

NEW SINGLE FAMILY HOME AND CARRIAGE HOUSE

**1760 WABASH STREET
DETROIT, MI 48216**

PROJECT DATA

BUILDING CODE AUTHORITY:
CITY OF DETROIT

APPLICABLE CODES:

BUILDING CODE
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL BUILDING CODE"
2015 MICHIGAN RESIDENTIAL BUILDING CODE (MRBC) AS AMENDED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2018 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2018 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMMENDMENTS PART 8.

ENERGY CODE
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS
AMERICANS WITH DISABILITIES ACT (ADA)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

PROJECT DESCRIPTION
RESIDENTIAL TWO-FAMILY NEW CONSTRUCTION

FRONT HOUSE BUILDING DATA:

STORIES: 2 STORIES

SPRINKLERED: NO

BUILDING HEIGHTS: FROM GRADE CEILING HEIGHT
FIRST FLOOR 2'-0" 10'-0"
SECOND FLOOR 13'-6" 9'-0"
ROOF (MID POINT) 24'-6"
ALLOWABLE (MID-POINT) 35'-0"

BUILDING AREAS (CONDITIONED NET):
LEVEL UNIT
FIRST FLOOR 1300 GSF
SECOND FLOOR 1200 GSF
TOTAL BUILDING AREA (CONDITIONED GROSS): 2500 GSF

CARRIAGE HOUSE BUILDING DATA:

STORIES: 2 STORIES

SPRINKLERED: NO

BUILDING HEIGHTS: FROM GRADE CEILING HEIGHT
FIRST FLOOR 0'-8" 8'-0"
SECOND FLOOR 9'-0"
ROOF (MID POINT) 24'-3"
ALLOWABLE (MID-POINT) 35'-0"

BUILDING AREAS (CONDITIONED NET):
LEVEL UNIT (NET)
FIRST FLOOR 625 NSF (UNCONDITIONED)
SECOND FLOOR 625 NSF (LIVABLE/CONDITIONED)
TOTAL BUILDING AREA: 1250 GSF

PARKING
GARAGE: 2 SPACES

ENERGY EFFICIENCY
COMPLY WITH SECTION N102 OF THE 2015 MICHIGAN RESIDENTIAL CODE
CLIMATE ZONE: 5A

CEILING: R-38
WOOD FRAMED WALL: R-20 OR R-13(CAVITY)+R5(SHEATHING)
MASS WALL: R-20/R-17
FLOOR: R-20 OR FILL CAVITY, R-19 MIN.
SLAB: R-10 (2'-0" DEEP)

SHEET INDEX

SHEET NUMBER	SHEET NAME
SP1.1	ARCHITECTURAL SITE PLAN
A1.1	HOUSE FLOOR PLANS
A1.2	ACCESSORY DWELLING UNIT FLOOR PLANS
A3.3	EXTERIOR RENDERINGS



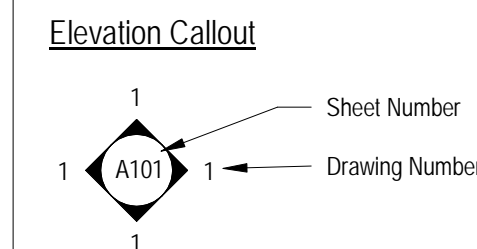
1 LOCATION PLAN
SCALE: 1" = 100'-0"



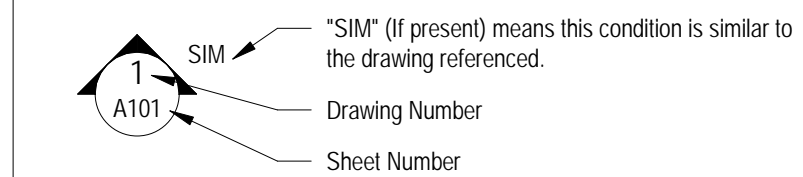
2 PROJECT IMAGE
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SYMBOL LEGEND

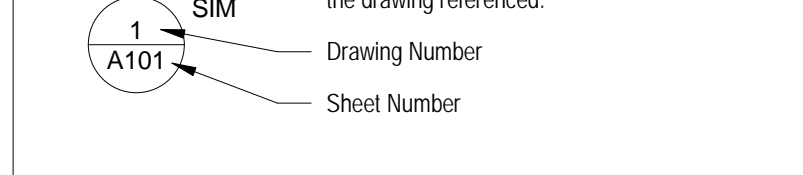
Drawing Navigation Symbols



Section Callout



Detail Callout



Other Symbols

- ? Keynote Tag - refer to keynotes on that sheet
- 11 Wall Tag - refer to Wall Schedule
- 101 Door Tag - refer to Door Schedule
- 11 Window Tag - refer to Window Schedule

Name Elevation Floor Level Elevation

ABBREVIATIONS

@	AI
ACOUST	Acoustical
ACT	Acoustic Ceiling Tile
ADJ	Adjacent
AFF	Above Finish Floor
ALUM	Aluminum
ANOD	Anodized
BD	Board
BLDG	Building
BLK	Block
BLKG	Blocking
CEM	Cement
CJ	Control Joint
CLG	Ceiling
CL	Centerline
CO	Clean Out
COL	Column
CONC	Concrete
CG	Corner Guard
CONST	Construction
CONT	Continuous
CORR	Corrugated
CPT	Carpet
CT	Ceramic Tile
DET	Detail
DIA	Diameter
DM	Dimension
DN	Down
DO	Door Opening
DR	Door
DWG	Drawing
EA	Each
ELEV	Elevation
EW	Each Way
EXG	Existing
EXST	Existing
EXP	Expansion, Exposed
FD	Floor Drain
FDN	Foundation
FRP	Fiber Reinforced Panels
FIN	Finish
FLR	Floor
FO	Face Of
FOS	Face of Stud
FR	Frame
FTG	Footing
FV	Field Verify
GA	Gauge
GALV	Galvanized
GYP	Gypsum
HDW	Hardware
HM	Hollow Metal
HORIZ	Horizontal
HT	Height
ID	Inside Diameter
INSUL	Insulation
INT	Interior
JT	Joint
LAV	Lavatory
LG	Long
LLO	Long Leg Outstanding
LLV	Long Leg Vertical
MAX	Maximum
MECH	Mechanical
MET	Metal
MEZZ	Mezzanine
MI	Miscellaneous Iron
MIN	Minimum
MISC	Miscellaneous
MO	Masonry Opening
NIC	Not In Contract
NTS	Not To Scale
OC	On Center
OD	Outside Diameter
OPNG	Opening
OPP	Opposite
PLG	Plate Glass
PLS	Plate Steel
PLAM	Plastic Laminate
PLAS	Plaster
PREFAB	Prefabricated
PROJ	Project, Projection
PSF	Pounds per Square Foot
PT	Paint, Point, Pressure Treated
R	Riser
RA	Return Air
RB	Rubber Base
RC	Roof Conductor
RCP	Reflected Ceiling Plan
RD	Roof Drain
RF	Rubber Flooring
REINF	Reinforced, Reinforcing
REQD	Required
RFG	Roofing
RM	Room
RS	Roof Sump
RT	Rubber Tile
SAN	Sanitary
SOCHED	Schedule
SHT	Sheet
SIM	Similar
SPEC	Specification
SS	Service Sink
STL	Steel
STD	Standard
STOR	Storage
STRUCT	Structural
SUSP	Suspended
SW	Switch
SYM	Symmetrical
T	Tread
T&B	Top and Bottom
TEL	Telephone
TERR	Terrazzo
T&G	Tongue and Groove
THK	Thick, Thickness
THRES	Threshold
TOS	Top Of Steel
TYP	Typical
UIC	Undercut
UNO	Unless Noted Otherwise
VB	Vinyl Base
VCT	Vinyl Composition Tile
VIF	Verify In Field
W	Wide
VERT	Vertical
WAINS	Wainscot
WC	Water Closet
WD WIN	Wood Window
WT	Weight
WWF	Welded Wire Fabric

CONSULTANT:

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1760 WABASH STREET, DETROIT, MI 48216

Issued for :
HDC 09/09/2024

Drawn by :
JRM
Checked by :
JRM
Sheet Title :
TITLE SHEET

Project No. :
2024015

Sheet No. :
TS1.1

NOT FOR CONSTRUCTION

CONSULTANT:

SITE PLAN GENERAL NOTES:

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC. SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

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JRM

Sheet Title :

ARCHITECTURAL SITE PLAN

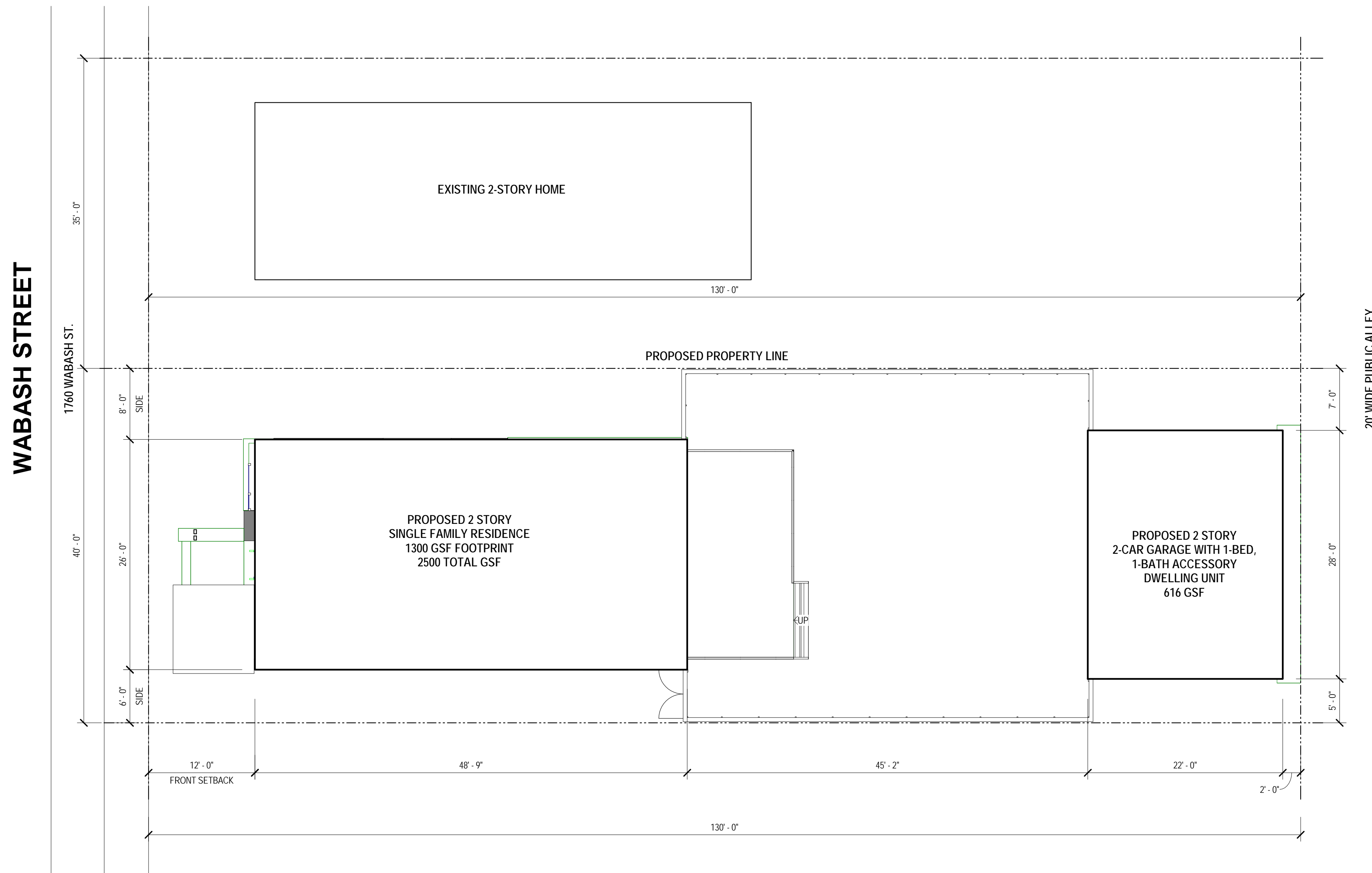
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SP1.1

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1 ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"

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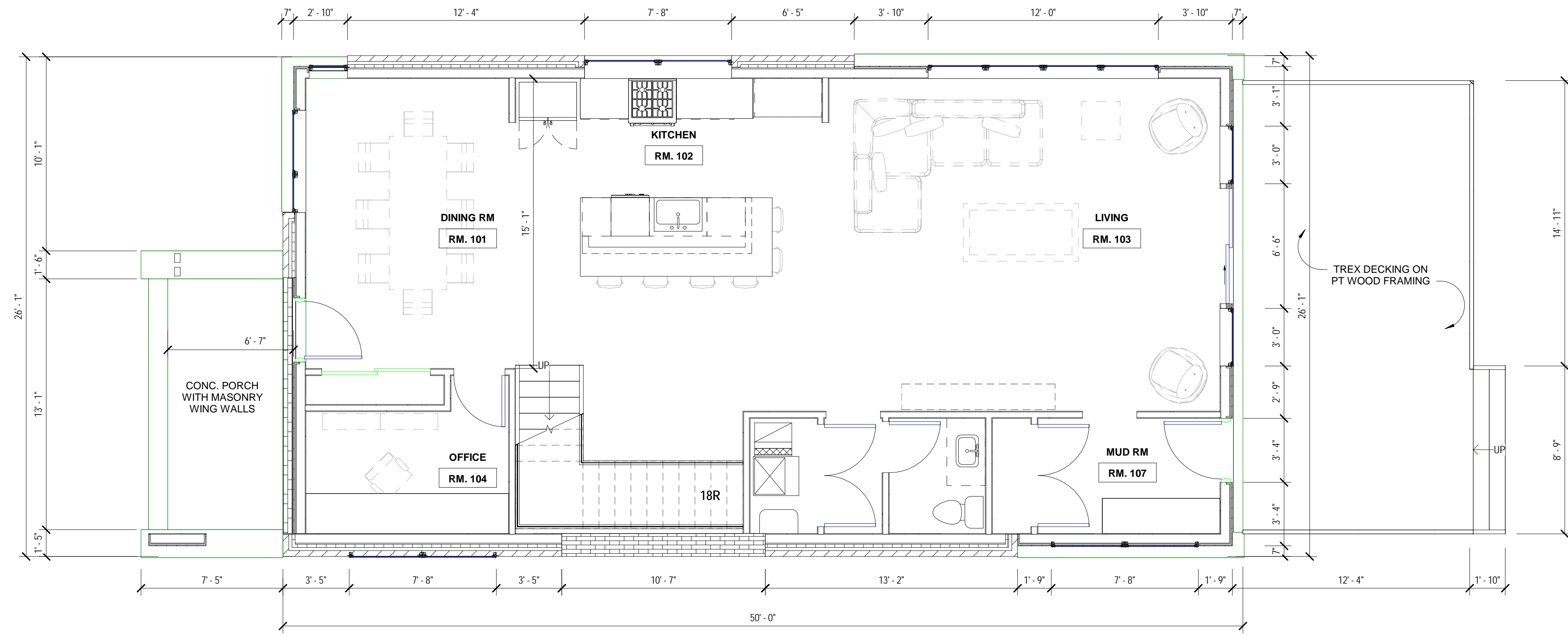
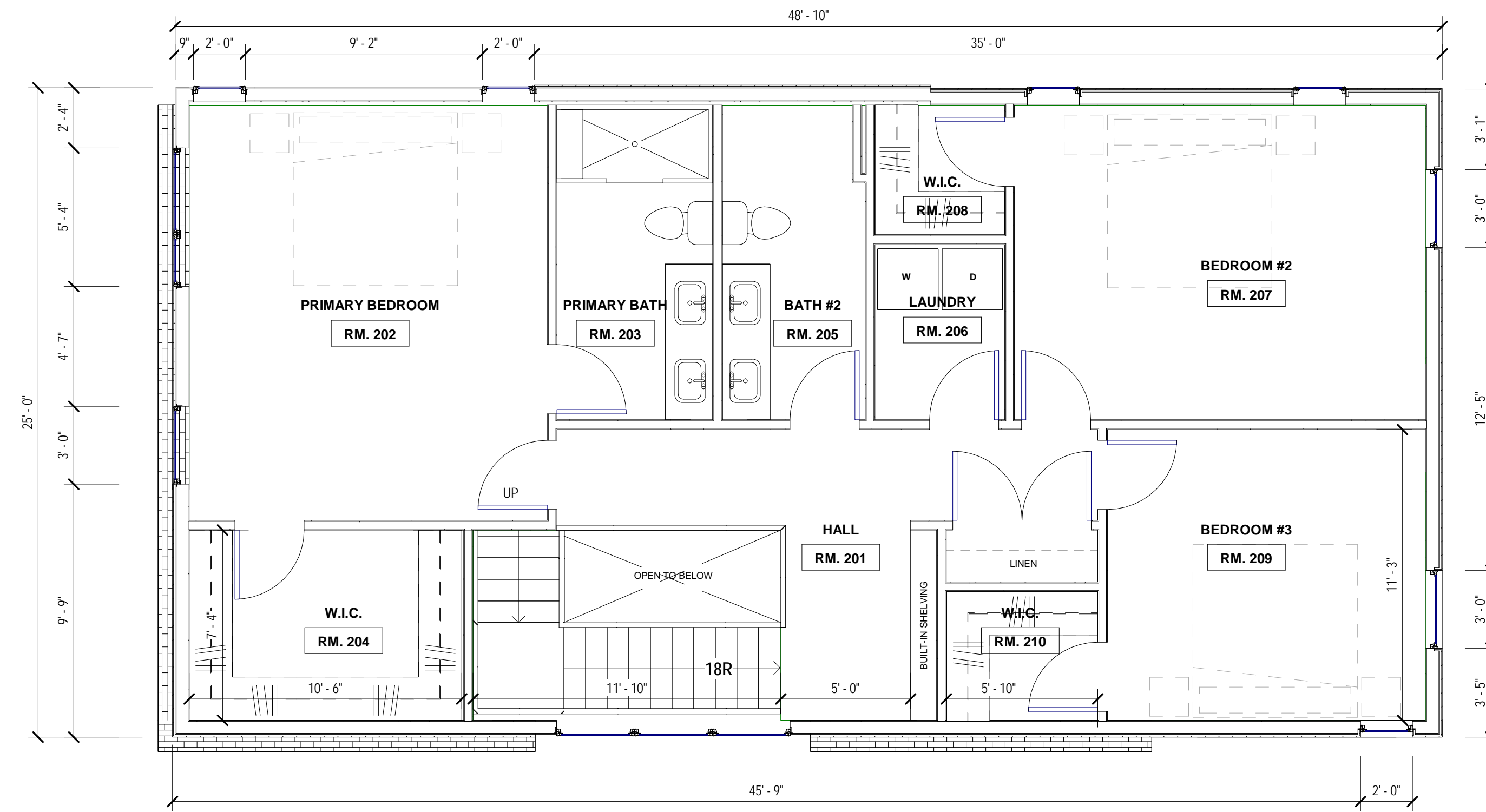
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 HOUSE FLOOR PLANS

Project No. :
 2024015

Sheet No. :
A1.1

GENERAL PLAN NOTES:

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. ANY DIMENSIONAL VARIANCES CAUSED BY ACTUAL WALL CONSTRUCTION OR LAYOUT MODIFICATIONS IN THE FIELD ARE RESPONSIBILITY OF CONTRACTOR.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE FLOOR PLAN KEYNOTES FOR AWLL CONSTRUCTION.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. DO NOT BACKFILL WALLS UNTIL FLOOR DECKS ARE INSTALLED
6. ALL POSTS CONTINUOUS TO FOUNDATION
7. SHEAR WALLS TO BE PERSCRPTIVE PER MBC 2015
8. REFER TO DOOR HARDWARE SET SCHEDULE ON SHEET A5.0



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SENDER STRIP LOCATION

CONSULTANT:

GENERAL PLAN NOTES:

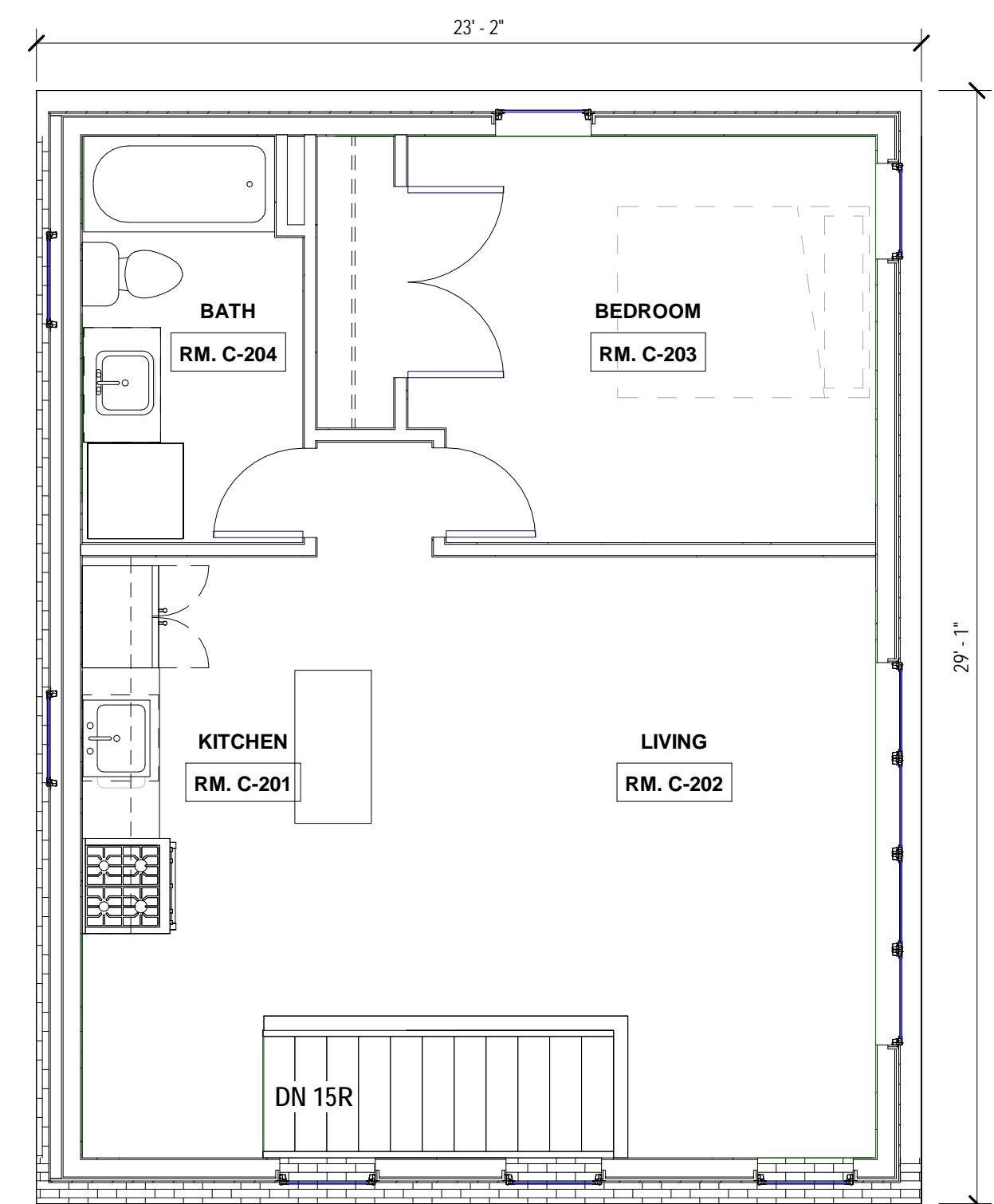
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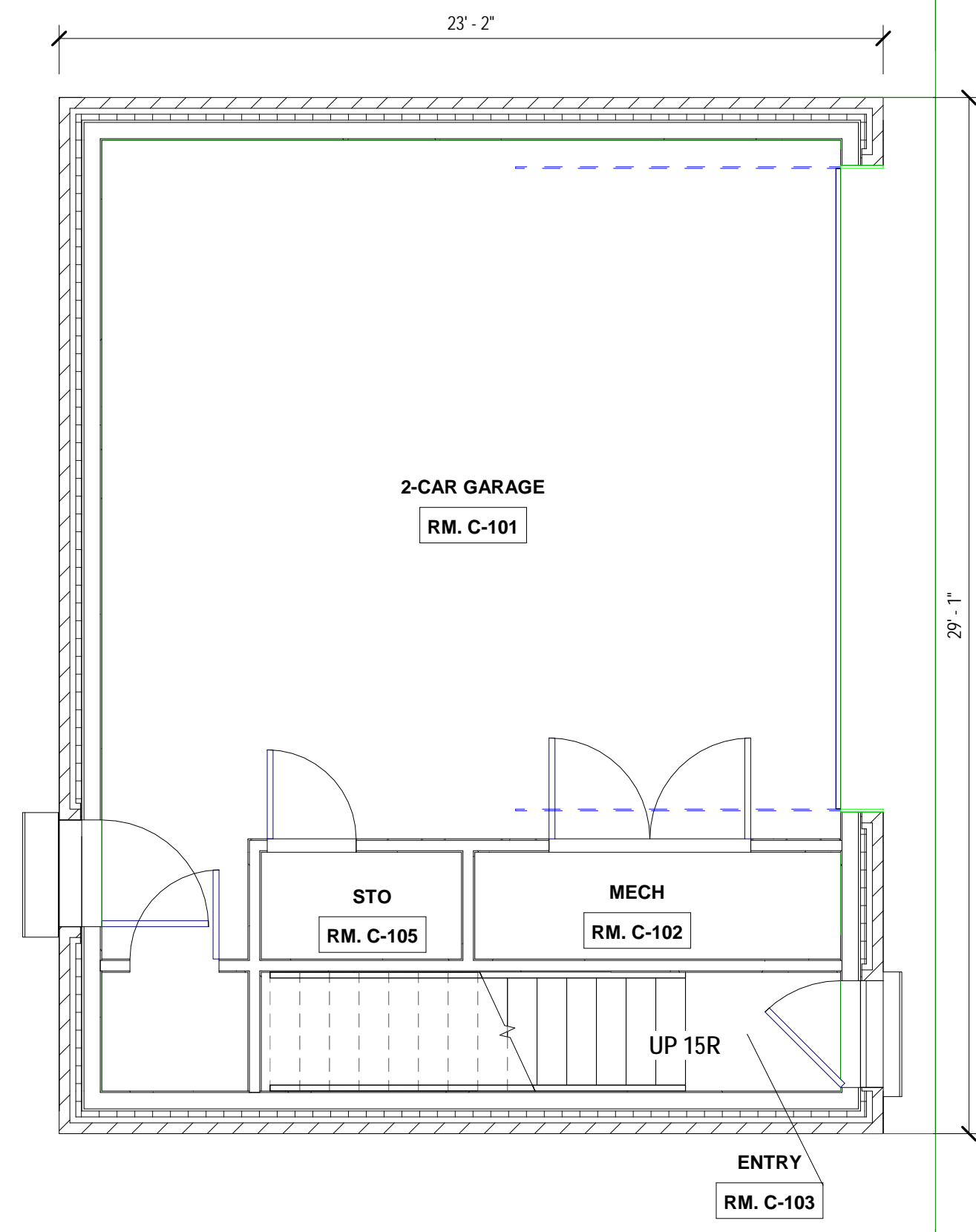
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 ACCESSORY DWELLING UNIT FLOOR PLANS
 Project No. :
 2024015
 Sheet No. :

A1.2



2 ACCESSORY DWELLING UNIT PLAN
 SCALE: 1/4" = 1'-0"



1 GARAGE PLAN
 SCALE: 1/4" = 1'-0"

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CONSULTANT:

GENERAL ELEVATION/SECTION NOTES:

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- ALL FOUNDATIONS TO EXTEND 42" MIN. BELOW GRADE
- ALL FOUNDATIONS ADJACENT TO EXIST. FND'S TO MATCH BOTTOM ON FOOTING ELEVATION.
- UNDER NO CIRCUMSTANCES EXCAVATE BELOW BOTTOM OF EXIST. FND'S TO A MIN. INFLUENCE ZONE DELINEATED BY 1 VERTICAL, 2 HORIZONTAL LINE

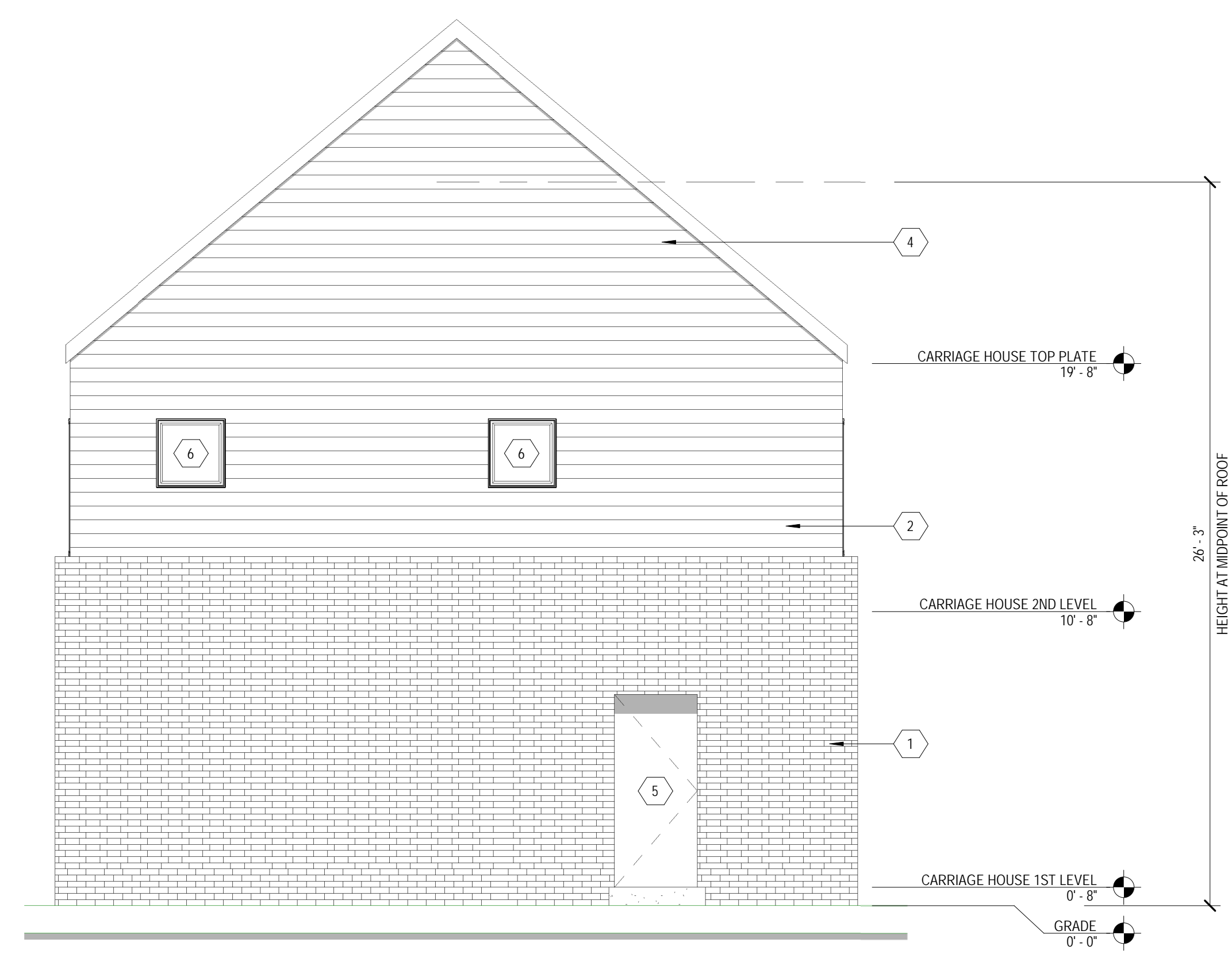
ELEVATION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

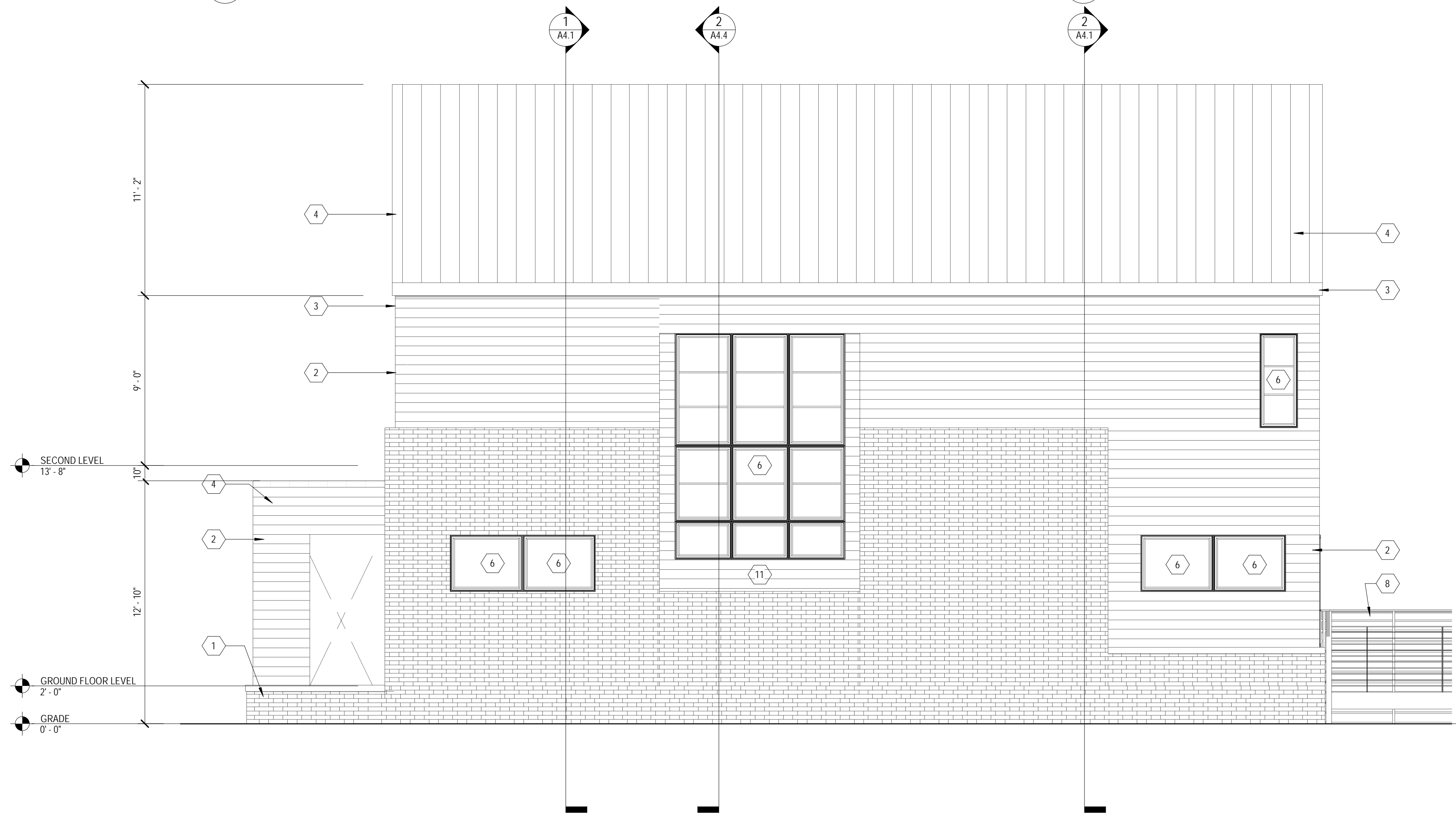
- 1 COMPOSITE STONE SIDING
BASIS OF DESIGN: EVOLVE STONE
STYLE: DISTRICT VIEW, COLOR: PHANTOM SHADOW
COURSE HT: 2", BLOCK LENGTH: 4'-11 1/2", RANDOM PATTERN.
- 2 GFRG LAP SIDING
BASIS OF DESIGN: HARDIE PLANK LAP SIDING
IRON GRAY, SMOOTH, 6" EXPOSURE
- 3 PREFINISHED METAL FASCIA AND DRIP EDGE, COLOR: BLACK
- 4 METAL STANDING SEAM ROOFING
BASIS OF DESIGN: METAL SALES T-ARMOR PANEL W/ 2-3/8" RIB, SLATE GRAY
- 5 ENTRY DOOR
BASIS OF DESIGN: THERMATRU
- 6 COMPOSITE WINDOW
BASIS OF DESIGN: ANDERSEN 100, BLACK, INTERNAL HORIZ. GRILLES. REFER TO ELEVATIONS
- 7 GARAGE DOOR
BASIS OF DESIGN: GARAGA, FLAT PANEL, BLACK
- 8 6' TALL STAINED WOOD FENCE
STAINED 1 1/2" WOOD HORIZONTAL SLATS ON 4x4 PRESSURE TREATED POSTS. STAIN TO MATCH FRONT PORCH STRUCTURE AND WOOD SIDING.
- 9 CAST-IN-PLACE CONC. PORCH AND STAIR
- 10 STAINED CEDAR PORCH POSTS AND BEAMS. STAIN TO MATCH WOOD SIDING
- 11 STAINED CEDAR SHIPLAP SIDING, 6" EXPOSURE. COLOR: EXPERT STAIN&SEAL "PALOMINO"
- 12 COMPOSITE GLIDING PATIO DOOR
BASIS OF DESIGN: ANDERSEN 100, BLACK



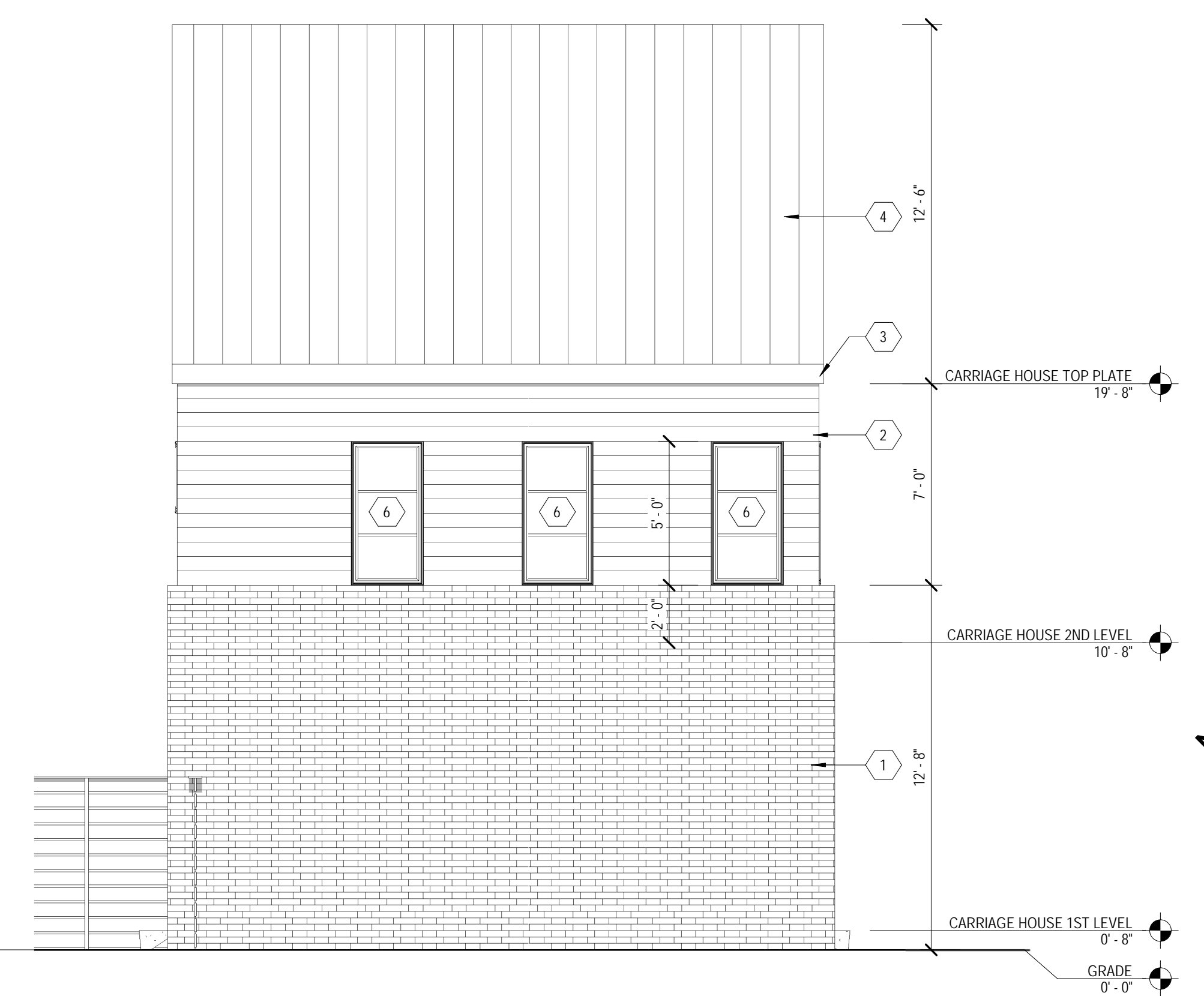
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION- CARRIAGE HOUSE
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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 EXTERIOR ELEVATIONS

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Sheet No. :

A3.1

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BINDER STRIP LOCATION

CONSULTANT:

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ELEVATION KEY NOTES:

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 BASIS OF DESIGN: ANDERSEN 100, BLACK

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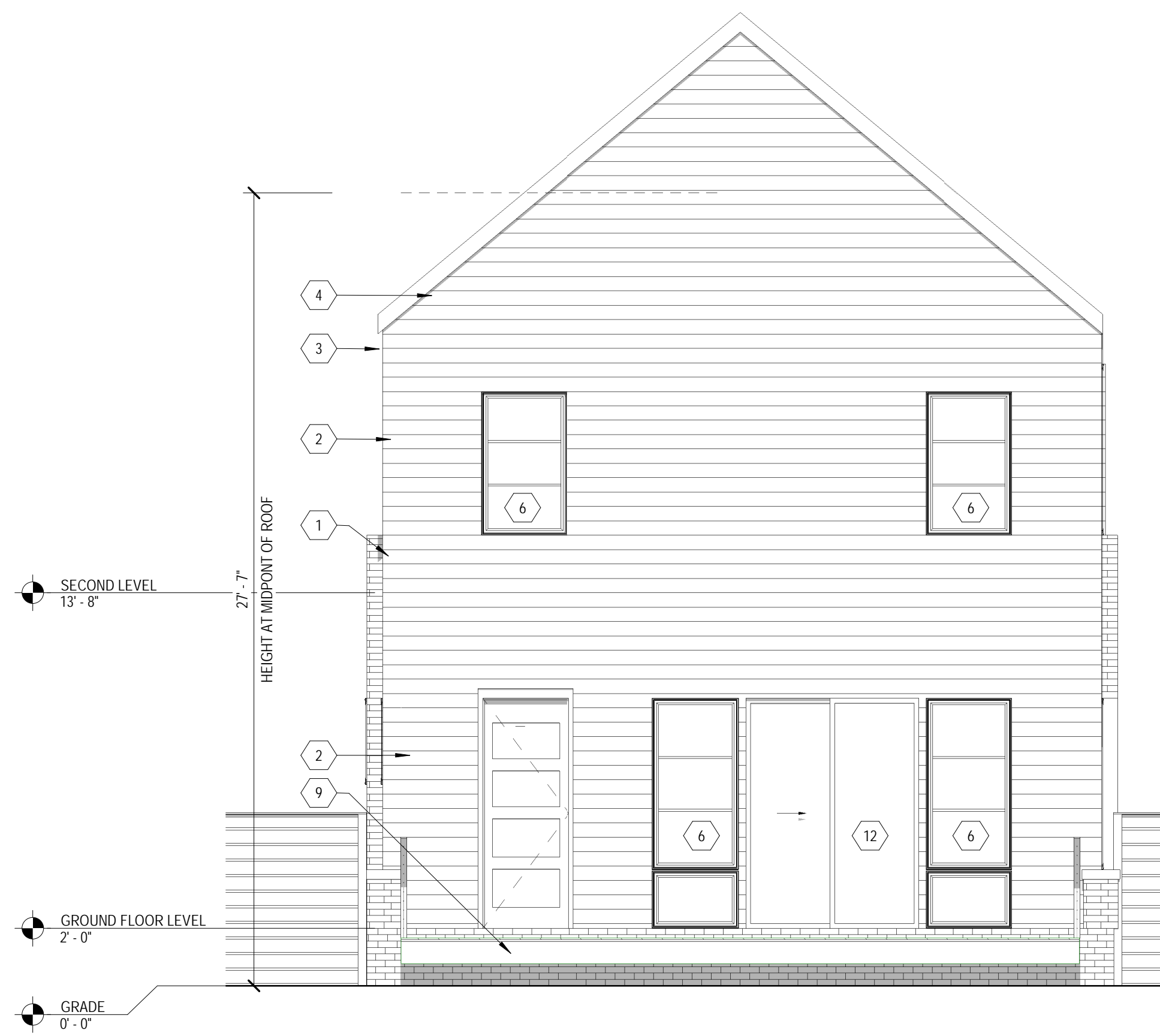
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 EXTERIOR ELEVATIONS

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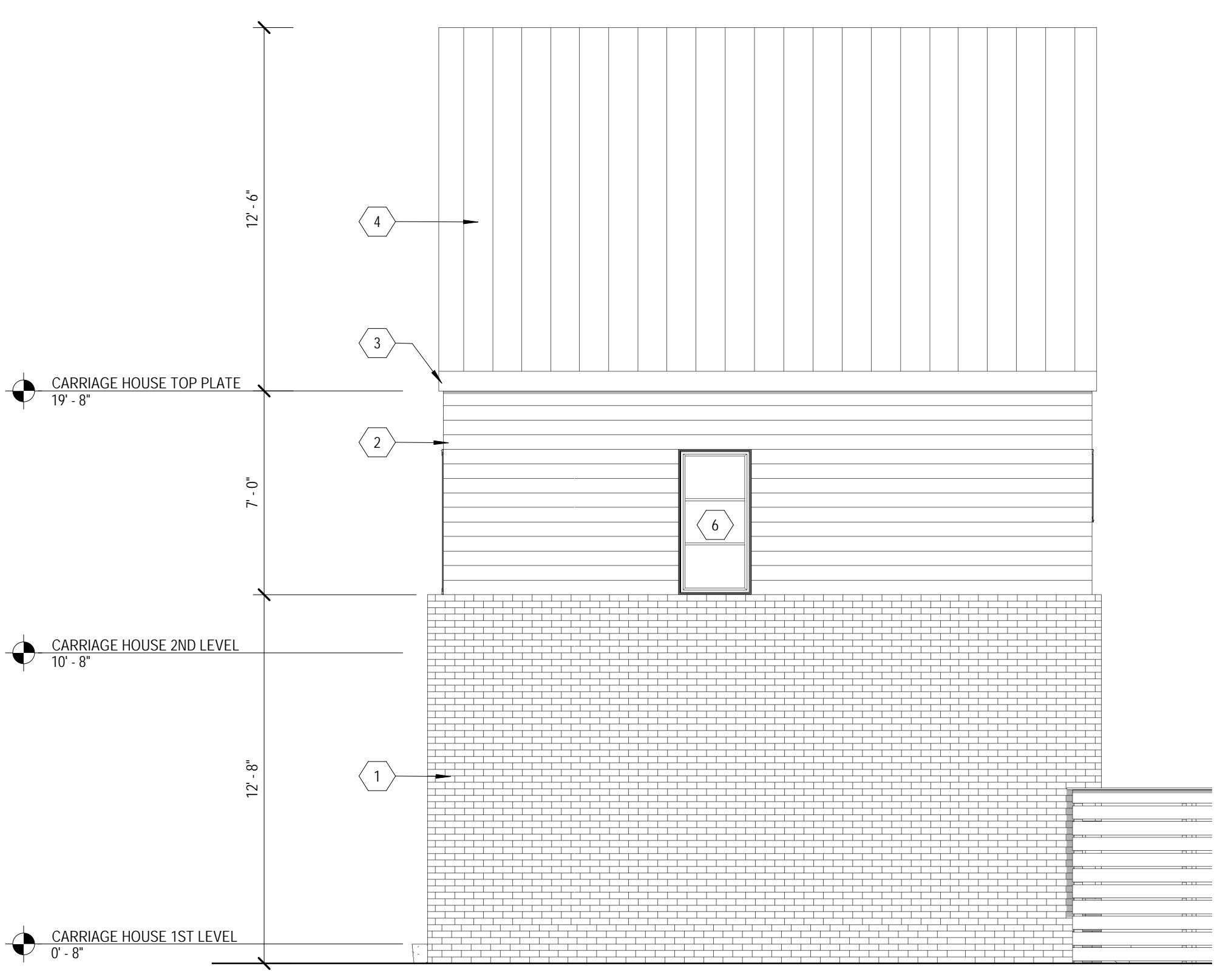
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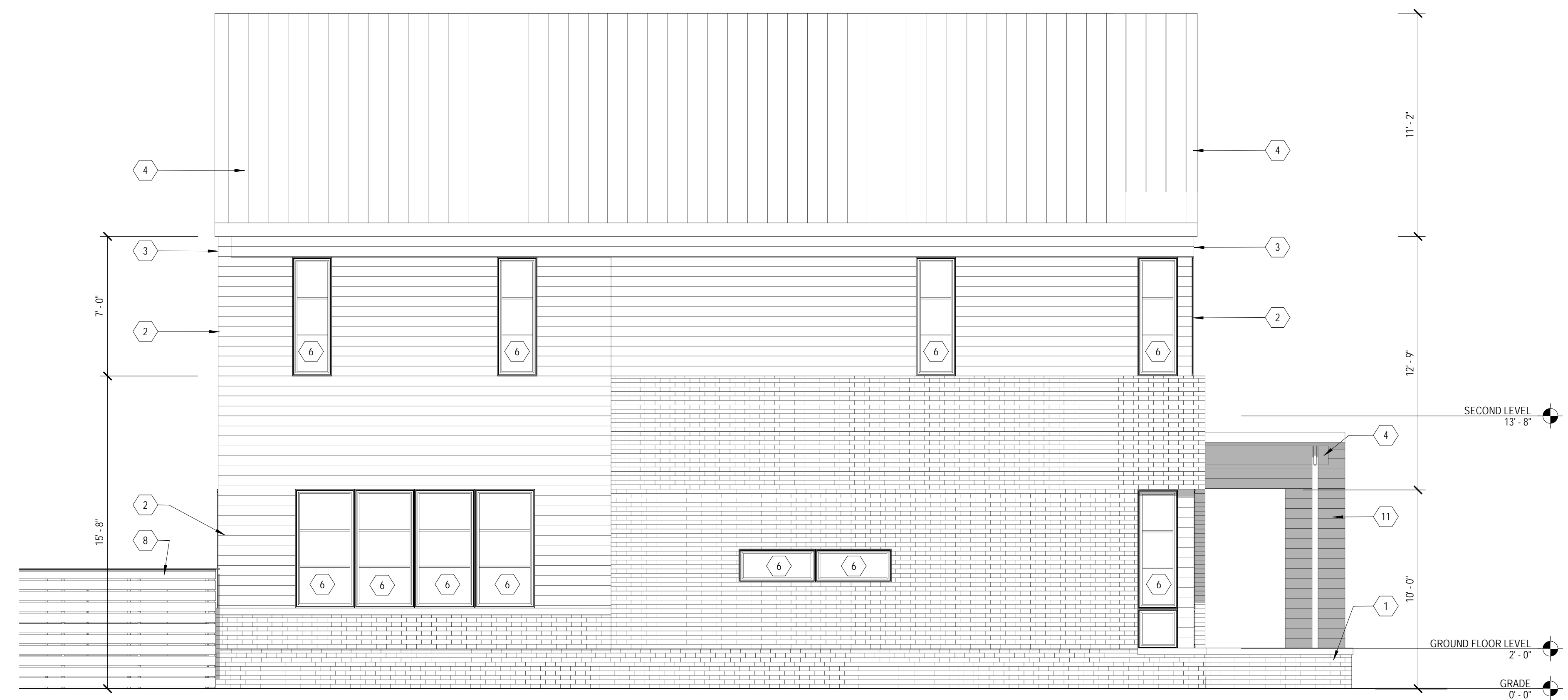
2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION-CARRIAGE HOUSE
 SCALE: 1/4" = 1'-0"

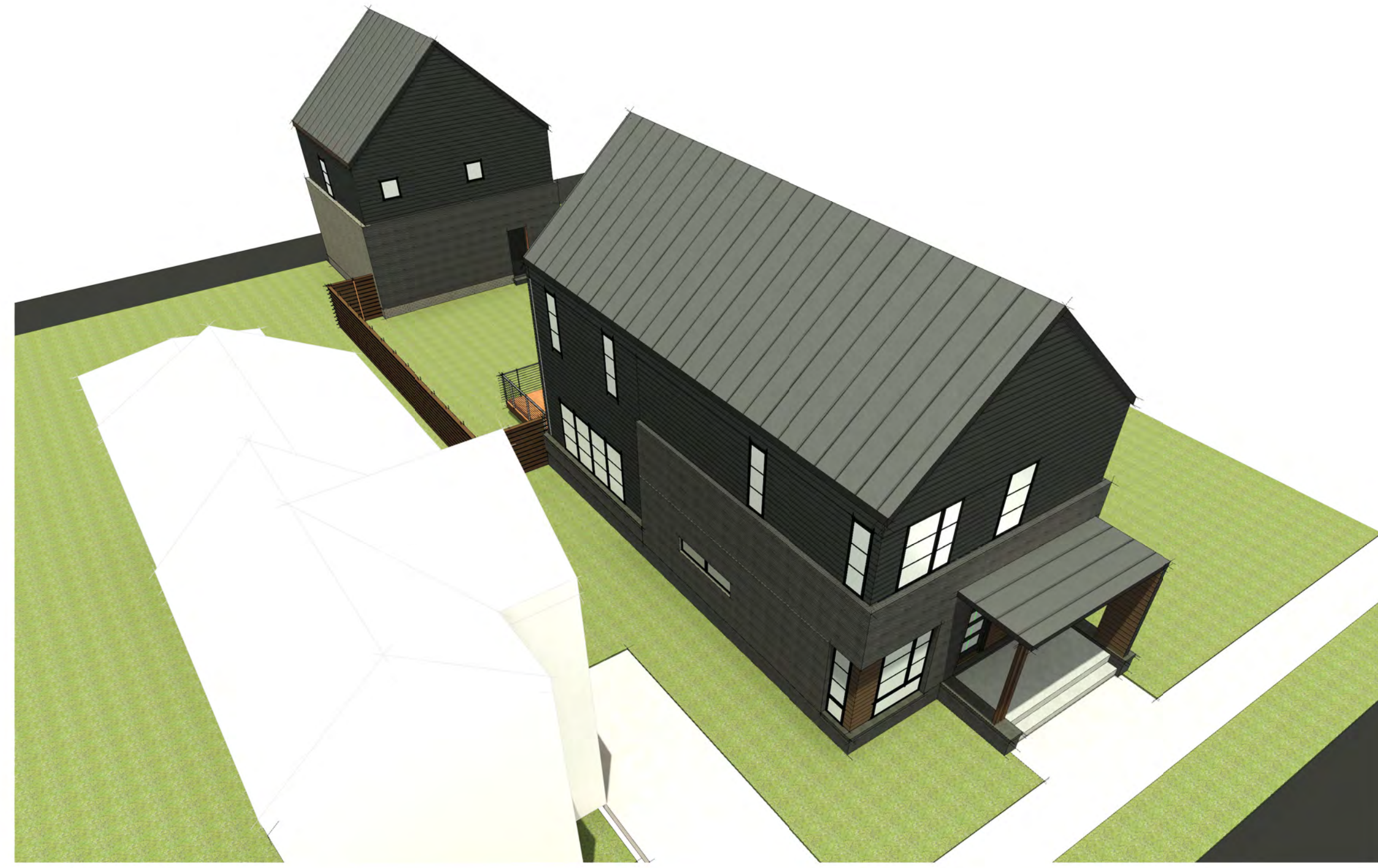


1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



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2 BIRDSEYE
SCALE:



4 SOUTHEAST CORNER
SCALE:



1 NORTHWEST CORNER
SCALE:



3 SOUTHWEST CORNER
SCALE:

ARCHITECT:
4545 architecture
2761 E. JEFFERSON AVE.
SUITE 302
DETROIT, MI 48207
P. 313.450.4545
TM.FLINTOFF@4545ARCHITECTURE.COM

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EXTERIOR
RENDERINGS

Project No. :
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Sheet No. :

A3.3

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RENDER - STEP - LOCATION