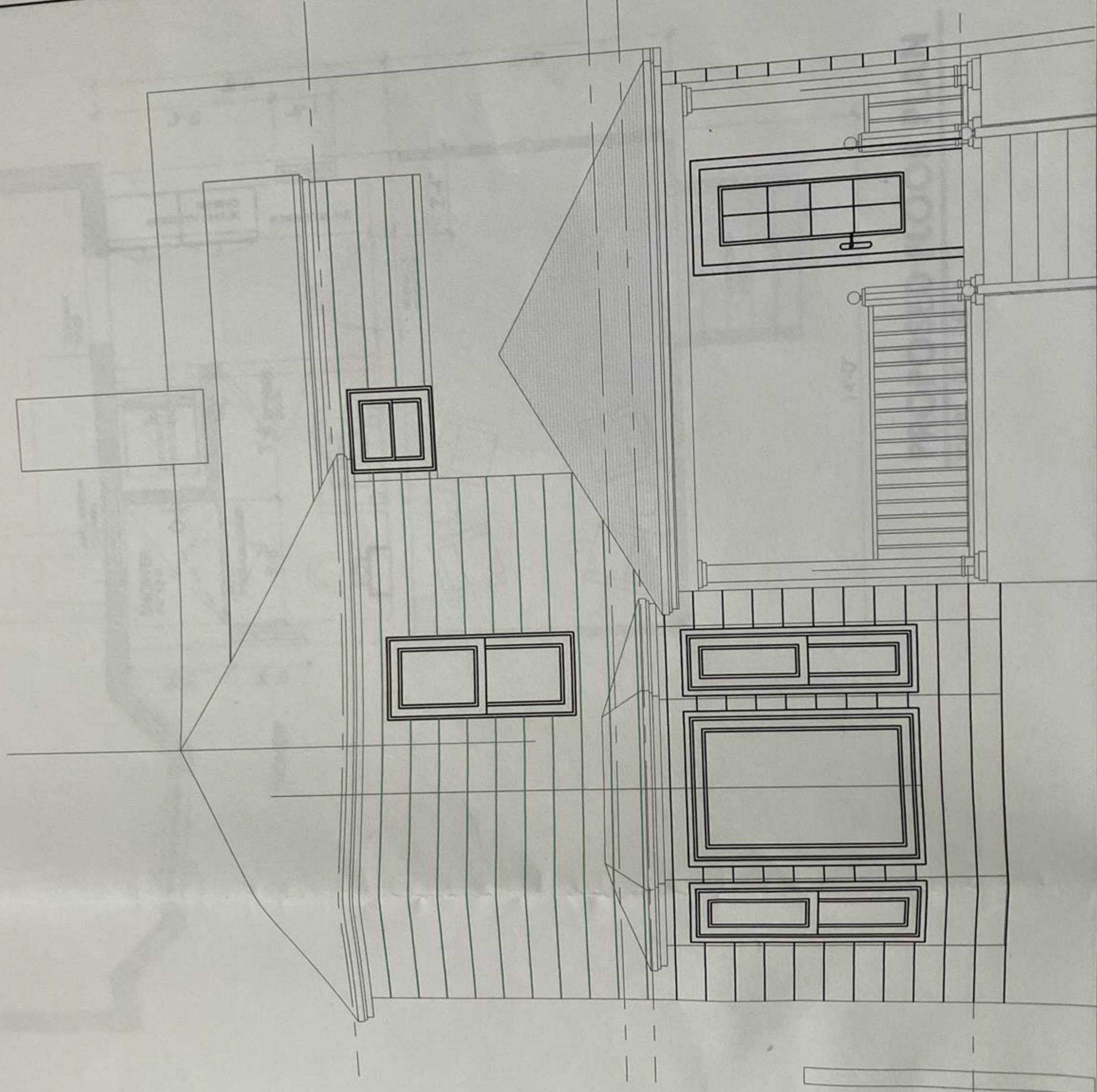
scale: 1/4" = 1'-0"





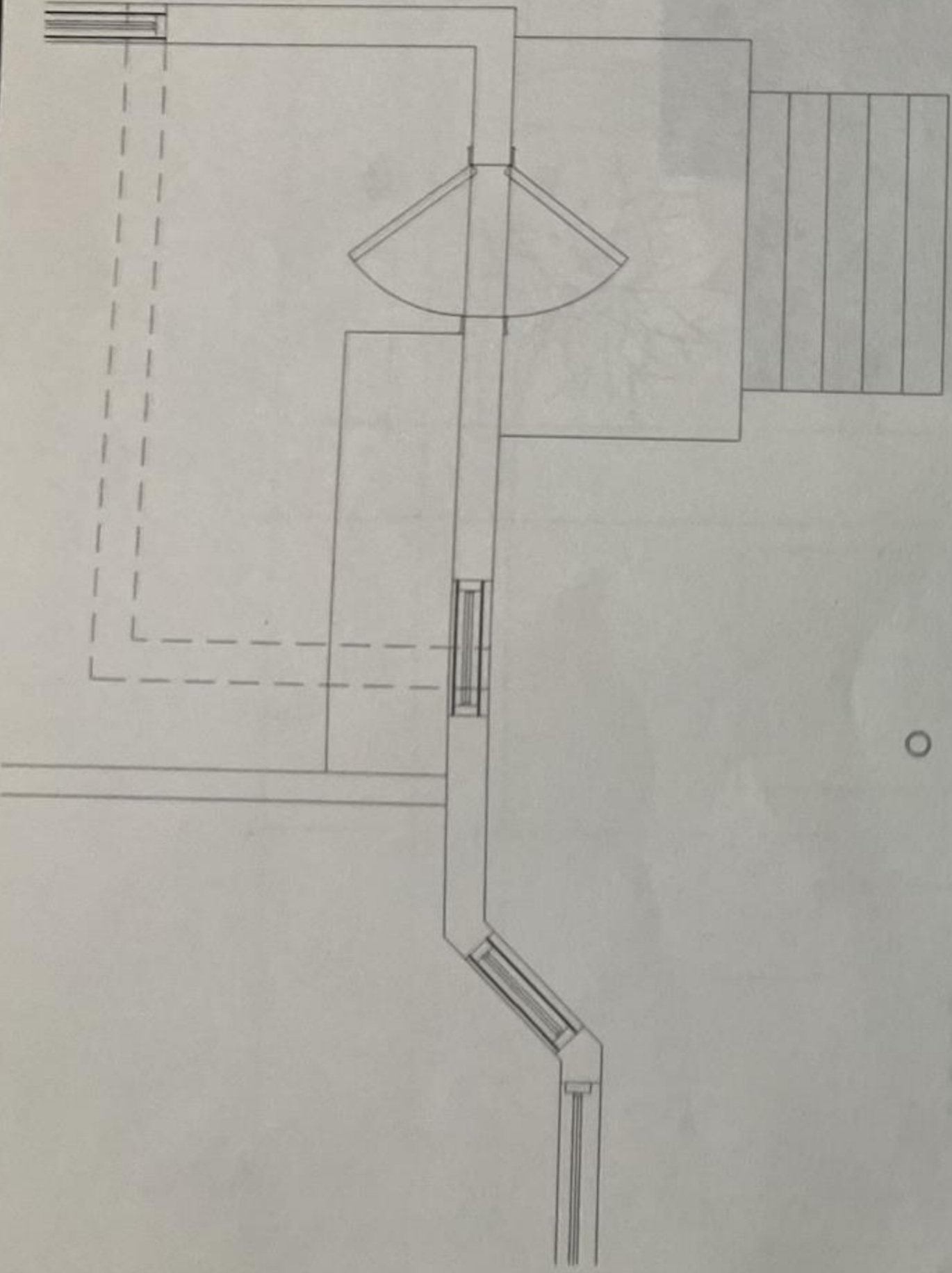
# EXISTING EXTERIOR

scale: 1/4" = 1'-0"



# PROPOSED REAR ELEVATION

scale: 1/4" = 1'-0"



**EXISTING FLOOR PLAN**

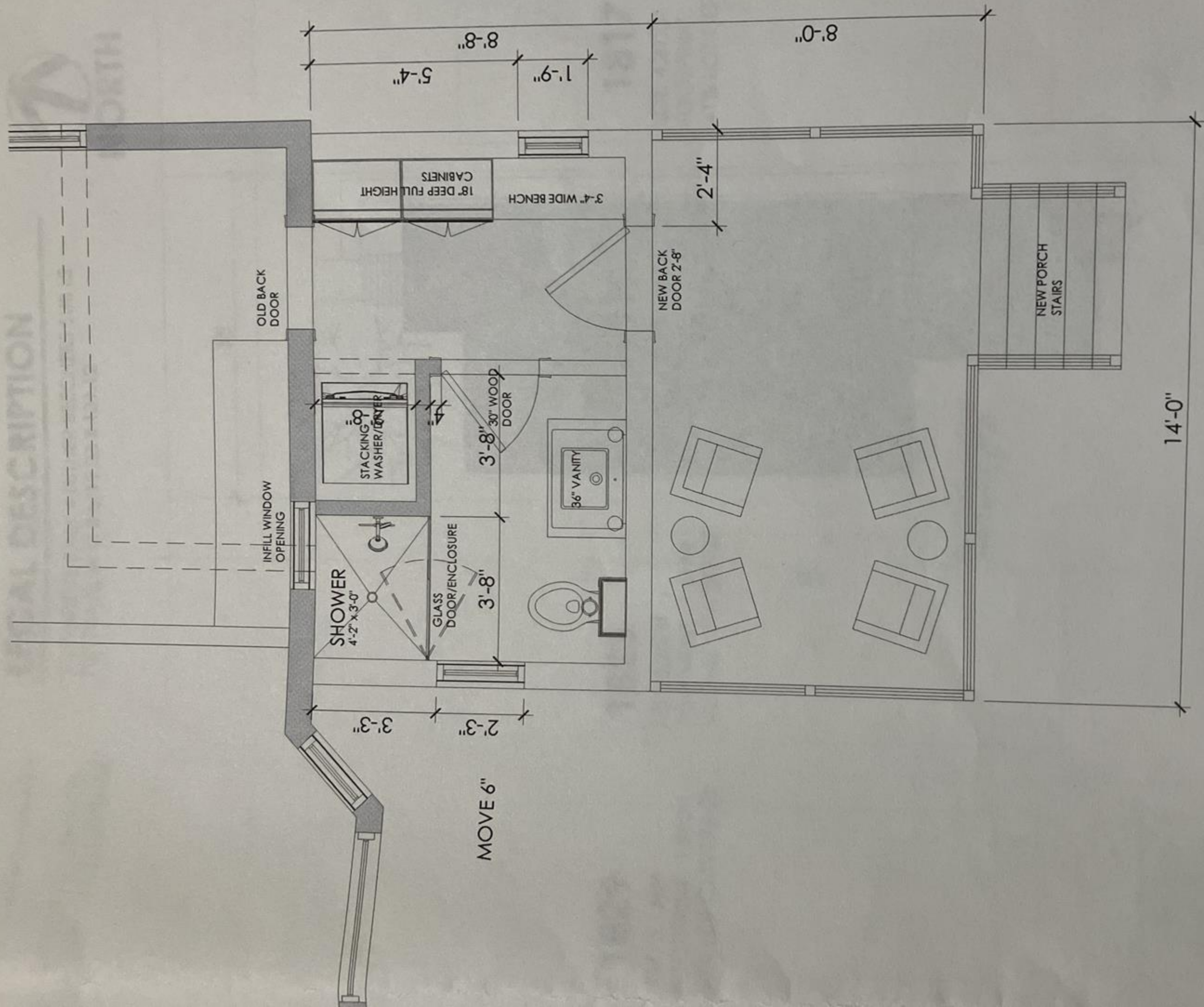
scale: 1/4" = 1'-0"

**EXISTING FLOOR PLAN**

scale: 1/4" = 1'-0"

770 W. W  
GRC 55 G  
MIC 6  
482 6  
313 6  
wwwarc

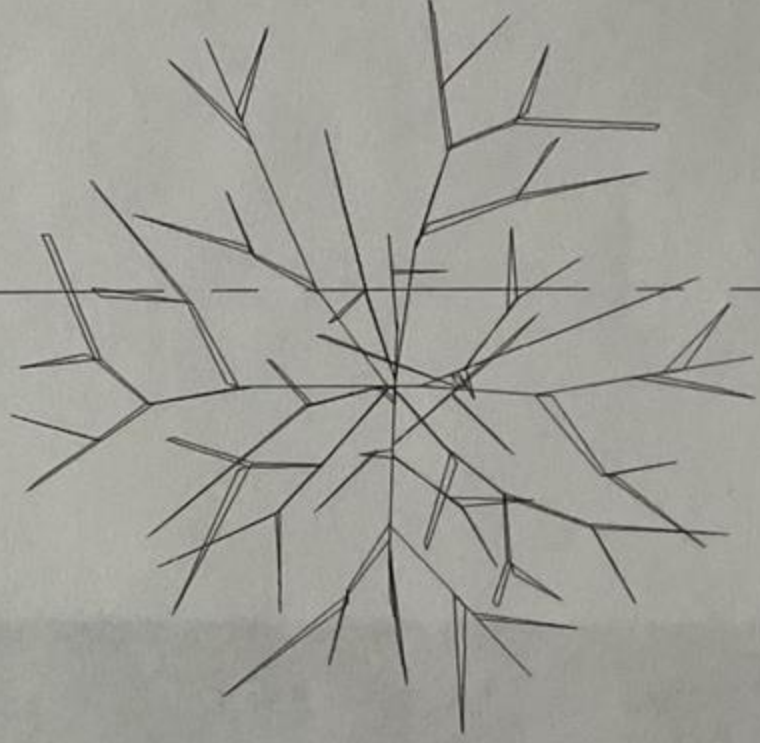
pre 06.1  
ow 09.0  
city x  
co x



# PROPOSED FLOOR PLAN

scale: 1/4" = 1'-0"

33'



**1823**

LOT: 3,267sf  
FOOTPRINT: 1,514sf  
46% LOT COVERAGE

131'

**1819**

LOT: 4,312sf  
FOOTPRINT: 1,290sf  
29% LOT COVERAGE

EXISTING BACK PORCH

**1817**

LOT: 4,312sf  
FOOTPRINT: 1,789sf  
41% LOT COVERAGE

**182**

LOT: 3,13  
FOOTPRINT:  
60% LOT

DINING R

1

# EXISTING SITE PLAN

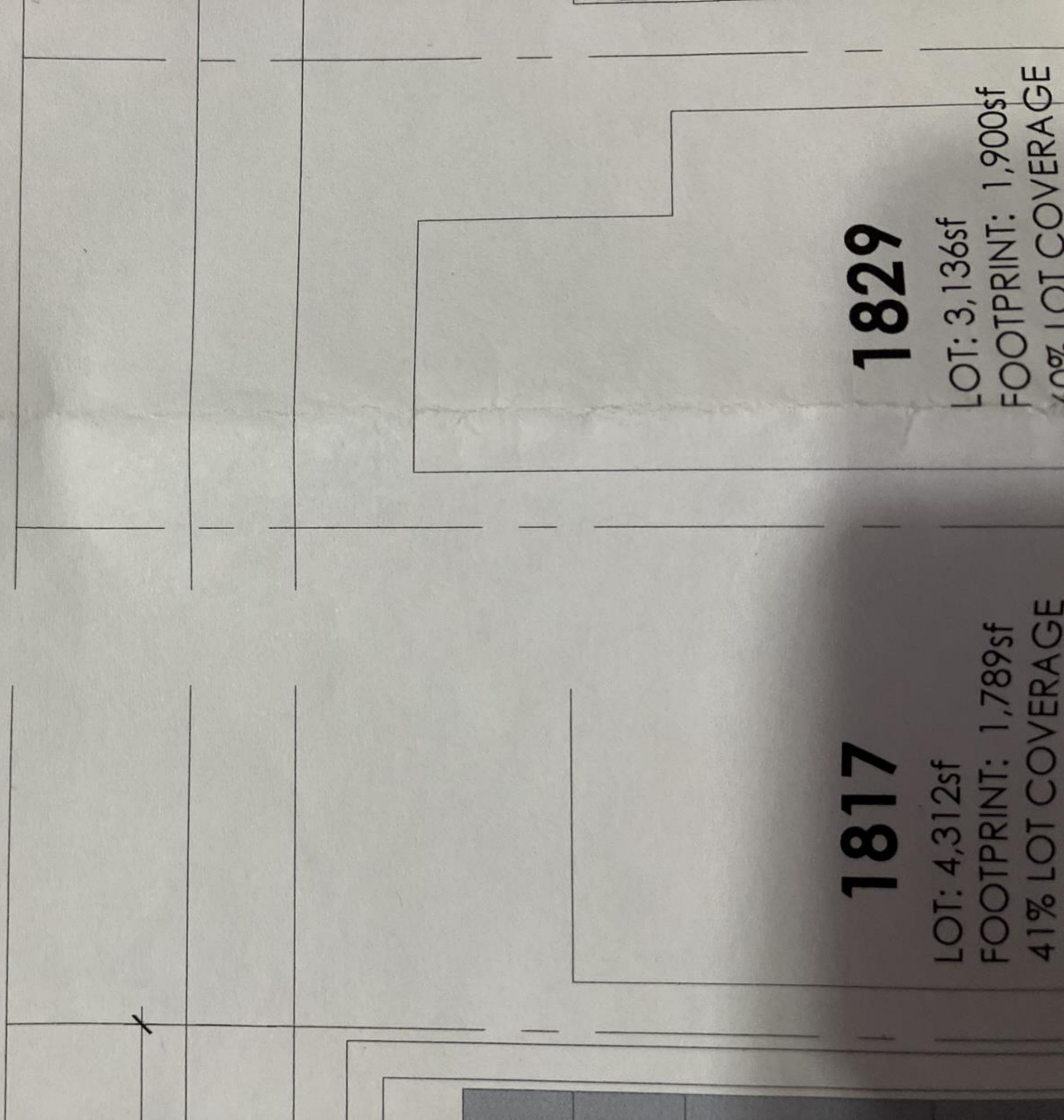
scale: 1/16" = 1'-0"

# DETAILS

PARCEL SQUARE FOOTAGE: 4,312sf

CURRENT HOUSE FOOTPRINT: 1,290sf 29% LOT COVERAGE

PROPOSED HOUSE FOOTPRINT: 1,412sf 32% LOT COVERAGE



**1817**

LOT: 4,312sf

FOOTPRINT: 1,789sf

41% LOT COVERAGE

**1829**

LOT: 3,136sf

FOOTPRINT: 1,900sf

60% LOT COVERAGE

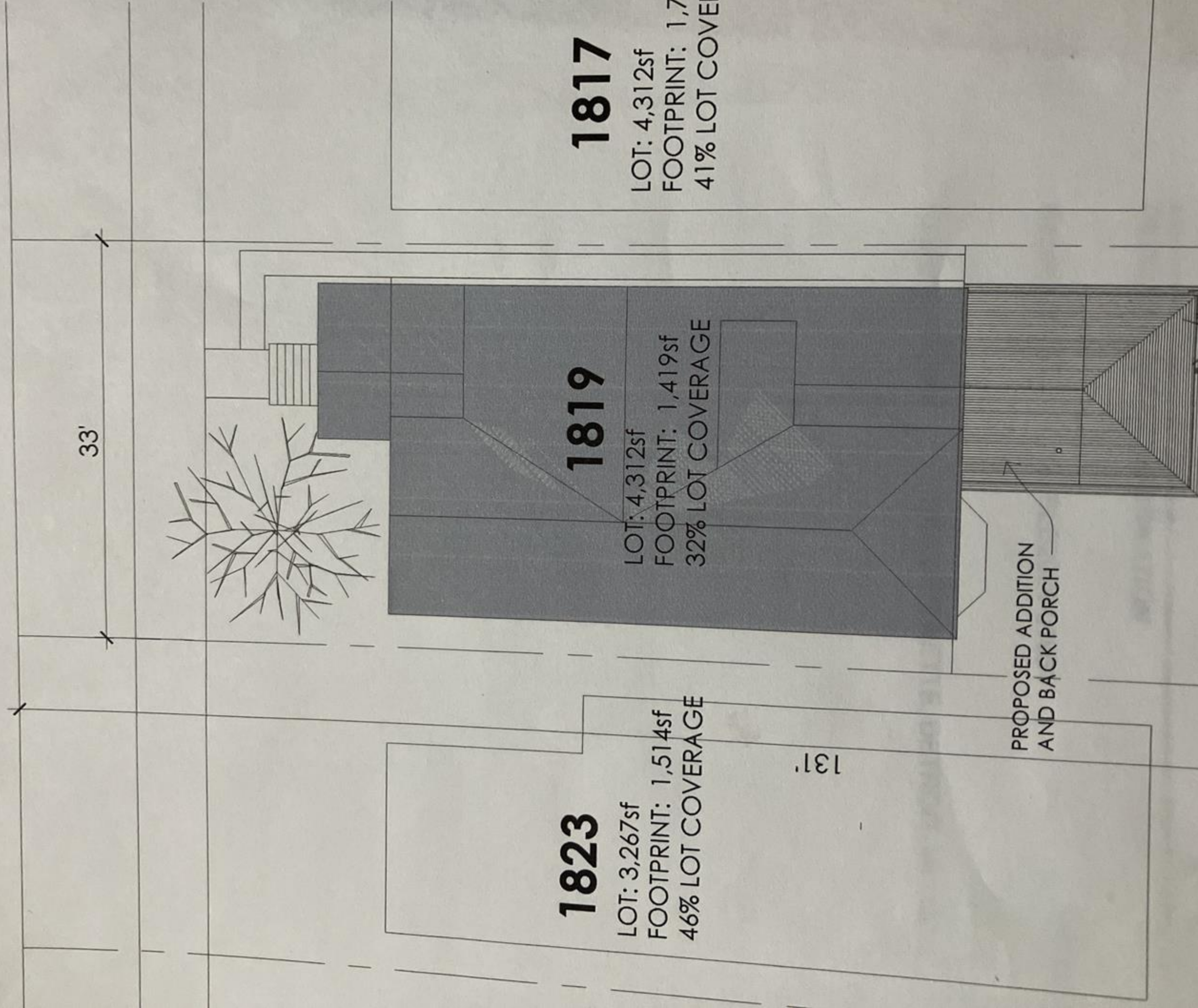
# LEGAL DESCRIPTION

S LEVERETTE 3 BLK 4 LUTHER BEECHERS SUB L2  
P27 PLATS, W C R 8/19 33 X 131.12



**NORTH**

AGE  
RAGE



**1823**

LOT: 3,267sf  
FOOTPRINT: 1,514sf  
46% LOT COVERAGE

**1819**

LOT: 4,312sf  
FOOTPRINT: 1,419sf  
32% LOT COVERAGE

**1817**

LOT: 4,312sf  
FOOTPRINT: 1,789sf  
41% LOT COVERAGE

PROPOSED ADDITION  
AND BACK PORCH

770 P W  
GROS E  
MICH 5  
4823C  
313.76 3

wwarch@ve

herrada

prelin  
06.17

owne  
09.02

city p  
x

cons  
x



City of Detroit  
Buildings, Safety Engineering and Environmental Department  
Coleman A. Young Municipal Center  
2 Woodward Avenue, 4th Floor, Detroit, Michigan 48226

Receipt No.: 181:5  
Receipt Date: 09/21/22

Applicant:  
Elena Margaret Herrada

**\*\*\*NOTICE-THIS IS NOT A PERMIT OR LICENSE\*\*\***

# RECEIPT

## RECORD & PAYER INFORMATION

Record ID : BLD2024-01951  
Record Type : Building Permit Application  
Payer : Elena Herrada  
Property Address : 1819 LEVERETTE, DETROIT, MI 48216



**City of Detroit  
Engineering and Environmental Department  
A. Young Municipal Center  
4th Floor, Detroit, Michigan 48226**

**Receipt No.: 1815537  
Receipt Date: 09/20/2024**

**FOR LICENSE\*\*\***

Building Permit Application

will be made with asphalt with a 4/12 pitch with matching current color.

ard  
chedule 40 3 inch pipe for the shower apx 7 foot run  
chedule 40 2 inch pipe for the sink approximately 6 feet  
chedule 40 3 inch pipe  
chedule 40 3 inch pipe for the toilet into a wye that will convert to a 4 inch

one gfci outlet  
will be a lit with 2 six inch recessed lights  
ill have one 3 inch recessed light  
3 gang box housing with deco switches no further than 18 inches from the door.

romex  
be tapped with a shut off valve for both hot and cold easily accessible 2 inch  
n  
d lights ran on 14/2 romex with a 20 amp breaker

sides with a fan forced 240 heater on 20 amp Siemens wired with 12/2romex  
e requesting:

40 various inches

e	Comments	Amount
		\$885.05

#	Quantity	Fee Amount	Current Paid
	885	\$885.05	\$885.05
		\$885.05	\$885.05

Description of Work

: Due to an illness of my sister, I am preparing my home for her to come with me. We need a bathroom added on.  
 Our foundation will be a vented block foundation 42 inches below the ground; footing in compliance with R 408.30401 et seq.  
 The wall studs will be 16 inches on center with one 24x48 inch window for natural light on the east side and west side of the addition.  
 The roof will be made with asphalt with a 4/12 pitch with matching current color.

Bathroom

Sink standard

Running schedule 40 3 inch pipe for the shower apx 7 foot run

Running schedule 40 2 inch pipe for the sink approximately 6 feet

Running schedule 40 3 inch pipe

Running schedule 40 3 inch pipe for the toilet into a wye that will convert that will convert to Schedule

We will have one gfci outlet

The bathroom will be a lit with 2 six inch recessed lights

The shower will have one 3 inch recessed light

There will be 1 3 gang box housing with deco switches no further than 18 inches  
 One vent

Wired with 12/2 romex

Laundry room

1/2 inch Pex will be tapped with a shut off valve for both hot and cold easily accessible schedule 40 drain

2 6 inch recessed lights ran on 14/2 romex with a 20 amp breaker

HVAC

We will heat both sides with a fan forced 240 heater on 20 amp Siemens wired  
 Permits that we are requesting:

Foundation

Roof

Electrical

Plumbing

2 Gfci

5 recessed lights

1 bathroom vent

apx 20 feet schedule 40 various inches

DETAIL

Payment Method

Credit Card

Reference

Comments

Work : Due to an illness of my sister, I am preparing my home for her to come with me. We need a bathroom added on.  
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Sink standard  
Running schedule 40 3 inch pipe for the shower apx 7 foot run  
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Running schedule 40 3 inch pipe  
Running schedule 40 3 inch pipe for the toilet into a wye that will convert that will convert

Schedule

We will have one gfci outlet  
The bathroom will be a lit with 2 six inch recessed lights  
The shower will have one 3 inch recessed light  
There will be 1 3 gang box housing with deco switches no further than 18 inches from  
One vent  
Wired with 12/2 romex

Laundry room

1/2 inch Pex will be tapped with a shut off valve for both hot and cold easily accessible  
schedule 40 drain  
2 6 inch recessed lights ran on 14/2 romex with a 20 amp breaker  
HVAC

We will heat both sides with a fan forced 240 heater on 20 amp Siemens wired permits that we are requesting.

Foundation

Roof

Electrical

Plumbing

2 Gfci

5 recessed lights

1 bathroom vent

apx 20 feet schedule 40 various inches

The wall studs will be 16 inches on center with one 2x4x8 on east side and west side of the addition.  
 The roof will be made with asphalt with a 4/12 pitch with Bathroom  
 Sink standard  
 Running schedule 40 3 inch pipe for the shower apx 7  
 Running schedule 40 2 inch pipe for the sink approx  
 Running schedule 40 3 inch pipe  
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 HVAC  
 We will heat both sides with a fan forced 240 h  
 Permits that we are requesting:

- Foundation
- Roof
- Electrical
- Plumbing
- 2 Gfci
- 5 recessed lights
- 1 bathroom vent
- apx 20 feet schedule 40 various inches

**PAYMENT DETAIL**

Date	Payment Method	Reference
09/20/2024	Credit Card	