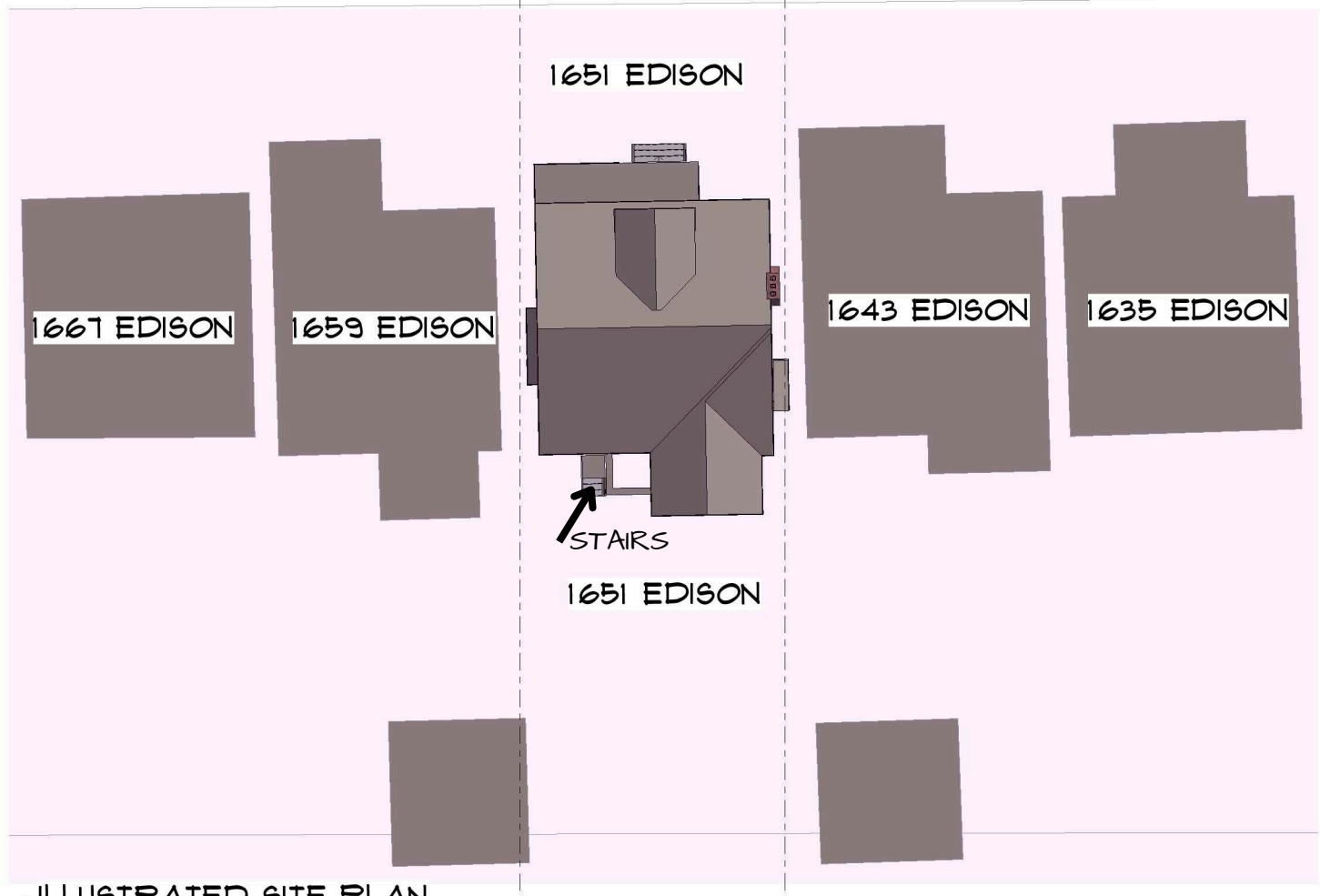
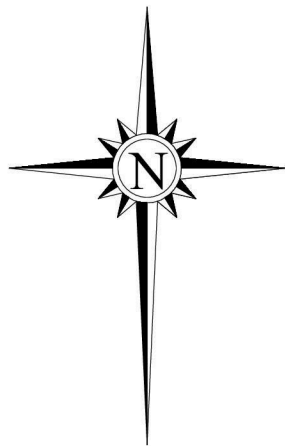


EDISON STREET



① ILLUSTRATED SITE PLAN
3/32" = 1'-0"



GENERAL NOTES:

- ☐ LEGAL DESCRIPTION: S EDISON 18 JACKSON PARK SUB L30 P95 PLATS, W C R 8/119 40 X 133.5
- ☐ PARCEL ID: 08002838.
- ☐ PROPERTY CLASS: 401 - RESIDENTIAL - IMPROVED
- ☐ PROPERTY USE: 4110 - SINGLE FAMILY
- ☐ ZONING: RI (SINGLE FAMILY RESIDENTIAL DISTRICT)
- ☐ STYLE: SINGLE FAMILY
- ☐ HISTORIC DESIGNATION: BOSTON EDISON



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② SOUTH MACRO ELEVATION (ALLEY VIEW)
1/8" = 1'-0"

RENTIFY LLC

1651 EDISON

ILLUSTRATED SITE PLAN
& SOUTH MACRO
ELEVATION

PROJECT NUMBER	2024-0517
DATE	05/17/2024
DRAWN BY	Author
CHECKED BY	Checker

A102

SCALE As indicated

5/21/2024 4:33:53 PM



④ EAST ELEVATION (RENDERED)
1/8" = 1'-0"



③ NORTH ELEVATION (RENDERED)
1/8" = 1'-0"



② SOUTH ELEVATION (RENDERED)
1/8" = 1'-0"



① WEST ELEVATION (RENDERED)
1/8" = 1'-0"

DESIGN NOTES (PLEASE REFER TO A-105 FOR DETAILED ELEVATIONS):

- ❑ ROOTED WOOD TO BE REPLACED IN REAR OF THE HOUSE. ONCE ROOTED WOOD IS REPLACED, IT IS TO BE SIDED WITH JAMES HARDIE PRIMED-HZ 5 FIBER CEMENT CEDARMILL LAP SIDING 7.25" X 144". COLOR OPTIONS ARE EITHER COBBLE STONE OR MONTEREY TAUPE AND ARE CONTINGENT UPON APPROVAL. PLEASE REFER TO SOUTH ELEVATION FOR MORE DETAILS.
- ❑ FRONT DOOR IS TO BE 36" X 80" LITE CLEAR CRAFTSMEN UNFINISHED SMOOTH RIGHT-HAND INSWING FIBERGLASS PREHUNG FRONT DOOR. PLEASE REFER TO NORTH ELEVATION FOR MORE DETAILS.
- ❑ ALL OTHER EXTERIOR DOORS (BACK, SIDE, AND PORCH) ARE TO BE 6-PANEL PRIMED STEEL PREHUNG LEFT-HAND INSWING W/BRICKMOULD. PLEASE REFER TO THE WEST AND SOUTH ELEVATIONS RESPECTIVELY FOR MORE DETAILS.



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RENTIFY LLC

1651 EDISON
RENDERED ELEVATIONS

PROJECT NUMBER	2024-0517
DATE	05/17/2024
DRAWN BY	Author
CHECKED BY	Checker

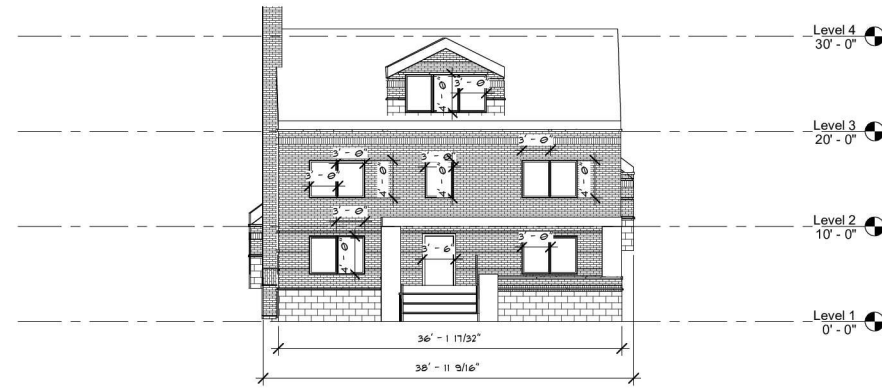
A104

SCALE 1/8" = 1'-0"

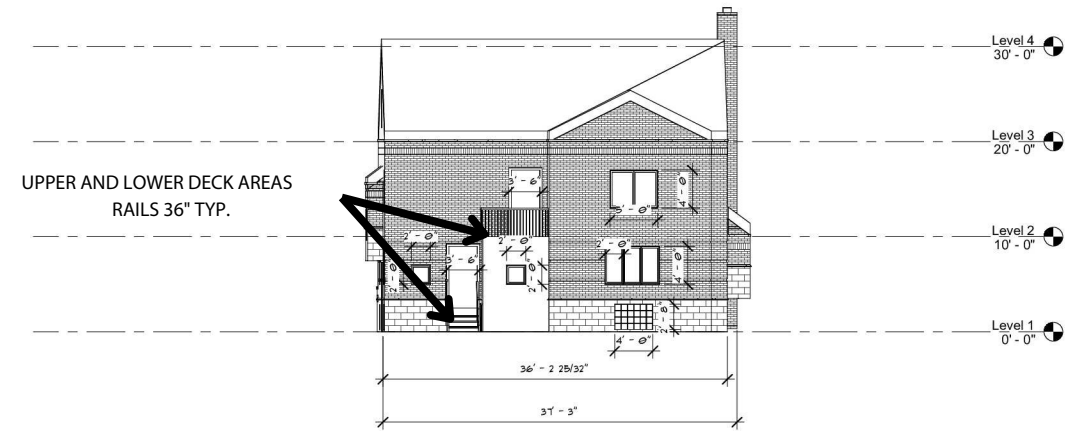
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① EAST ELEVATION (DETAILED)
1/8" = 1'-0"



② NORTH ELEVATION (DETAILED)
1/8" = 1'-0"



③ SOUTH ELEVATION (DETAILED)
1/8" = 1'-0"



④ WEST ELEVATION (DETAILED)
1/8" = 1'-0"

DESIGN NOTES (PLEASE REFER TO A-105 FOR DETAILED ELEVATIONS):

- ❑ ROOTED WOOD TO BE REPLACED IN REAR OF THE HOUSE. ONCE ROOTED WOOD IS REPLACED, IT IS TO BE SIDED WITH JAMES HARDIE PRIMED-HZ 5 FIBER CEMENT CEDARMILL LAP SIDING 1.25" X 144". COLOR OPTIONS ARE EITHER COBBLE STONE OR MONTEREY TAUPE AND ARE CONTINGENT UPON APPROVAL. PLEASE REFER TO SOUTH ELEVATION FOR MORE DETAILS.
- ❑ UPPER REAR WINDOWS TO BE REPLACED WITH ONE 60" X 48" SLIDING WINDOW. PLEASE REFER TO SOUTH ELEVATION FOR MORE DETAILS.
- ❑ FRONT DOOR IS TO BE 36" X 80" LITE CLEAR CRAFTSMEN UNFINISHED SMOOTH RIGHT-HAND INSWING FIBERGLASS PREHUNG FRONT DOOR. PLEASE REFER TO NORTH ELEVATION FOR MORE DETAILS.
- ❑ ALL OTHER EXTERIOR DOORS (BACK, SIDE, AND PORCH) ARE TO BE 6-PANEL PRIMED STEEL PREHUNG LEFT-HAND INSWING W/BRICKMOULD. PLEASE REFER TO THE WEST AND SOUTH ELEVATIONS RESPECTIVELY FOR MORE DETAILS.



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RENTIFY LLC

1651 EDISON

DETAILED ELEVATIONS

PROJECT NUMBER	2024-0517
DATE	05/17/2024
DRAWN BY	Author
CHECKED BY	Checker

A105

SCALE 1/8" = 1'-0"