

EXISTING CONDITIONS

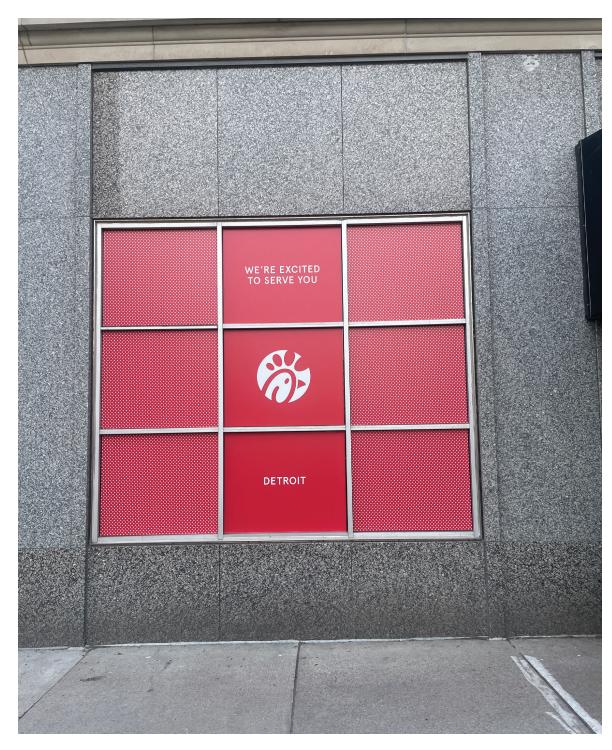


Chick-fil:1 NATIONAL BUILDING

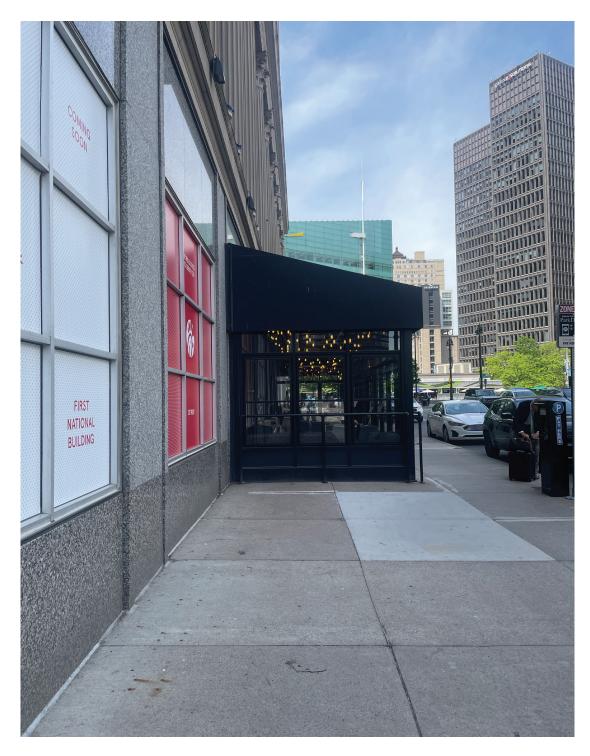
north elevation, looking southeast

north elevation, looking southwest

EXISTING CONDITIONS

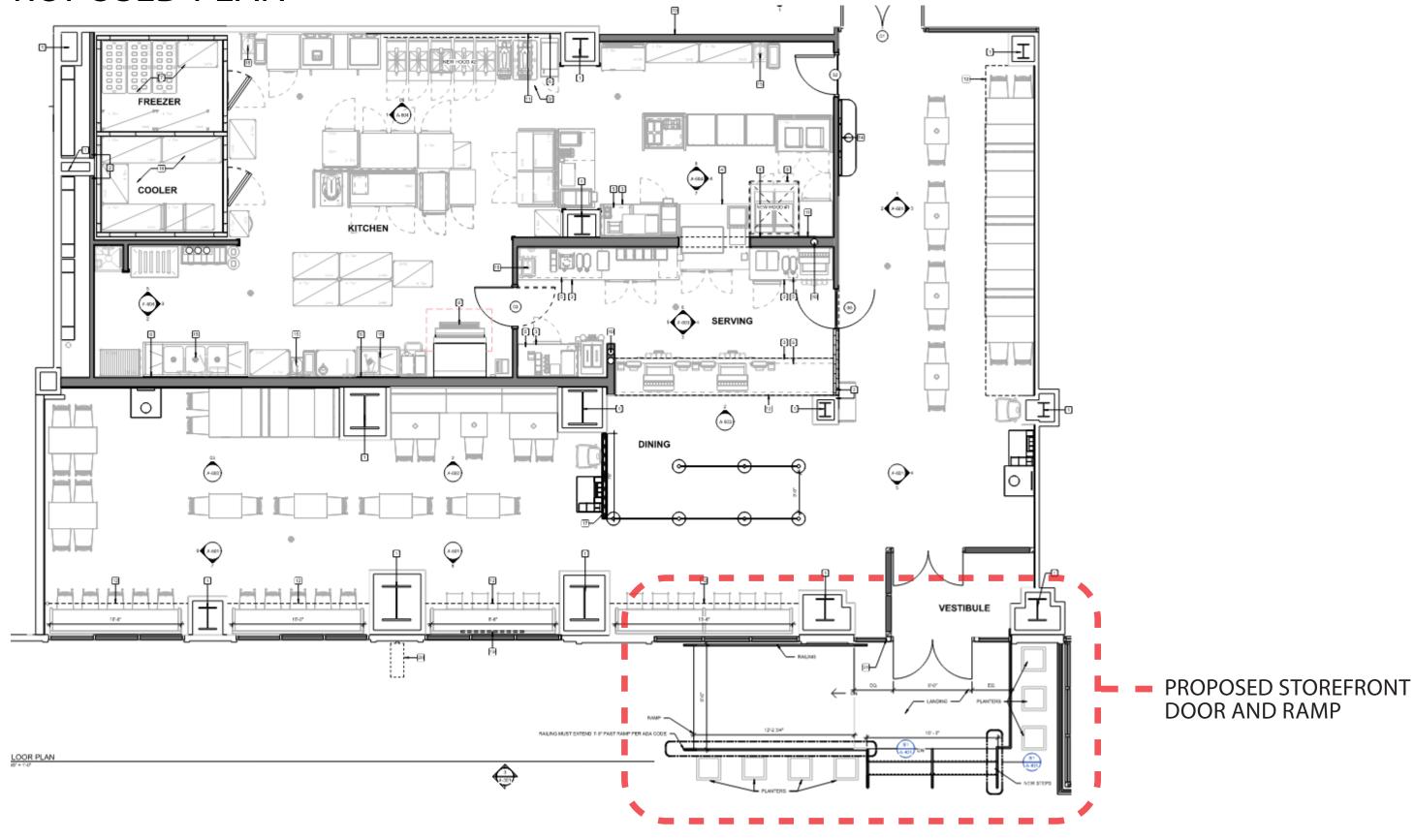


Existing storefront bay, location of proposed new door. Non-historic storefront and non-historic granite base and infill.

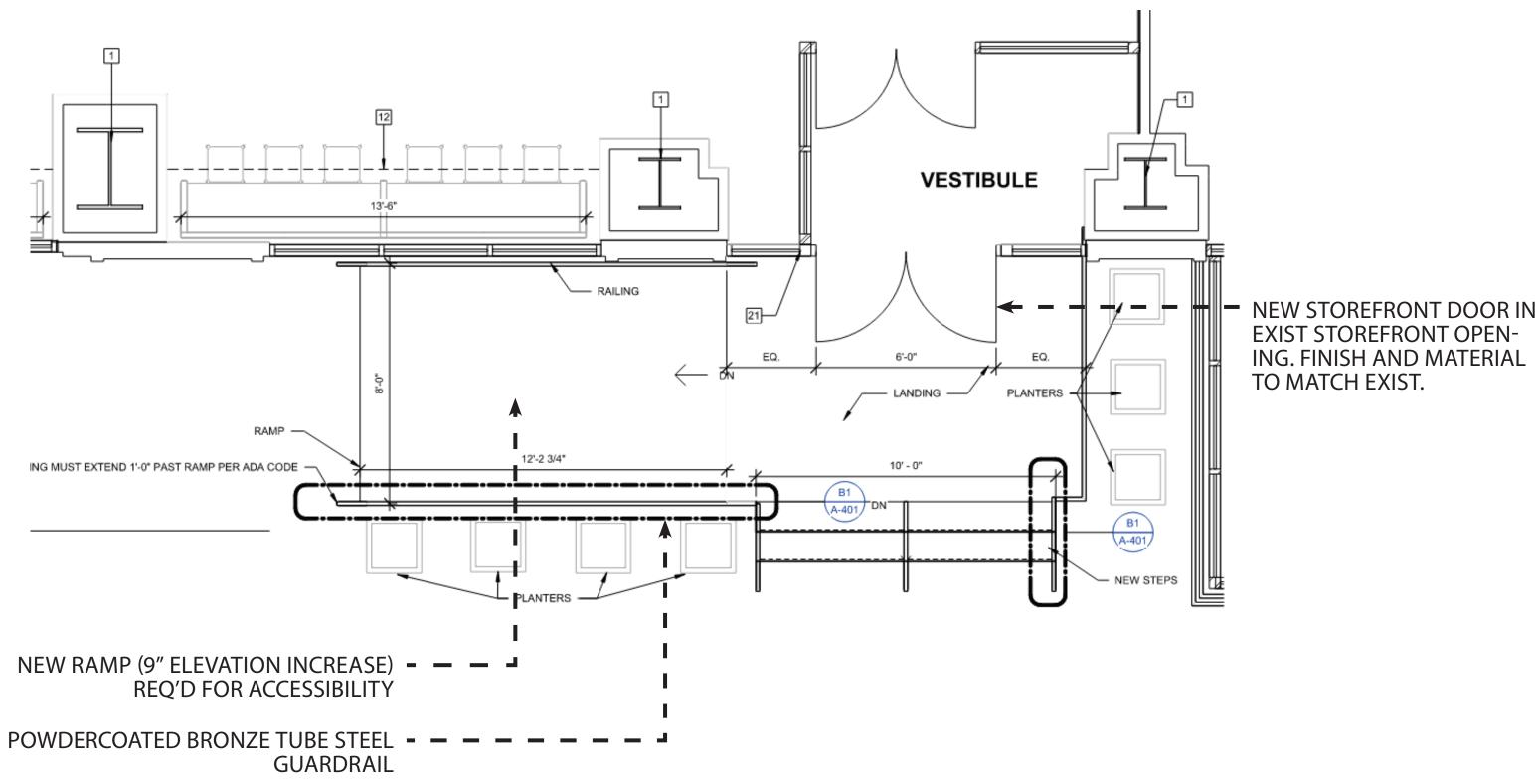


Location of proposed new accessible ramp. Existing permanent structure in background.

PROPOSED PLAN



PROPOSED PLAN



PROPOSED ELEVATION

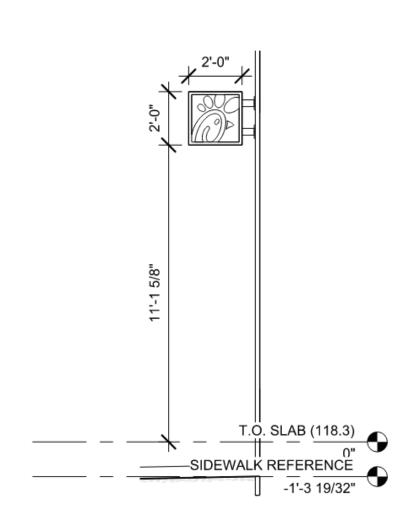


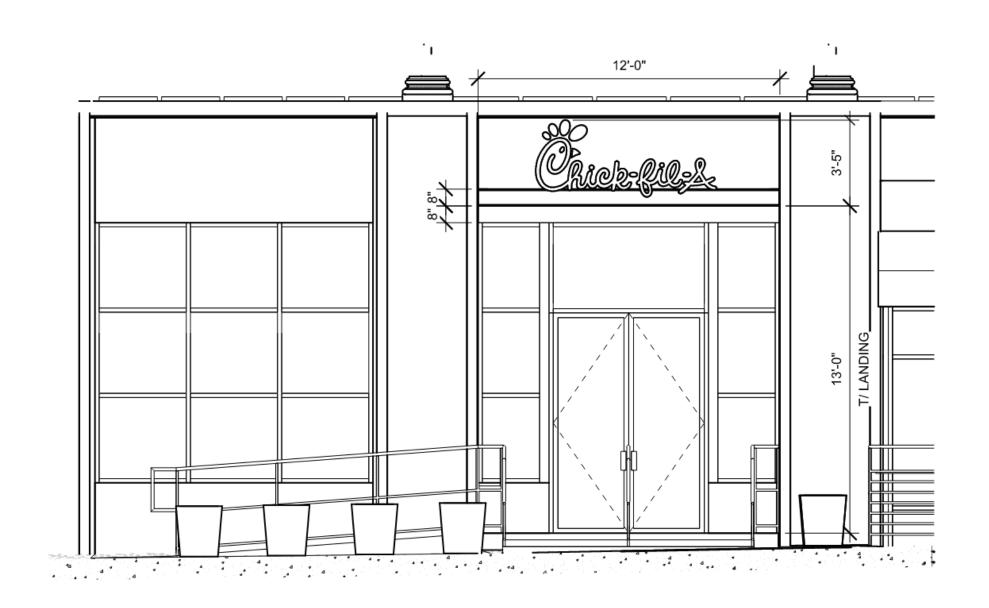
MULLION PATTERN



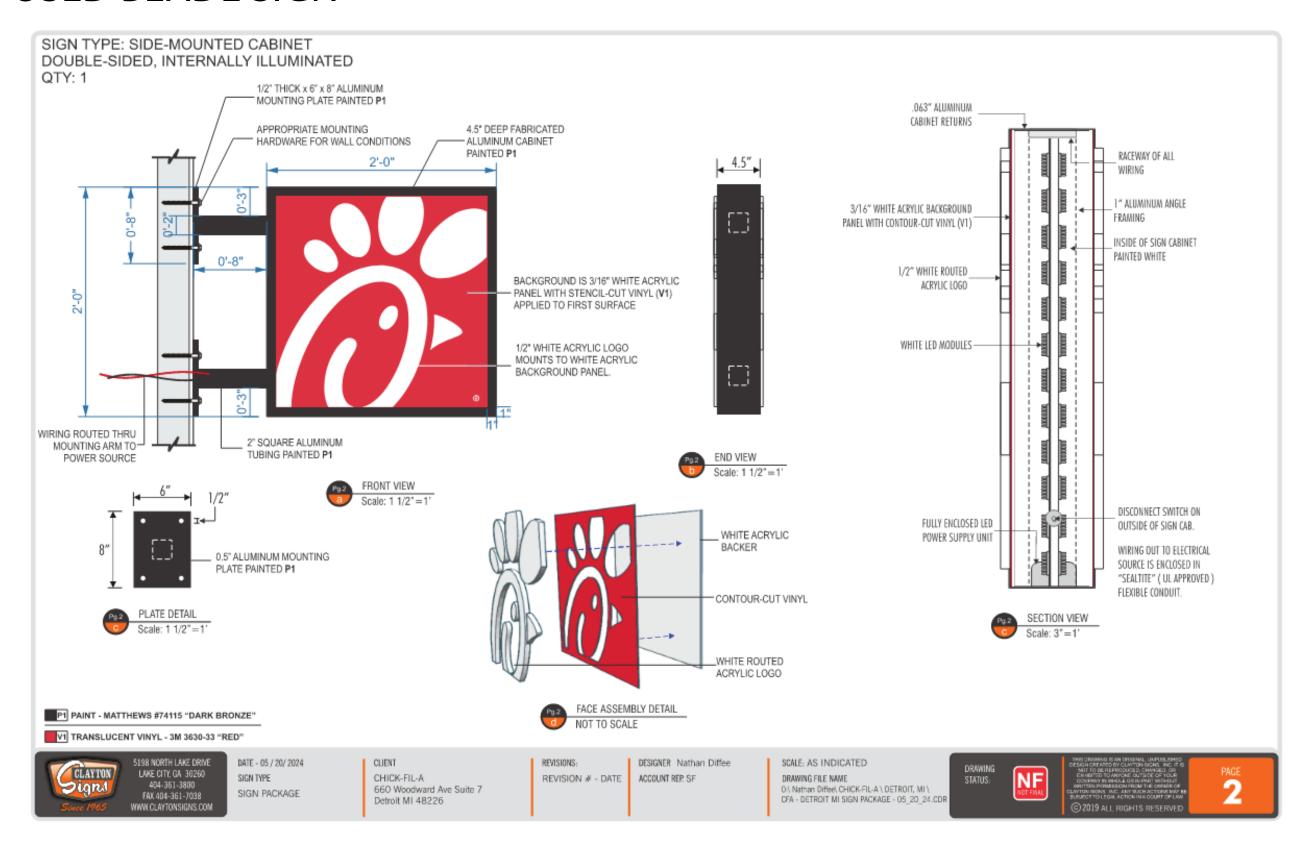
PROPOSED STOREFRONT MATCHES EXIST MULLION - PATTERN AND USES EXIST STOREFRONT OPENING

PROPOSED SIGNAGE

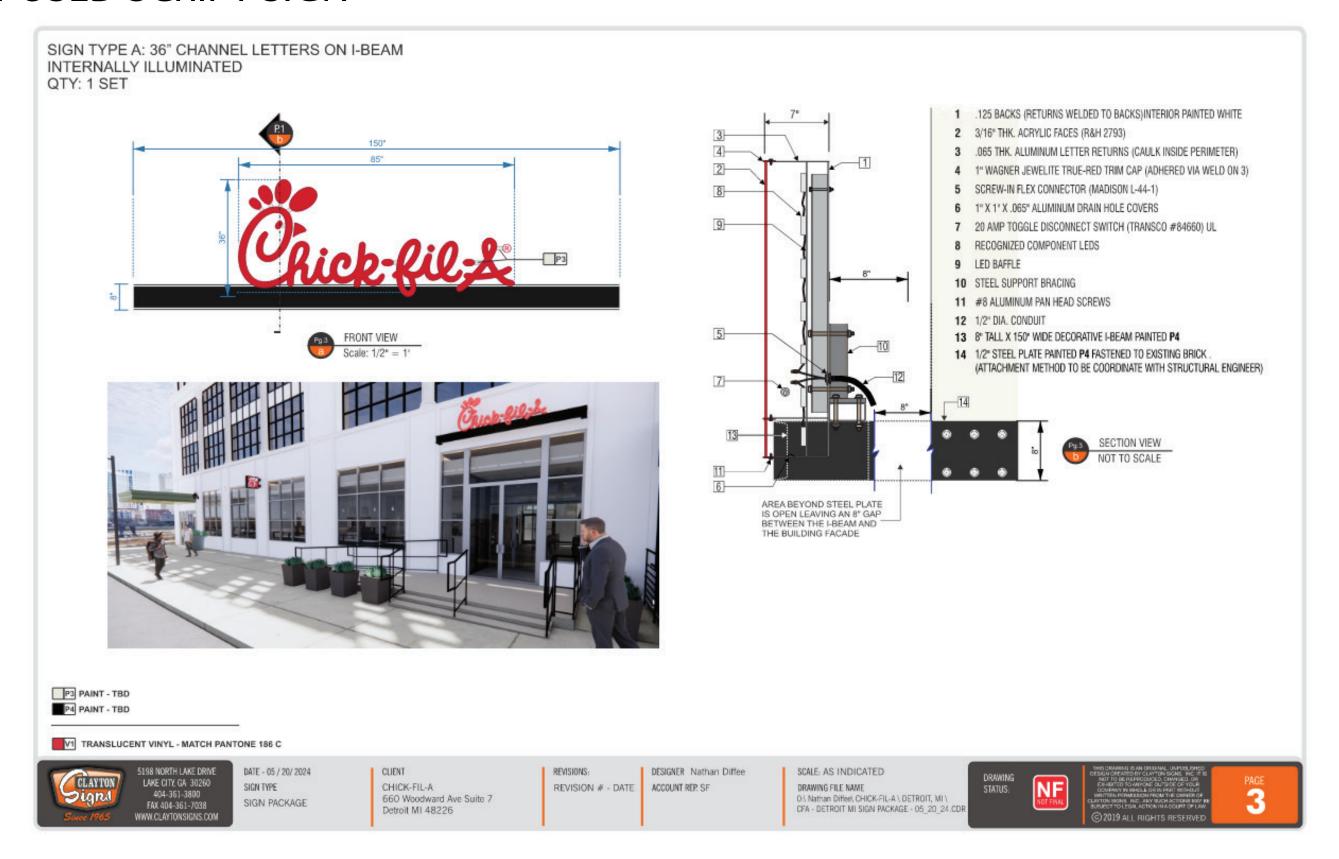




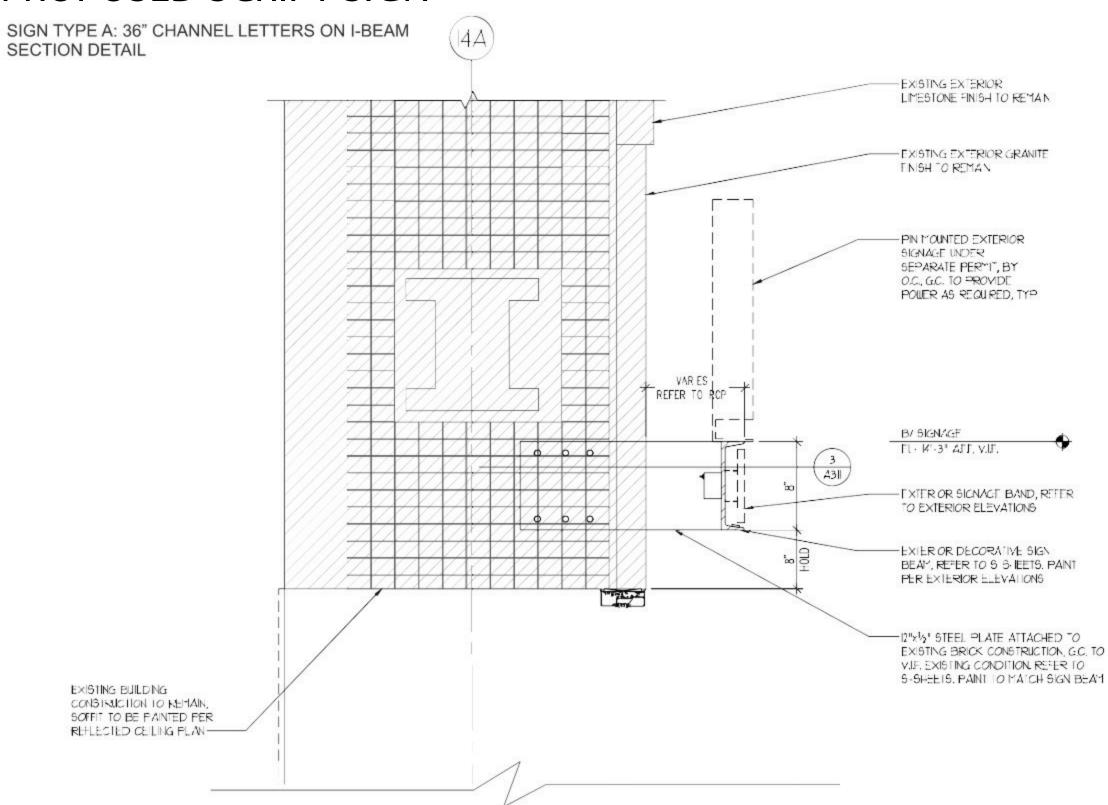
PROPOSED BLADE SIGN



PROPOSED SCRIPT SIGN

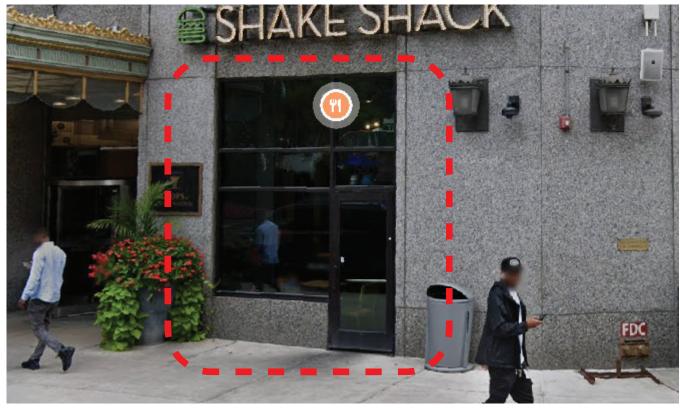


PROPOSED SCRIPT SIGN



EXT STOREFRONT DOOR PRECEDENT @ FIRST NATIONAL BUILDING



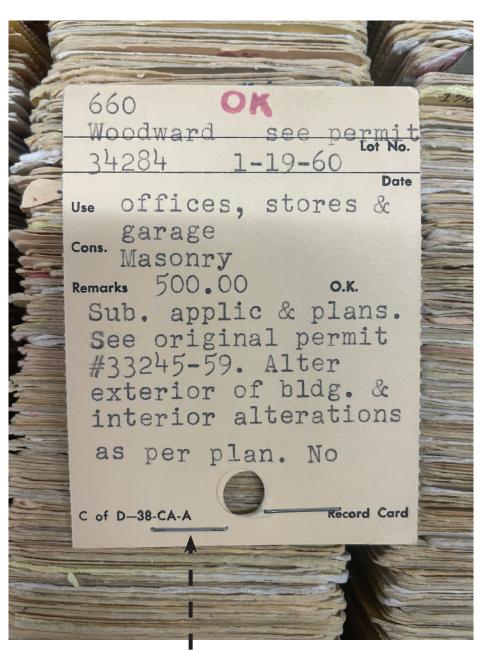






HISTORIC CONDITIONS

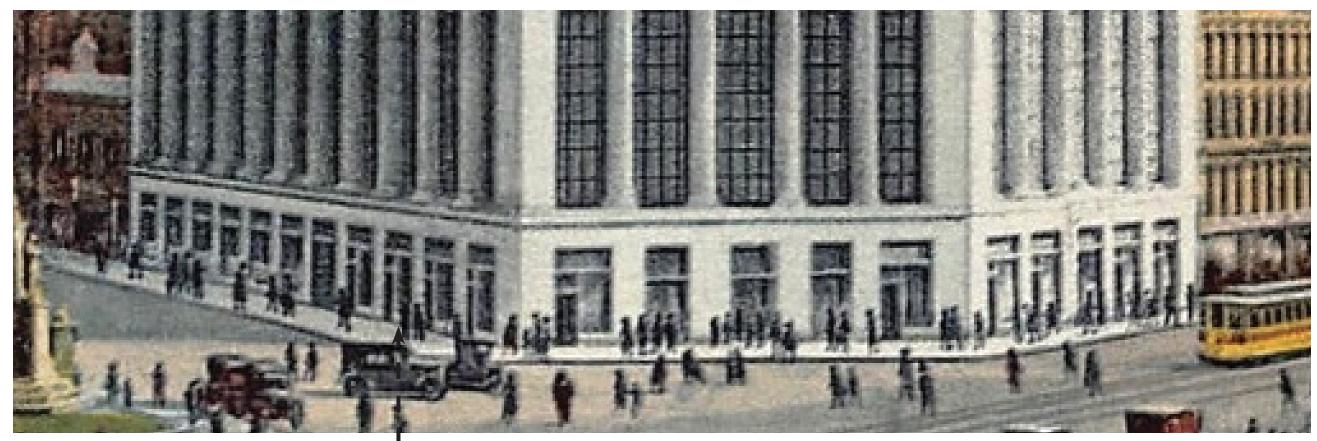




HISTORIC GROUND FLOOR CLADDING IS LIMESTONE. EXIST GRANITE FACING ON GROUND FLOOR IS NON-HISTORIC

GROUND FLOOR GRANITE CLADDING _ _ _ _ LIKELY ADDED IN 1960 PER BUILDING PERMIT RECORDS (BSEED)

HISTORIC CONDITIONS



UNDATED POSTCARD

PRECEDENT OF STOREFRONT DOORS IN VARIOUS BAYS ON THE GROUND FLOOR

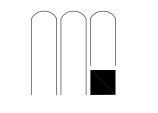
APPENDIX: ADDITIONAL ARCHITECTURAL DRAWINGS





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PROTOTYPICAL SET

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CONSTRUCTION'M

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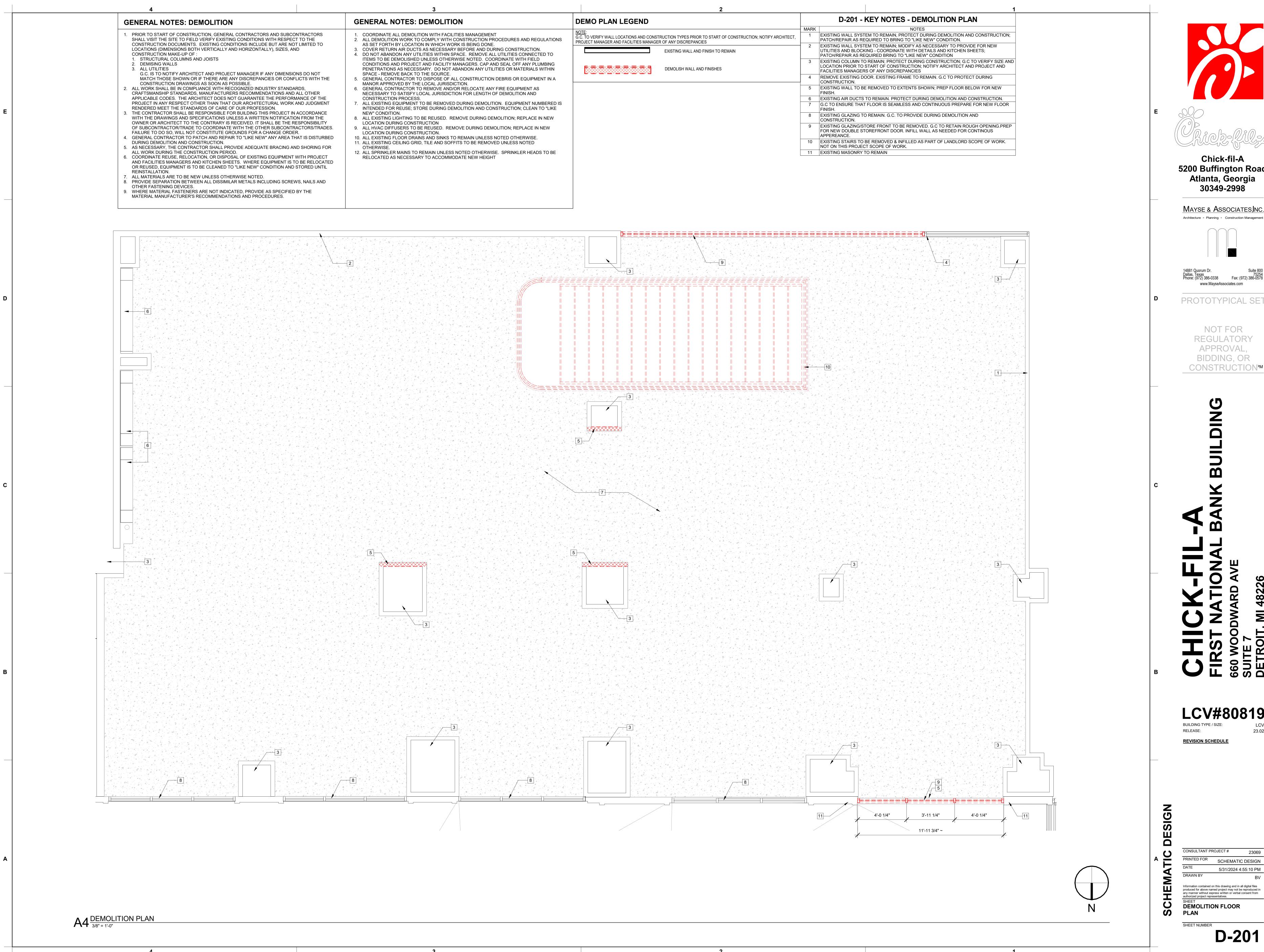
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DRAWN BY Designer

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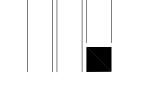
SHEET EXTERIOR 3D RENDERING CONSULTANT PROJECT # 23069

SHEET NUMBER G-008



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CONSTRUCTION'M

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D-201

- 1. PRIOR TO START OF CONSTRUCTION G.C. IS TO VERIFY THAT EXISTING CONDITIONS DO NOT IMPEDE UPON THE DESIGN INTENT OF THE PERMITTED CONSTRUCTION DOCUMENTS. IF THE EXISTING CONDITIONS DO NOT ALLOW FOR DESIGN INTENT TO BE EXECUTED, G.C. IS TO NOTIFY CHICK-FIL-A CONSTRUCTION MANAGER IMMEDIATELY AND ARCHITECT OF RECORD.
- 3. G.C. TO REMOVE AND STORE ALL EQUIPMENT LOCATED IN THE AREAS OF REMODEL OR ANY AREA THAT WILL BE DIRECTLY IMPACTED BY DEMOLITION AND CONSTRUCTION. ALL OTHER ITEMS ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION, COORDINATE STORAGE REQUIREMENTS WITH CHICK-FIL-A CONSTRUCTION
- 4. DEMOLITION WORK SHALL INCLUDE ANY AND ALL WORK REQUIRED TO ACCOMPLISH THE WORK SHOWN OR REQUIRED BY THESE DOCUMENTS.
- 5. G.C. IS TO DISPOSE OF ALL CONSTRUCTION DEBRIS OR EQUIPMENT IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- 7. G.C. TO REUSE AND RELOCATE EXISTING LIGHTING TO MATCH NEW KITCHEN LAYOUT. RE; TO E201 LIGHTING PLAN.
- 9. PATCH EXISTING DRAFTSTOP WALL BETWEEN KITCHEN AND SERVICE AT NEW BEVERAGE CHASES.
- 13. WORK AREA SHALL BE CLEAN AT ALL TIMES AND DEBRIS SHALL BE REMOVED IMMEDIATELY.

<u>LIGHTING LEGEND</u>

EXISTING LIGHT FIXTURE TO REMAIN. TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION EXISTING FIXTURE TO BE REMOVED;

COORDINATE WITH REVISED RCP

EXISTING MECHANICAL DUCT TO REMAIN TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION, PAINT AND REPAIR TO "LIKE NEW" CONDITION

EXISTING MECHANICAL DUCTS TO BE REMOVED AND COORDINATE NEW WITH REVISED RCP

AREA OF DEMOLTION

D-202 - KEY NOTES - DEMO RCP

1 EXISTING DUCT PIPES TO REMAIN, PROTECT DURING DEMO AND CONSTRUCTION G.C TO CLEAN TO "LIKE NEW" CONDITION. EXISTING HISTORIC COPPER CEILING TO REMAIN. G.C TO PROTECT DURING DEMO AND CONSTRUCTION. 3 EXISTING BULKHEAD TO REMAIN PREP FOR FRESH COAT OF PAINT

TO MATCH EXISTING. G.C TO PROTECT DURING DEMO AND CONSTRUCTION. 4 DEMO BULKHEAD AS NEEDED FOR NEW HOOD AND KITCHEN EQUIPMENT.

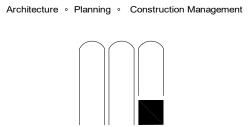
5 EXISTING RECESSED CAN LIGHTS TO REMAIN. G.C TO ENSURE LED IS IN WORKING CONDITION. PROTECT DURING DEMOLITION AND

6 PATCH AND REPAIR EXISTING BULKHEAD. ENSURE THAT ALL GAPS ARE SEALED TO MATCH NEW BULKHEAD FINISH RE: FLOOR FINISH

7 REMOVE EXISTING CAN LIGHTS. INFILL AND REPAIR BULKHEAD TO LIKE "NEW" CONDITION. 8 DEMO BULKHEAD AS NEEDED FOR NEW VESTIBULE

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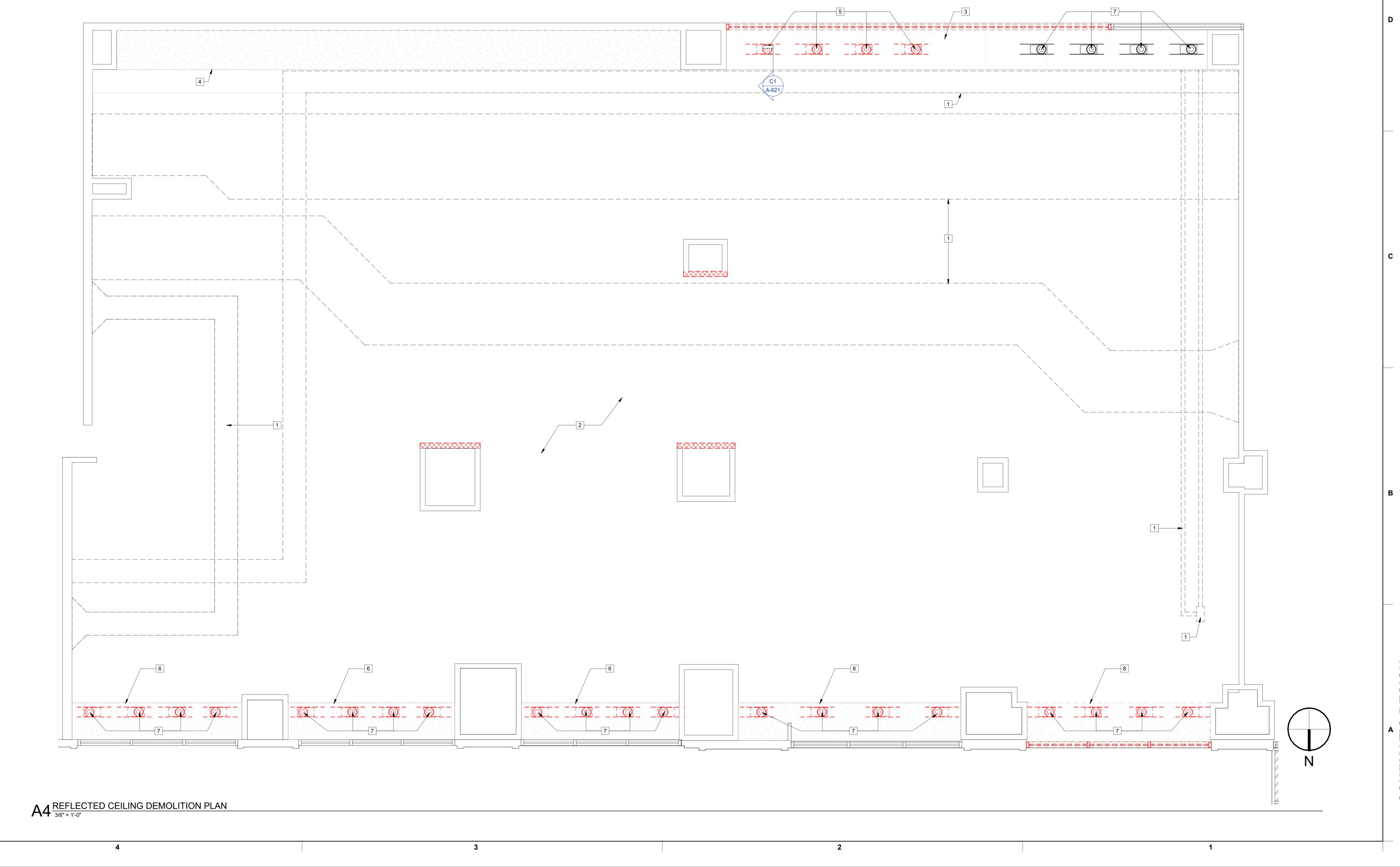


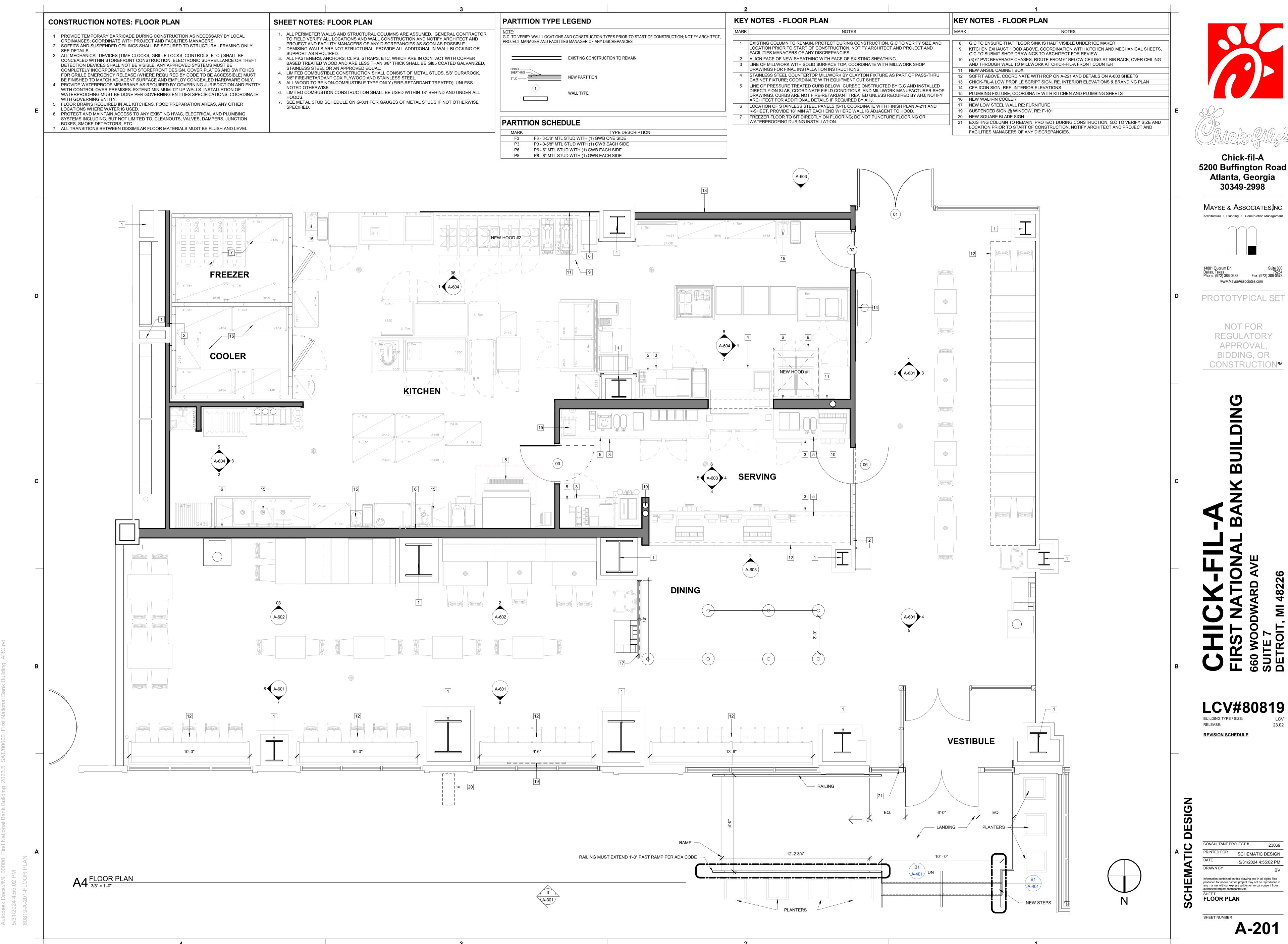
PROTOTYPICAL SET

CONSTRUCTION'M

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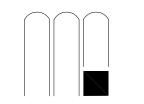
DEMOLITION REFLECTED **CEILING PLAN** SHEET NUMBER **D-221**





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REGULATORY

LCV#80819

REVISION SCHEDULE

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SHEET

EXTERIOR ELEVATIONS

SHEET NUMBER A-301

GENERAL CONTRACTOR TO BUILD FIELD WELDED UTILITY RAILING PER DIMENSIONS BELOW. ALL RAILINGS TO RESIST 250LBS OF FORCE IN ANY DIRECTION AT ANY POINT, AS WELL AS, THE RAILING SYSTEM MUST BE ABLE TO RESIST 50LBS OF FORCE PER LINEAR FOOT. RAILINGS TO ALSO COMPLY WITH IBC 1607.8. - HAND RAIL ATTACHMENT HAND RAIL EXTENSION
 ROUND BACK TO COLUMN, SIM. ALL RAILS TO BE IN ONE PLANE. RAILS TO BE 1.5" DIAMETER TUBE STEEL. FINISH: PAINT TO MATCH ADJACENT CITY RAILING — 1' - 0" 1' - 0" 4 EQUAL SUPPORTS TO BE SPACED ON SITE SUPPORTS NOT TO EXCEED 5'-0" 12' - 2 3/4"

TOP RAILS 1 -1/4" X 1-1/4" CHANNEL .062" TOP WALL .078" SIDEWALL — 1-1/2" SQ. POST - PAINT PT-113, TYP. PREFINISHED POWDER COATED DARK BRONZE RAILS, BALUSTERS, AND POSTS. BOTTOM RAILS 1-1/4" X 1-1/4" CHANNEL .062" TOP WALL .078" SIDEWALL ——— GRADE ELEV. & SLOPE RE: CIVIL 2'-0" A1 STAIR HANDRAIL LONGITUDINAL

NOTES:
1. ALL ALUMINUM TO BE .062" TOP WALL, .078 SIDE WALL

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RELEASE:

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CONSULTANT PROJECT # 23069

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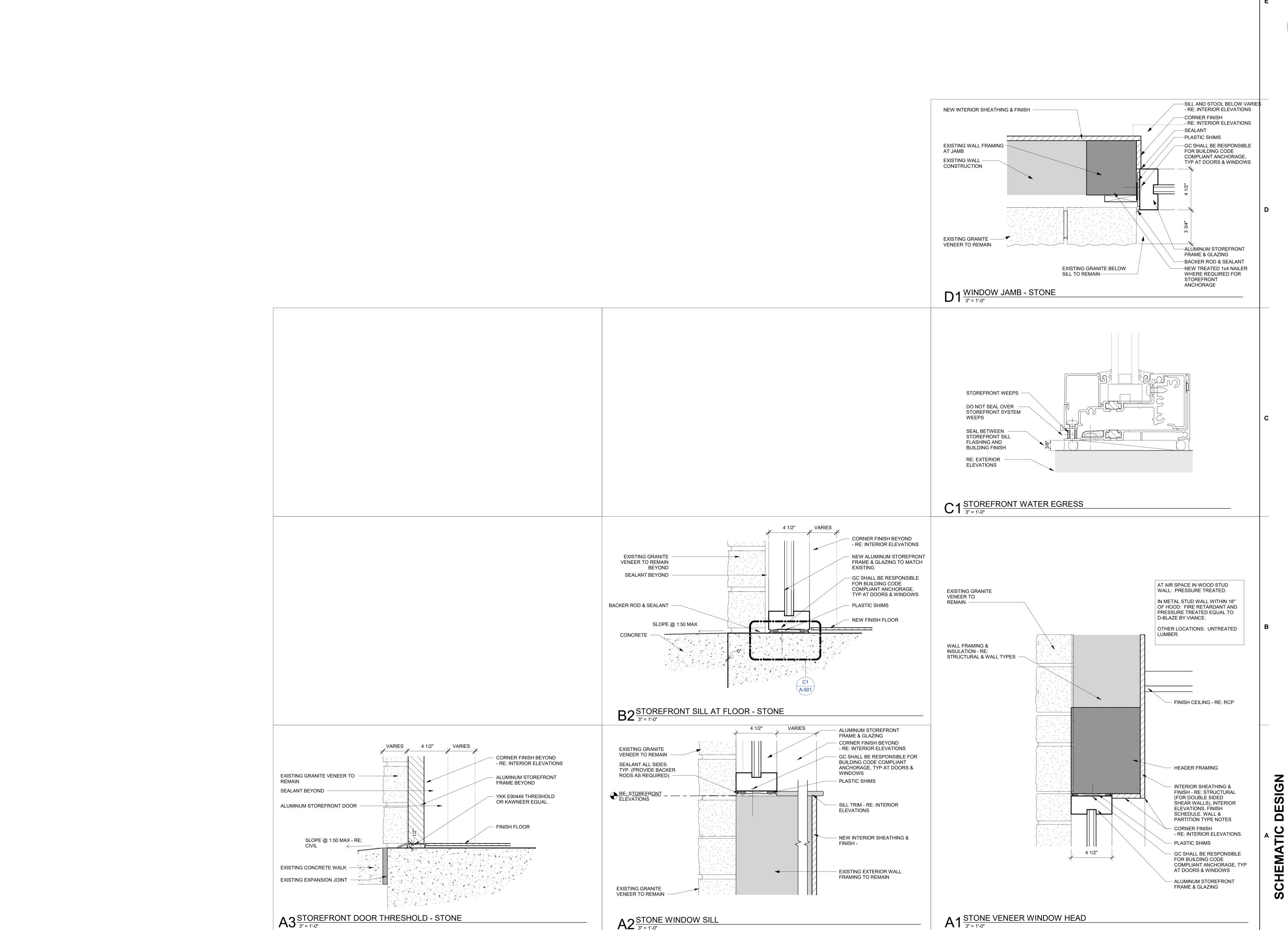
DRAWN BY JV

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SHEET STOREFRONT DETAILS

> SHEET NUMBER **A-401**

B1 UTILITY HANDRAIL



A2 STONE WINDOW SILL

3" = 1'-0"

SHEET NUMBER A-501

EXTERIOR DETAILS

A1 STONE VENEER WINDOW HEAD

3" = 1'-0"

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SHEET

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