

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

New construction single family home with Detached Garage. The property is located at 1760 Wabash, this property was split, the existing home is not in scope. this submission is for a new single family home and detached carriage house and vacant split portion of the property. we are still waiting for an address to be assigned.



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")

New construction single family home with Detached Garage. The property is located at 1760 Wabash, this property was split, the existing home is not in scope. this submission is for a new single family home and detached carriage house and vacant split portion of the property. we are still waiting for an address to be assigned.



4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

New construction single family home with Detached Garage. The property is located at 1760 Wabash, this property was split, the existing home is not in scope. this submission is for a new single family home and detached carriage house and vacant split portion of the property. we are still waiting for an address to be assigned.




5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<p>6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i></p>	

NEW SINGLE FAMILY HOME AND CARRIAGE HOUSE

1760 WABASH STREET DETROIT, MI 48216

OWNER
SHARIF AFFAS
1760 WABASH ST.
DETROIT, MI 48216

ARCHITECT
4545 ARCHITECTURE | DESIGN
TIMOTHY FLINTOFF
2761 JEFFERSON AVE., SUITE 302
DETROIT, MI 48207

PROJECT DATA

BUILDING CODE AUTHORITY:
CITY OF DETROIT

APPLICABLE CODES:

BUILDING CODE
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL BUILDING CODE"
2015 MICHIGAN RESIDENTIAL BUILDING CODE (MRBC) AS AMENDED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2018 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2018 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN
AMMENDMENTS PART 8.

ENERGY CODE
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS
AMERICANS WITH DISABILITIES ACT (ADA)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

PROJECT DESCRIPTION
RESIDENTIAL TWO-FAMILY NEW CONSTRUCTION

FRONT HOUSE BUILDING DATA:

STORIES: 2 STORIES

SPRINKLERED: NO

BUILDING HEIGHTS:	FROM GRADE	CEILING HEIGHT
FIRST FLOOR	2'-0"	10'-0"
SECOND FLOOR	13'-6"	9'-0"
ROOF (MID POINT)	24'-6"	
ALLOWABLE (MID-POINT)	35'-0"	

BUILDING AREAS (CONDITIONED NET):	UNIT
FIRST FLOOR	1300 GSF
SECOND FLOOR	1200 GSF
TOTAL BUILDING AREA (CONDITIONED GROSS):	2500 GSF

CARRIAGE HOUSE BUILDING DATA:

STORIES: 2 STORIES

SPRINKLERED: NO

BUILDING HEIGHTS:	FROM GRADE	CEILING HEIGHT
FIRST FLOOR	0'-8"	8'-0"
SECOND FLOOR	9'-0"	
ROOF (MID POINT)	24'-3"	
ALLOWABLE (MID-POINT)	35'-0"	

BUILDING AREAS (CONDITIONED NET):	UNIT(NET)
FIRST FLOOR	625 NSF (UNCONDITIONED)
SECOND FLOOR	625 NSF (LIVABLE/CONDITIONED)
TOTAL BUILDING AREA:	1250 GSF

PARKING
GARAGE: 2 SPACES

ENERGY EFFICIENCY
COMPLY WITH SECTION N102 OF THE 2015 MICHIGAN RESIDENTIAL CODE
CLIMATE ZONE: 5A

CEILING:	R-38
WOOD FRAMED WALL:	R-20 OR R-13(CAVITY)+R5(SHEATHING)
MASS WALL:	R-20/R-17
FLOOR:	R-20 OR FILL CAVITY, R-19 MIN.
SLAB:	R-10 (2'-0" DEEP)

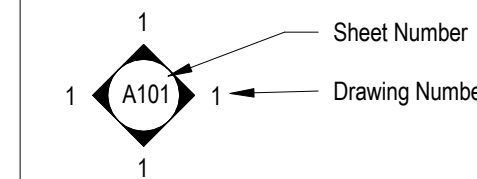
SHEET INDEX

SHEET NUMBER	SHEET NAME
SP1.1	ARCHITECTURAL SITE PLAN
A1.1	HOUSE FLOOR PLANS
A1.2	ACCESSORY DWELLING UNIT FLOOR PLANS
A3.4	EXTERIOR RENDERINGS

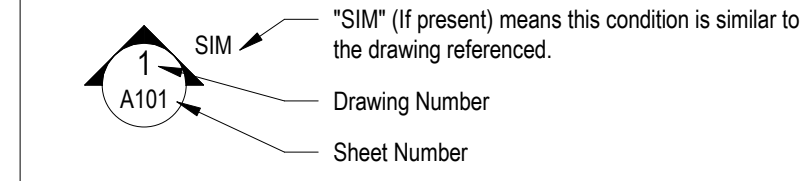
SYMBOL LEGEND

Drawing Navigation Symbols

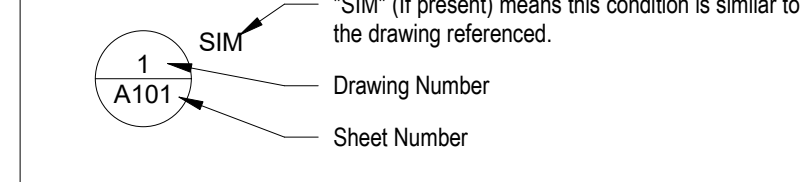
Elevation Callout



Section Callout



Detail Callout



Other Symbols

- ? Keynote Tag - refer to keynotes on that sheet
- 1 Wall Tag - refer to Wall Schedule
- 101 Door Tag - refer to Door Schedule
- 1 Window Tag - refer to Window Schedule
- Name Elevation Floor Level Elevation

ABBREVIATIONS

- @ Acoustic
- ACT Acoustic Ceiling Tile
- ADJ Adjacent
- AFF Above Finish Floor
- ALUM Aluminum
- ANOD Anodized
- BD Board
- BLDG Building
- BLK Block
- BLKG Blocking
- CEM Cement
- CJ Control Joint
- CLG Ceiling
- CL Centerline
- CO Clean Out
- COL Column
- CONC Concrete
- CG Corner Guard
- CONST Construction
- CONT Continuous
- CORR Corrugated
- CPT Carpet
- CT Ceramic Tile
- DET Detail
- DIA Diameter
- DM Dimension
- DN Down
- DO Door Opening
- DR Door
- DWG Drawing
- EA Each
- ELEV Elevation
- EW Each Way
- EXG Existing
- EXIST Existing
- EXP Expansion, Exposed
- FD Floor Drain
- FDN Foundation
- FRP Fiber Reinforced Panels
- FIN Finish
- FLR Floor
- FO Face Of
- FOS Face of Stud
- FR Frame
- FTG Footing
- FV Field Verify
- GA Gauge
- GALV Galvanized
- GYP Gypsum
- HDW Hardware
- HM Hollow Metal
- HORIZ Horizontal
- HT Height
- ID Inside Diameter
- INSUL Insulation
- INT Interior
- JT Joint
- LAV Lavatory
- LG Long
- LLO Long Leg Outstanding
- LLV Long Leg Vertical
- MAX Maximum
- MECH Mechanical
- MET Metal
- MEZZ Mezzanine
- MI Miscellaneous Iron
- MIN Minimum
- MISC Miscellaneous
- MO Masonry Opening
- NIC Not In Contract
- NTS Not To Scale
- OC On Center
- OD Outside Diameter
- OPNG Opening
- OPP Opposite
- PLG Plate Glass
- PLS Plate Steel
- PLAM Plastic Laminate
- PLAS Plaster
- PREFAB Prefabricated
- PROJ Project, Projection
- PSF Pounds per Square Foot
- PT Paint, Point, Pressure Treated
- R Riser
- RA Return Air
- RB Rubber Base
- RC Roof Conductor
- RCP Reflected Ceiling Plan
- RD Roof Drain
- RF Rubber Flooring
- REINF Reinforced, Reinforcing
- REQD Required
- RFG Roofing
- RM Room
- RS Roof Sump
- RT Rubber Tile
- SAN Sanitary
- SOHED Schedule
- SHT Sheet
- SIM Similar
- SPEC Specification
- SS Service Sink
- STL Steel
- STD Standard
- STOR Storage
- STRUCT Structural
- SUSP Suspended
- SW Switch
- SYM Symmetrical
- T Tread
- T&B Top and Bottom
- TEL Telephone
- TERR Terrazzo
- T&G Tongue and Groove
- THK Thick, Thickness
- THRES Threshold
- TOS Top Of Steel
- TYP Typical
- UIC Undercut
- UNO Unless Noted Otherwise
- VB Vinyl Base
- VCT Vinyl Composition Tile
- VIF Verify In Field
- W Wide
- VERT Vertical
- WAINS Wainscot
- WC Water Closet
- WD WIN Wood Window
- WT Weight
- WWF Welded Wire Fabric

ARCHITECT:

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CONSULTANT:

Project :

NEW SINGLE FAMILY HOME
AND CARRIAGE HOUSE
1760 WABASH STREET,
DETROIT, MI 48216

Issued for :

HDC 08/19/2024

Drawn by :

JRM

Checked by :

JRM

Sheet Title :

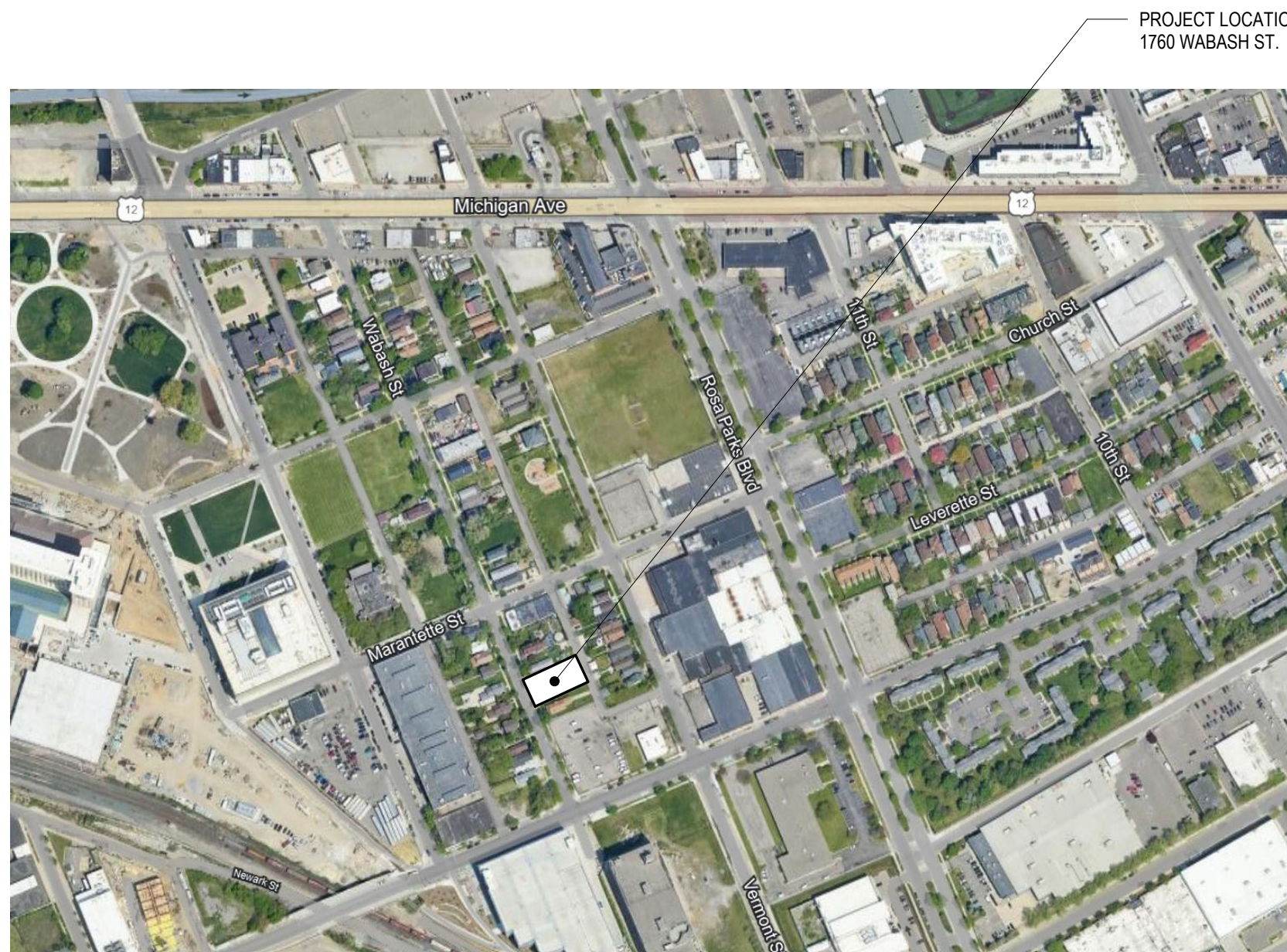
TITLE SHEET

Project No. :

2024015

Sheet No. :

TS1.1



1 LOCATION PLAN

SCALE: 1" = 100'-0"



2 PROJECT IMAGE

SCALE:

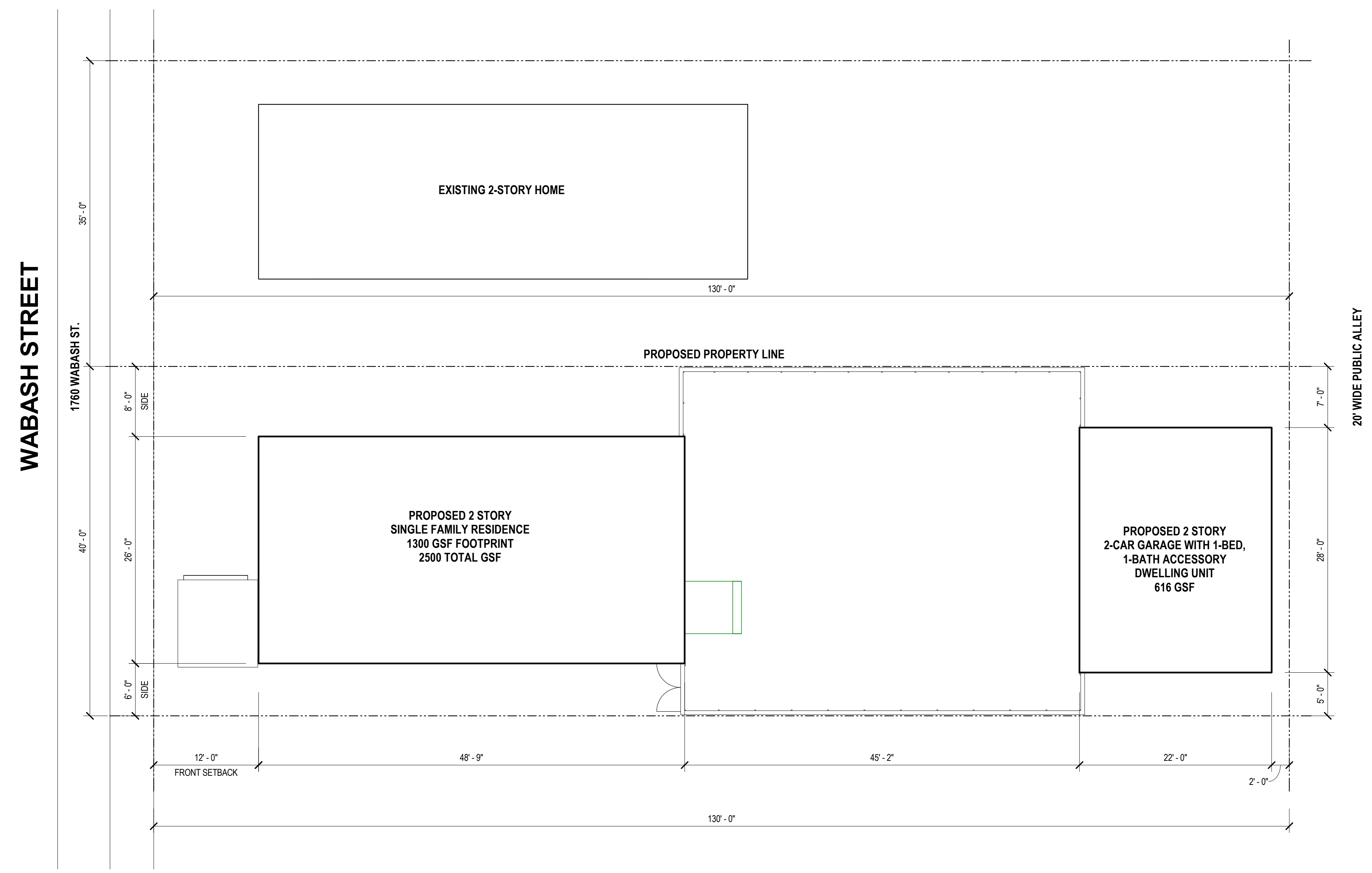
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SITE PLAN GENERAL NOTES:

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDTOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDTOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDTOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC. SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



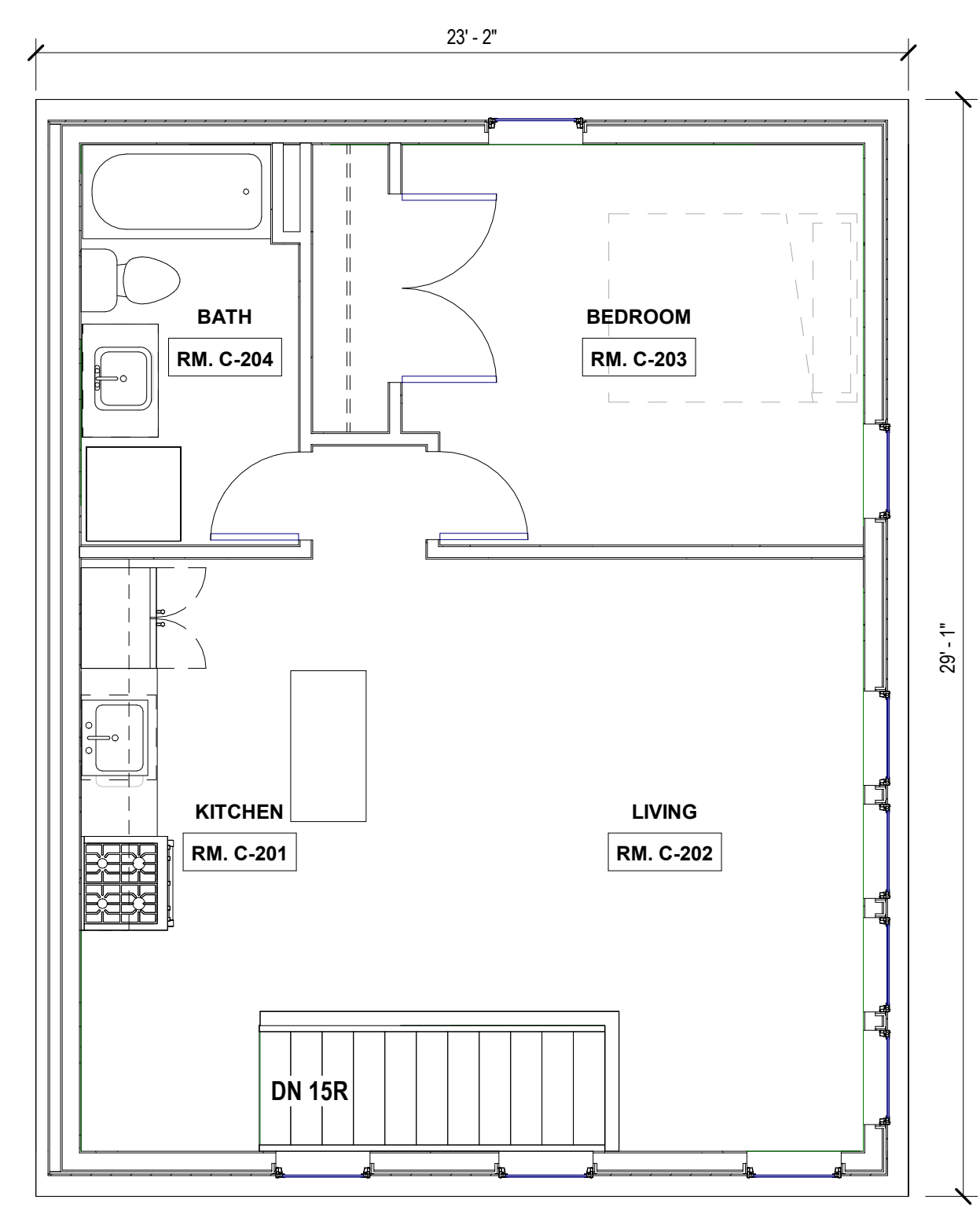
1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

- GENERAL PLAN NOTES:**
1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. ANY DIMENSIONAL VARIANCES CAUSED BY ACTUAL WALL CONSTRUCTION OR LAYOUT MODIFICATIONS IN THE FIELD ARE RESPONSIBILITY OF CONTRACTOR.
 3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE FLOOR PLAN KEYNOTES FOR AWLL CONSTRUCTION.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
 5. DO NOT BACKFILL WALLS UNTIL FLOOR DECKS ARE INSTALLED
 6. ALL POSTS CONTINUOUS TO FOUNDATION
 7. SHEAR WALLS TO BE PERSCRIPTIVE PER MBC 2015
 8. REFER TO DOOR HARDWARE SET SCHEDULE ON SHEET A5.0

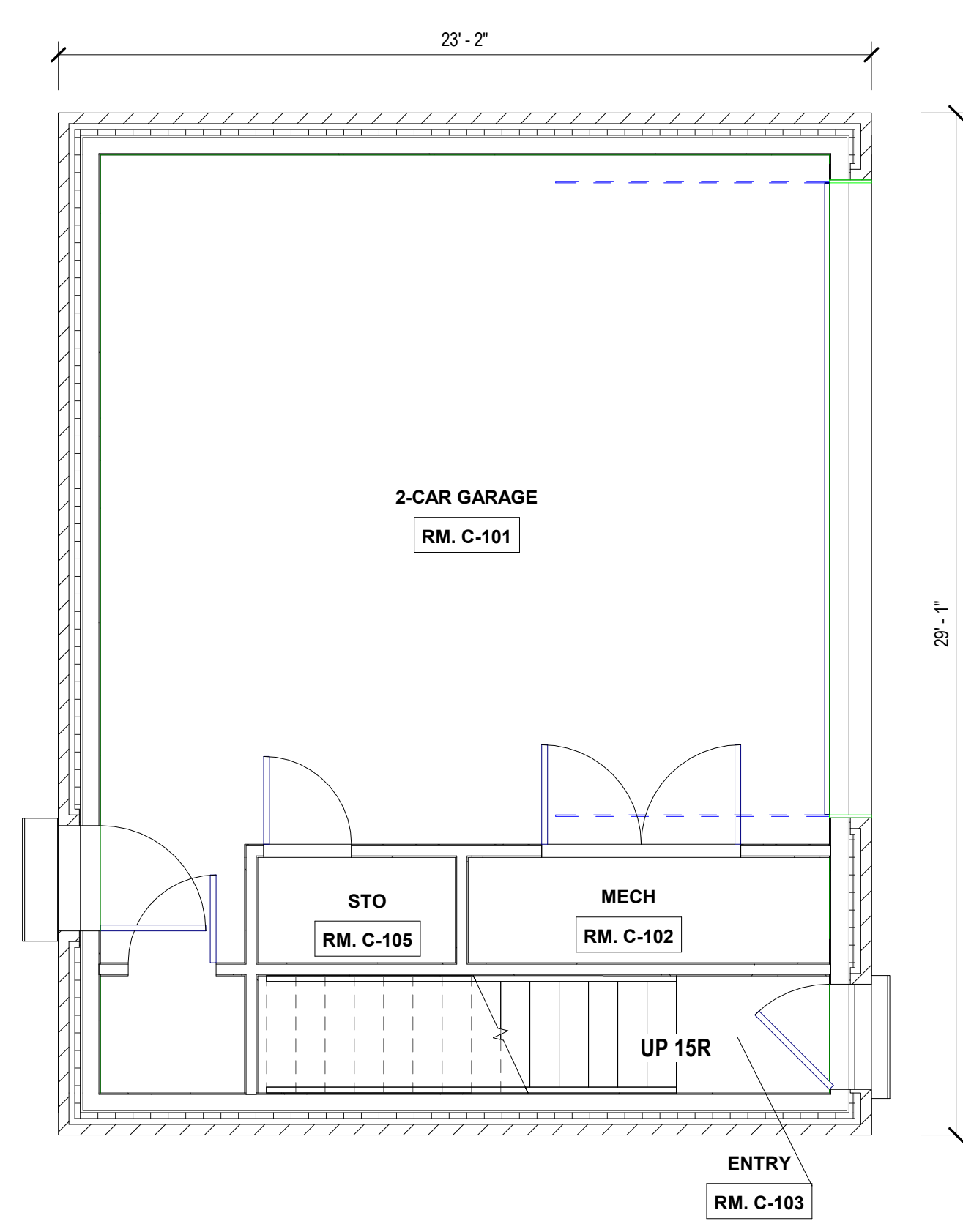
CONSULTANT:

Project :

NEW SINGLE FAMILY HOME AND CARRIAGE HOUSE
1760 WABASH STREET,
DETROIT, MI 48216



2 ACCESSORY DWELLING UNIT PLAN
SCALE: 1/4" = 1'-0"



1 GARAGE PLAN
SCALE: 1/4" = 1'-0"

Issued for :

HDC 08/19/2024

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Drawn by :
JRM
Checked by :
JRM

Sheet Title :
ACCESSORY DWELLING UNIT FLOOR PLANS

Project No. :
2024015

Sheet No. :

A1.2

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- REFER TO DOOR HARDWARE SET SCHEDULE ON SHEET A5.0

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Project :
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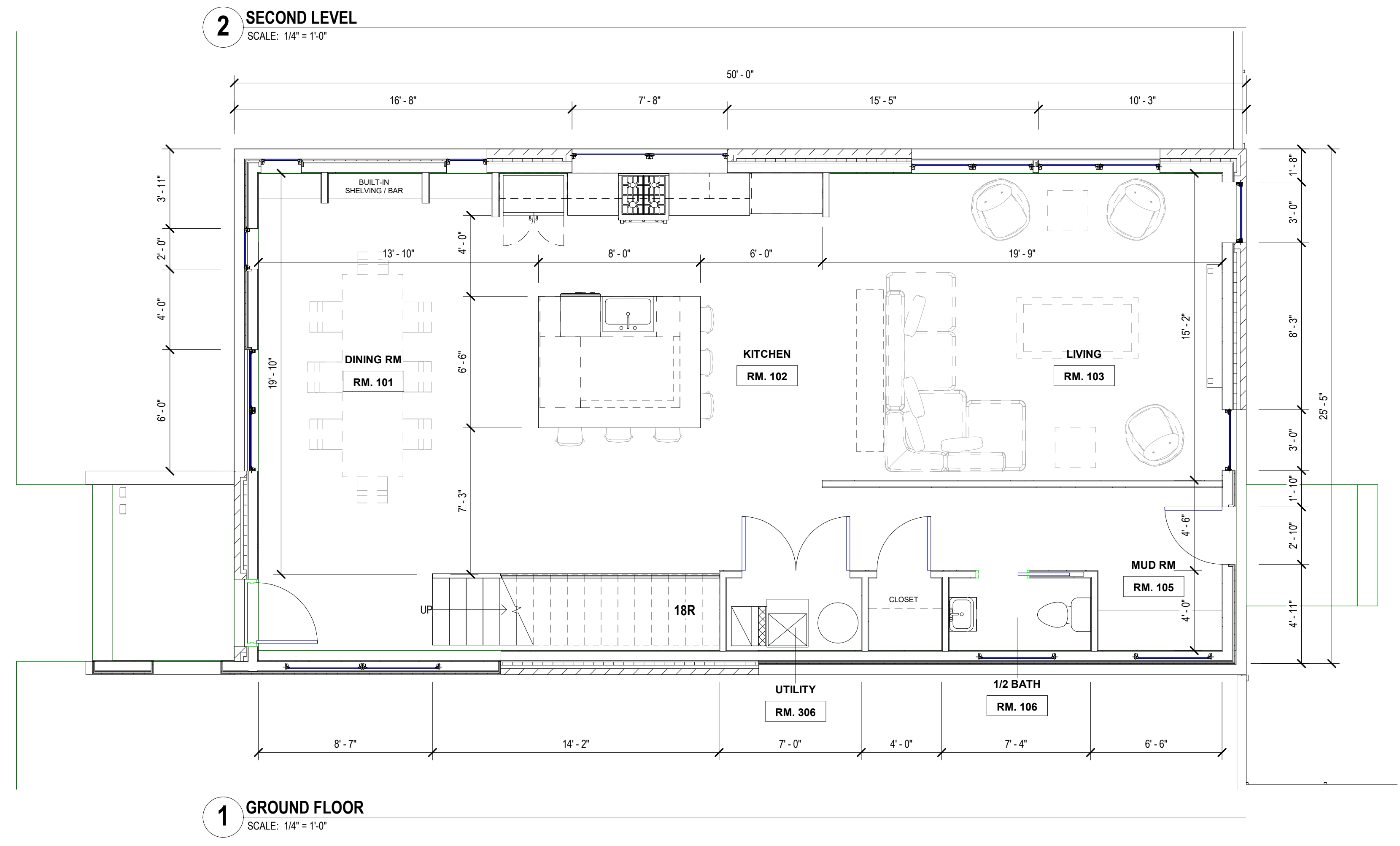
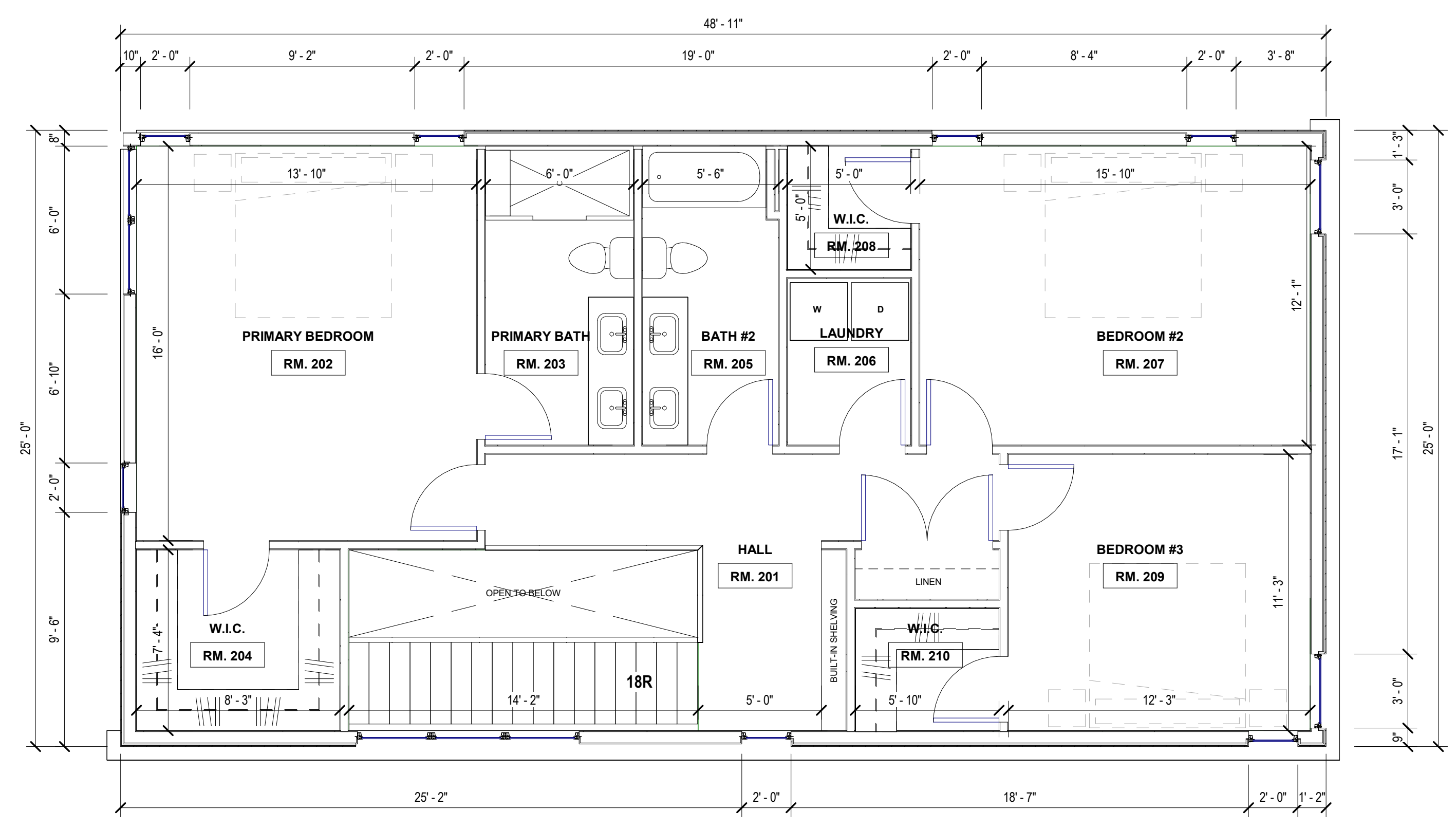
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 Sheet Title :
 HOUSE FLOOR PLANS

Project No. :
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Sheet No. :
A1.1

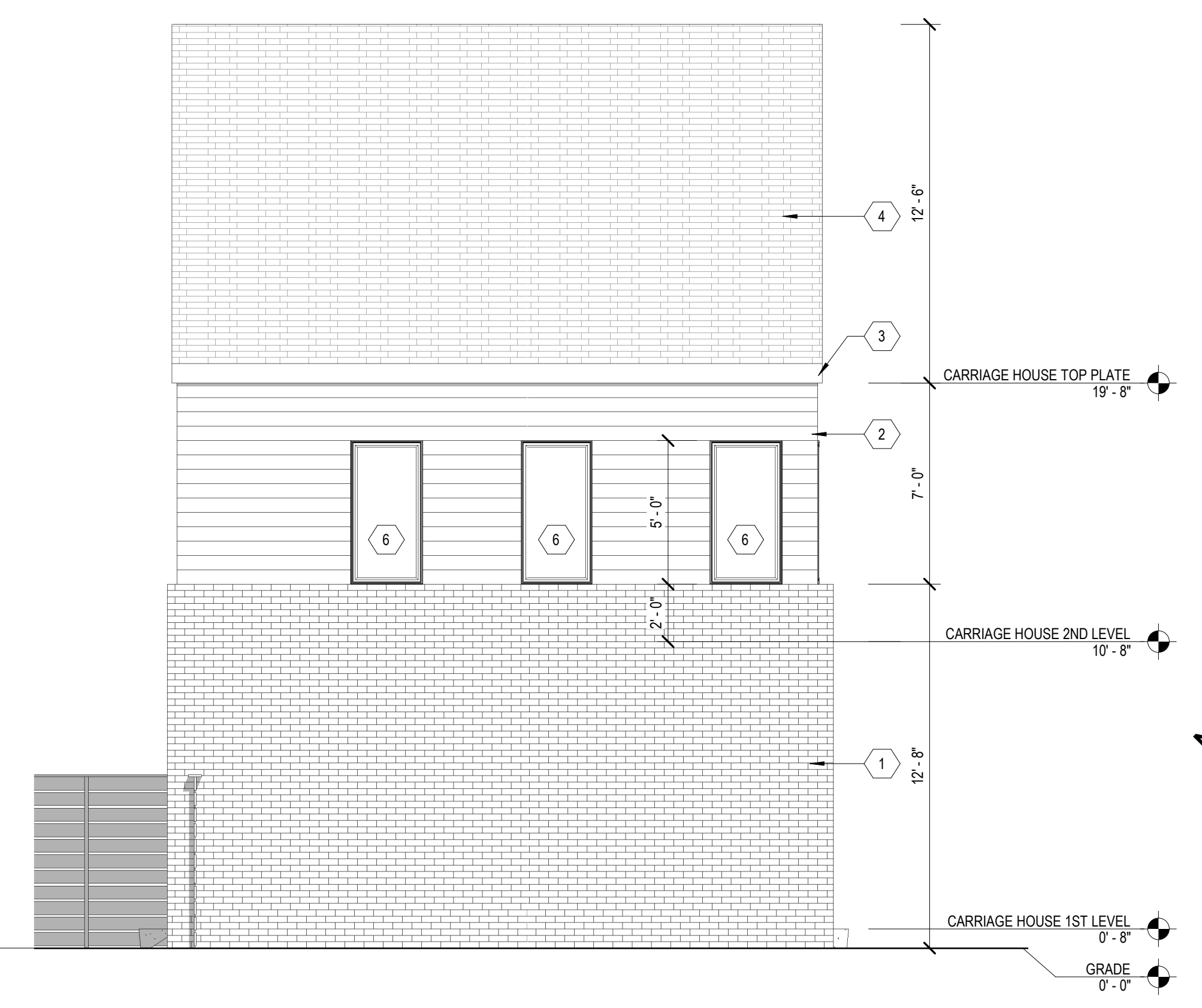
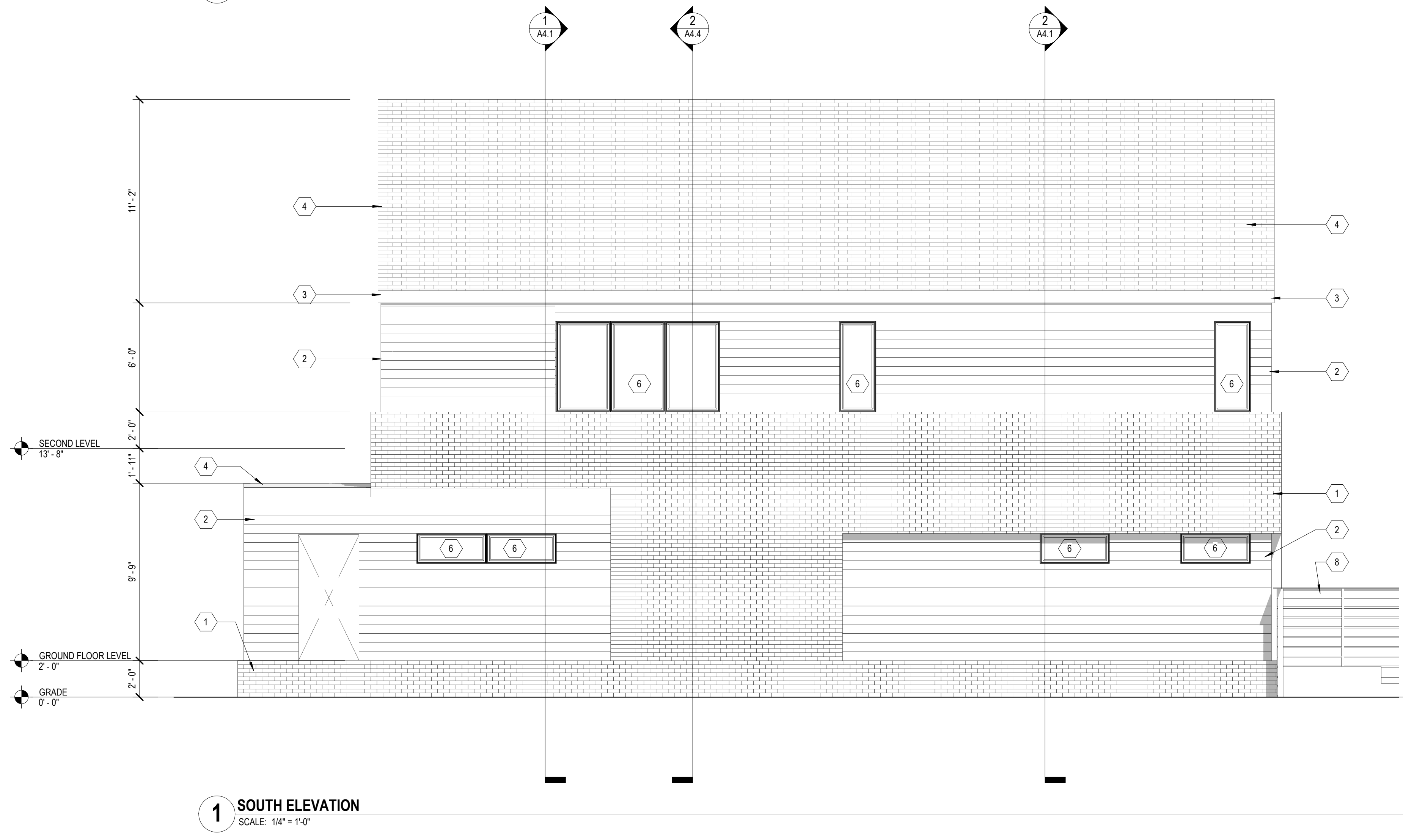


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- ALL FOUNDATIONS TO EXTEND 42" MIN. BELOW GRADE
- ALL FOUNDATIONS ADJACENT TO EXIST. FND'S TO MATCH BOTTOM ON FOOTING ELEVATION.
- UNDER NO CIRCUMSTANCES EXCAVATE BELOW BOTTOM OF EXIST. FND'S TO A MIN. INFLUENCE ZONE DELINEATED BY 1 VERTICAL, 2 HORIZONTAL LINE

ELEVATION KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- 1 ARCHITECTURAL BRICK
BASIS OF DESIGN: PALMETTO BRICK
COLOR: PEWTER GRAY
- 2 GFRG LAP SIDING
BASIS OF DESIGN: HARDIE PLANK LAP SIDING
IRON GRAY, SMOOTH, 6" EXPOSURE
- 3 PREFINISHED METAL FASCIA AND DRIP EDGE, COLOR: BLACK
- 4 ASPHALT SHINGLE ROOFING
BASIS OF DESIGN: CERTAINTED LANDMARK
PEWTER
- 5 ENTRY DOOR
BASIS OF DESIGN: THERMATRU
- 6 COMPOSITE WINDOW
BASIS OF DESIGN: ANDERSEN 100, BLACK
- 7 GARAGE DOOR
BASIS OF DESIGN: GARAGA
- 8 6" TALL STAINED WOOD FENCE
1x6 PT WOOD HORIZONTAL SLATS ON 4x4 PRESSURE TREATED POSTS
- 9 CAST-IN-PLACE CONC. PORCH AND STAIR
- 10 STAINED CEDAR PORCH POSTS AND BEAMS



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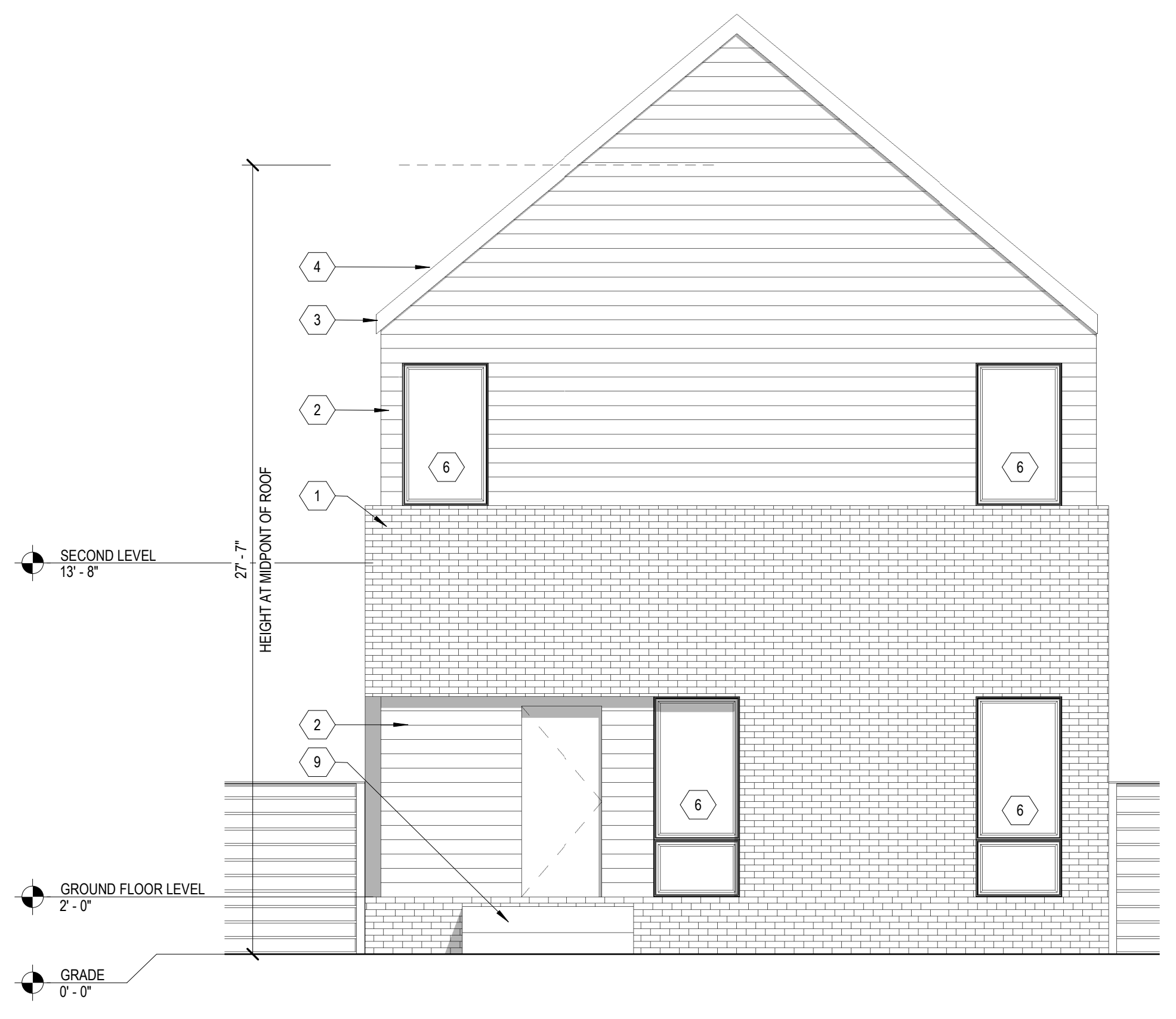
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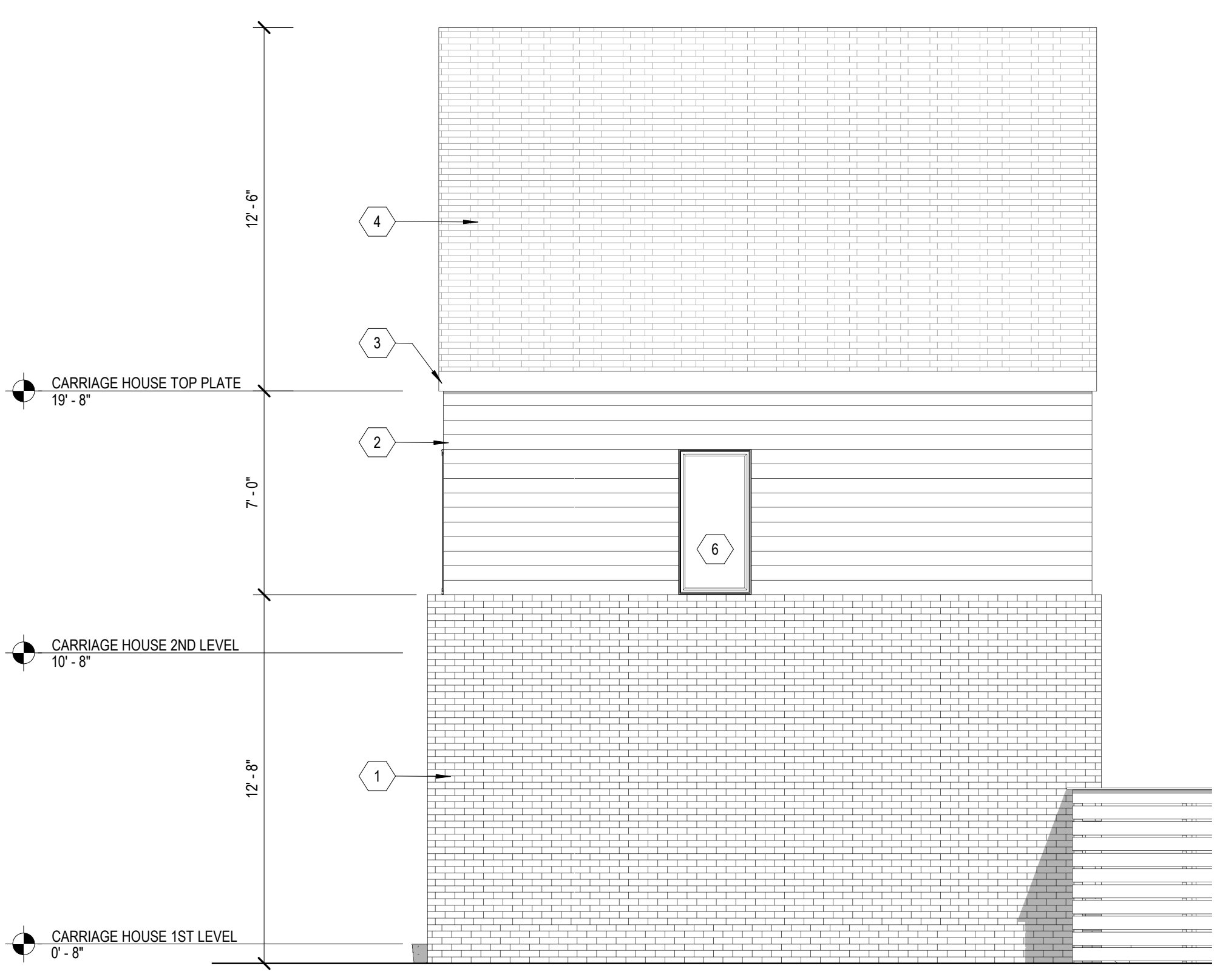
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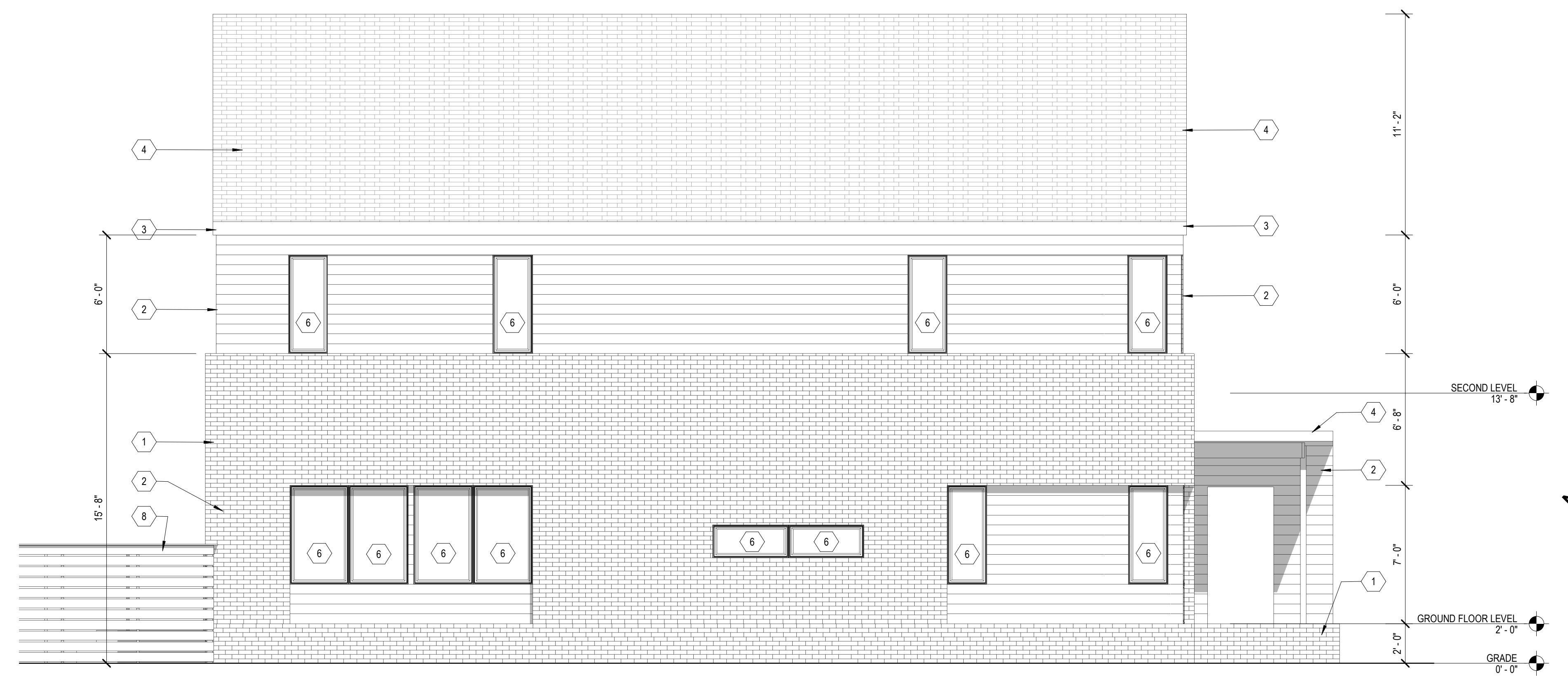
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2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



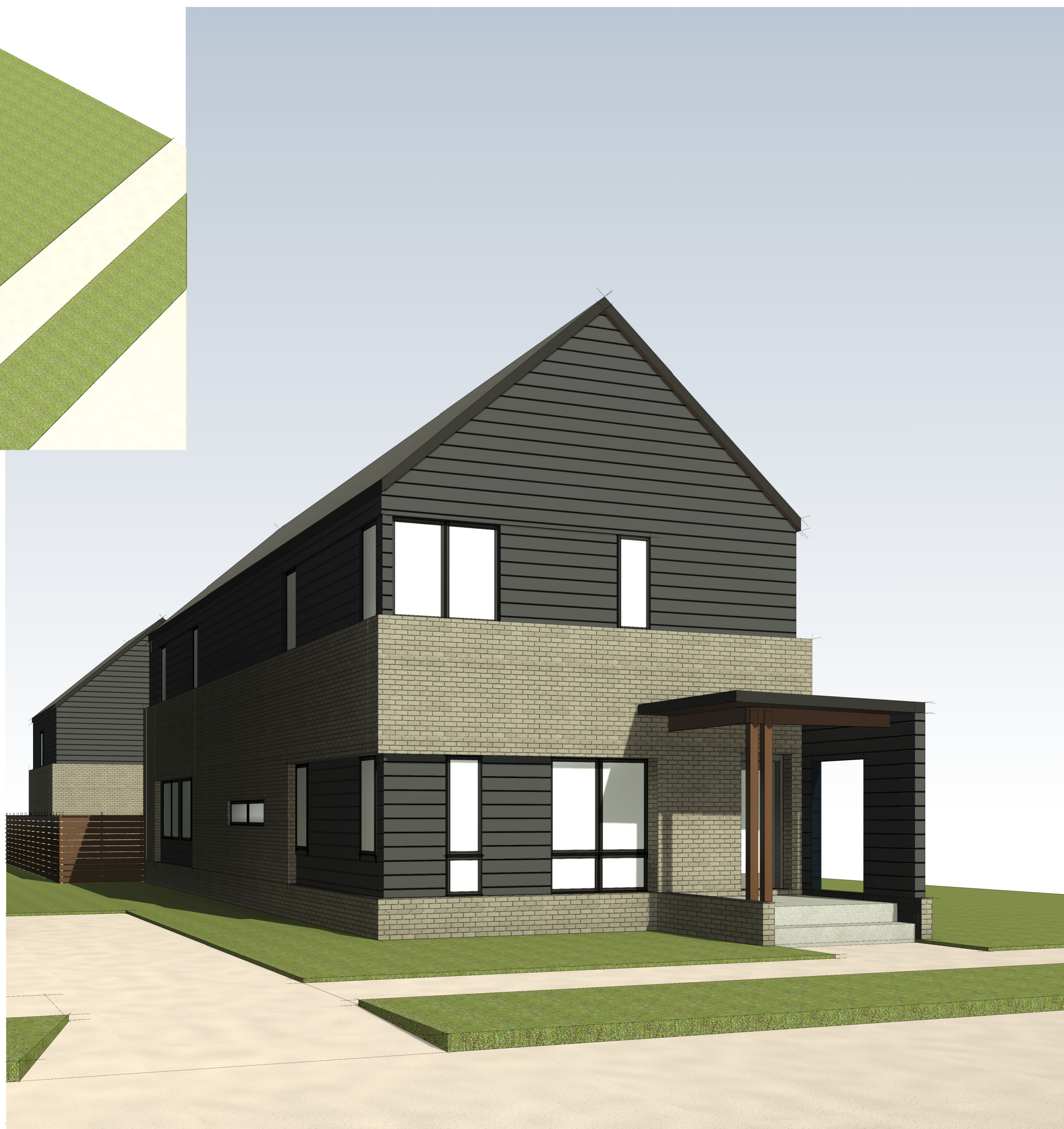
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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2 BIRDSEYE
SCALE:



1 STREET VIEW
SCALE:

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Sheet Title :
EXTERIOR
RENDERINGS

Project No. :
2024015

Sheet No. :
A3.4

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SENDER: STEEP - LOCATION



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CONSULTANT:

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HOME AND CARRIAGE
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1760 WABASH STREET,
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Sheet Title :
EXTERIOR
RENDERINGS

Project No. :
2024015

Sheet No. :
A3.3

RENDER: JRM (08/19/2024)

DO NOT SCALE DRAWINGS | © 2021 Timothy Fimbrl Architect, PLLC



Sharif Affas
1760 Wabash Street
Detroit, MI 48216

RE: 1760 Wabash St – New Construction Historic District Commission Submission

1760 Wabash is a mid-block lot on the east side of Wabash. Originally, this address consisted of a double-wide lot with an existing historic-aged home situated in the north half of the lot. The property has since been split, with the existing home on one parcel, and this project is proposed for the newly created lot to the south. The proposed project consists of a new single family home with a detached garage at the rear of the property. The detached garage is proposed to include an accessory dwelling unit on the second floor.

The home has a traditional gable end with a covered porch entry. New materials will include Hardie siding with colors as noted on the plans. New materials have been listed on the attached elevations and will consist of a mixture of Brick and pre-finished Hardie lap siding.

1. Height:
The proposed structure is a two-story structure, with a total height of approximately 27'-7" above grade to the mid-point of the main gable. This height is constant with the adjacent properties.
2. Proportion of Front Façade:
The front façade of the proposed structure is approximately 26'-0" wide, making it slightly taller than it is wide, giving the home a vertical orientation.
3. Proportion of Openings:
The windows proposed for the structure are generally casement style. Individual windows are taller than they are wide and grouped together to form larger areas of glazing.
4. Rhythm of Solid to Void:
Openings in the facades of the proposed structure are regular and ordered, like the existing worker cottage style homes in the neighborhood. Individual windows and groups of windows are placed to be considerate of adjacency between new façade and existing.
5. Rhythm of Spacing of Buildings:
The lot width and building width are both consistent with the overall neighborhood.
6. Rhythm of Entrance and/or front porch projections:
The proposed structure features an existing asymmetric front porch entry pushed to one side. This is consistent with similar small front porches in the neighborhood.
7. Materials:
The proposed structure is comprised of wood framing with a concrete foundation, an asphalt shingle roof, majority brick on the first floor, and Hardie lap siding on the second floor.
8. Textures:
Texture is at play in the relationship between the lap siding, ship-lap wood siding and brick.
9. Colors:
The color palette of the proposed structure has been kept neutral and natural in order to blend in with the existing homes on the block. The brick, roof, and siding are all within a gray-scale pallet.
10. Architectural Details:
The architectural details of the proposed structure are very simple in order to complement the existing modest homes on the block. The overall massing and roof shape are similar to adjacent historic homes, while the clean simplified detailing is more contemporary. In order to match the level of detail and visual interest of the existing homes, a concept of layering and texture is used to create depth and hierarchy in the facades. The goal is to establish the existing structure as the primary focus and allow the addition to have a supporting role.

11. **Roof Shapes:**
Similar to many existing homes on the block, the proposed structure features a simple roof line with a single ridge running down the center of the structure, and front-facing gables.
12. **Wall of Continuity (setbacks):**
The front setback of the proposed structure is similar to adjacent homes.
13. **Landscape Features:**
The front lawn of the proposed structure is grass turf, consistent with adjacent properties. More decorative bushes and flowering plants will be included along the perimeter of the home.
14. **Open space:**
The front lawn is intended to be kept open, as well as the yard space between the home and garage/ADU.
15. **Scale of Facades/Façade Elements:**
The overall structure is a similar scale to the existing homes on the block. The front elevation is fairly simple with few façade elements. Window groupings are always in the same plane as the overall façade. Window groupings are generally 2 windows wide and consistent in shape between the new and existing facades, and account for approximately one-quarter of the overall façade width. Solid walls have been used where we are in close proximity to adjacent parcels.
16. **Directional Expression of Front Elevation:**
The directional expression of the front elevation is generally vertical. The south portion of the front façade has the covered entry and is clad in siding. The remaining portion of the façade is clad in brick and horizontally oriented siding. This composition breaks down the scale of the building by incorporating vertical and horizontal elements.
17. **Rhythm of Setbacks:**
The front setback is consistent with adjacent properties.
18. **Lot Coverage:**
 - a. Lot Size: 3383 Square Feet
 - b. Building Footprint: 1112
 - c. Percentage of lot Coverage: 32.9%
19. **Degree of Complexity in Façade:**
The proposed structure is very simple in massing and façade complexity. The façade uses a simple palate of 4 materials, organized in a way to provide hierarchy, depth and interest without relying on additional detail and applied architectural elements.
20. **Orientation/Vistas/Views:**
The long axis of the proposed structure is oriented east-west with the front of the structure facing Wabash street. Bedrooms are placed at the rear of the building, while the living space is organized to the front of the home, because most of the green space for the lot is located in the front yard the home has a focus on connecting living space with that are for its primary exterior use and connection to the neighborhood.
21. **Symmetric or asymmetric appearance:**
The appearance of the proposed structure is asymmetric to complement existing asymmetric homes on the block. Windows on the front façade are aligned in stacking groups. The front porch is offset to one side. These balanced elements are unified by the centered forward facing gable.
22. **General Character:**
Corktown is made up of modestly detailed small-scaled homes on narrow lots creating a dense walkable neighborhood. The proposed structure follows the simple massing and closely spaced arrangement precedent set by the existing adjacent homes. The materials used for the proposed structure speak to the textural quality of the

existing homes with the use of horizontal siding and brick. More contemporary expression and detailing speak to the longevity of the neighborhood and the notion that Corktown houses are built to last. The homes in Corktown were built over various periods of time, and are examples of many architectural styles. What makes the neighborhood cohesive is the attention to scale, proportion, and quality in each home regardless of style. While the proposed structure utilizes some contemporary elements, the overall scale, massing, and textural quality are inspired by and designed to complement the overall Corktown character



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Scope of Work

Demolition Work:

- Demolish existing chain link fence at perimeter of property

New Construction of Single-Family residence

- New electrical service and wiring in house complete*
- New interior finishes: including kitchen and two bathrooms *
- New hot water heater*
- New plumbing/sanitary complete from incoming services*
- New HVAC forced air system with central air*
- New 2x6 wood construction with R-38 in ceiling and R-19 in walls and new Tyvek house wrap*
- New asphalt shingle roofing
- New windows: Andersen 100
- New brick and lap siding
- New gutters and down spouts
-

New Construction of Garage/ADU

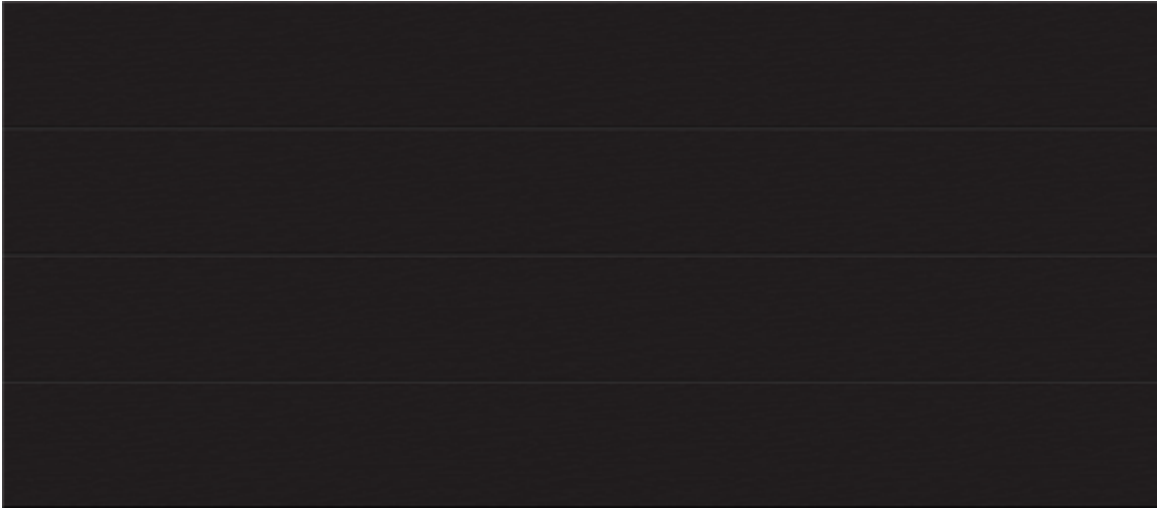
- New interior finishes: including kitchen and 1 bathroom*
- New hot water heater*
- New plumbing/sanitary complete
- New HVAC forced air system with central air*
- New 2x6 wood construction with R-38 in ceiling and R-19 in walls and new Tyvek house wrap*
- New asphalt shingle roofing
- New windows: Andersen 100
- New brick and lap siding
- New gutters and down spouts

Site:

- New horizontal slat wood fence in between house and garage
- New landscape area and planter beds in front of house
- Replace sod as required due to construction damage
- New concrete walkway from front of house to public sidewalk



SUMMARY OF YOUR GARAGE DOOR PROJECT



Model: Regal N24, Flush

Quantity: 1

Size: 16' 0" x 7' 0" (width x height)

Sections: 2"-thick galvanized steel, non-insulated
24-gauge galvanized steel, woodgrain finish; 2" tongue and groove joint between sections.

Color: Black Ice

Please note that colors shown on your screen may vary based on your screen or printer settings. To have a precise view of colors, contact a Garaga dealer for samples.

 **Find a Garaga Dealer near you!**

To get your project started







FIND INSPIRATION

EXPLORE PRODUCTS

TECHNICAL INFORMATION

WHERE TO BUY

Search for doors, products...



SHARE

Smooth-Star®



Pulse™ Echo 4-Lite Centered | Style No. S4CL (shown in flat lite frame)

★★★★☆ 3.9 (14) [Write a review](#)

5 Available Sizes



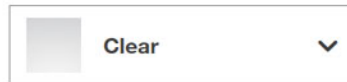
VIEW ON HOME

THERMA-TRU VIBRANT PAINT OPTIONS



Looking for more information on finishing options? Check out our [finishing page](#) and learn how you can use finish to make your house a home with Therma-Tru.

GLASS OPTIONS

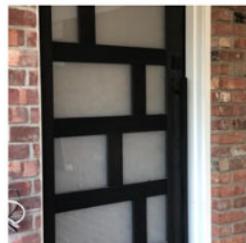
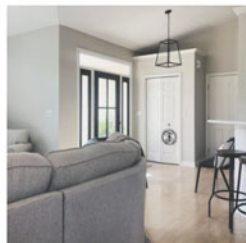
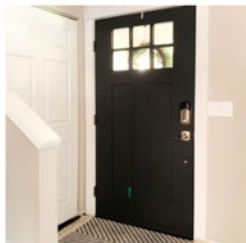


DESIGN YOUR DOOR

WHERE TO BUY

ORDER FINISH SAMPLES

Where Home Begins with Therma-Tru doors.

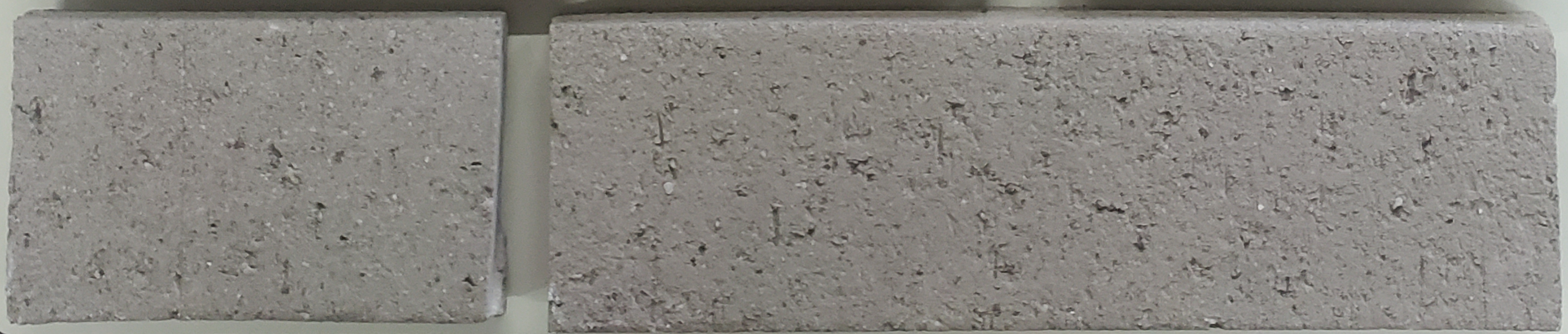
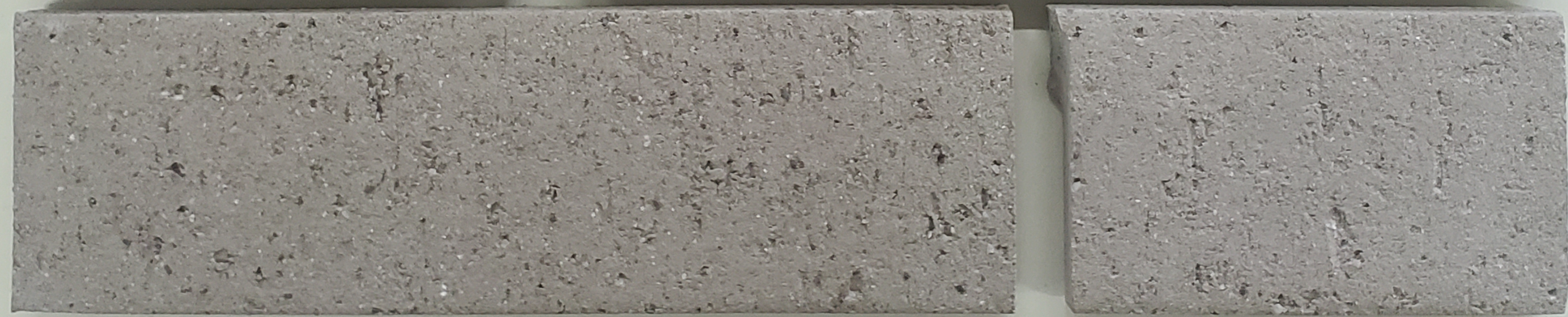




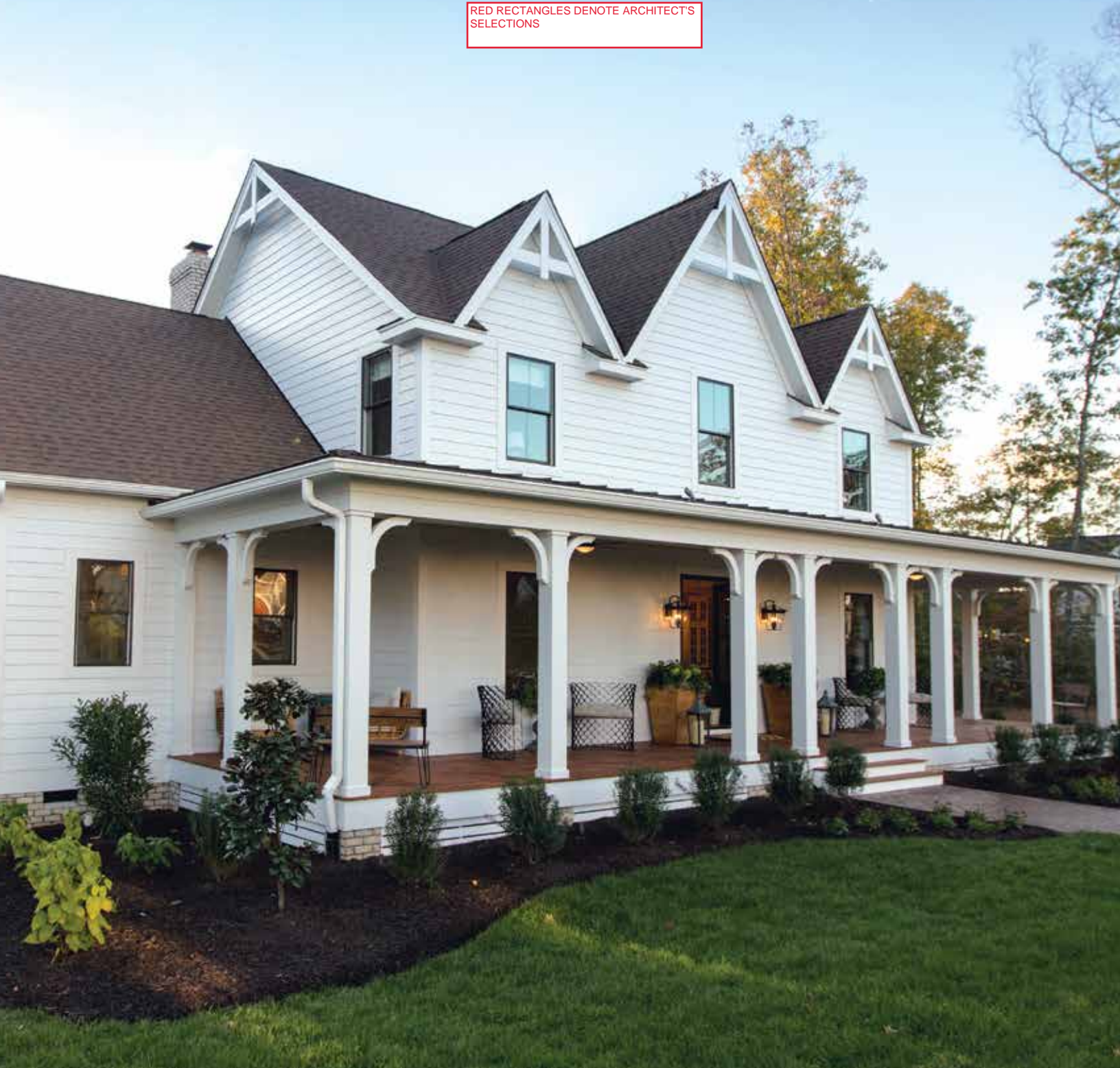
3501 Brickyard Road
Wallace, SC 29596
800-922-4423
www.palmettobrick.com



Pewter Grey



RED RECTANGLES DENOTE ARCHITECT'S SELECTIONS



Discover a whole new
SIDE OF HOME.

Build confidently
BY DESIGN.





Installed on over 8 million homes* from coast to coast, James Hardie® fiber cement siding products are designed to resist the most extreme conditions while delivering long term beauty and lower maintenance. Enjoy the warm, natural look of wood with unprecedented peace of mind. It's easy to see what makes James Hardie the market leader.

**UNIQUE
FORMULATION**

We use the highest quality raw materials and proprietary additives for enhanced strength and moisture protection.

**FINISHING
TECHNOLOGY**

Baked-on color delivers a beautiful finish that resists fading and makes a lasting impression.

**COMPLETE
EXTERIOR**

Offers homeowners an unrivaled collection of design options with exceptional warranties through a single, trusted manufacturer.

*Estimate based on total James Hardie siding sales through 2016 and average housing unit size.

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HardieZone® System

Only James Hardie® fiber cement products are Engineered for Climate®. In the northern U.S. and Canada, HZ5® products resist shrinking, swelling and cracking even after years of wet or freezing conditions. HZ10® products help protect homes from hot, humid conditions, blistering sun and more.

With James Hardie® siding and trim, homeowners have an exterior that's tougher than the elements and easy on the eyes.

NO MATTER WHAT NATURE BRINGS





HardieTrim®
Boards
Timber Bark

HardiePlank®
Lap Siding
Khaki Brown

TOUGHER THAN THE ELEMENTS



Stands up to storms
and harsh weather



Water resistant
to protect against
swelling, warping
and cracking



Won't be eaten by
animals or insects



Fire resistant



Helps reduce time
and money spent on
maintenance

Resist the elements
WITH IRRESISTIBLE BEAUTY.

Unique Formulation

HZ5[®] Substrate

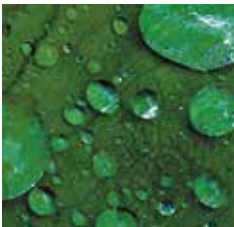
Not all fiber cement is the same. The James Hardie HZ5 product formulation contains the highest quality raw materials. Proprietary additives, combined with an innovative manufacturing process and product design, create a substrate specifically engineered to reduce moisture and resist damage from wet or freezing conditions.

PROPRIETARY ENHANCEMENTS CREATE DURABLE JAMES HARDIE[®] SIDING



Perfect balance of strength and workability

Our balance of high-quality Portland cement, sand and cellulose fiber delivers the best combination of strength and workability.



Enhanced moisture resistance for unmatched durability

Patented and proprietary additives are chemically bonded within the HZ5[®] substrate matrix to provide durable moisture resistance.



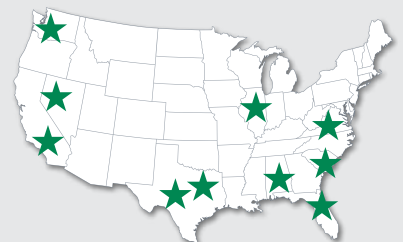
Increased dimensional stability

Our siding is engineered at the microscopic level to create a fiber cement composite with superior dimensional stability that helps protect against shrinking and splitting.



HardieTrim[®]
Boards
Arctic White

MADE IN THE
USA



Integrity is ingrained
IN EVERYTHING WE DO.

HardiePlank®
Lap Siding
Evening Blue



The advanced design of HZ5® lap siding improves drainage from top to bottom.

In addition to the enhanced moisture resistance of our product formulation, HardiePlank® HZ5® lap siding features a modified profile with a sloped top and bullnose drip edge for improved drainage over the entire outer face of the board.



Sloped Top

Positive slope at top drains moisture to outer face of lap



Profiled Drip Edge

Bottom bullnose drip edge allows moisture to drain away from lap

Finishing Technology

Primer

A quality primer is the first step to ensuring that the paint color you select beautifully expresses a home's true character now – and for years to come. Our distinctive primer is climate-tested and engineered to enhance the performance of paint on James Hardie® fiber cement siding products. It helps to provide consistent, long-lasting paint adhesion, even in the most demanding conditions.

ColorPlus® Technology

Our advanced ColorPlus® Technology finishes deliver the ultimate in aesthetics and performance. Our products aren't simply painted at the factory. Our proprietary coatings are baked onto the board, creating a vibrant, consistent finish that performs better, lasts longer and looks brighter on your homes.



Exceptional finish adhesion

Our proprietary coating is engineered for exceptional adhesion to our substrate and applied to the surface, edges and features for durable performance.



Superior color retention

Finish is cured onto boards for a stronger bond, which allows for exceptional resistance to cracking, peeling and chipping.



Superior UV resistance

ColorPlus® Technology finishes retain vibrancy longer when compared to vinyl siding and typical field paints on other siding products.



ColorPlus®
Technology



Lasting beauty **BEGINS WITH THE FINISH.**

Our finishes help eliminate stress and reduce costly weather delays when it's too cold or damp to paint for extended periods. Now there's no reason to question whether or not sub-optimal painting conditions will negatively affect your paint job. In fact, there's no longer any need to paint on-site during installation.

ColorPlus® Technology finishes are fully cured in a controlled environment and arrive on your job site ready for year-round installation.





ColorPlus®
Technology
Pearl Gray

ColorPlus®
Technology
Iron Gray

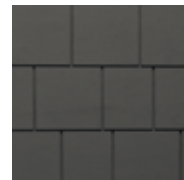
For complete confidence wrap your
ENTIRE EXTERIOR WITH JAMES HARDIE.



James Hardie Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

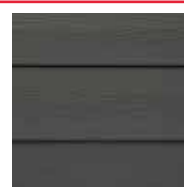
Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



HardieShingle® Siding



HardiePanel® Vertical Siding & HardieTrim® Batten Boards



HardiePlank® Lap Siding



HardieTrim® Boards



HardieSoffit® Panels

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®
Boards
Arctic White

HardiePlank®
Lap Siding
Select Cedarmill®
Khaki Brown

A classic look for
THE HOME OF THEIR DREAMS.

HardiePlank®

Thickness 5/16 in
Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

	Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
Exposure		4 in	5 in	6 in	7 in	8 in
Prime Pcs/Pallet		360	308	252	230	190
ColorPlus Pcs/Pallet		324	280	252	210	—
Pcs/Sq		25.0	20.0	16.7	14.3	12.5

SELECT CEDARMILL®



	Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
STATEMENT COLLECTION™			✓		✓	
DREAM COLLECTION™		✓	✓	✓	✓	
PRIME		✓	✓	✓	✓	✓

SMOOTH



	Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
STATEMENT COLLECTION™			✓		✓	
DREAM COLLECTION™		✓	✓	✓	✓	
PRIME		✓	✓	✓	✓	

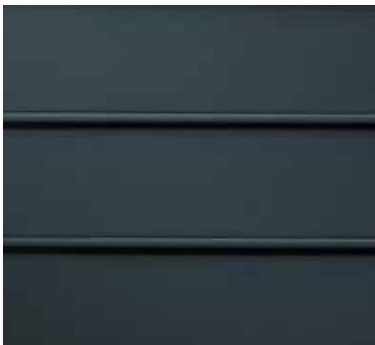
BEADED CEDARMILL®



BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3
STATEMENT COLLECTION™	—
DREAM COLLECTION™	✓
PRIME	—

BEADED SMOOTH



*9.25 in widths do not feature the drip edge

HardiePanel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



HardiePanel®
Vertical Siding
Evening Blue

HardieTrim®
Batten Boards
Evening Blue

True to your needs of
PERFORMANCE AND BEAUTY.

HardiePanel®

Thickness 5/16 in

SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

	Size 4 ft x 8 ft	4 ft x 10 ft
Prime Pcs/Pallet	50	50
ColorPlus Pcs/Pallet	50	50
Pcs/Sq	3.2	2.5

SELECT CEDARMILL®



	Size 4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SMOOTH



	Size 4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

STUCCO



	Size 4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SIERRA 8



	Size 4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		
DREAM COLLECTION™		
PRIME	✓	✓

HardieShingle®

Restore the look of a grand Cape Cod or add distinction to a handsome bungalow. HardieShingle® siding embodies the enchanting look of cedar shingles with lower maintenance.

Better than the real thing, HardieShingle siding resists rotting, curling, warping and splitting.



**HardieTrim®
Boards**
Arctic White

**HardieShingle®
Straight
Edge Panel**
Pearl Gray

Achieve the handcrafted
LOOK OF CEDAR.

HardieShingle®

Thickness 1/4 in



STAGGERED EDGE PANEL

Length	48 in
Height	15.25 in
Exposure	6 in
ColorPlus Pcs/Pallet	100
Sq/Pallet	2
Pcs/Sq	50.0

STATEMENT COLLECTION™ _____

DREAM COLLECTION™

PRIME _____



STRAIGHT EDGE PANEL

Length	48 in	48 in
Height	14 in	15.25 in
Exposure	5 in	7 in
ColorPlus Pcs/Pallet	120	86
Sq/Pallet	2	2
Pcs/Sq	60.0	43.0

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME _____



HALF ROUNDS

Length	48 in
Height	15.25 in
Exposure	7 in
Prime Pcs/Pallet	86
Sq/Pallet	2
Pcs/Sq	43.0

STATEMENT COLLECTION™ _____

DREAM COLLECTION™ _____

PRIME

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.



HardieTrim®
Boards
Khaki Brown

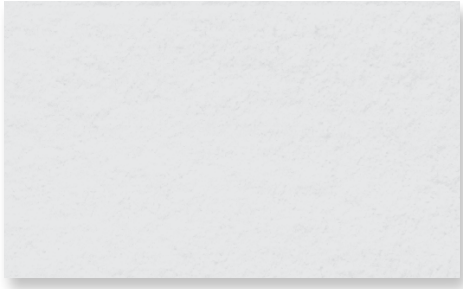
HardiePlank®
Lap Siding
Navajo Beige

The performance you require.
THE DISTINCTIVENESS YOU DESIRE.

HardieTrim®

Length 12 ft boards

NT3® BOARDS SMOOTH



4/4 SMOOTH

Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	312	208	156	104	104

STATEMENT COLLECTION™	✓	✓	✓		✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME					

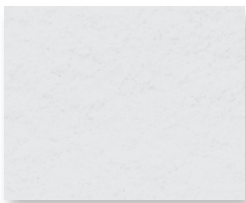
5/4 SMOOTH

Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	240	200	160	120	80	80

STATEMENT COLLECTION™	✓	✓	✓	✓		✓
DREAM COLLECTION™	✓	✓	✓	✓	✓	✓
PRIME						

BATTEN BOARDS

SMOOTH



RUSTIC GRAIN®



SMOOTH & RUSTIC GRAIN®

Thickness	.75 in	STATEMENT COLLECTION™	✓
Width	2.5 in	DREAM COLLECTION™	✓
Prime Pcs/Pallet	190	PRIME	✓
ColorPlus Pcs/Pallet	437		

HardieSoffit®

A home is only as strong as its weakest point. HardieSoffit® panels reinforce your work by protecting the vulnerable gap between eaves and exterior walls.

Available in vented, non-vented and a range of pre-cut sizes, these panels complete your design and help protect it from moisture and pests.

VENTILATION BENEFITS

Using vented soffit improves ventilation in the attic space and reduces the chance of water vapor condensation that can lead to issues such as mold and mildew growth, stained ceilings and damage to the framing of the house.

In warm climates, HardieSoffit panels allow hot, humid air to escape, which not only helps prevent condensation in the attic, but can also help reduce air conditioning costs.

In cool climates, HardieSoffit panels help prevent condensation from forming on the interior side of the roof sheathing and reduce the chances of roof-damaging ice dams.



HardieSoffit®
Panels
Dream Collection™
product

For complete confidence
EVERY DETAIL MATTERS.

HardieSoffit®

Thickness 1/4 in

VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft
Width	12 in	16 in	24 in
Prime Pcs/Pallet	200	150	100
ColorPlus Pcs/Pallet	216	156	108

VENTED SMOOTH



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
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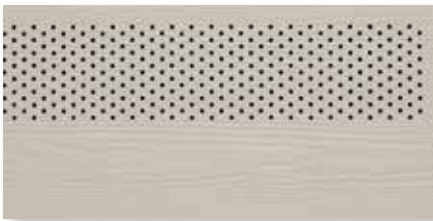
STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

✓	✓	✓
✓	✓	✓

VENTED SELECT CEDARMILL®



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
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STATEMENT COLLECTION™

DREAM COLLECTION™

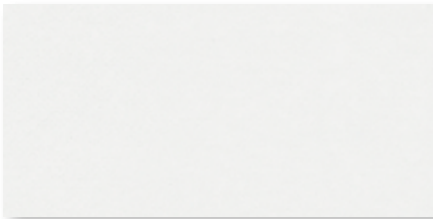
PRIME

✓	✓	✓

NON-VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus Pcs/Pallet	216	156	108	—

NON-VENTED SMOOTH



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
------	---------------	---------------	--------------	--------------

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

✓	✓	✓	
✓	✓	✓	✓

NON-VENTED SELECT CEDARMILL®



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
------	---------------	---------------	--------------	--------------

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

✓	✓	✓	

BEADED PORCH PANEL



BEADED PORCH PANEL

Thickness	1/4 in
Length	8 ft
Width	48 in
ColorPlus Pcs/Pallet	50

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

—
✓
—

STATEMENT COLLECTION™

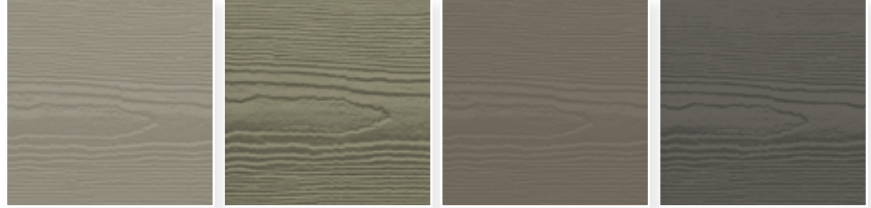
Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

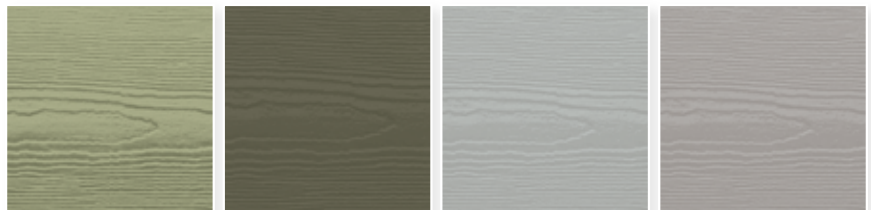
Plank, Panel, Shingle and Batten Color Offering



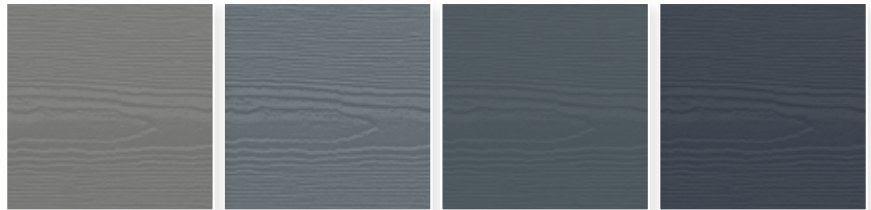
ARCTIC WHITE COBBLE STONE NAVAJO BEIGE KHAKI BROWN



MONTEREY TAUPE WOODSTOCK BROWN TIMBER BARK RICH ESPRESSO



HEATHERED MOSS MOUNTAIN SAGE LIGHT MIST PEARL GRAY



GRAY SLATE BOOTHBAY BLUE EVENING BLUE DEEP OCEAN



AGED PEWTER NIGHT GRAY **FOR LAP SIDING**
IRON GRAY COUNTRYLANE RED

Trim Color Offering



ARCTIC WHITE COBBLE STONE KHAKI BROWN MONTEREY TAUPE TIMBER BARK IRON GRAY

Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

HardiePlank®



SELECT CEDARMILL®

Width 6.25 in 8.25 in
Exposure 5 in 7 in



SMOOTH

Width 6.25 in 8.25 in
Exposure 5 in 7 in

HardiePanel®



SELECT CEDARMILL®

Size 4 ft x 10 ft



SMOOTH

Size 4 ft x 10 ft

HardieShingle®



STRAIGHT EDGE PANEL

Height 14 in 15.25 in
Exposure 5 in 7 in

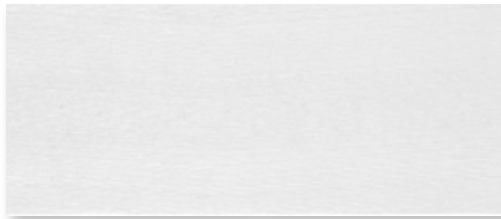
HardieTrim®

4/4 SMOOTH



Thickness .75 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in 11.25 in

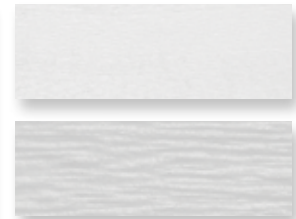
5/4 SMOOTH



Thickness 1 in
Length 12 ft boards
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

BATTEN BOARDS

4/4 SMOOTH & RUSTIC GRAIN®



.75 in
2.5 in



Selecting a color? Request a product sample at jameshardiepros.com/samples

Get Inspired

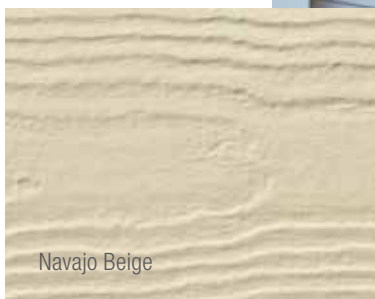
CRISP & CLEAN

LIGHT COLORS

Whites and soft pastels are pure, clean, new and bright. Combine with other hues to add interest, personality and contrast. Works well on houses with Colonial Inspiration. A pastel A-frame cottage can look sweet and charming.



Arctic White



Navajo Beige



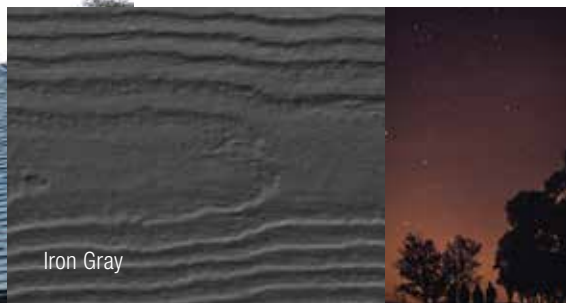
Cobble Stone



SUBTLE & SOPHISTICATED

NEUTRAL COLORS

Neutral rules the suburbs. These shades are safe, but also sophisticated. When accessorized with black or a darker color, a neutral can look fashionably stylish. Play with textures and use different tones for trim.



Iron Gray



Evening Blue



Night Gray



A BOLD CHOICE

DARK COLORS

Dark grays, blues and greens can feel both intellectual and modern. When used with white trim, they create drama. Works well in old neighborhoods, or urban environments, where there is a mix of old and new.

DREAM COLLECTION™

Looking to further express your sense of style? Look to our Dream Collection™ products.

- Featuring a color palette of over 700 ColorPlus® Technology finishes
- Made to order in a wide array of James Hardie® siding and trim styles
- Matches elevated design flexibility with the uncompromising performance of our fiber cement products

To see what's possible and order Dream Collection product samples visit jameshardiepros.com/dream



Khaki Brown



Monterey Taupe



Timber Bark



HardieWrap®

No exterior cladding can prevent 100% of water intrusion. Your homes should have an additional line of defense. HardieWrap® weather barrier provides a superior balance of water resistance and breathability, keeping the area within the wall drier. This helps prevent moisture accumulation that may lead to mold and mildew growth.

INSTALLATION ADVANTAGES

- Thicker, more durable material for easier, quicker installation
- Superior tear resistance helps prevent water infiltration
- Can be installed with staples in place of cap nails for cost savings
- Provides a higher level of performance, no matter what type of cladding you specify



We've got performance covered
FROM THE INSIDE OUT.



HardieWrap®
Weather Barrier

HardieWrap®
Pro-Flashing

HardieWrap®
Flex Flashing

HardieWrap®
Seam Tape

WEATHER BARRIER

Thickness	11 mil			
Length	100 ft	100 ft	150 ft	150 ft
Width	3 ft	9 ft	9 ft	10 ft

PRO-FLASHING

Thickness	20 mil		
Length	75 ft	75 ft	75 ft
Width	4 in	6 in	9 in

FLEX FLASHING

Thickness	60 mil	
Length	75 ft	75 ft
Width	6 in	9 in

SEAM TAPE

Thickness	3.2 mil
Length	164 ft
Width	1-7/8 in



To learn more about our weather barrier's advantages, visit jameshardiepros.com

Install Done Right

Installation Accessories

HARDIEBLADE® SAW BLADES

Manufactured by Diablo, the HardieBlade® saw blade is designed specifically to cut fiber cement products, and is the only saw blade James Hardie recommends. The blade creates clean, precise cuts while helping to reduce the amount of airborne dust produced. Specially designed to outlast other fiber cement saw blades by 3X, outlasting carbide blades by 60X.



PACTOOL® GECKO GAUGE

The PacTool® Gecko Gauge is designed to improve the installation experience, allowing one person to hang HardiePlank® lap siding during installation. Studies suggest the Gecko Gauge can improve the speed of solo installation by 30%.



Finishing Touches

ColorPlus® Technology Accessories

TOUCH-UP KITS

Specially formulated to match ColorPlus Technology finishes, our touch-up kits offer resistance to aging, color change and chalking. Estimated one kit per 4000 sq ft of siding or 1600 sq ft of trim.



COLOR MATCHED CAULK

OSI® QUAD® MAX sealant offers a high performance sealant solution to color match Statement Collection™ products.* About 18-20 linear feet per tube. Refer to packaging for manufacturer's recommendations.

**For matching Dream Collection products, contact your local James Hardie representative.*

Trim Accessories

FLAT TABS

Eliminate face nails and improve the aesthetic of trim applications around windows, doors and band boards.

CORNER TABS

Use corner tabs to eliminate face nail holes that would detract from the finished look of corner trim installations.



Find useful job-site tips in our industry-leading Best Practices Guide. For the latest installation instructions, visit jameshardiepros.com



HardiePlank®
Select Cedarmill®
Timber Bark

HardieTrim®
Boards
Arctic White

As unforgettable
AS IT IS UNCOMPROMISING.



See the James Hardie Difference



James Hardie invented fiber cement. Over 8 million homes* later, we continue to set the standard in premium, high-performance exterior cladding. Our products deliver uncompromising durability and finish quality for a beautiful, lower maintenance exterior.

Our unrivaled investment in R&D and constant innovations in product design, manufacturing and distribution allow us to remain steps ahead of the competition. With the support of our employees, partners and exceptional warranties, we're committed to protecting your customers' homes while helping your business grow.

*Estimate based on total James Hardie siding sales through 2016 and average housing unit size.

Warranty – for peace of mind

Protect your homes with North America's #1 brand of siding backed by exceptional warranties. Unlike other brands, James Hardie doesn't prorate our siding and trim warranty coverage. We stand behind our siding 100% for 30 years and trim for 15 years.

ColorPlus® Technology finishes come with a 15-year limited warranty.

James Hardie Non-Prorated Siding Substrate Warranty Coverage



Endorsements – a reputation built on trust

For decades, our fiber cement products have been used to create better places to live. Each new home stands as a testament to our uncompromising quality. That proven track record has earned the loyalty of millions of homeowners and the endorsements of trusted authorities across the building industry.



Listed as top building materials & products by **Professional Builder 2018**



Chosen by builders as a **Brand Leader** in **Builder magazine** for over 20 years



James Hardie® siding & trim products have earned the **Good Housekeeping Seal**



HardieTrim®
Boards
Arctic White

HardieShingle®
Straight Edge
Pearl Gray

Make every home
STAND UP AND STAND OUT.



HardiePanel®
Vertical Siding
Iron Gray

HardieTrim®
Batten Boards
Iron Gray

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JamesHardie™

Siding | Trim



FIND INSPIRATION

EXPLORE PRODUCTS

TECHNICAL INFORMATION

WHERE TO BUY

Search for doors, products...



SHARE



Smooth-Star®



Pulse™ Echo 4-Lite Centered | Style No. S4CL (shown in flat lite frame)

★★★★☆ 3.9 (14) [Write a review](#)

5 Available Sizes



VIEW ON HOME

THERMA-TRU VIBRANT PAINT OPTIONS



Looking for more information on finishing options? Check out our [finishing page](#) and learn how you can use finish to make your house a home with Therma-Tru.

GLASS OPTIONS

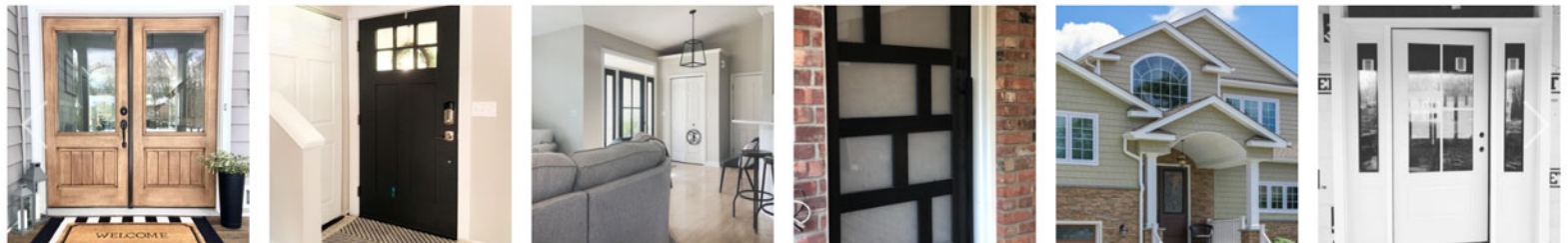


DESIGN YOUR DOOR

WHERE TO BUY

ORDER FINISH SAMPLES

Where Home Begins with Therma-Tru doors.

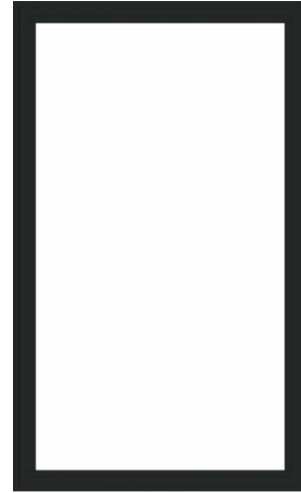




100 SERIES CASEMENT WINDOW



Interior



Exterior

Summary

Product ID#	100CS3050
Unit Width	35 1/2"
Unit Height	59 1/2"
Interior Color	White
Glass	Low-E Glass
Hardware	Folding Lock and Keeper, White
Grille Pattern	None
Exterior Color	Black

