

**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

## PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

### ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

## GENERAL

### 1. DESCRIPTION OF EXISTING CONDITION

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*

Existing EPDM roof requires patching at repair at existing penthouses. Existing skylights have been covered over with roofing materials. Existing building elevator is non-functional and requires replacement as well as relocation to accommodate the new building functions. (Refer to photos)

### 2. PHOTOGRAPHS

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



### 3. DESCRIPTION OF PROJECT

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")*

Uncover skylights and repair roof. Provide new penthouse for new elevator. Partially demo existing unused elevator hoistway and penthouse.



### 4. DETAILED SCOPE OF WORK

*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*

Per the attached drawings, the scope of work is to remove the EPDM from the existing skylights. Repair (if viable) or replicate (Velux Structural Ridge) the 4 Skylights in their existing locations. Roof framing will be repaired or replaced as necessary due to existing water damage. Roof joists will be sistered where new mechanical equipment is to be installed. For egress purposes, a new stair will be installed (no exterior modifications required). A new MRL Traction Service size elevator will be installed with a new sloped roof comprised of the same material as the primary roof. New roof penetrations for Mechanical ductwork and plumbing vents. Additional interior scope of work to be completed in order to whitebox the space for future tenants. Refer to attached drawings for complete scope of work

### 5. BROCHURES/CUT SHEETS

*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*



**ADDITIONAL DETAILS**

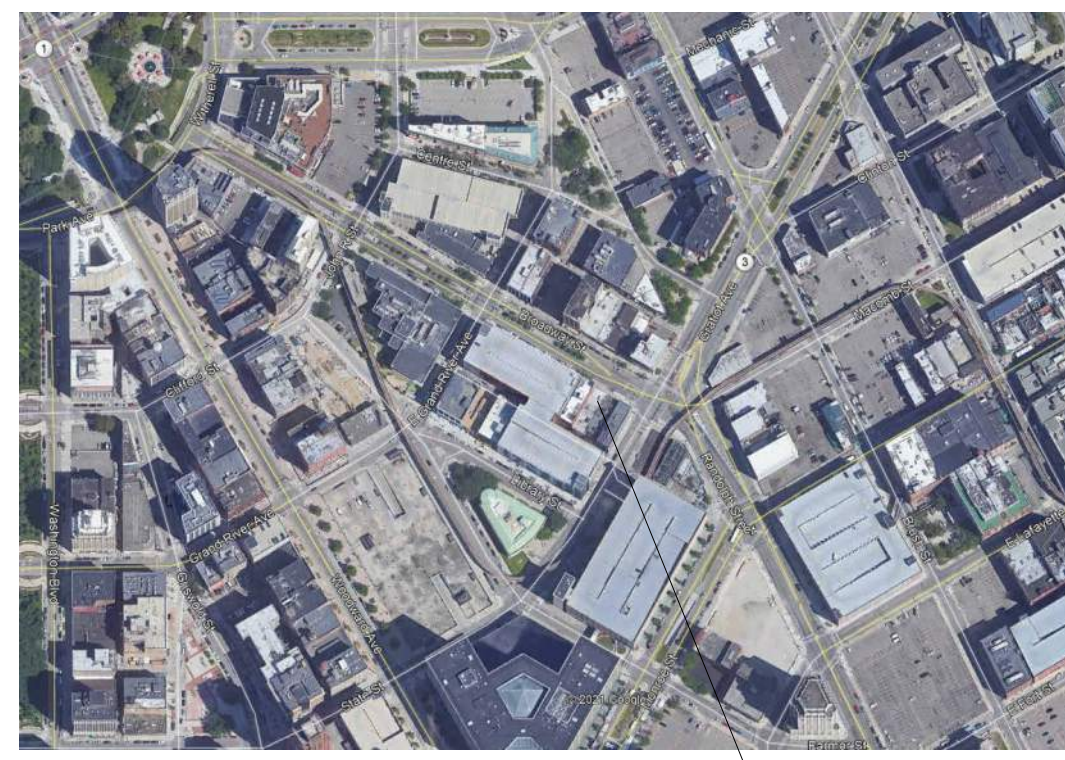









LOCATION MAP



PROJECT LOCATION

# PROJECT 1315 Broadway PHASE 02

1315 Broadway  
Detroit, Michigan 48226

## PHASE 02 - INTERIOR WHITE BOX - HDC SUBMISSION - ROOF REVIEW



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Method Development

PROJECT  
2021.A03  
1315 Broadway  
PHASE 02

1315 Broadway  
Detroit, Michigan 48226

ISSUANCE

2024-06-14 HDC SUBMISSION

REVISIONS

TITLE

COVER

SHEET

G0-02

### SYMBOL LEGEND

**1 DRAWING**  
AX-XX SCALE: X = X

**FIN FLOOR ELEV 0'-0" AFF**

**A** COLUMN LINE DESIGNATION

**XX-XX** BUILDING SECTION CUT INDICATOR

**XX-XX** PARTIAL SECTION CUT INDICATOR

**XX-XX** ELEVATION INDICATOR

**XXX-XX-XX** INTERIOR ELEVATION INDICATOR

**XX-XX-XX** DETAIL INDICATOR

**XX-XX-XX** DETAIL NUMBER SHEET WHERE DETAIL IS CUT

**##** WALL TYPE IDENTIFIER

**XX** KEY NOTE IDENTIFIER

**XXX** DOOR IDENTIFIER

**XXX** WINDOW IDENTIFIER

**X** MATERIAL FINISH IDENTIFIER

**REVISION CLOUD**

**XX** REVISION INDICATOR

### ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	FOS	FACE OF STUDS	PTN	PARTITION
ADJ	ADJACENT	FR	FRAME	PVC	POLYVINYL CHLORIDE
AFF	ABOVE FINISHED FLOOR	FRR	FIRE RESISTANCE RATING	PWD	PLYWOOD
AHU	AIR HANDLING UNIT	FT	FEET	PWR	POWER
ALUM	ALUMINUM	FUT	FUTURE	QT	QUARRY TILE
APPROX	APPROXIMATE	GA	GAGE (GAUGE)	R	RADIUS OR RISER
ARCH	ARCHITECTURAL	GALV	GALVANIZED	RA	RETURN AIR
BD	BOARD	GC	GENERAL CONTRACTOR	RAG	RETURN AIR GRILLE
BLDG	BUILDING	GL	GLASS	RD	ROOF DRAIN
BLK	BLOCK	GW	GYP/UM WALL BOARD	REF	REFRIGERATOR
BLKG	BLOCKING	GYP	GYP/UM	REG	REGISTER
B/O	BOTTOM OF	H	HIGH	RH	RIGHT HAND
CPT	CARPET	HB	HOSE BIBB	R/H	RANGE /HOOD FAN
CJ	CONTROL JOINT	HD	HEAD OR HEAVY DUTY	REQD	REQUIRED
C	CENTERLINE	HM	HOLLOW METAL	REV	REVERSE
CL	CLOSET	HORIZ	HORIZONTAL	RI	RIGID INSULATION
CLG	CEILING	HP	HIGH POINT	RM	ROOM
CO	CLEANOUT	HT	HEIGHT	RO	ROUGH OPENING
COL	COLUMN	ID	INSIDE DIAMETER	ROW	RIGHT OF WAY
CONC	CONCRETE	IE	INVERT ELEVATION	S	SINK
CONT	CONTINUOUS	IN	INCHES	SAN	SANITARY
CONST	CONSTRUCTION	INSUL	INSULATION	SC	SOLID CORE
COORD	COORDINATE	JR	JUNCTION BOX	SCH	SCHEDULE
CORR	CORRIDOR	JC	JANITOR'S CLOSET	SEP	SEPARATE
CPT	CARPET	JT	JOINT	SF	SUPPLY FAN
C/W	COMPLETE WITH	KIT	KITCHEN	SM	SIMILAR
D	DEPTH/ DEEP	L	LONG	SM	SPECIFICATIONS
DF	DRINKING FOUNTAIN	LH	LEFT HAND	SPKR	SPEAKER
DIA	DIAMETER	LP	LOW POINT	SQ	SQUARE
DIM	DIMENSION	LTG	LIGHTING	SS	STAINLESS STEEL
DISP	DISPENSER	MAS	MASONRY	ST	STEEL
DN	DOWN	MAU	MAKE-UP AIR UNIT	STD	STANDARD
DS	DOWNSPOUT	MAX	MAXIMUM	STL	STEEL
D/W	DISHWASHER	MC	MEDICINE CABINET	STRUC	STRUCTURAL
DWG	DRAWING	MECH	MECHANICAL	T&B	TOP AND BOTTOM
EA	EACH	MIN	MINIMUM	TBD	TO BE DETERMINED
EF	EXHAUST FAN	MIR	MIRROR	T&G	TONGUE AND GROOVE
EJ	EXPANSION JOINT	MISC	MISCELLANEOUS	T/O	TOP OF
EL	ELEVATION	MO	MASONRY OPENING	TP	TOILET PARTITION
ELEC	ELECTRICAL	MTD	MOUNTED	TPD	TOILET PAPER DISPENSER
ELEV	ELEVATION	MTG	MOUNTING	TYP	TYPICAL
EQ	EQUAL	N/A	NOT APPLICABLE	U/S	UNDERSIDE
EW	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	UH	UNIT HEATER
EXIST	EXISTING	NO	NUMBER	VB	VAPOR BARRIER
EXT	EXTERIOR	NTS	NOT TO SCALE	VEST	VESTIBULE
F	FRIDGE	OC	ON CENTER	VERT	VERTICAL
FD	FLOOR DRAIN	OD	OUTSIDE DIAMETER	W	WIDTH
FDN	FOUNDATION	OH	OVERHEAD	WD	WOOD OR WIDE
FE	FIRE EXTINGUISHER	OH	OPPOSITE HAND	WC	WALK IN CLOSET
FG	FIRE/REGLOSS	OPNG	OPENING	W/ OR /W	WITH
FL	FLOOR	OPP	OPPOSITE	W/O	WASHER AND DRYER
FLR	FLOOR	P	PROPERTY LINE	W/O	WALL OVEN OR WITHOUT
FIN	FINISH	PT	PAINT OR POINT	WRB	WEATHER RESISTIVE BARRIER
FIXT	FIXTURE	PTD	PAINTED		
F/O	FACE OF	PTD	PAPER TOWEL DISPENSER		

### GENERAL NOTES

CONTRACTORS SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKES PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.

VERIFY ALL DIMENSIONS, CONDITIONS, AND GRADES AT JOB SITE. ALL CONTRACTORS SHALL COORDINATE THEIR WORK WITH OTHER TRADES AND REPORT DISCREPANCIES, PRIOR TO THEIR CONSTRUCTION, TO THE ARCHITECT FOR REVIEW AND CLARIFICATION OR ACTION.

VERIFY SIZE, LOCATIONS AND CHARACTERISTICS OF ALL EQUIPMENT TO BE FURNISHED WITH MANUFACTURERS OR SUPPLIERS BEFORE BEGINNING CONSTRUCTION.

VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL AND ELECTRICAL EQUIPMENT AND RELATED WORK WITH CONTRACTORS INVOLVED AND EQUIPMENT TO BE FURNISHED. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

VERIFY ALL ELEVATIONS AND DIMENSIONS OF STRUCTURAL ELEMENTS WITH ARCHITECTURAL DRAWINGS. IN CASE OF CONFLICT, NOTIFY ARCHITECT. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THEM. ALL DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ALL PRODUCTS UTILIZED IN THIS CONSTRUCTION SHALL BE ASBESTOS FREE.

ALL WORK TO CONFORM TO ALL LOCAL, STATE, AND NATIONAL BUILDING CODES, INCLUDING ACCESSIBILITY REQUIREMENTS.

CONTRACTOR TO CONTACT ANY AND ALL LOCAL UTILITIES TO SUBMIT ALL APPLICABLE PERMIT DOCUMENTS, QUALIFICATIONS, ETC., AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, UTILITY EXTENSIONS, TAP-INS, ETC. ARCHITECT SHALL PROVIDE DOCUMENTS FOR PERMIT PLAN REVIEW AND OWNER REVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND ALL PERMIT AND INSPECTION COSTS.

EACH SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE AND SCHEDULE WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS WHOSE WORK SHALL BE AFFECTED.

PARKING AT THE SITE BY ALL CONSTRUCTION STAFF SHALL BE LIMITED TO ONLY THE AREAS DESIGNATED BY THE OWNER.

ALL WOOD IN CONTACT WITH CONCRETE OR WITHIN CONTACT OF THE SURROUNDING SOIL SHALL BE PRESERVATIVE TREATED. ALL WOOD WITHIN 8 INCHES OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.

### SHEET INDEX

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GENERAL	
X G0-02	COVER
- G0-20	CODE SUMMARY SHEET
X G2-01	LIFE SAFETY PLANS
X G4-21	SPECIFICATIONS
X G4-22	SPECIFICATIONS
X G4-23	SPECIFICATIONS
X G4-24	SPECIFICATIONS
X G4-25	SPECIFICATIONS
X G4-26	SPECIFICATIONS
X G4-27	SPECIFICATIONS
X G4-28	SPECIFICATIONS
X G4-29	SPECIFICATION
X G4-30	SPECIFICATIONS
X G4-31	SPECIFICATIONS
STRUCTURAL	
X S 001	ABBREVIATIONS AND SYMBOLS
X S 002	STRUCTURAL GENERAL NOTES
X S 003	STRUCTURAL GENERAL NOTES
X S 004	STRUCTURAL SPECIAL INSPECTION
X S 005	STRUCTURAL SPECIAL INSPECTION
X S 100	FOUNDATION, FIRST AND SECOND FLOOR FRAMING PLAN
X S 101	THIRD AND FOURTH FLOOR FRAMING PLAN
X S 102	ROOF FRAMING PLANS
DEMOLITION	
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- A1-31	DEMOLITION IMAGES
ARCHITECTURAL	
X A2-21	FLOOR PLANS
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X A2-41	REFLECTED CEILING PLANS
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X A3-10	BUILDING SECTIONS
- A4-30	EXTERIOR DETAILS
- A4-31	EXTERIOR DETAILS
- A4-41	SKYLIGHT DETAILS
- A5-01	STAIR AND ELEVATOR PLANS
- A5-01.1	STAIR AND ELEVATOR SECTIONS
- A5-01.2	STAIR AND ELEVATOR SECTIONS
- A5-02	STAIR PLANS AND SECTIONS
- A5-03	STAIR PLANS AND SECTIONS
- A5-10	TYPICAL ELEVATOR DETAILS
- A5-11	TYPICAL STAIR DETAILS
- A5-20	GUARDRAIL AND HANDRAIL DETAILS
- A6-11	ENLARGED PLANS
- A6-21	INTERIOR PLAN DETAILS
- A6-32	INTERIOR SECTION DETAILS
- A7-10	DOOR SCHEDULE
- A7-20	SCHEDULES
MECHANICAL	
X M-1.0	BASEMENT, FIRST, SECOND MECHANICAL FLOOR PLANS
X M-1.1	THIRD FOURTH AND ROOF MECHANICAL PLANS

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Detroit, Michigan 48226

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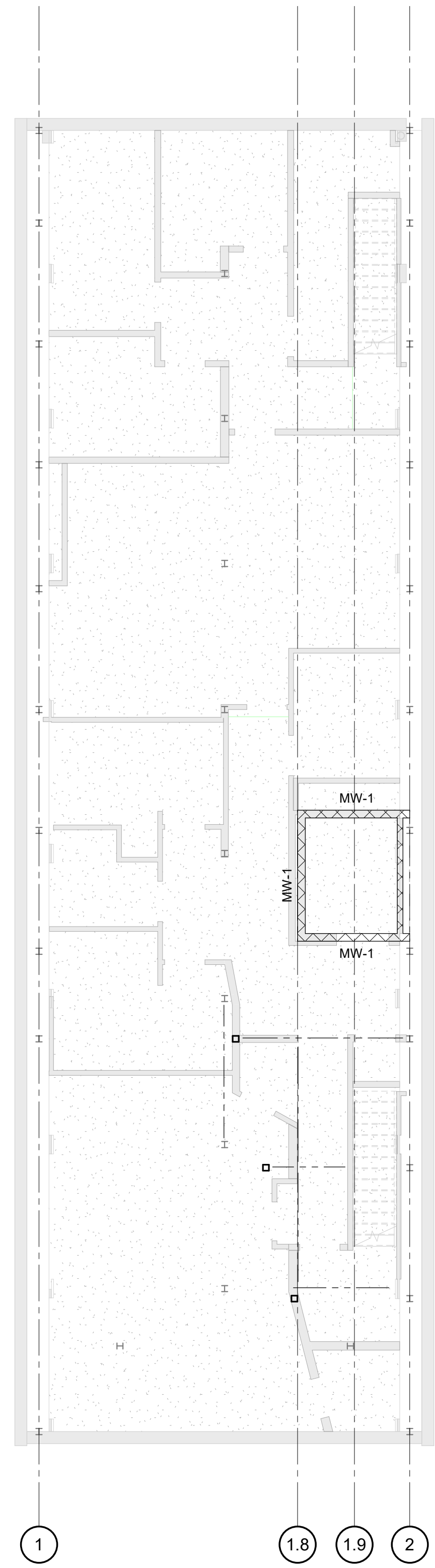
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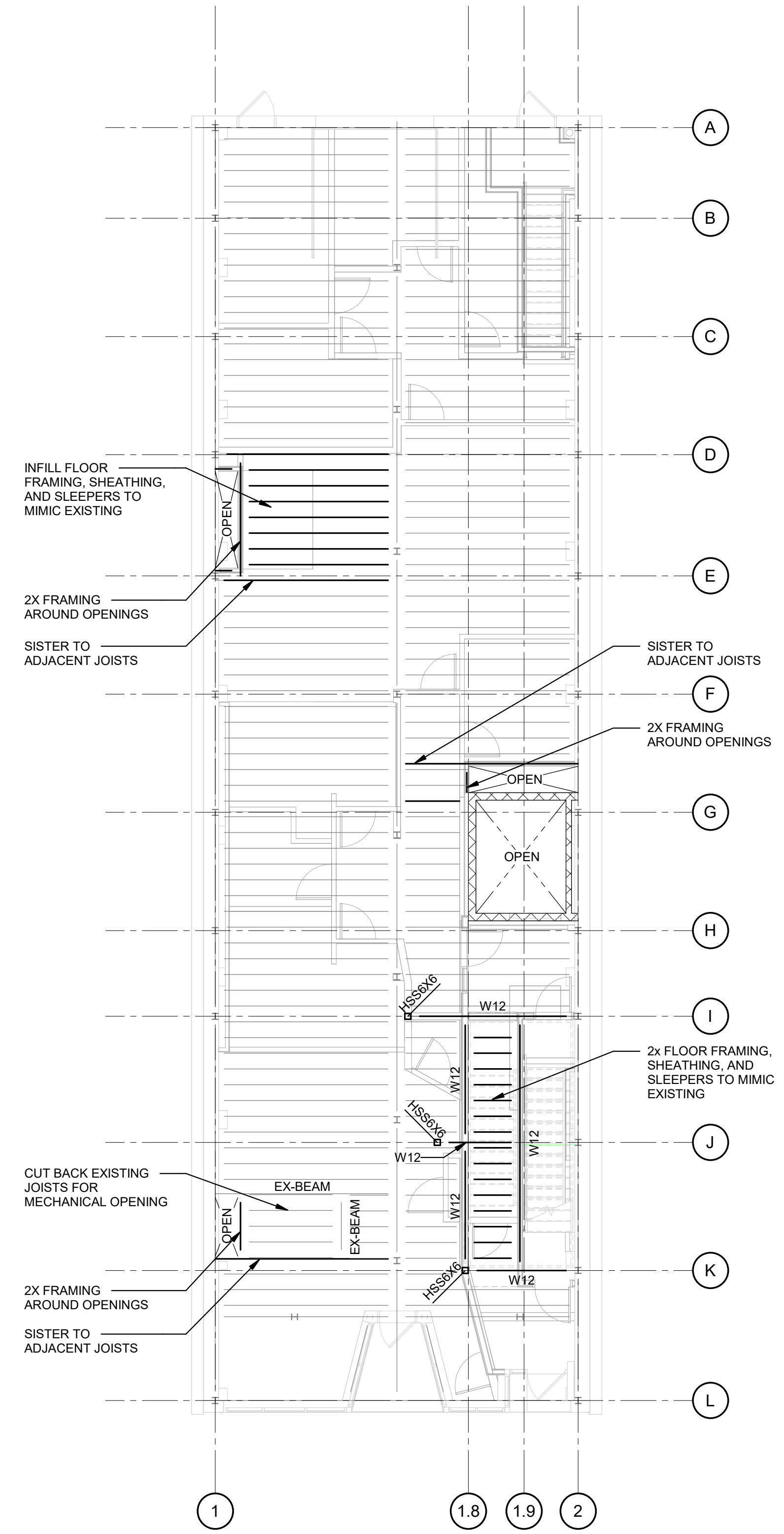
**FOUNDATION, FIRST AND SECOND FLOOR FRAMING PLAN**

SHEET

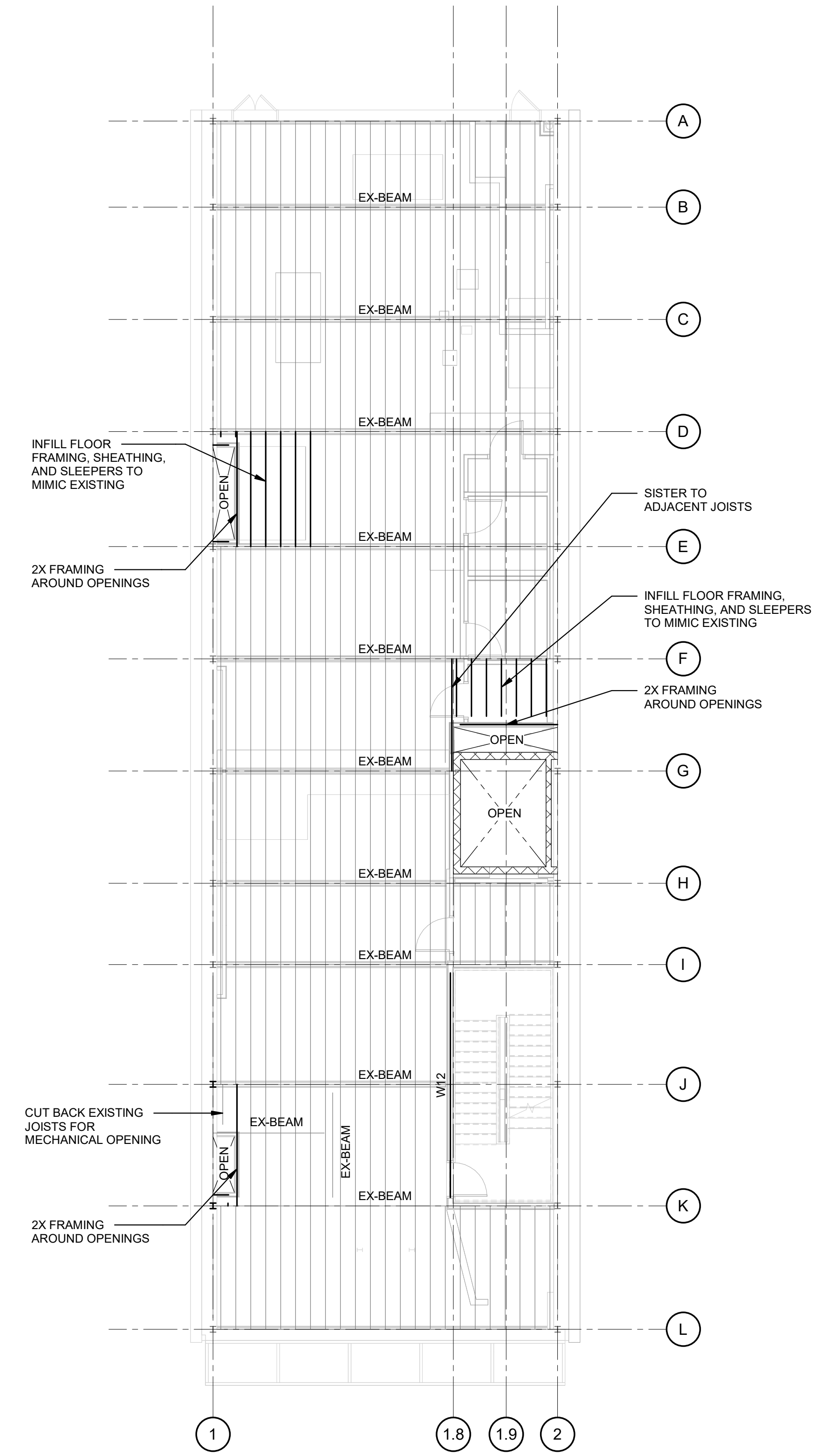
**S.100**



**00 - FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"



**01 - FIRST FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**02 - SECOND FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



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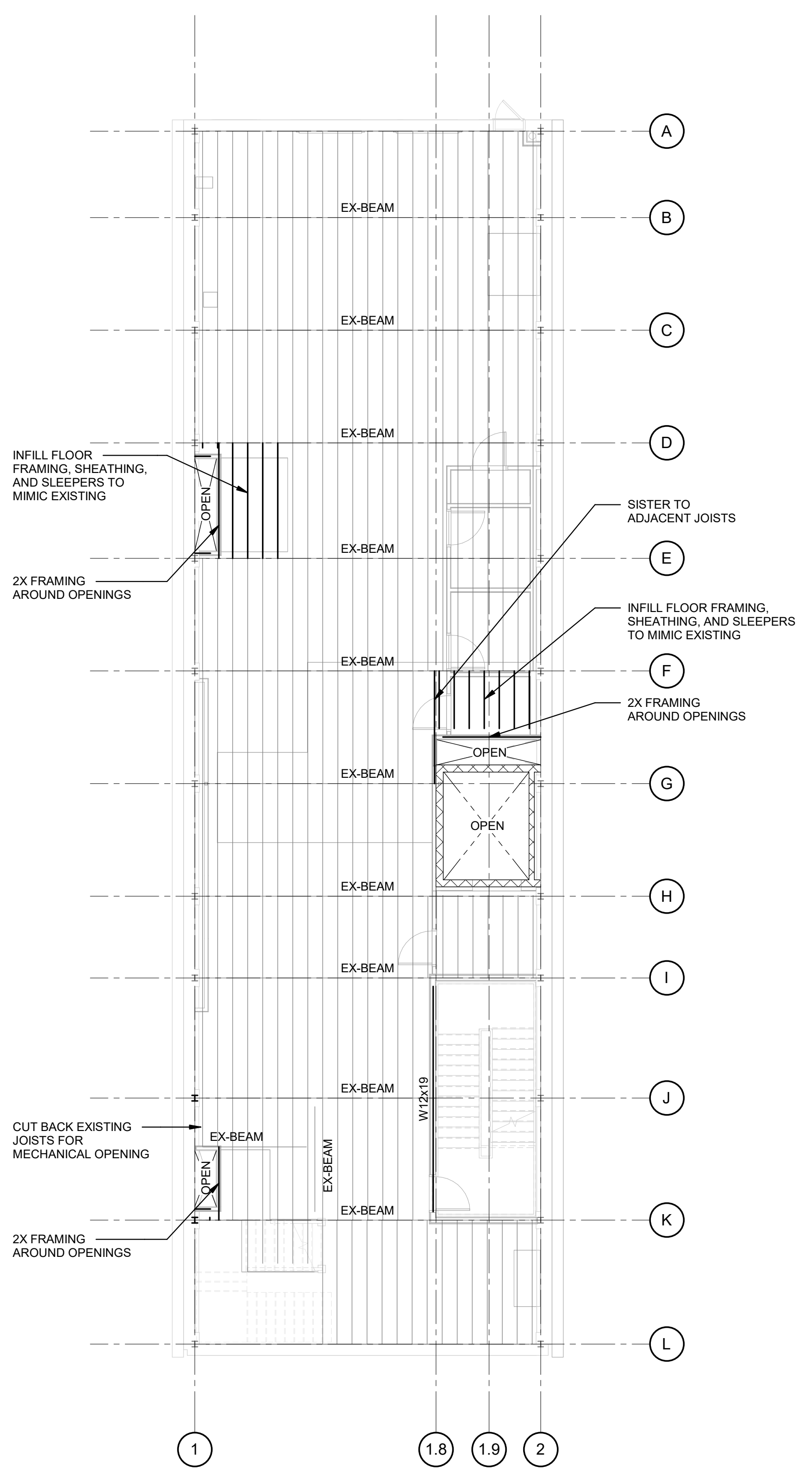
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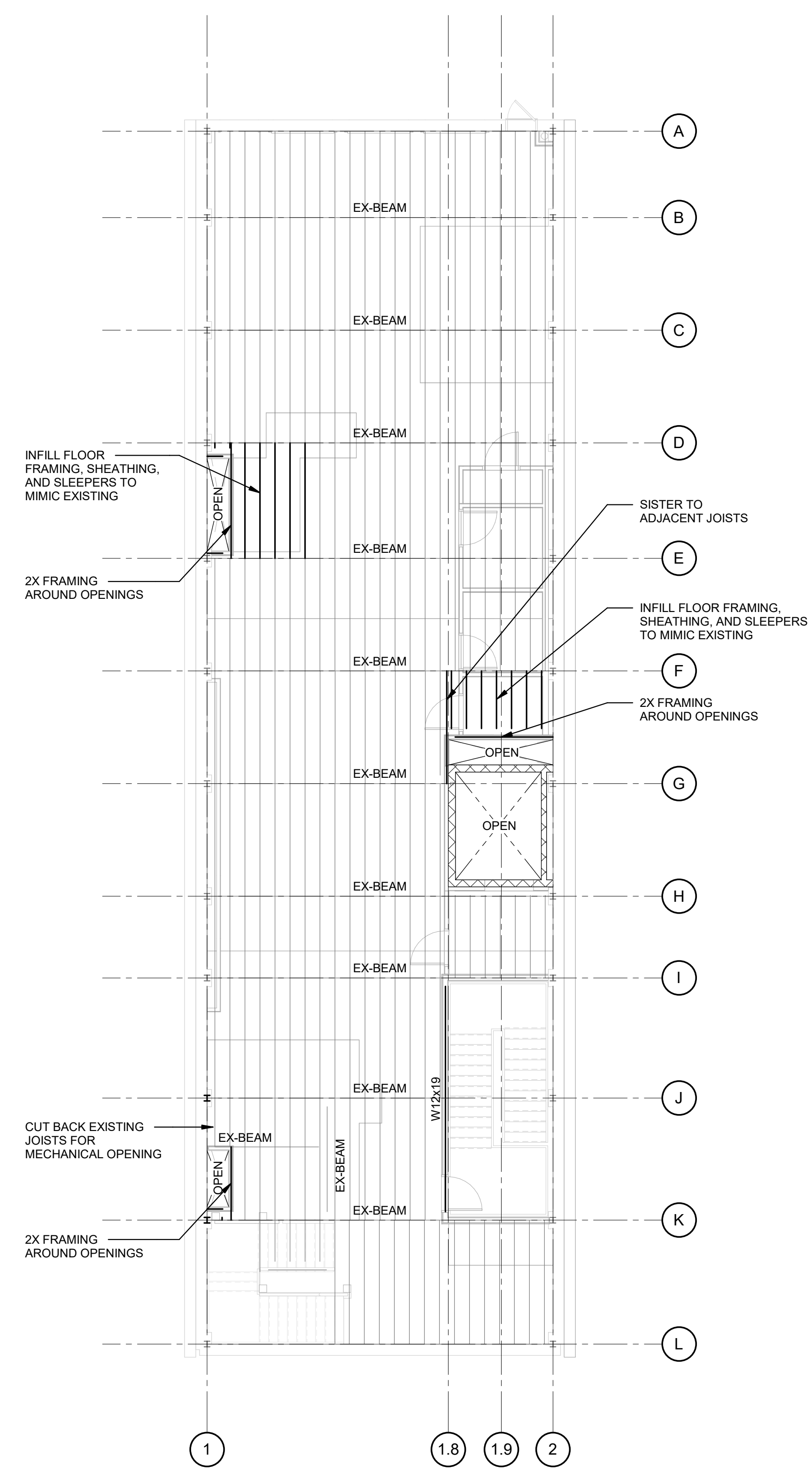
**THIRD AND FOURTH FLOOR FRAMING PLAN**

SHEET

**S.101**



**03 - THIRD FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**04 - FOURTH FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

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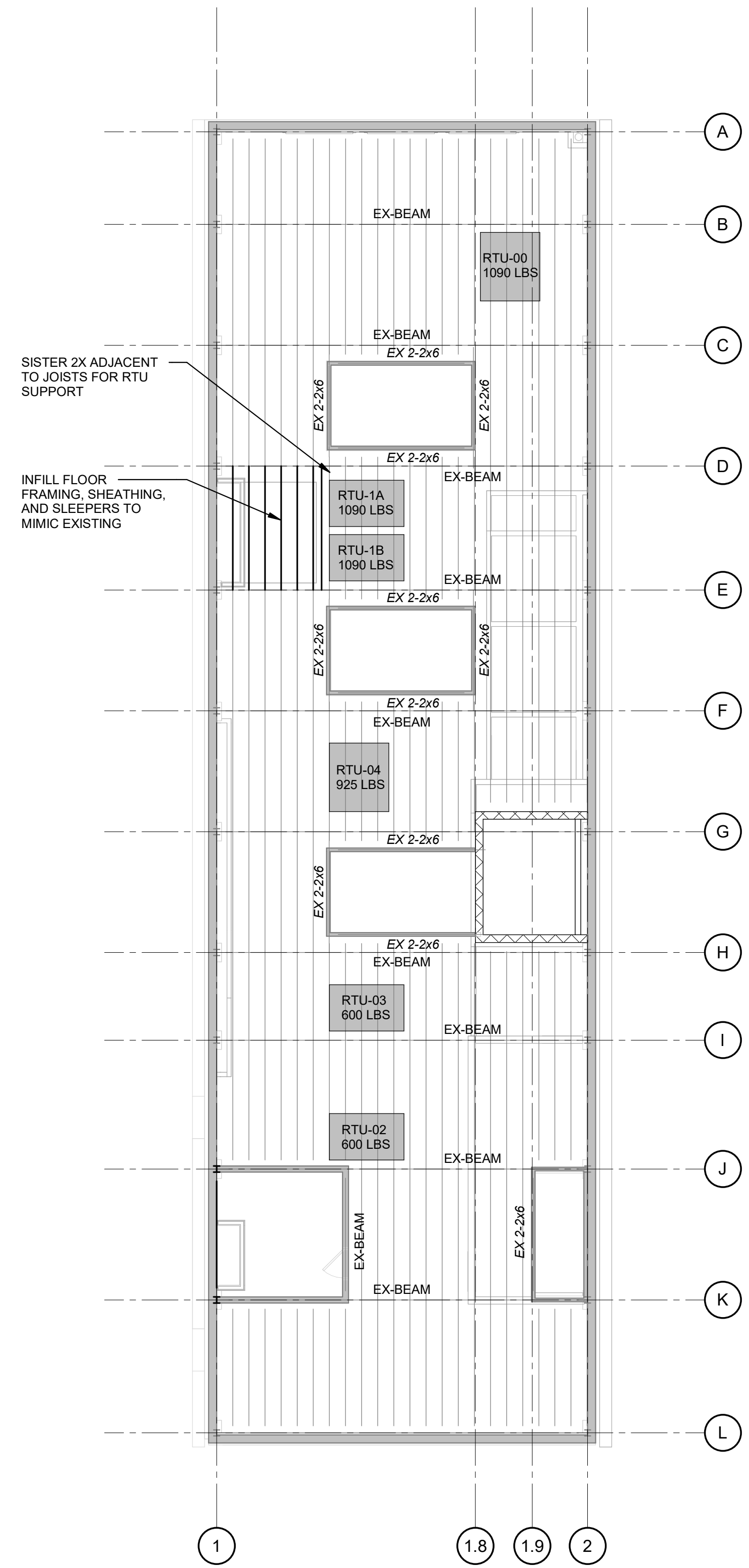
REVISIONS

TITLE

**ROOF FRAMING PLANS**

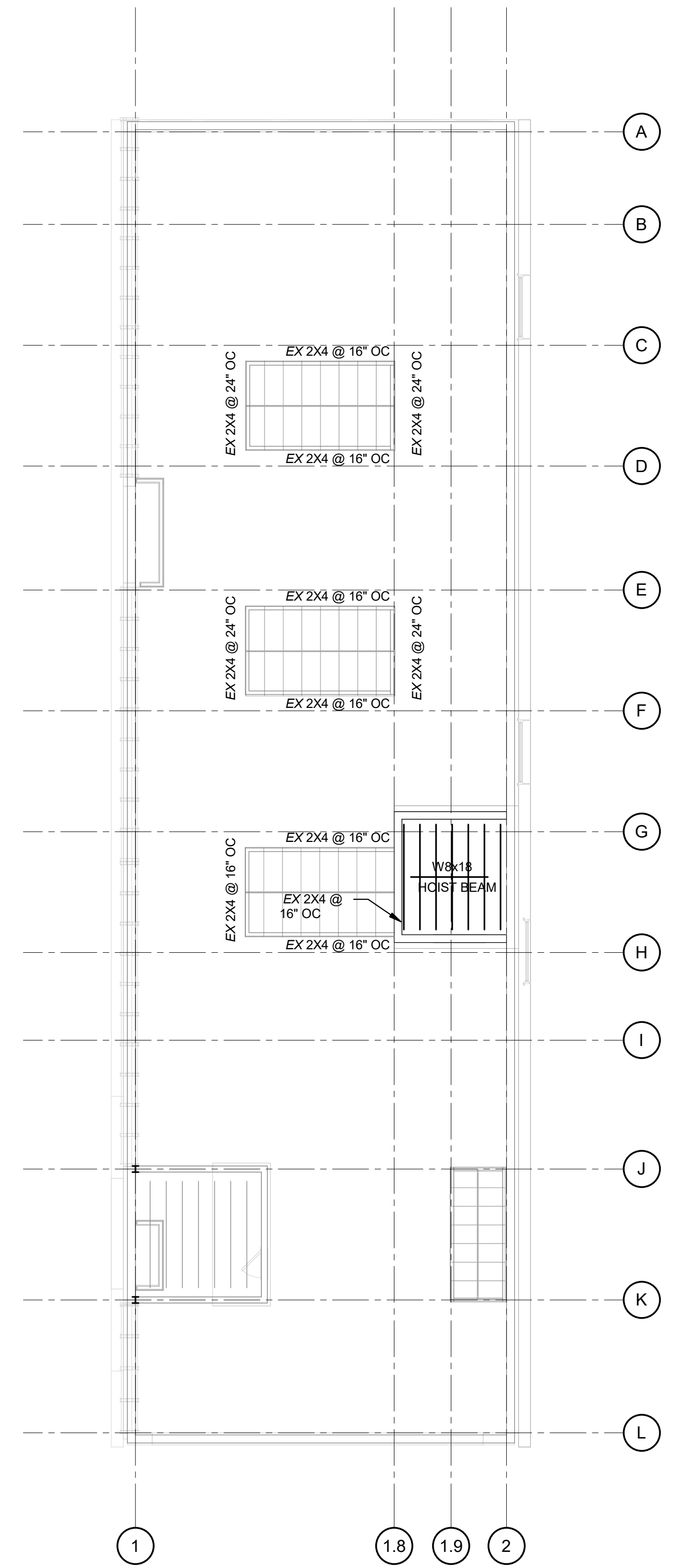
SHEET

**S.102**



**05 - ROOF FRAMING PLAN**

SCALE: 1/8" = 1'-0"



**06 - HIGH ROOF FRAMING PLAN**

SCALE: 1/8" = 1'-0"

Key Value	Keynote Text
02-01	DEMO EXISTING ELEVATOR, COMPLETE, INCLUDING CAB, HOISTWAY, AND UTILITIES
02-02	DEMO EXISTING STAIR
02-09	DEMO NEW FLOOR OPENING. SEE STRUCTURAL DRAWINGS FOR SHORING AND FRAMING REQUIREMENTS.

**ab**  
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**PHASE 02**

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TITLE

**DEMOLITION PLANS**

SHEET

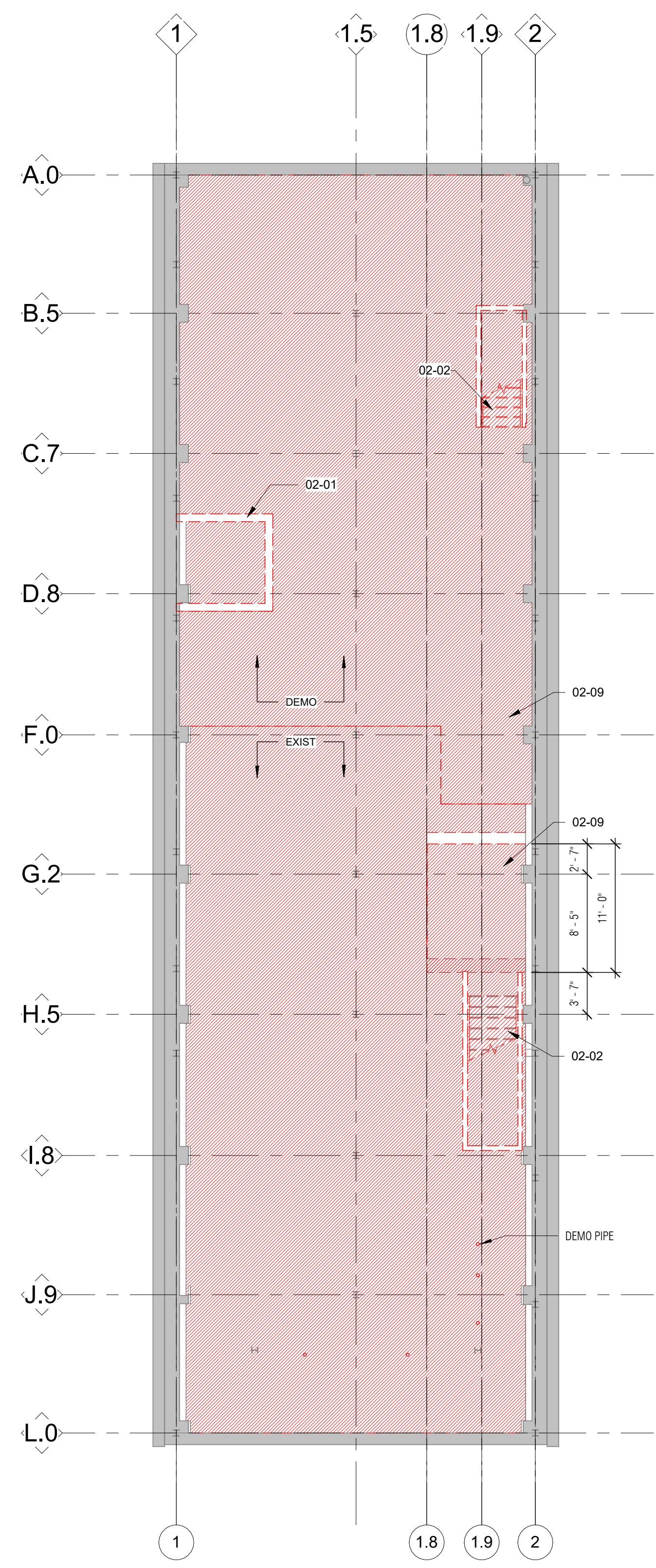
**A1-21**

**DEMO GENERAL NOTES**

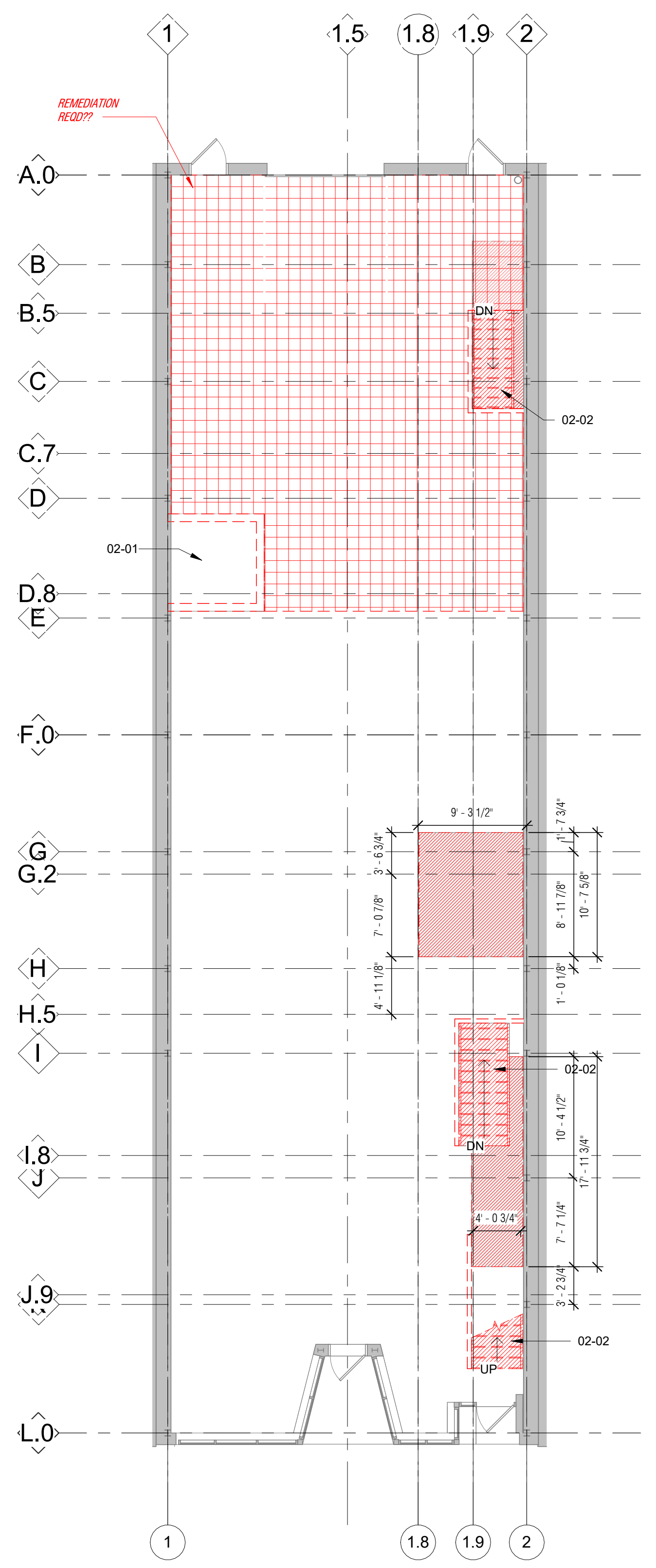
- COORDINATE ALL DEMOLITION WORK WITH NEW WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW THE ENTIRE DRAWING SET WITH THE OWNER AND VERIFY ALL PROPOSED WORK AND MEASUREMENTS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN PLAN.
- DEMOLISH ITEMS IN A WORKMAN LIKE MANNER FROM TOP TO BOTTOM OR AS NEEDED TO PREVENT COLLAPSE. TAKE CARE TO PREVENT DAMAGE TO SURROUNDING CONSTRUCTION. DO NOT DEMOLISH ANY ITEM THAT MAY BE STRUCTURAL IN NATURE. IF SUCH ITEMS ARE ENCOUNTERED CONTACT THE ARCHITECT FOR DIRECTION PRIOR TO DEMOLISHING THE ITEM.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON THE DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT/OWNER OF DISCREPANCIES.
- REMOVE AND REINSTALL ITEMS TO BE SALVAGED WHERE INDICATED AND WHERE ADVISED BY OWNER.
- COORDINATE DEMOLITION WITH OWNER'S REQUIREMENTS AND OTHER CONTRACTORS RETAINED BY THE OWNER.
- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- CONTRACTOR IS TO PROVIDE COMPLETE DUST PROOF ENCLOSURE IN ALL AREAS WHERE DEMOLITION IS TO OCCUR. COMPLY WITH ALL OSHA, NFPA AND OTHER APPLICABLE RULES AND REGULATIONS REGARDING DUST AND DEBRIS REMOVAL.
- PRIOR TO THE DEMOLITION OF ITEMS TO BE REPLACED, TAKE PHOTOS AND DIMENSIONS AS REQUIRED IN ORDER TO REPLICATE THE ITEMS. ITEMS REQUIRING REPLICATION INCLUDE, BUT ARE NOT LIMITED TO: SKYLIGHTS.
- DIMENSIONS AND NEW OPENINGS SHOWN ARE TO BE COORDINATED W/ NEW WORK PLANS.
- REFER TO S.100 SERIES FRAMING PLANS AND DETAILS FOR ADDITIONAL INFORMATION ON SUPPORTING NEW OPENINGS.
- REFER TO THE HISTORIC TAX CREDIT APPLICATION AND THE SECRETARY OF THE INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES GUIDELINES FOR ADDITIONAL REQUIREMENTS.

**DEMO LEGEND**

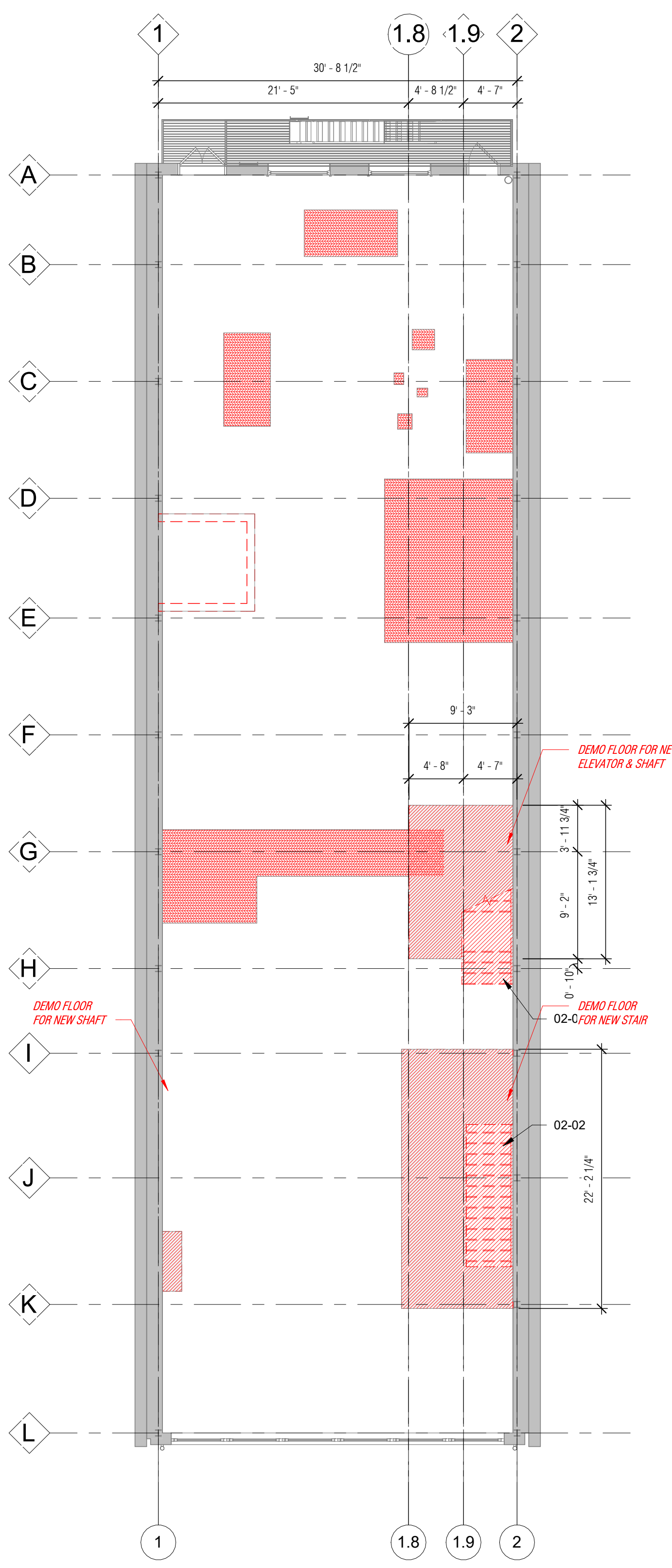
- REMOVE WALL & RELATED CONSTRUCTION COMPLETE
- EXISTING CONSTRUCTION TO REMAIN
- REMOVE DOOR AND FRAME COMPLETE
- EXISTING DOOR AND FRAME TO REMAIN
- REMOVE EXISTING FLOOR, ROOF, SKYLIGHT COMPLETE.
- REMOVE EXISTING FLOOR TILE, T&G SUBFLOOR TO REMAIN.
- REMOVE PLYWOOD SUBFLOOR, JOISTS TO REMAIN, UNLESS INDICATED OTHERWISE BY STRUCTURAL.



**1 DEMOLITION BASEMENT**  
 A3-10 1/8" = 1'-0"



**2 DEMOLITION FIRST FLOOR**  
 A1-10 1/8" = 1'-0"



**3 DEMOLITION SECOND FLOOR**  
 A1-10 1/8" = 1'-0"

### DEMO LEGEND

- - - - - REMOVE WALL & RELATED CONSTRUCTION COMPLETE
- EXISTING CONSTRUCTION TO REMAIN
- - - - - REMOVE DOOR AND FRAME COMPLETE
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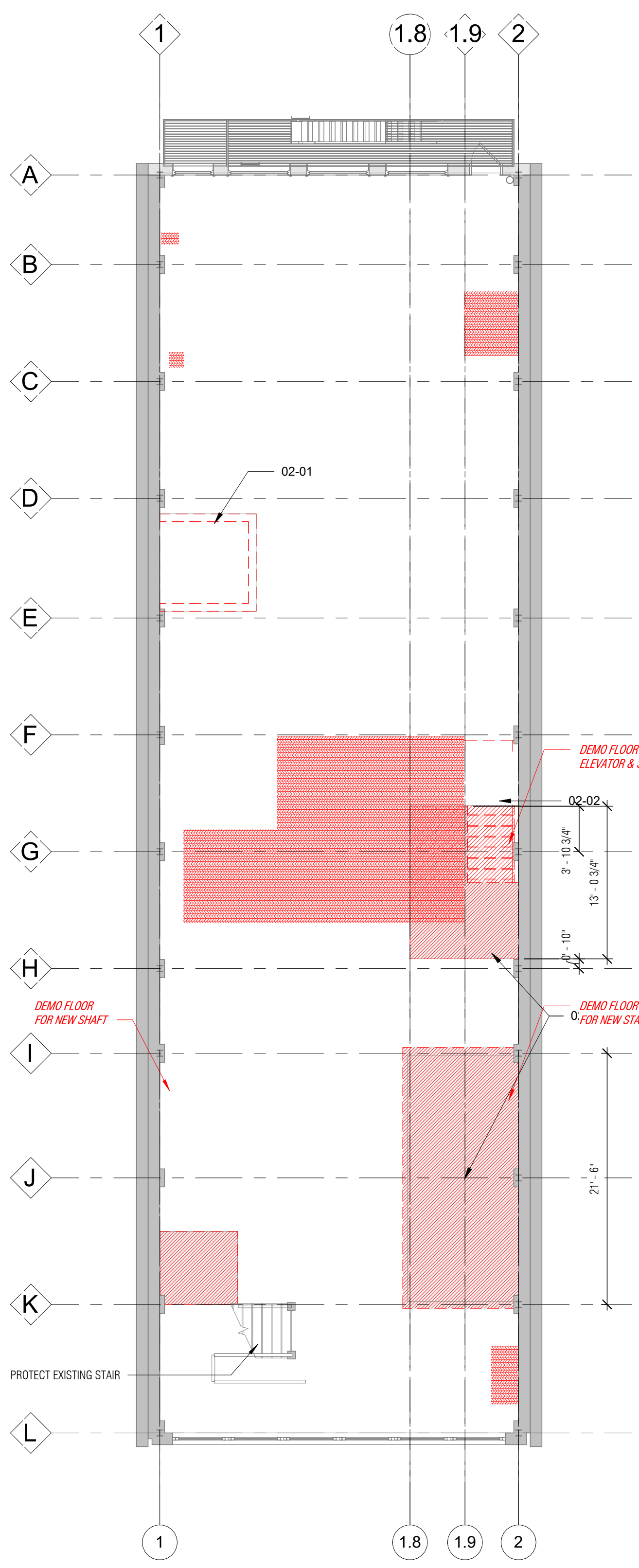
**DEMOLITION PLANS**

SHEET

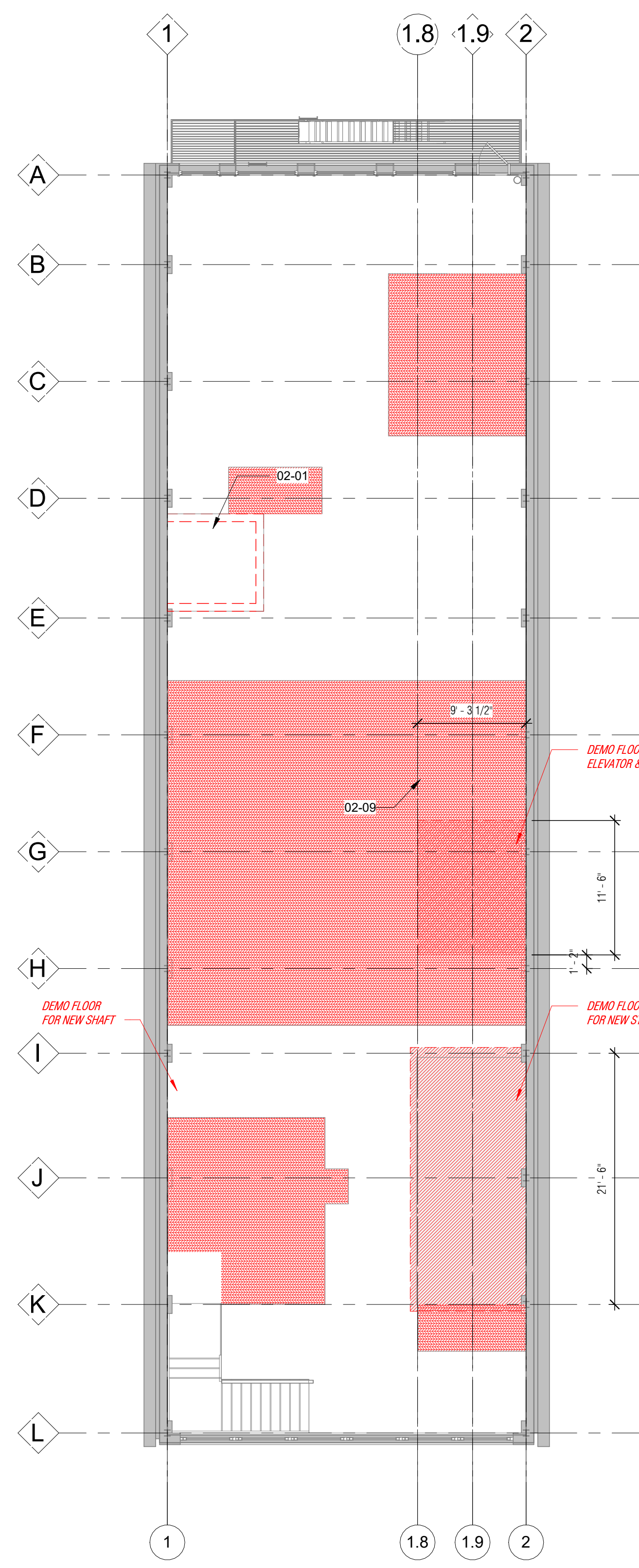
**A1-22**

### DEMO GENERAL NOTES

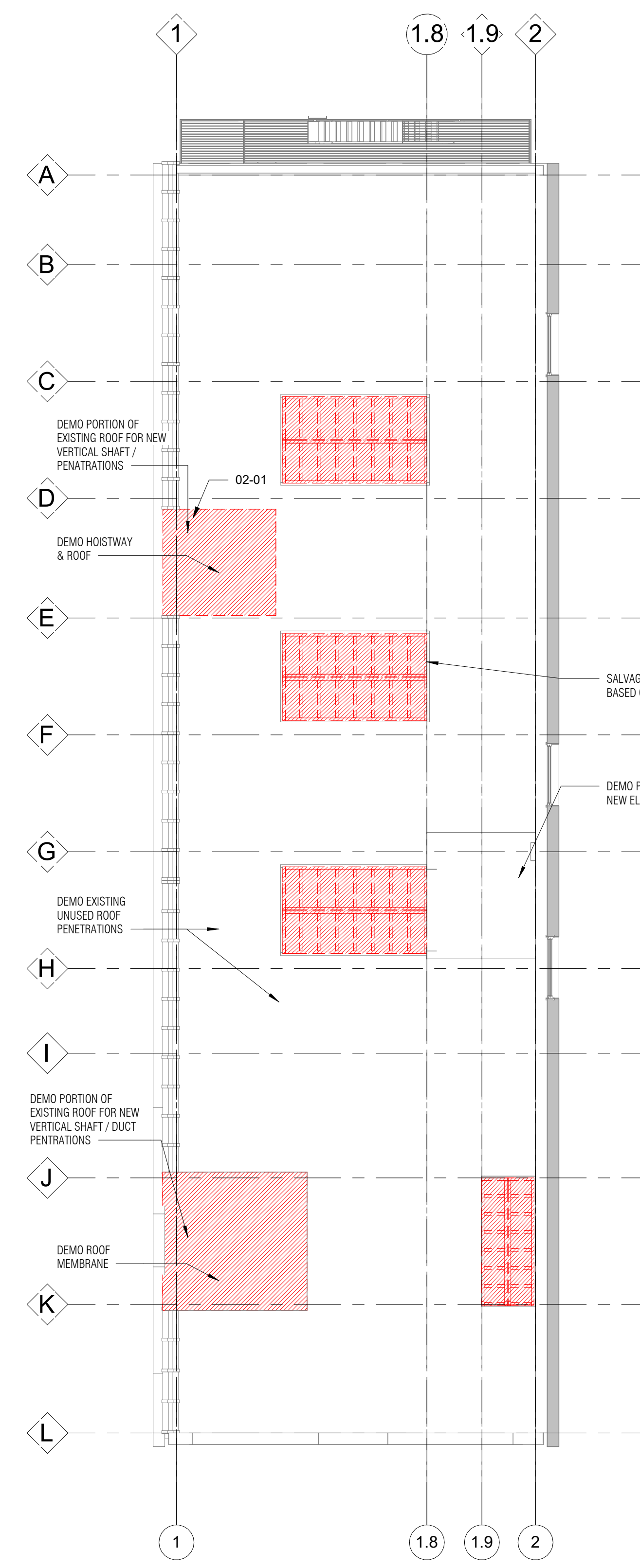
- COORDINATE ALL DEMOLITION WORK WITH NEW WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW THE ENTIRE DRAWING SET WITH THE OWNER AND VERIFY ALL PROPOSED WORK AND MEASUREMENTS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN PLAN.
- DEMOLISH ITEMS IN A WORKMAN LIKE MANNER FROM TOP TO BOTTOM OR AS NEEDED TO PREVENT COLLAPSE. TAKE CARE TO PREVENT DAMAGE TO SURROUNDING CONSTRUCTION. DO NOT DEMOLISH ANY ITEM THAT MAY BE STRUCTURAL IN NATURE. IF SUCH ITEMS ARE ENCOUNTERED CONTACT THE ARCHITECT FOR DIRECTION PRIOR TO DEMOLISHING THE ITEM.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON THE DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION. NOTIFY ARCHITECT/OWNER OF DISCREPANCIES.
- REMOVE AND REINSTALL ITEMS TO BE SALVAGED WHERE INDICATED AND WHERE ADVISED BY OWNER.
- COORDINATE DEMOLITION WITH OWNER'S REQUIREMENTS AND OTHER CONTRACTORS RETAINED BY THE OWNER.
- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- CONTRACTOR IS TO PROVIDE COMPLETE DUST PROOF ENCLOSURE IN ALL AREAS WHERE DEMOLITION IS TO OCCUR. COMPLY WITH ALL OSHA, NFPA AND OTHER APPLICABLE RULES AND REGULATIONS REGARDING DUST AND DEBRIS REMOVAL.
- PRIOR TO THE DEMOLITION OF ITEMS TO BE REPLACED, TAKE PHOTOS AND DIMENSIONS AS REQUIRED IN ORDER TO REPLICATE THE ITEMS. ITEMS REQUIRING REPLICATION INCLUDE, BUT ARE NOT LIMITED TO: SKYLIGHTS.
- DIMENSIONS AND NEW OPENINGS SHOWN ARE TO BE COORDINATED W/ NEW WORK PLANS.
- REFER TO S.100 SERIES FRAMING PLANS AND DETAILS FOR ADDITIONAL INFORMATION ON SUPPORTING NEW OPENINGS.
- REFER TO THE HISTORIC TAX CREDIT APPLICATION AND THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES GUIDELINES FOR ADDITIONAL REQUIREMENTS.



**1 DEMOLITION THIRD FLOOR**  
A1-10 1/8" = 1'-0"



**2 DEMOLITION FOURTH FLOOR**  
A1-10 1/8" = 1'-0"



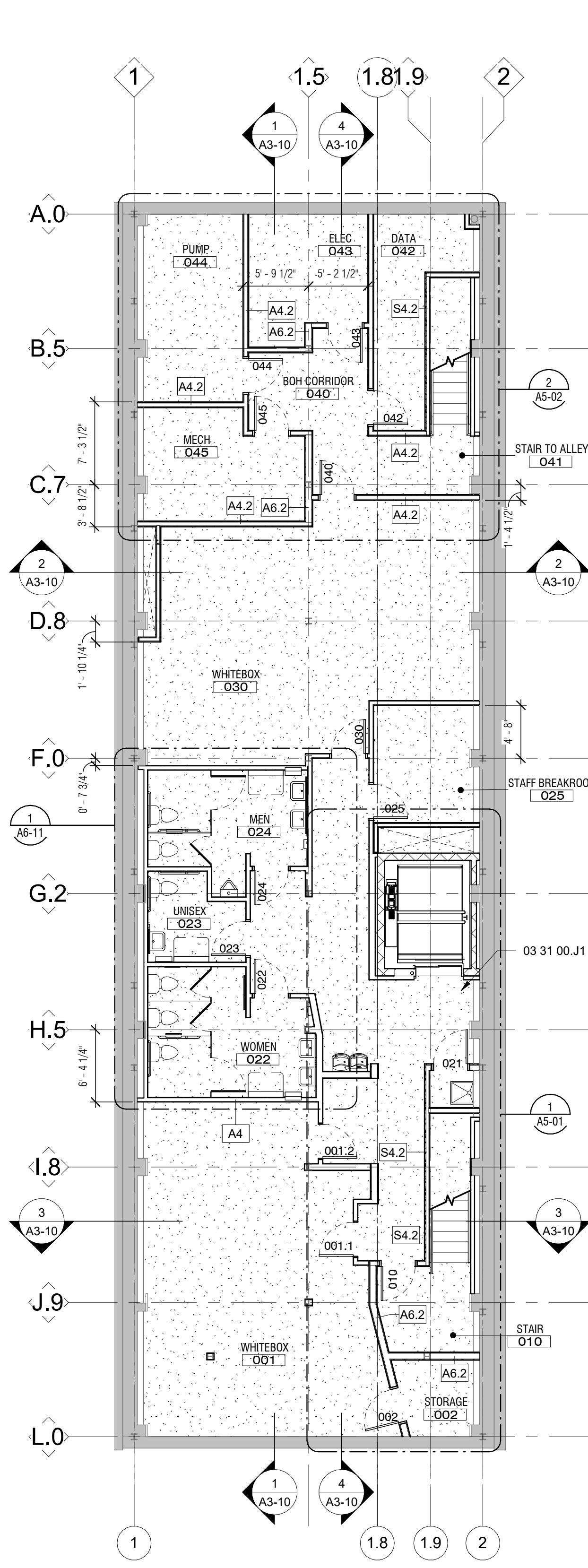
**3 DEMOLITION ROOF**  
A1-10 1/8" = 1'-0"

KEYNOTE LEGEND	
Number	Note
03.31.00.J1	

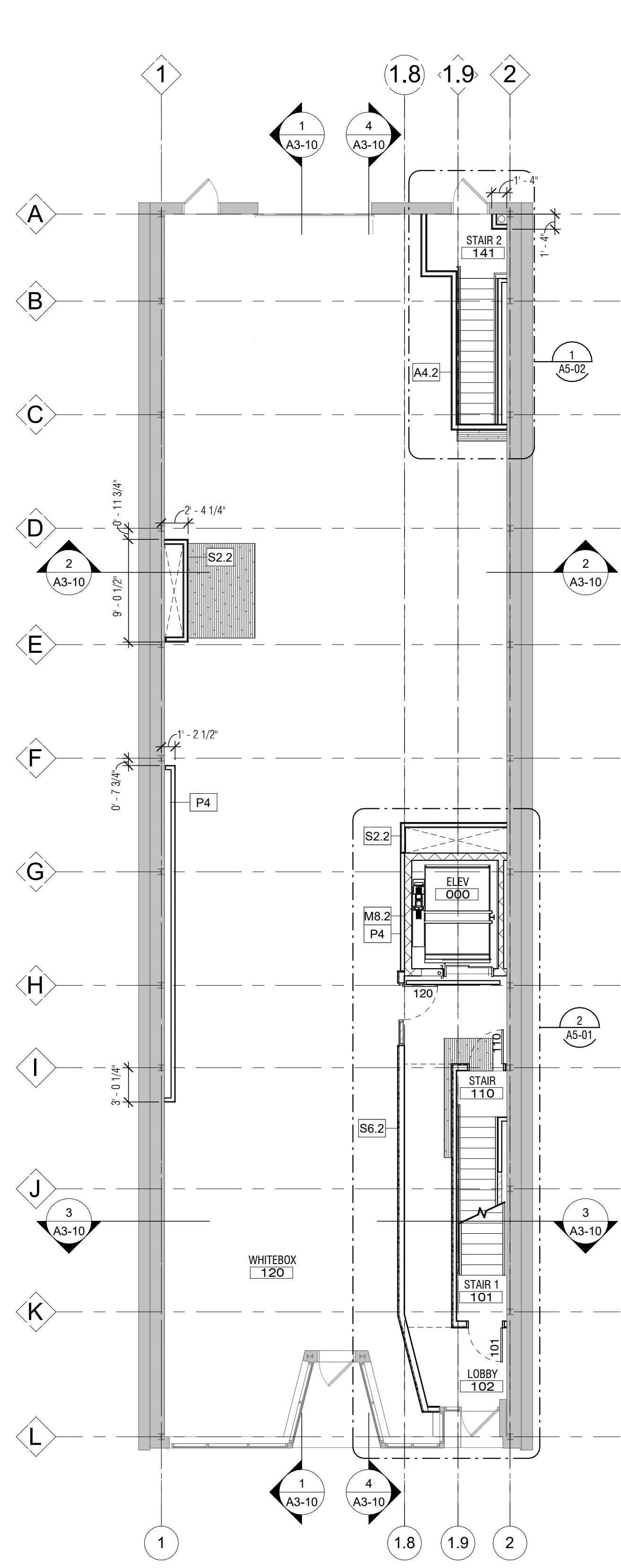
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 amy@amybakerarchitect.com

SEAL

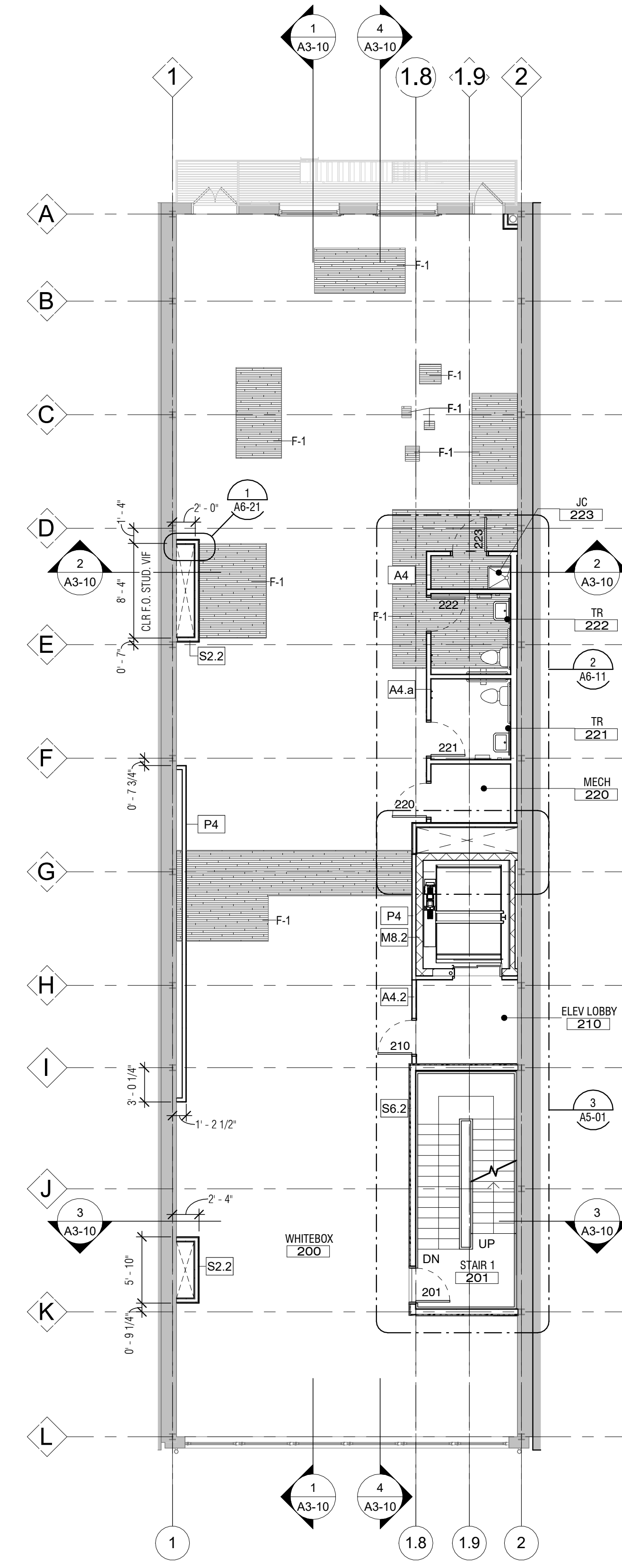
NOT FOR CONSTRUCTION



**1 FLOOR PLAN BASEMENT**  
 1/8" = 1'-0"



**2 FLOOR PLAN FIRST FLOOR**  
 1/8" = 1'-0"



**3 FLOOR PLAN SECOND FLOOR**  
 1/8" = 1'-0"

**GENERAL NOTES**

- ARCH ELEV 0'-0" = EXISTING GRADE ELEVATION. RE: CIVIL.
- CONTRACTOR TO COORDINATE WITH ARCHITECT ALL DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO ANY WORK OR INSTALLATION.
- CONTRACTOR SHALL FULLY REVIEW AND COORDINATE ARCHITECT'S DRAWINGS WITH ENGINEER'S DRAWINGS. REFER ANY QUESTIONS OR CONFLICT TO ARCHITECT PRIOR TO BEGINNING WORK.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, COLUMN LOCATIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY POSSIBLE CONFLICTS PRIOR TO INITIATING ANY WORK IN QUESTION.
- ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD, COLUMN CENTERLINE, FACE OF CONCRETE, AND/OR FACE OF MASONRY, UNO.
- SLAB EDGE DIMENSIONS ARE TO THE FACE OF MASONRY AND INTERIOR FACE OF SHAFTLINER. REFER TO INTERIOR PLAN DETAILS ON A6-21.
- REFER TO A/60-00 FOR PARTITION, FLOOR, AND CEILING ASSEMBLIES.
- NEW BASEMENT CONCRETE SLAB TO BE INSTALLED 1'-0" BELOW THE EXISTING FLOOR LEVEL. REFER TO BUILDING SECTION.

**LEGEND**

- EXISTING PARTITION
- NEW PARTITION, RE: A6-00
- F-1 FLOOR INFILL, RE: A6-00

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CONSULTANT

CLIENT  
 Method Development

PROJECT  
 2021.A03  
**1315 Broadway**  
**PHASE 02**

1315 Broadway  
 Detroit, Michigan 48226

ISSUANCE  
 2024-06-17 HDC SUBMISSION

REVISIONS

TITLE  
**FLOOR PLANS**

SHEET  
**A2-21**

KEYNOTE LEGEND	
Number	Note

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2021.A03

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Detroit, Michigan 48226

ISSUANCE

2024-06-17 HDC SUBMISSION

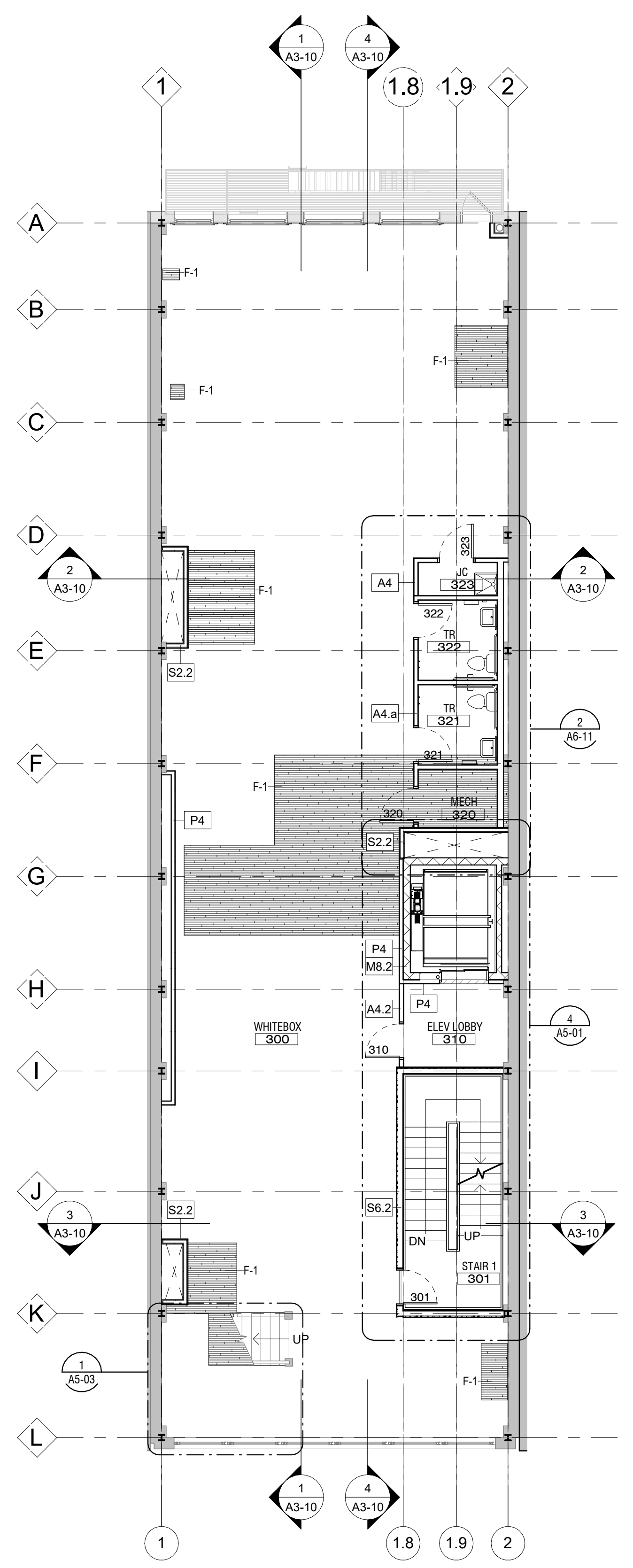
REVISIONS

TITLE

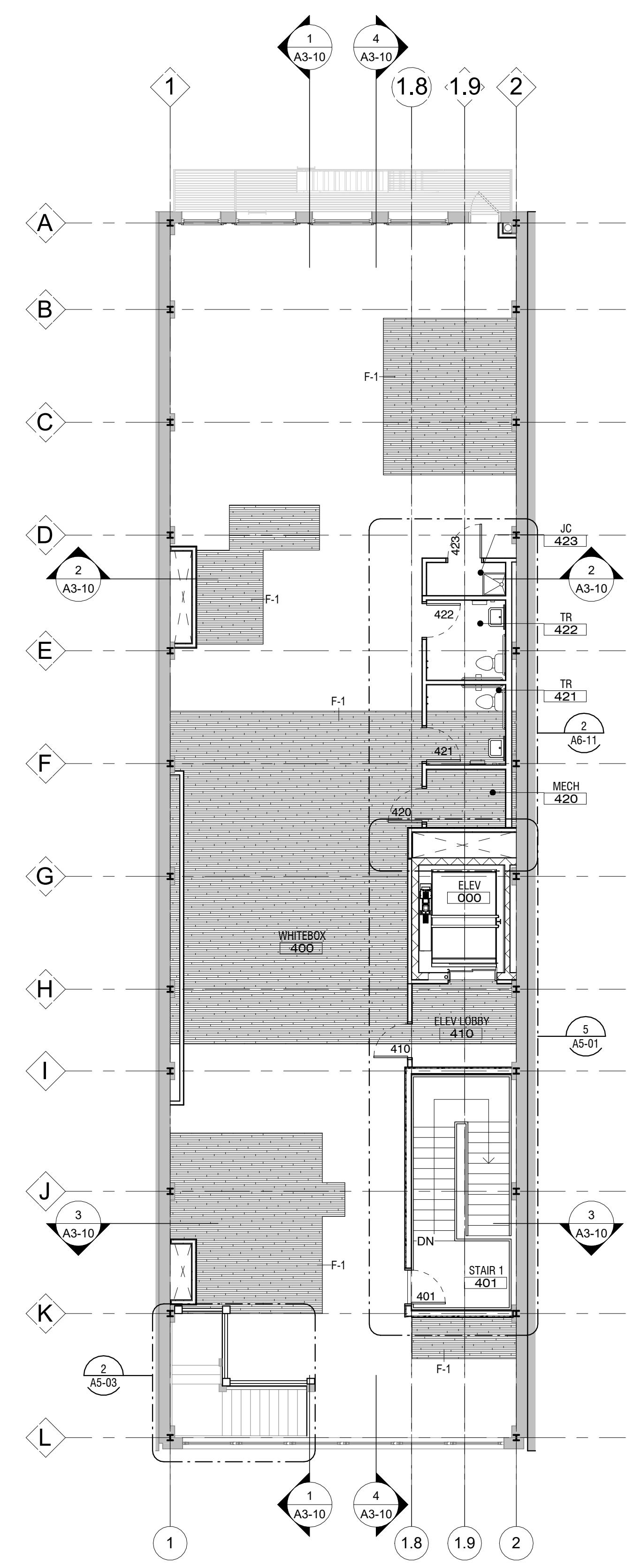
**FLOOR PLANS**

SHEET

**A2-22**



**1 FLOOR PLAN THIRD FLOOR**  
 A1-10 / 1/8" = 1'-0"



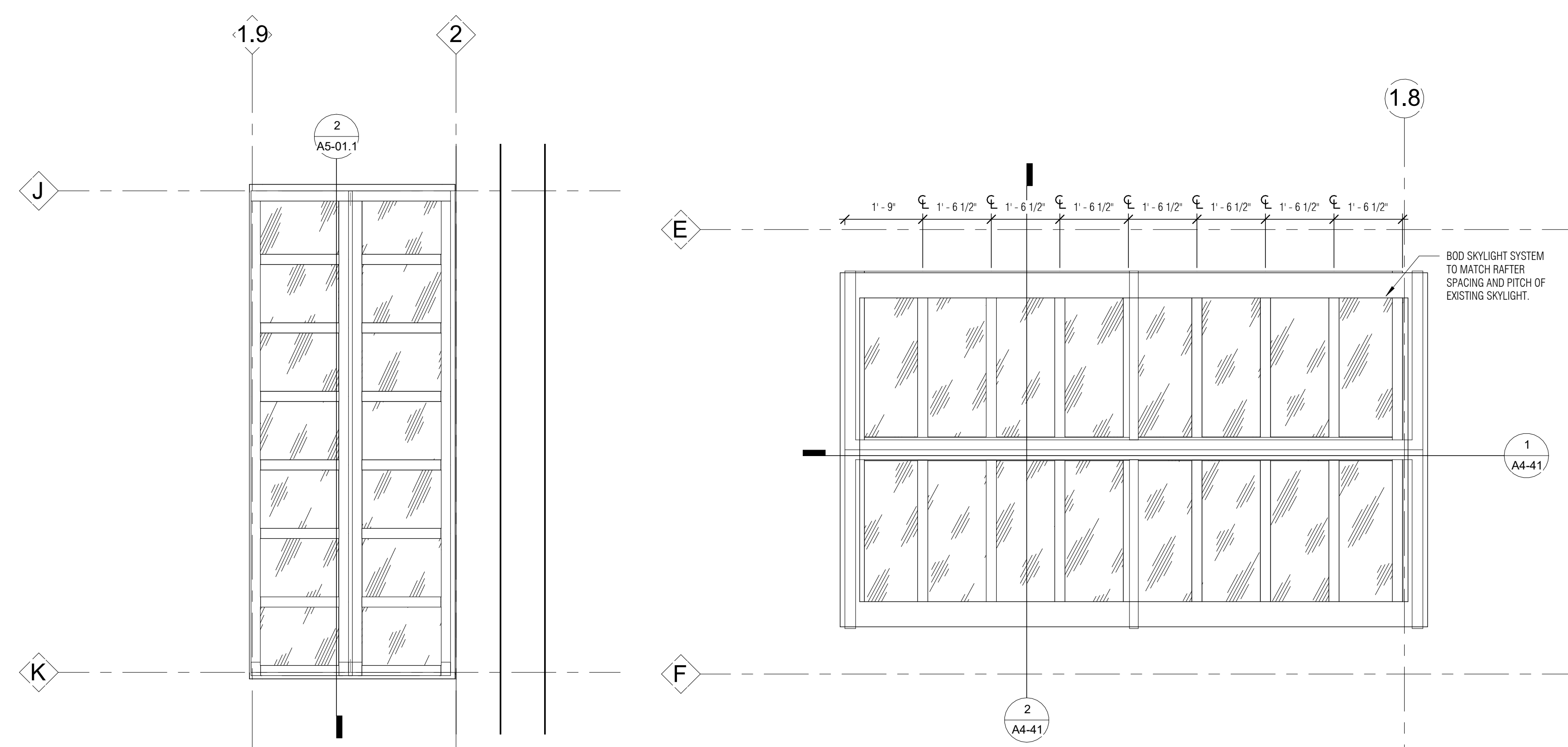
**2 FLOOR PLAN FOURTH FLOOR**  
 A1-10 / 1/8" = 1'-0"

**GENERAL NOTES**

1. ARCH ELEV 0'-0" = EXISTING GRADE ELEVATION. RE: CIVIL.
2. CONTRACTOR TO COORDINATE WITH ARCHITECT ALL DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO ANY WORK OR INSTALLATION.
3. CONTRACTOR SHALL FULLY REVIEW AND COORDINATE ARCHITECT'S DRAWINGS WITH ENGINEER'S DRAWINGS. REFER ANY QUESTIONS OR CONFLICT TO ARCHITECT PRIOR TO BEGINNING WORK.
4. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, COLUMN LOCATIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY POSSIBLE CONFLICTS PRIOR TO INITIATING ANY WORK IN QUESTION.
5. ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD, COLUMN CENTERLINE, FACE OF CONCRETE, AND/OR FACE OF MASONRY, UNO.
6. SLAB EDGE DIMENSIONS ARE TO THE FACE OF MASONRY AND INTERIOR FACE OF SHAFTLINER. REFER TO INTERIOR PLAN DETAILS ON A6-21.
7. REFER TO A/60-00 FOR PARTITION, FLOOR, AND CEILING ASSEMBLIES.
8. NEW BASEMENT CONCRETE SLAB TO BE INSTALLED 1'-0" BELOW THE EXISTING FLOOR LEVEL. REFER TO BUILDING SECTION.

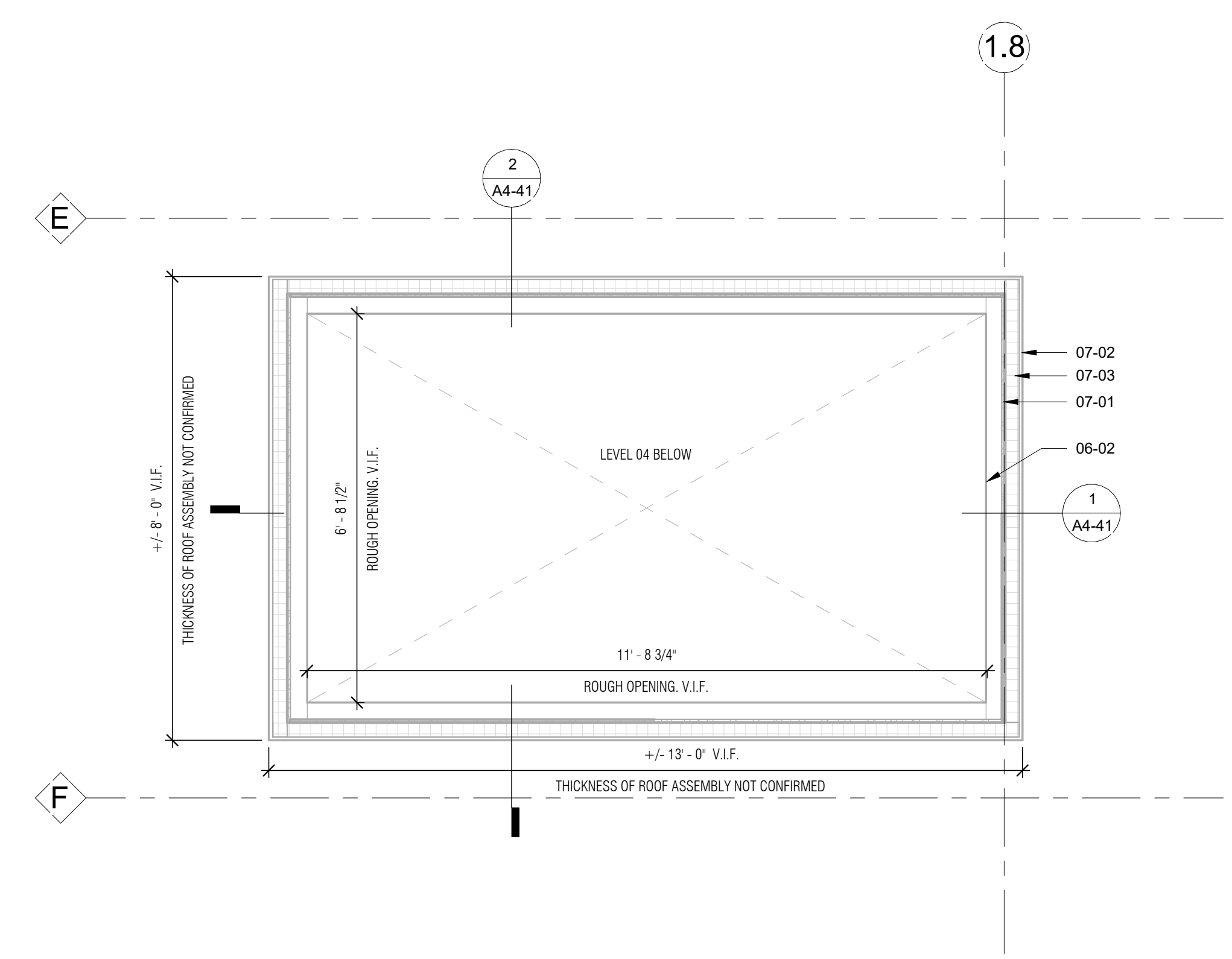
**LEGEND**

- EXISTING PARTITION
- NEW PARTITION, RE: A6-00
- F-1 FLOOR INFILL, RE: A6-00

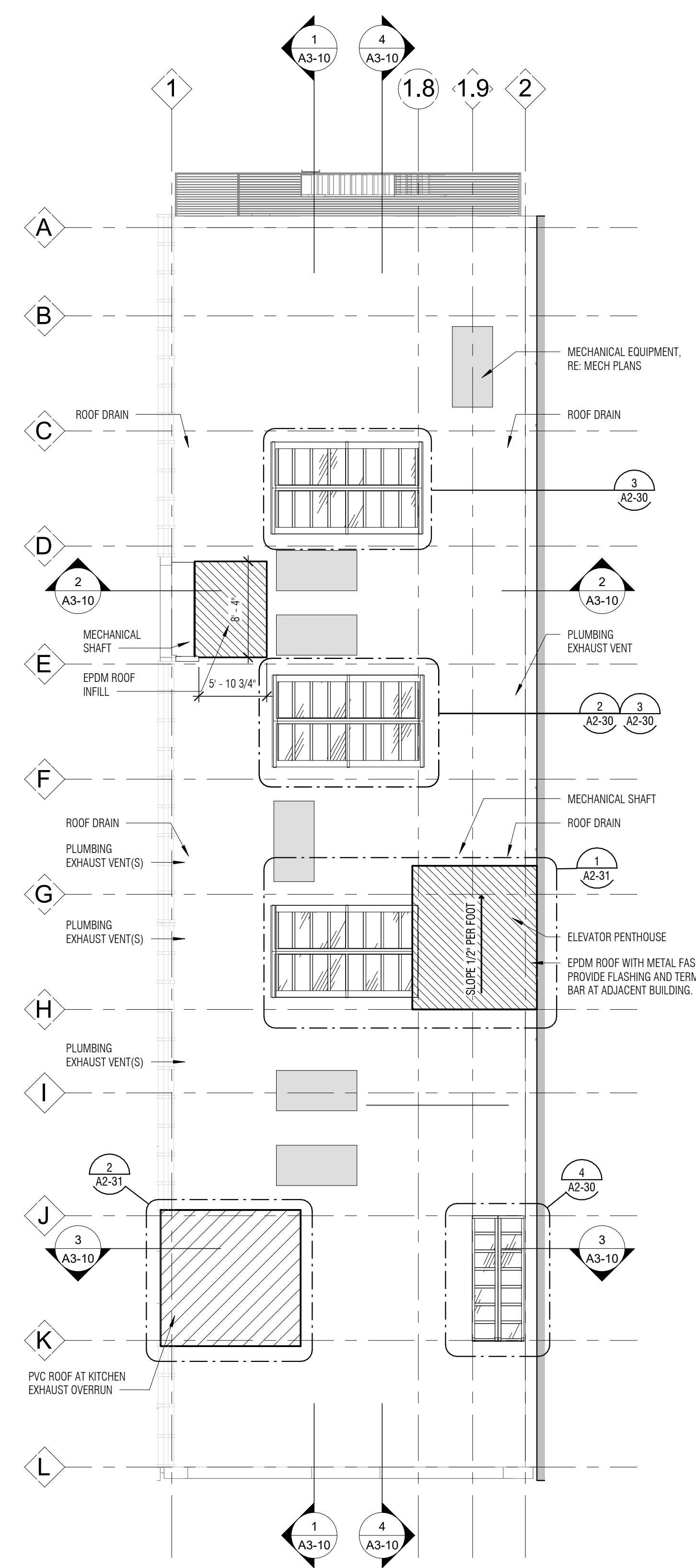


4 SKYLIGHT\_SMALL  
A2-30 1/2" = 1'-0"

3 SKYLIGHT  
A2-30 1/2" = 1'-0"



2 SKYLIGHT - ROUGH OPENING  
A2-30 1/2" = 1'-0"



1 05 Roof\_CD\_PHASE 02  
A1-10 1/8" = 1'-0"

**KEYNOTE LEGEND**

Number	Note
06-02	EXISTING WOOD SKYLIGHT FRAMING TO REMAIN, UNLESS NOTED OTHERWISE, REFER TO STRUCTURAL FOR MEMBERS THAT ARE REQUIRED TO BE REPLACED OR MODIFIED.
07-01	EXISTING ROOF SHEATHING.
07-02	EXISTING SINGLE-PLY ROOF ASSEMBLY.
07-03	EXISTING ROOF INSULATION.

**GENERAL NOTES**

- CONTRACTOR TO COORDINATE WITH ARCHITECT ALL DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO ANY WORK OR INSTALLATION
- CONTRACTOR SHALL FULLY REVIEW AND COORDINATE ARCHITECT'S DRAWINGS WITH ENGINEER'S DRAWINGS. REFER ANY QUESTIONS OR CONFLICT TO ARCHITECT PRIOR TO BEGINNING WORK.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, COLUMN LOCATIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY POSSIBLE CONFLICTS PRIOR TO INITIATING ANY WORK IN QUESTION.
- APPLY NEW EPDM ROOF MEMBRANE TO THE WALLS OF THE EXISTING PENTHOUSE.
- PATCH AND REPAIR FLASHING SEAMS AROUND EXISTING SKYLIGHTS, PENTHOUSES AND ADJACENT BUILDING INTERSECTIONS.
- REPLACE EXISTING SKYLIGHTS WITH NEW ALUMINUM SKYLIGHTS MATCHING THE EXISTING HISTORIC DIMENSIONS, SLOPE AND PURLIN PROFILES.

**LEGEND**

- NEW EPDM ROOF
- NEW PVC ROOF



SEAL

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CONSULTANT

CLIENT

Method Development

PROJECT

2021.A03

**1315 Broadway  
PHASE 02**

1315 Broadway  
Detroit, Michigan 48226

ISSUANCE

2024-06-17 HDC SUBMISSION

REVISIONS

TITLE

**ROOF PLAN**

SHEET

**A2-30**

KEYNOTE LEGEND	
Number	Note

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ISSUANCE

2024-06-17 HDC SUBMISSION

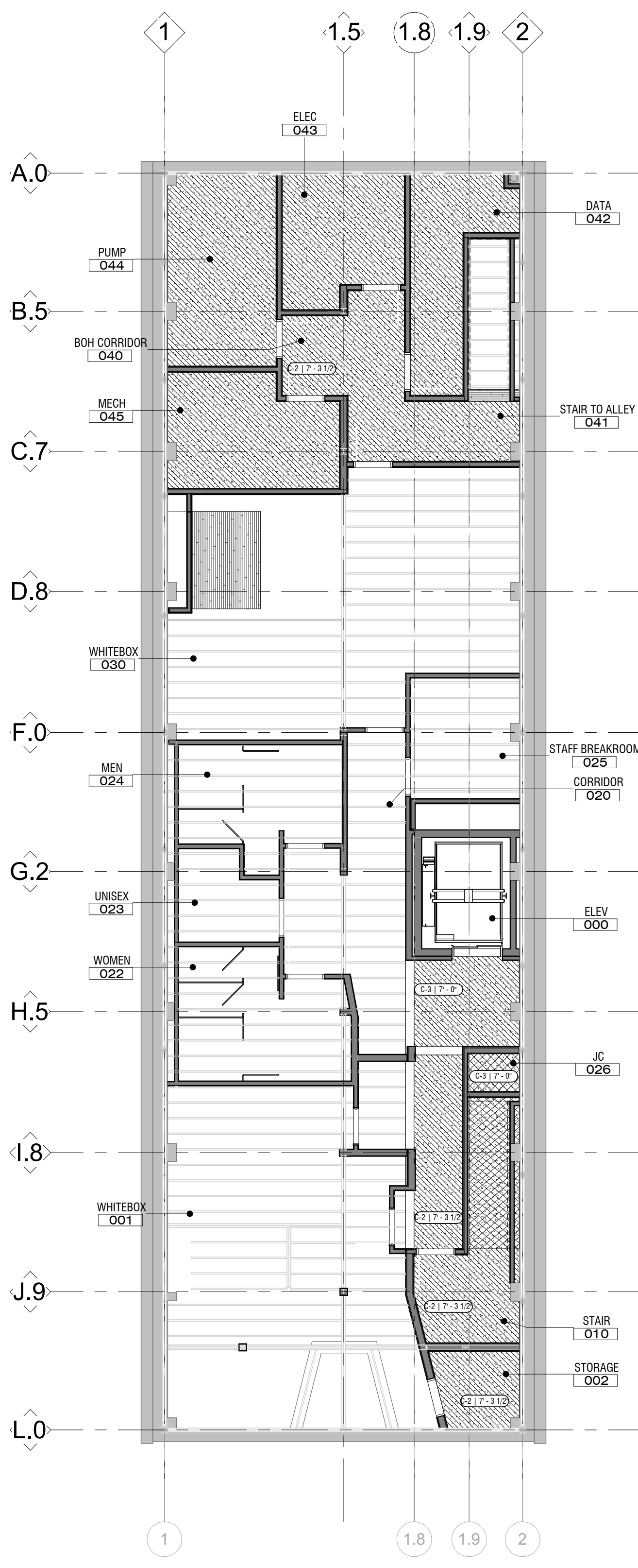
REVISIONS

TITLE

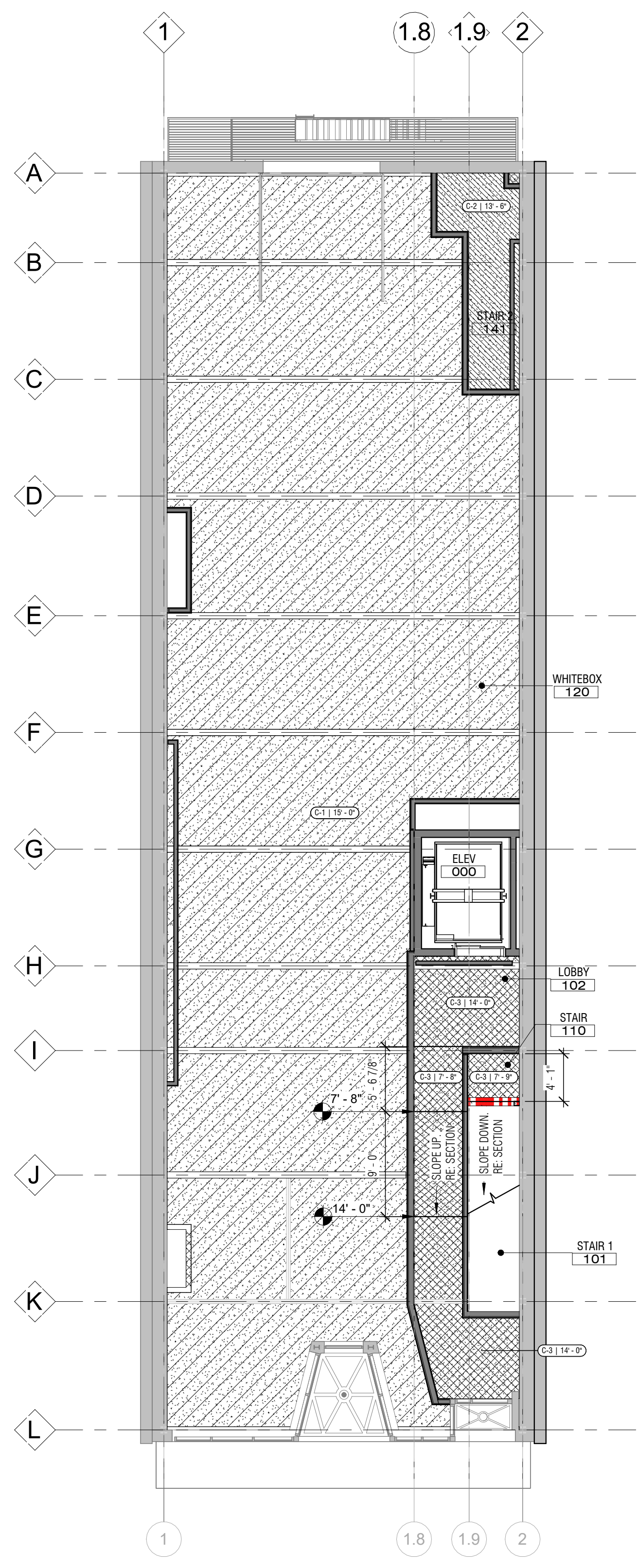
REFLECTED  
CEILING PLANS

SHEET

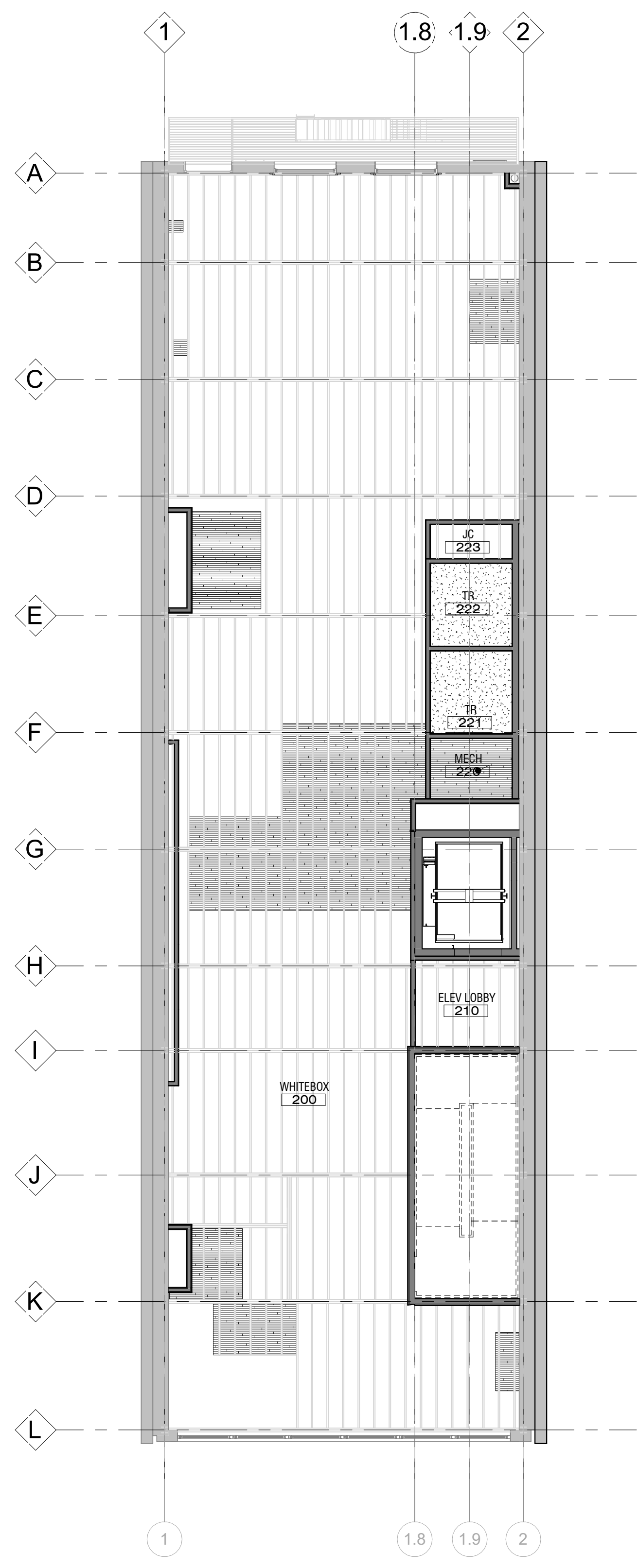
A2-41



1 RCP BASEMENT  
A3-10 1/8" = 1'-0"



2 RCP FIRST FLOOR  
A1-10 1/8" = 1'-0"



3 RCP SECOND FLOOR  
A1-10 1/8" = 1'-0"

CEILING PLAN LEGEND

- C-0 UNRATED GYP CEILING ASSEMBLY
- C-1 1-HOUR GYP CEILING ASSEMBLY
- C-2 2-HOUR GYP CEILING ASSEMBLY
- C-3 2-HOUR SHAFT WALL CEILING ASSEMBLY
- INDUSTRIAL CHAIN HUNG LIGHTING
- CAN LIGHT, RE: ELEC
- CEILING MOUNTED SMOKE DETECTOR, RE: ELEC
- EXIT LIGHTING W/ DIRECTIONAL ARROWS (SHADED AREAS INDICATE FACE)
- EXIT LIGHTING W/ DIRECTIONAL ARROWS (SHADED AREAS INDICATE FACE)
- EXIT LIGHTING (SHADED AREA INDICATES FACE)
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- EXHAUST REGISTER

CEILING PLAN NOTES

- A. REFER TO ARCHITECTURAL GENERAL INFORMATION SHEET FOR CEILING SYMBOLS AND ABBREVIATIONS.
- B. REFER TO MECHANICAL AND ELECTRICAL GENERAL INFORMATION SHEET FOR CEILING SYMBOLS AND ABBREVIATIONS.
- C. REFER TO STRUCTURAL FOR ALL EXPOSED STRUCTURAL MEMBERS TO BE REPAIRED, REPLACED OR INFILLED.
- D. COORDINATE LOCATION OF ALL ELEMENTS WITHIN HARD CEILING WITH ARCHITECT PRIOR TO INSTALLATION.
- E. REFER TO FLOOR PLANS FOR PARTITION TYPE DESIGNATIONS.
- F. GYPSUM CEILINGS TO BE PAINTED P-2, UNO.
- G. WOOD JOISTS AND UNDERSIDE OF DECK TO BE PAINTED P-5, UNO.
- H. EXPOSED MEP TO BE PAINTED P-6, UNO.



KEYNOTE LEGEND	
Number	Note

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 Detroit, Michigan 48226

ISSUANCE

2024-06-17 HDC SUBMISSION

REVISIONS

TITLE

**REFLECTED**  
**CEILING PLAN**

SHEET

**A2-42**



**CEILING PLAN LEGEND**

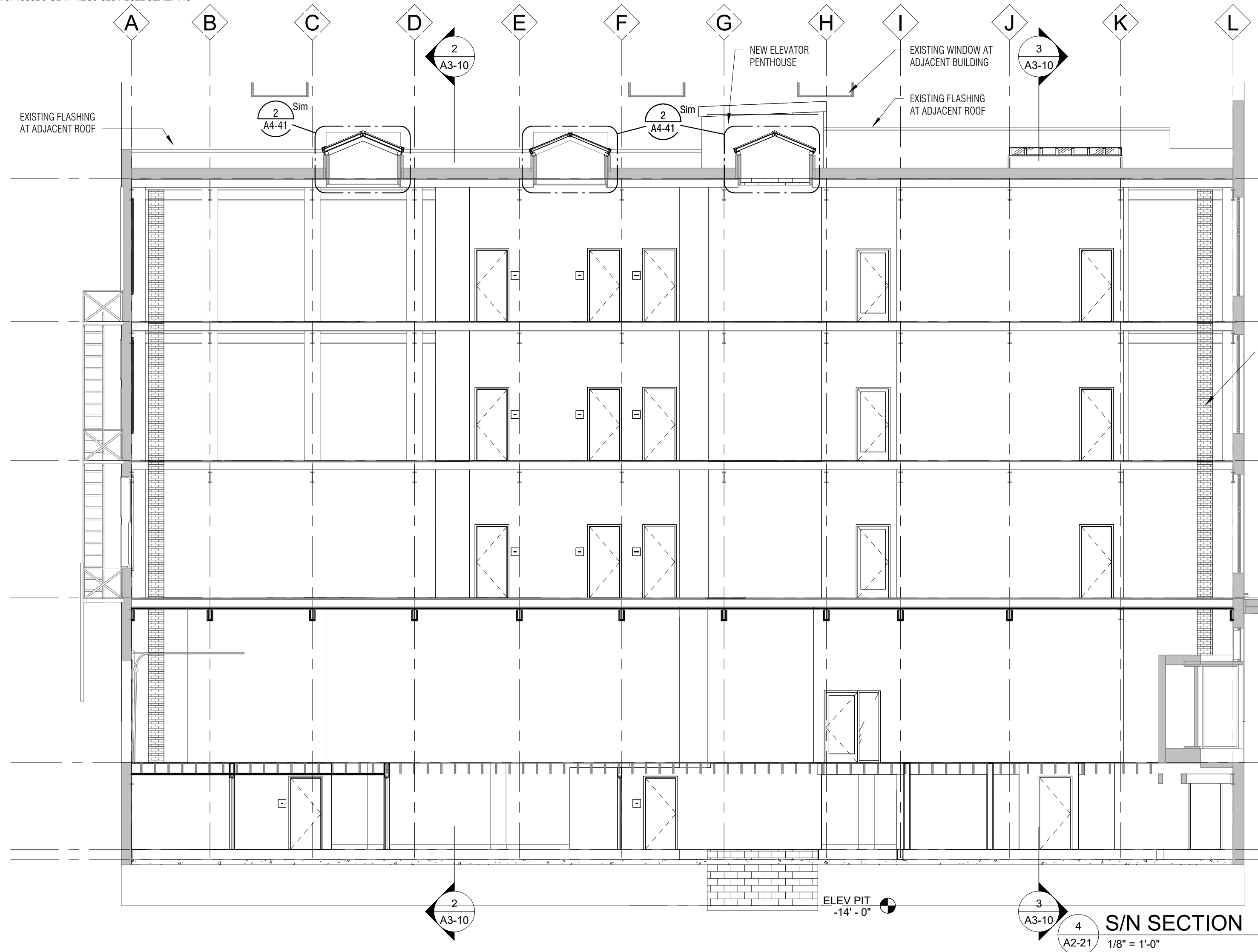
- C-0 UNRATED GYP CEILING ASSEMBLY
- C-1 1-HOUR GYP CEILING ASSEMBLY
- C-2 2-HOUR GYP CEILING ASSEMBLY
- C-3 2-HOUR SHAFT WALL CEILING ASSEMBLY
- INDUSTRIAL CHAIN HUNG LIGHTING
- CAN LIGHT, RE. ELEC
- CEILING MOUNTED SMOKE DETECTOR, RE. ELEC
- EXIT LIGHTING W/ DIRECTIONAL ARROWS (SHADED AREAS INDICATE FACE)
- EXIT LIGHTING W/ DIRECTIONAL ARROWS (SHADED AREAS INDICATE FACE)
- EXIT LIGHTING (SHADED AREA INDICATES FACE)
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- EXHAUST REGISTER

**CEILING PLAN NOTES**

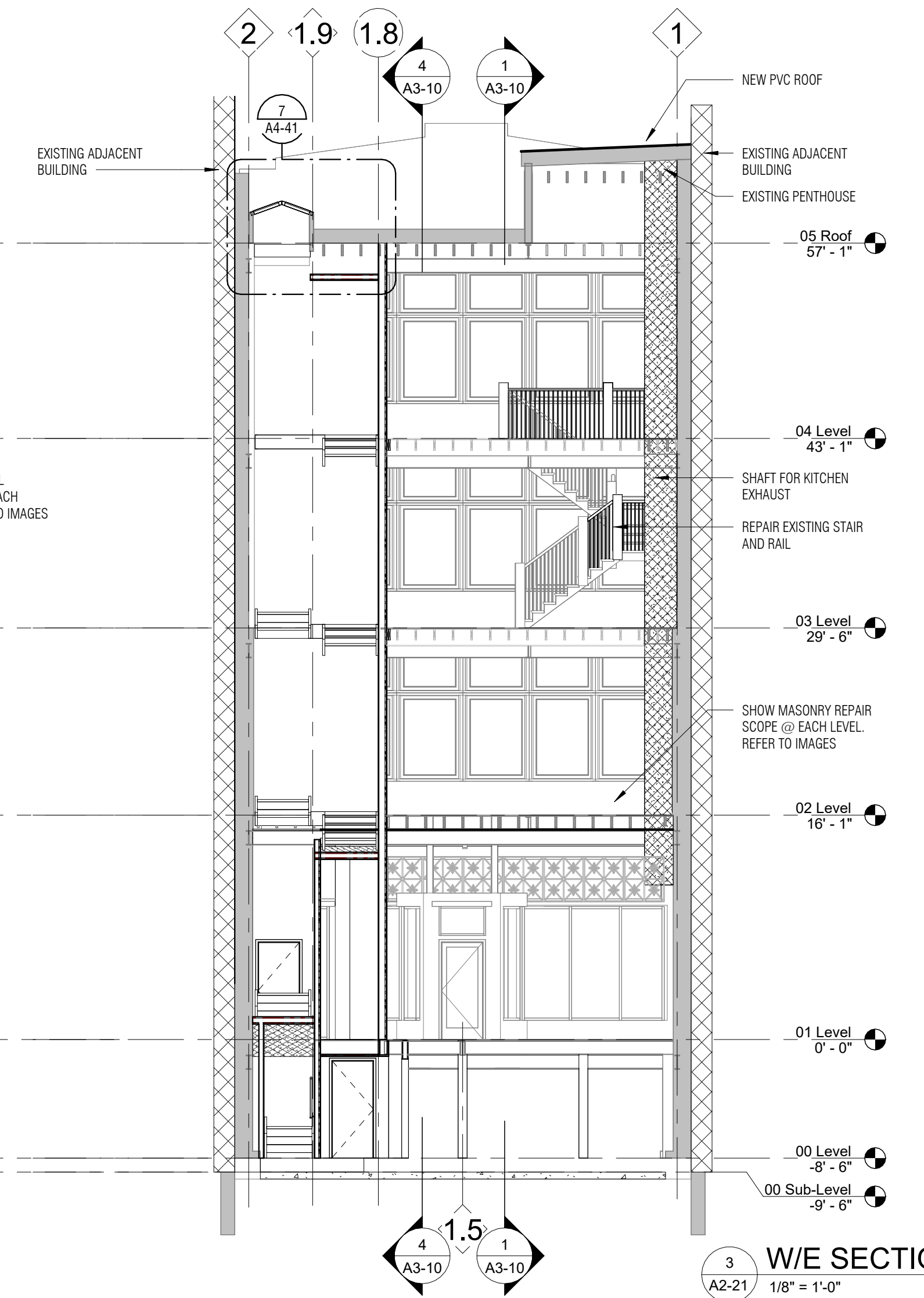
- A. REFER TO ARCHITECTURAL GENERAL INFORMATION SHEET FOR CEILING SYMBOLS AND ABBREVIATIONS.
- B. REFER TO MECHANICAL AND ELECTRICAL GENERAL INFORMATION SHEET FOR CEILING SYMBOLS AND ABBREVIATIONS.
- C. REFER TO STRUCTURAL FOR ALL EXPOSED STRUCTURAL MEMBERS TO BE REPAIRED, REPLACED OR INFILLED.
- D. COORDINATE LOCATION OF ALL ELEMENTS WITHIN HARD CEILING WITH ARCHITECT PRIOR TO INSTALLATION.
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- F. GYPSUM CEILINGS TO BE PAINTED P-2, UNO.
- G. WOOD JOISTS AND UNDERSIDE OF DECK TO BE PAINTED P-5, UNO.
- H. EXPOSED MEP TO BE PAINTED P-6, UNO.

**2** RCP\_THIRD FLOOR  
 A1-10 1/8" = 1'-0"

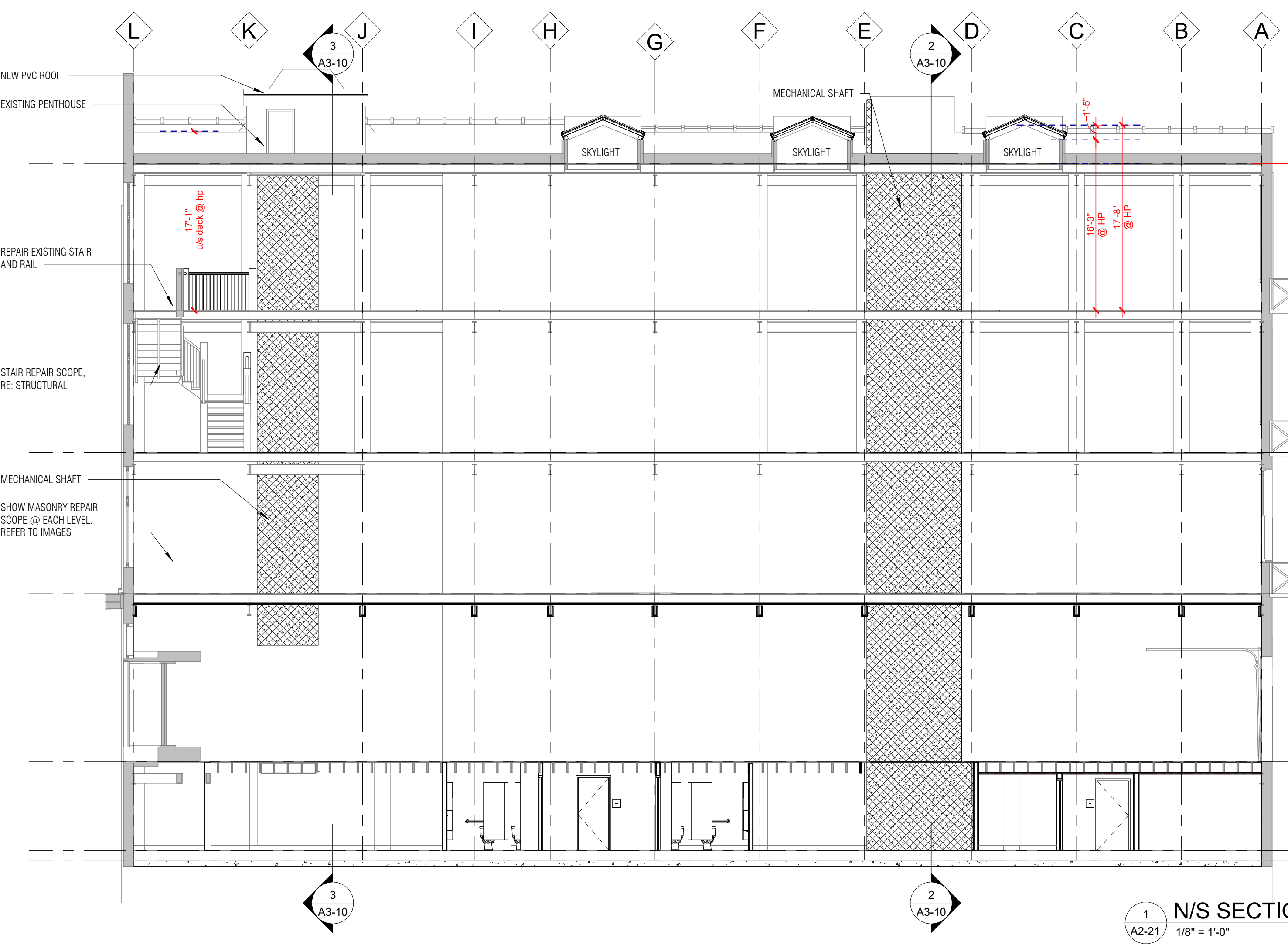
**3** RCP\_FOURTH FLOOR  
 A1-10 1/8" = 1'-0"



**S/N SECTION**  
1/8" = 1'-0"



**W/E SECTION**  
1/8" = 1'-0"



**N/S SECTION**  
1/8" = 1'-0"



**E/W SECTION**  
1/8" = 1'-0"

KEYNOTE LEGEND	
Number	Note

**GENERAL NOTES**  
1. NEW CASING AT ALL WINDOWS AT ALLEY ELEVATION. REFER TO DETAIL.

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2024-06-17 HDC SUBMISSION

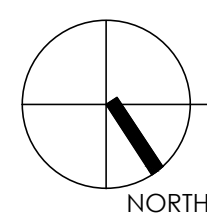
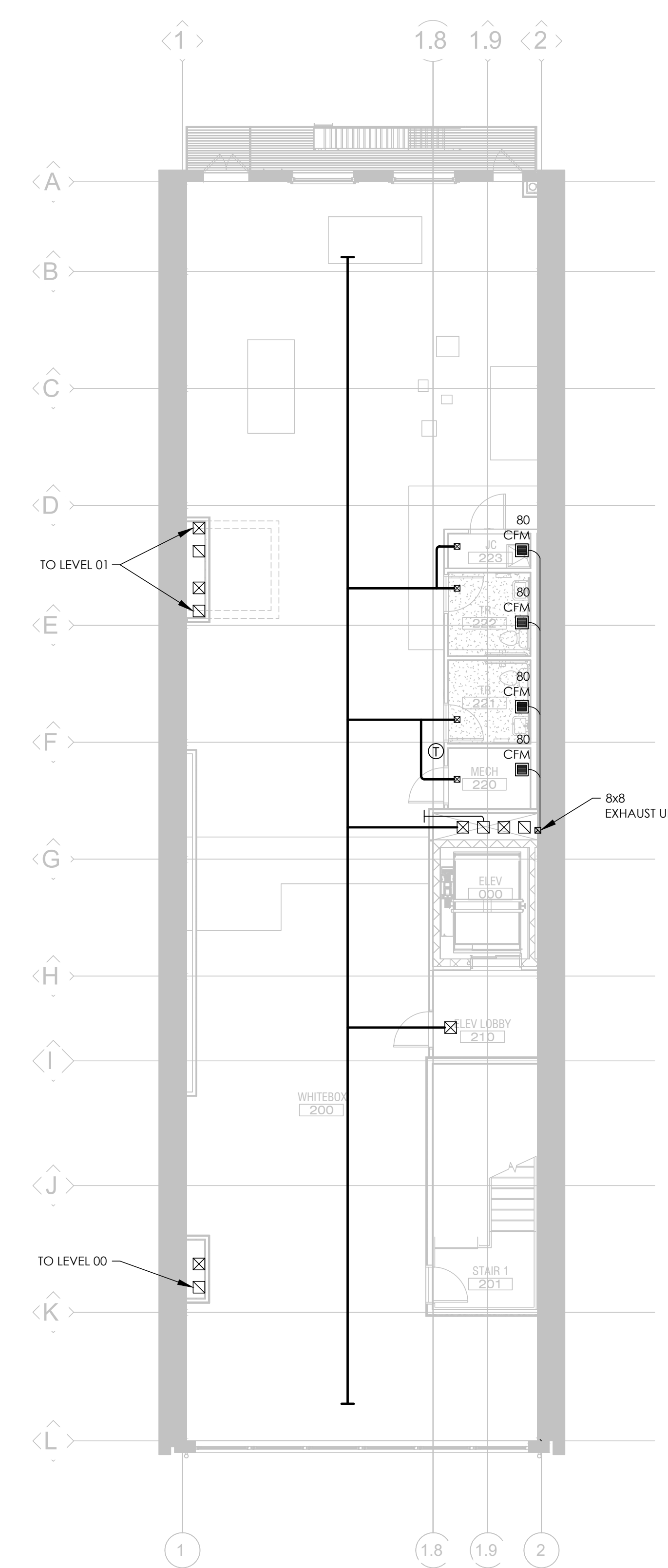
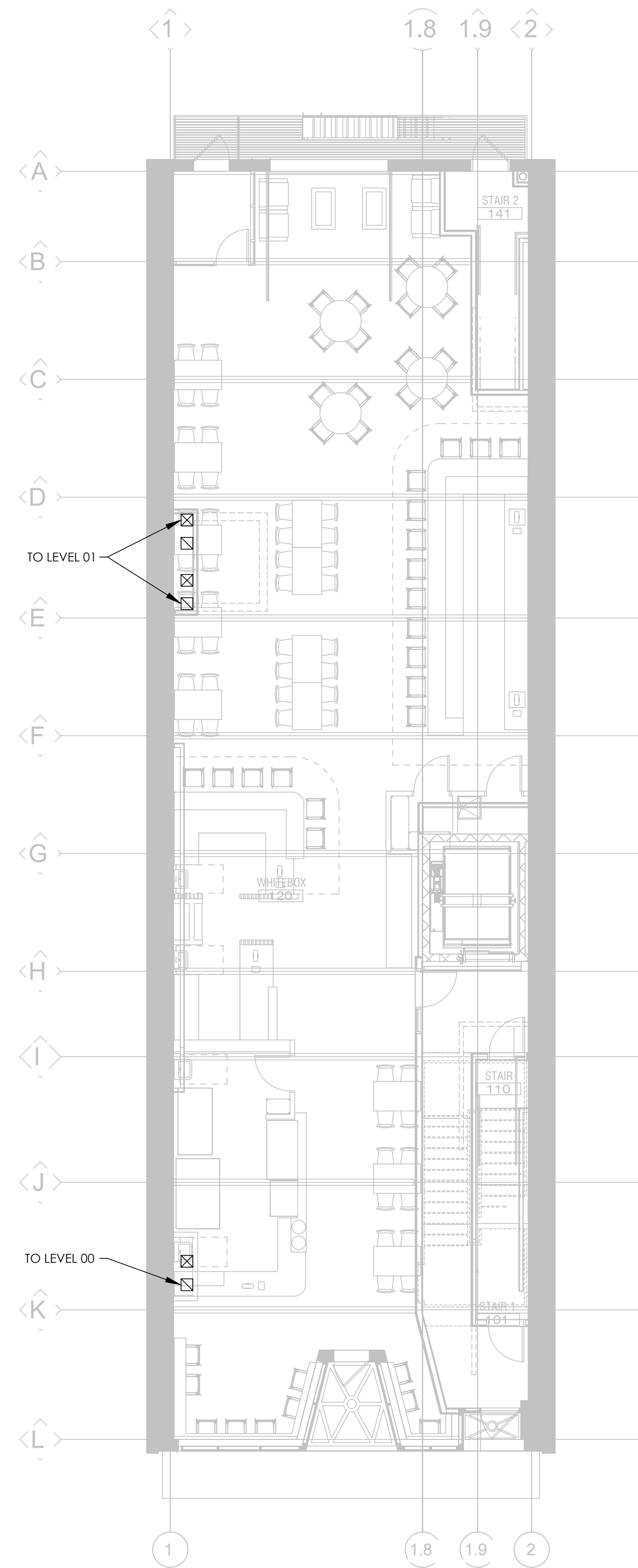
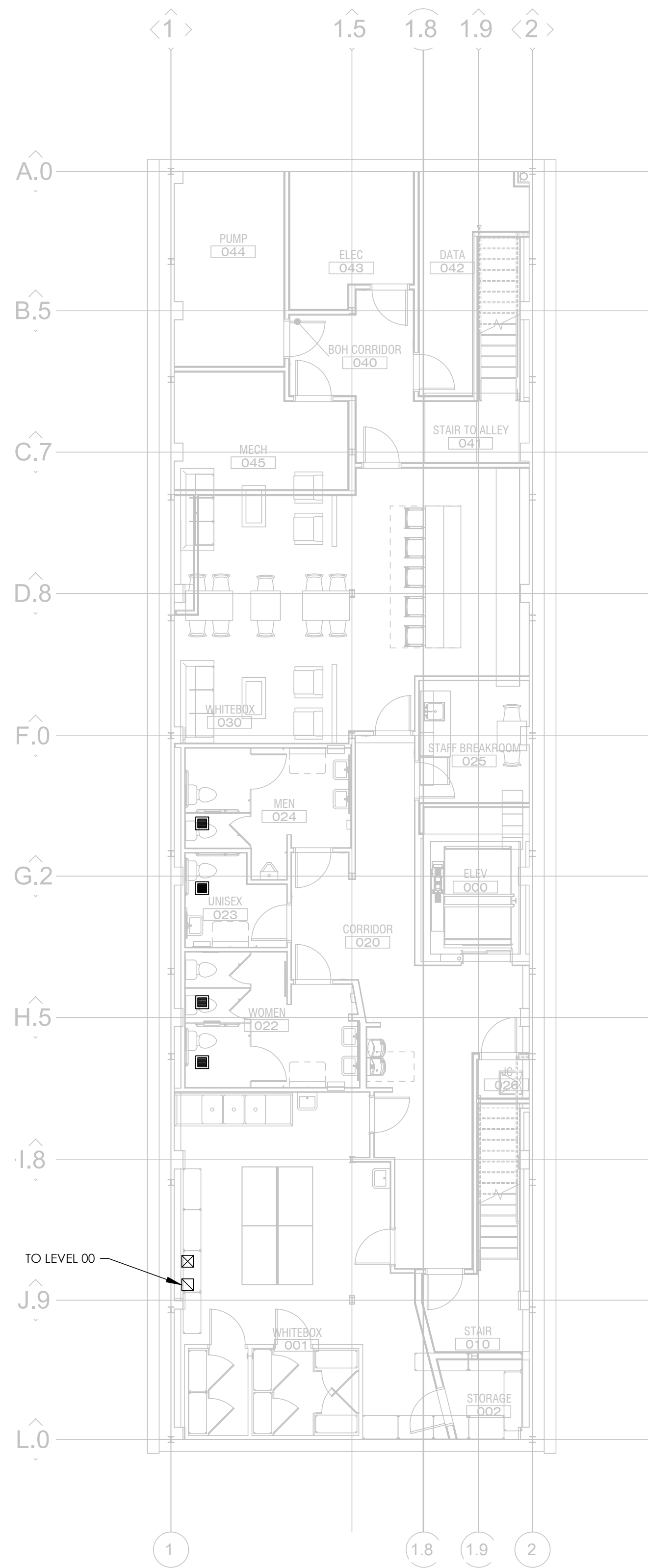
REVISIONS

TITLE

**BUILDING SECTIONS**

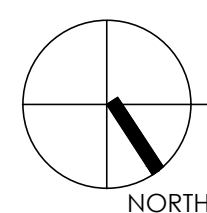
SHEET

**A3-10**



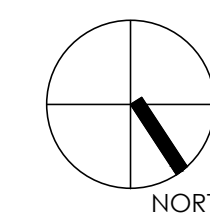
**HVAC BASEMENT PLAN**

SCALE: 1/8" = 1'-0"



**HVAC FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"



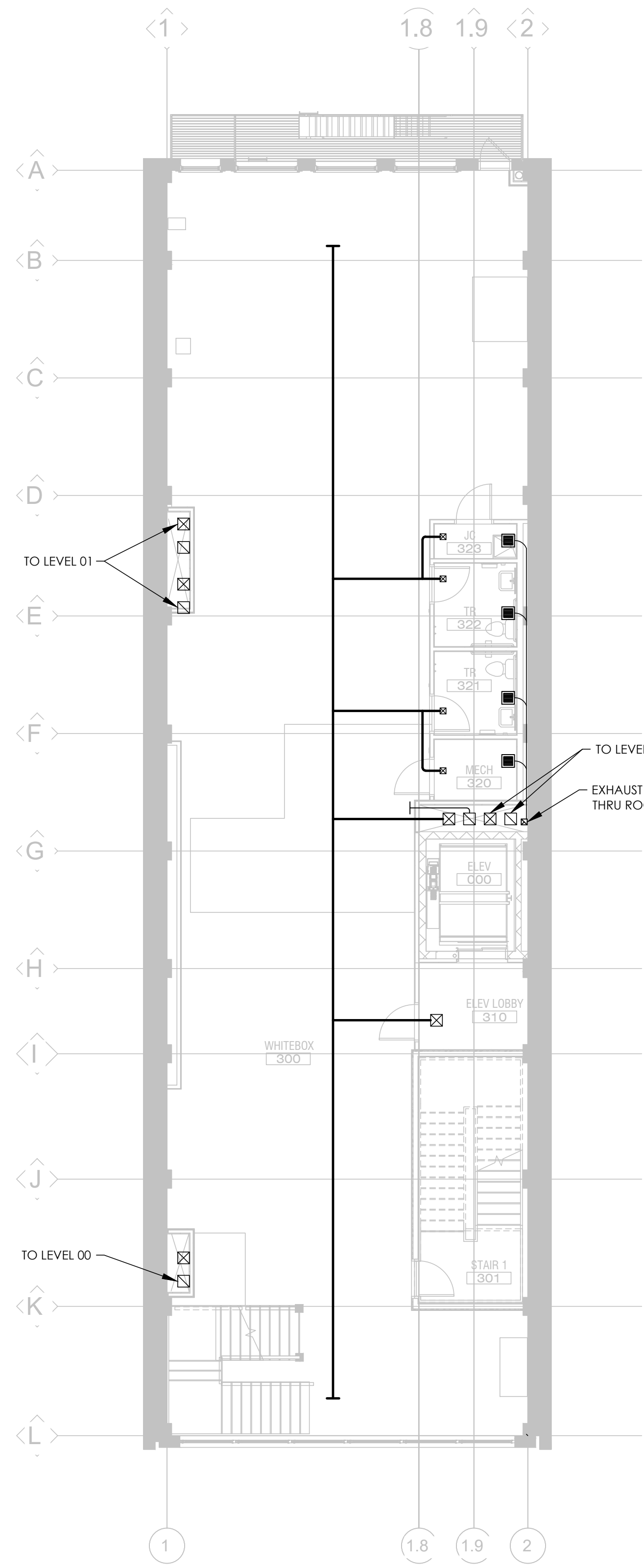
**HVAC SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

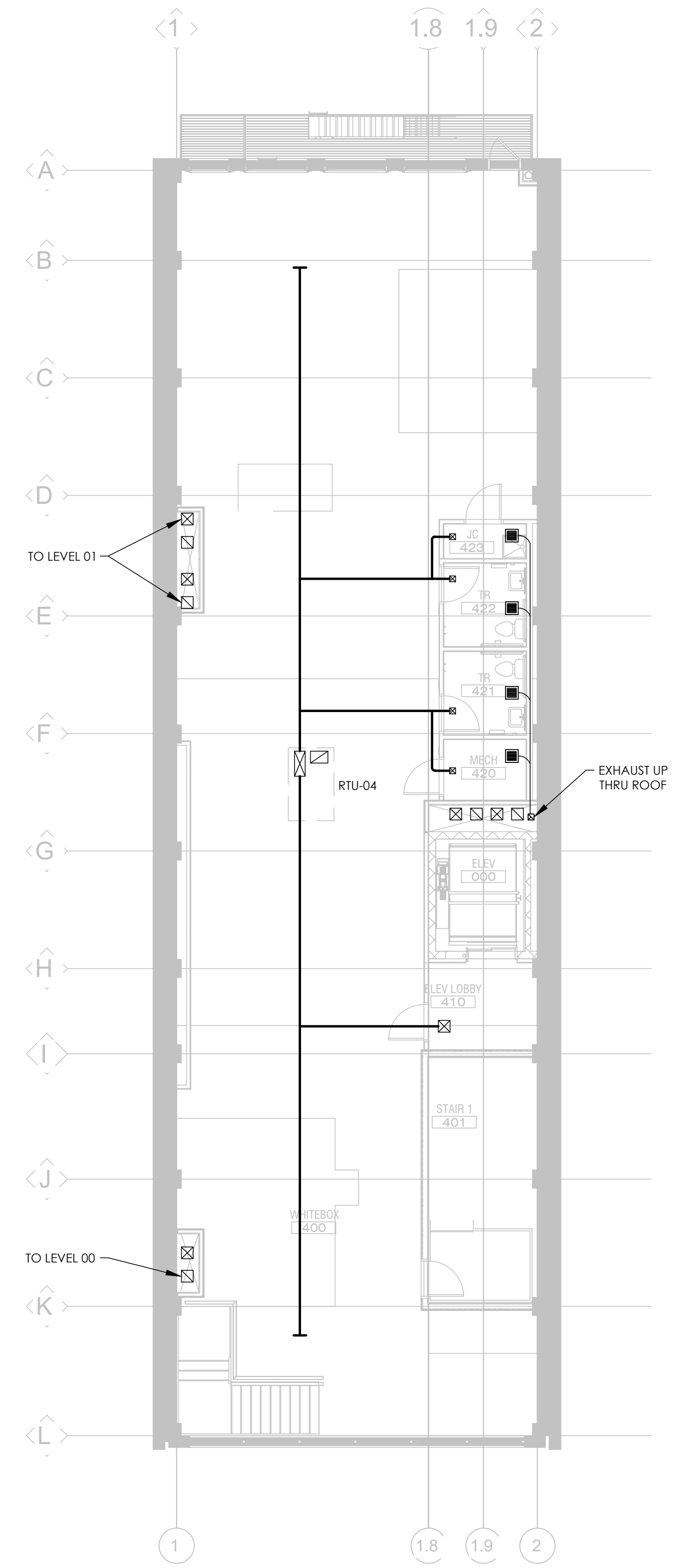
**PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION**

ISSUED FOR	DATE
OWNER REVIEW	06/13/2024

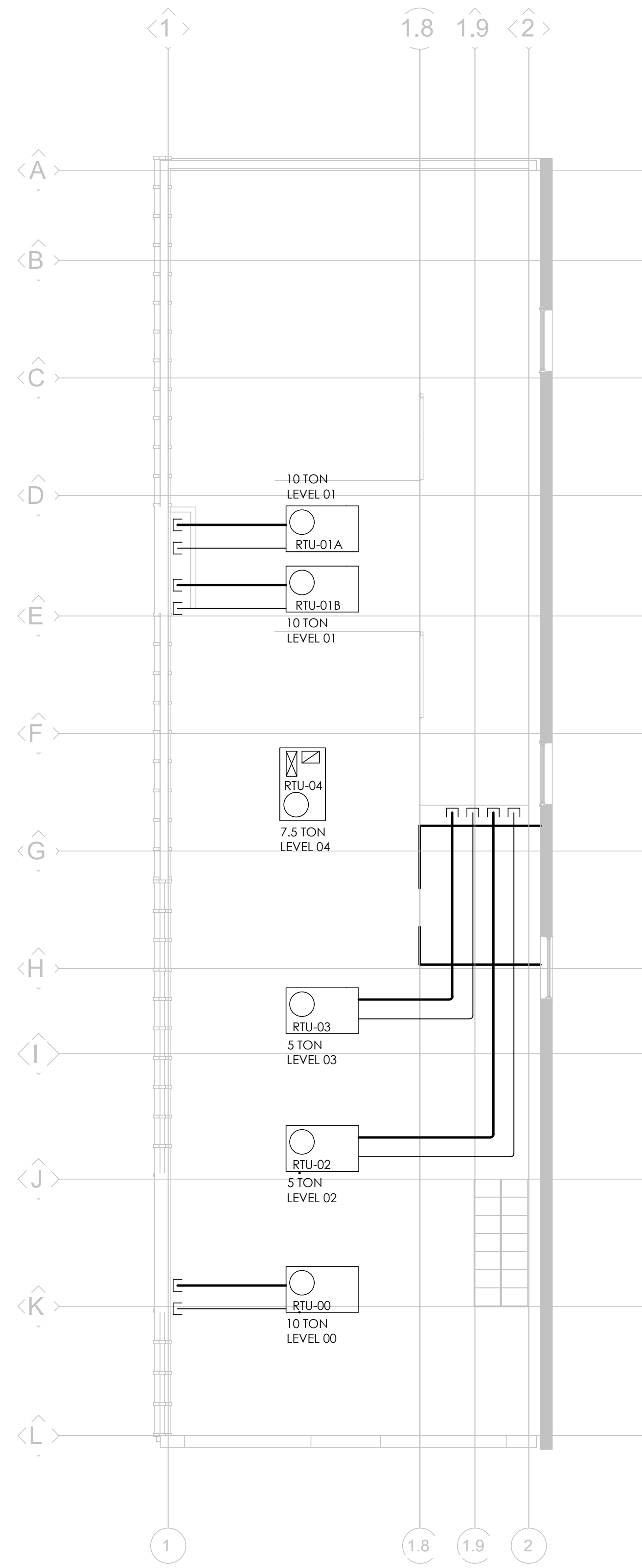
DRAWN : MRG  
CHECKED : PGM  
SCALE : AS NOTED  
JOB NO : TE-21-228  
SHEET TITLE :  
BASEMENT, FIRST,  
SECOND, MECHANICAL  
FLOOR PLANS  
SHEET  
M-1.0



**HVAC THIRD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



**HVAC FOURTH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH



**HVAC ROOF PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH

**TRIUMPH**  
Triumph Engineering & Design, Inc.  
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(F) 810.584.7362  
triumphengineeringanddesign@gmail.com

1315 BROADWAY ST.  
DETROIT, MI 48226

THIS PLAN IS PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND DATA. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE OWNER AND OTHER PROJECT PARTICIPANTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE OWNER AND OTHER PROJECT PARTICIPANTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE OWNER AND OTHER PROJECT PARTICIPANTS.

ISSUED FOR	DATE
OWNER REVIEW	06/13/2024

DRAWN : MRG  
CHECKED : JDW  
SCALE : AS NOTED  
JOB NO : TE-21-228

SHEET TITLE :  
THIRD FOURTH AND ROOF MECHANICAL PLANS SHEET  
M-1.1

**PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION**



Products

Replacement

Technical Resources

Inspiration

Support

Home > Custom Structural Series > Solutions > Structural Ridge

# Pinnacle - Structural Ridge

## Spectacular, Large-Scale Custom Structures to Take Daylighting to New Heights



View Gallery

### Most common applications:

- Applications with a pitch between 15° and 60°
- Public education, healthcare, and office buildings
- Retail and shopping mall

### Key benefits:

- ✓ A metal frame capable of up to 40' wide
- ✓ Hinge design with infinitely variable pitch angles between 15° and 60°
- ✓ Choose the Pinnacle 350, 600, or 900 for aluminum rafter tube depths from 3.5" to 9" – the 350 can support spans of up to 18' wide, while the 900 can span up to 40'
- ✓ Available with high-performance glazing technology and a wide array of finish options

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## Tools and Guides



Advanced Glazing Technologies



Finish Options



Resources

## Product Details

### Sizes

Framing System	Support Spans Up To*	Aluminum Rafter Tube Depth
Pinnacle 350	18' Wide	3.5"
Pinnacle 600	30' Wide	6"
Pinnacle 900	40' Wide	9"
Pinnacle HU (Hurricane)	15' Wide	3.5" or 6"

\*Approximate span widths depending on configuration and load.

HU tested to meet 80 psf design pressure, and small and large missile impact. Available with laminated or insulating glazing.



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**VELUX®**

Commercial



# Commercial Daylighting

Daylighting solutions for public, industrial and commercial buildings

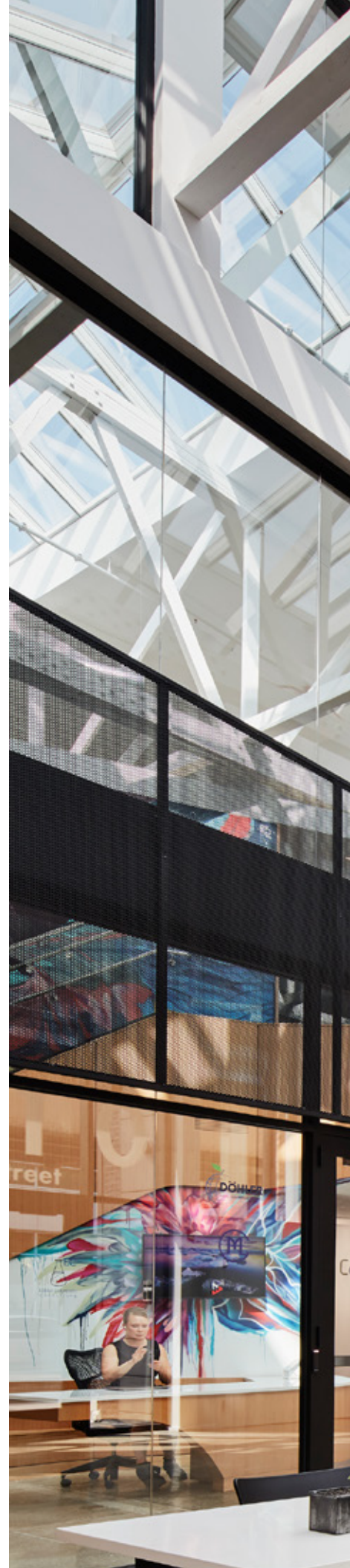
# Metal Framed Skylights

An innovative series for custom skylight designs

Designed for easy installation and long-lasting good looks, VELUX Commercial's structural skylight structures are available with a broad range of quality glass glazing options and versatile design possibilities for a fully customized configuration.



VELUX Modular System (VMS) Ridgelight and Step Longlight configurations, CoLaboratory, Chicago, IL







oLaboratory  
Co. laboratory

# Custom Skylights

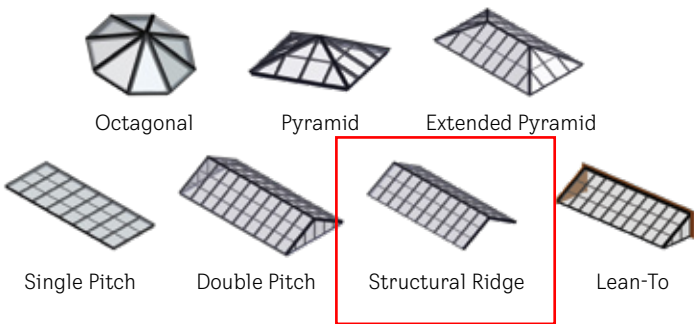
## Completely customizable daylighting systems

For a dramatic look, the Custom Series offers lightweight, metal-framed structural skylights available in fully customizable configurations, finish colors, and glazing options. Custom skylights are made up of an adaptable range of versatile systems to help create stunning daylight designs for every project.

## Structural

### Pinnacle and Classic systems

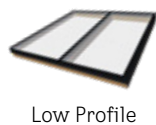
The Pinnacle Systems consist of structural skylights that are available in a variety of configurations capable of spanning up to 40 feet wide. The lightweight Classic Systems are capable of spanning up to six feet wide with three standard pitches to create just the right look for every job.



## Non-structural

### Low Profile system

The Low Profile System is laid over roof rafters to create a narrow line frame for a clean, appealing look on pitched roof applications. Available in curb-mounted or self-flashing deck-mounted options.



Circular Hurricane Single Pitch Pinnacle 600, University of Missouri, Kansas City, MO



Two Pinnacle 350 Trapezoid Pyramids, UMass Design Building, Amherst, MA

# S-Series skylights

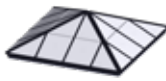
Creative designs for commercial daylighting applications

The Horizon S-Series consists of metal-framed translucent skylight structures, available in a wide range of configurations for unlimited design possibilities.

A dry-glazed translucent single or double multiwall polycarbonate panel system, the S-Series reduces labor and material costs in new construction, retrofit, or renovation projects.



Octagonal



Pyramid



Extended Pyramid



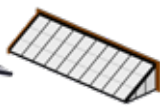
Single Pitch



Double Pitch



Structural Ridge



Lean-To



12-Sided Polygon Pyramid, French Elementary School, Spring, TX



Double Pitch, Highlands Oncology Group, Rogers, AR



Single Pitch, Rockaway Town Center, Rockaway, NJ

## Translucent insulated glass

For the highest quality of diffused light, translucent insulated glass converts harsh, direct-beam sunlight into softly diffused light in architectural daylighting projects. With this glass, you can design your desired light level without worrying about excessive heat gain, glare, or fading.



Jamesville-Dewitt High School, DeWitt, NY



Highlands Oncology Group, Rogers, AR

## High performance glass

High performance Low-E insulated glass options are available as an economical alternative to our other energy-efficient Advanced Glazings. These triple silver coated options are engineered to provide high visible light transmittance while controlling solar heat gain, which is essential for minimizing cooling costs.



Northland Workforce Training Center, Buffalo, NY

## Polycarbonate with aerogel fill

Made up of high-performance, lightweight panels, multiwall polycarbonate maintains high clarity with an outstanding balance of impact strength and high light transmission. The Lumira® aerogel fill provides superior insulating capabilities. Made of a dry silica particulate, aerogel is a lightweight insulation that provides beautifully diffused full spectrum daylight.



Home > Products > Finish Options

# VELUX Commercial Finish Options

VELUX Commercial offers a variety of architectural paint color options and finishes, all compliant with AAMA specifications. But it is our in-house powder coat finishes that really shine! The most environmentally friendly options available on the market today, VELUX Commercial powder coat finishes use no solvents, eliminating VOCs and allowing for safer disposal processes without using chrome. Powder coat finish options require less energy consumption with multiple color options and are protected under longer warranties than liquid and anodized finishes. The colors shown are approximate and are intended as a guide only. Upon request, VELUX will supply an actual color chip or chips of the colors you have specified.

Features & Benefits	2605 FEVE	2605 PVDF	2604 Powder	Warranty Years:	5	10	20
20-year warranty standard <sup>1</sup>	●	✘	✘	2605 FEVE <sup>1</sup>	[Bar chart showing 20 years]		
10-year warranty standard <sup>2</sup>	●	●	●	2604 Powder <sup>2</sup>	[Bar chart showing 10 years]		
Quality control with in-house capabilities	●	✘	●	2605 PVDF	[Bar chart showing 10 years]		
Wide range of standard color options	●	●	●	Anodized	[Bar chart showing 5 years]		
2-3 mils of surface coating	●	✘	●				
More environmentally friendly	●	✘	●				
Meets AAMA specification 2605	●	●	✘				
Field touch up	●	●	●				
Custom and matching color capabilities	●	●	●				
One coat application without primer	●	✘	●				
5-stage pretreatment process	●	✘	●				

● Standard VELUX finish warranty  
● Requires purchased finish warranty  
● No finish warranty available

<sup>1</sup> The finish warranty for products with a 2605 powder (FEVE) finish installed within 2 miles of the seacoast is 10 years.  
<sup>2</sup> The finish warranty for products with a 2604 (polyester powder coat) finish and installed within 2 miles of the seacoast does not include the finish coating being free of defects.

## AAMA 2605 FEVE Powder Coat

## 20 Year Warranty

*Fluoroethylene Vinyl Ether (FEVE) powder coat finish meeting AAMA 2605 requirements*

Our extended durability fluoropolymer paint finish utilizes FEVE resin to resist weathering, chalking, fading, and UV rays, making it the most durable coating offered. It is easy to keep clean, and the lack of solvents used in its powder coating process makes it more environmentally friendly than PVDF and anodized finishes.

*Gloss powder coat finish formulated with durable fluoropolymer resins and solar-reflective pigments.*





*Polyester powder coat finish meeting AAMA 2604 requirements*

Formulated with super durable polyester resins and solar-reflective pigments, 2604 Powder Finish provides excellent gloss retention and long-term resistance against the weather. 2604 Powder Finish is available in a variety of colors, including ones that use mica pigments to mimic anodized finishes while delivering a smooth, ultra-matte finish

*Gloss powder coat finish formulated with durable polyester resins and solar-reflective pigments.*



*Anodized metal appearance, ultra-matte smooth powder coat finish.*



## AAMA 2605 PVDF Finish

## 10 Year Warranty

*Polyvinylidene Fluoride (PVDF) liquid fluoropolymer finish meeting AAMA 2605 requirements*

A highly inert and stable fluoropolymer resin, PVDF provides excellent resistance to metal weathering over time. 2605 PVDF Finish utilizes PVDF to resist weathering, chalking, fading, and UV rays, making it ideal when a durable coating is needed. 2605 PVDF Finish is available with a 10-year finish warranty with the ability to purchase an extended finish warranty of up to 20 years.





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*Anodized finish meeting AAMA 611 Class I requirements*

VELUX Commercial also offers a variety of anodized finishes. Anodizing is the process of electrochemically controlling, accelerating, and enhancing oxidation of an aluminum substrate. This produces an oxide film that is uniform, durable, and protects the rest of the aluminum substrate from deterioration. Available in multiple colors, VELUX Commercial anodized finishes come with a 5-year finish warranty with the ability to purchase an extended finish warranty of up to 10 years.



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