



04.30.24

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HDC2024-00149

EXTERIOR IMPROVEMENTS APPROVAL, INCLUDING RESIDENTIAL GARAGE ASSESSMENT AND NEW CONSTRUCTION CONSIDERATIONS.

Project: Exterior Improvements and New Garage Improvements
570 Lodge Drive
Detroit, MI 48221

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Joseph Berry Historic District
Lot 42
City of Detroit Project No. - RES2024 - 00816

Architecture style:

Neo- Georgian

Similar style or adjacent architectures:

541 Lodge Drive -
545 Lodge Drive -
546 Lodge Drive -

Recent Approvals

Yes. HDC CERTIFICATE OF APPROPRIATENESS # HDC2023-00149;570 LODGE - BERRY



CEEDD **BERRY SUBDIVISION HISTORIC DISTRICT**

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
 180 MICHIGAN AVENUE DETROIT, MICHIGAN 48226

CITY OF DETROIT

Fig. 1.0 - 19XX Map of Joseph Barry District overlaid with Google Maps image - Detroit Michigan. 570 Lodge shows a garage constructed at a zero line setback at rear and an addition shaded in black. See Fig. 2.0

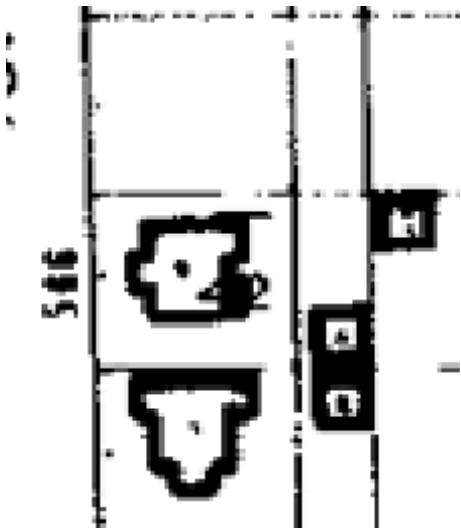


Fig. 2.0 - 19XX Map of Joseph Barry (570 Top)

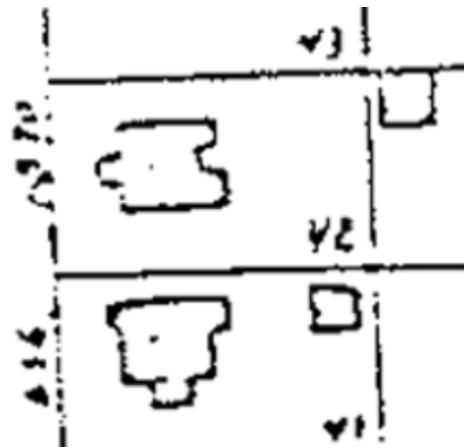


Fig. 3.0 - 19XX Map of Joseph Barry. (570 Top)



Fig. 4.0 - 19XX Map of Joseph Barry. A garage is NOT shown in this map. *It was later built between xx - xxx*

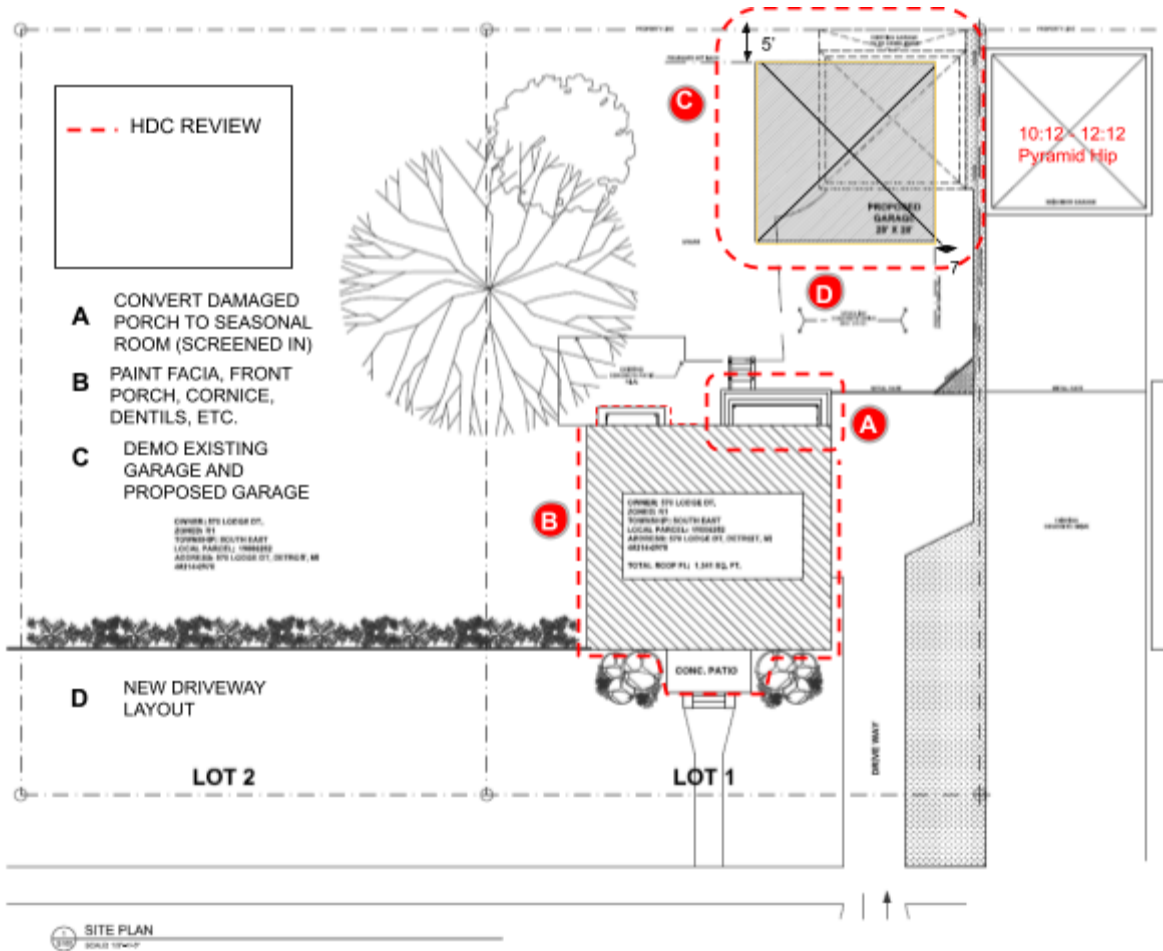


Fig. 5.0 - Site Plan of property, including existing garage (black dashed) and proposed (yellow).



Fig. 6.0 - Similar Styles - 570 Lodge shares similar style with 556 Lodge with original garage and pyramid hip.

Initial Site Visit and Observations

Garage Foundation (Garage and Rear Office):

The foundations of the existing garage and rear addition were similar in construction. The foundations observed had deteriorated due to period construction techniques and/or end of materials natural life cycle coupled with weather related factors (frost, moisture, etc.)

We found both foundations to be rotted wood. No visible mud plate or suitable footing. Footings observed were constructed out of wood /stone combination that have become exhausted from frost heave during cold winters where frost depth exceeded beyond 42" below grade.

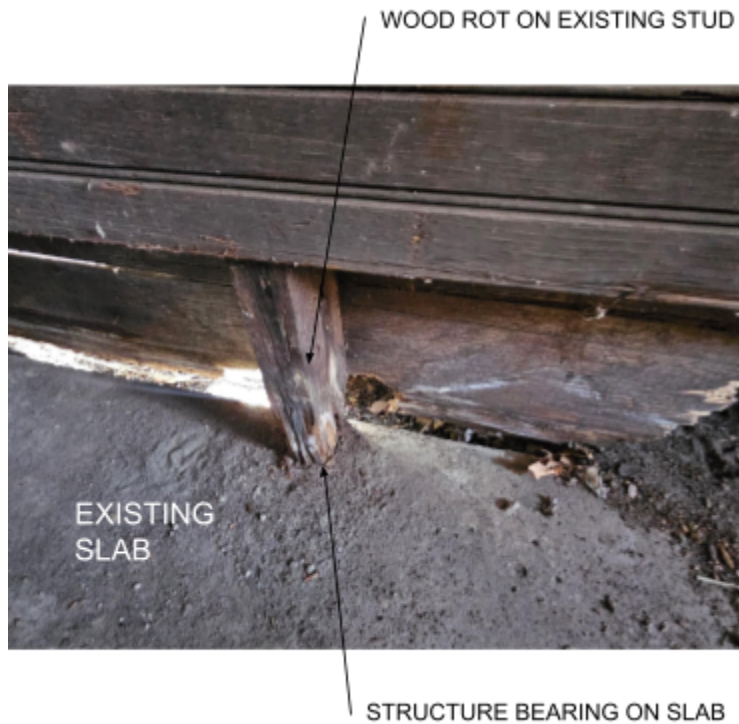


Fig. 7.0 - Existing Garage Photo by w/Purpose



Fig. 8.0 - Existing garage Photo by w/Purpose, LLC

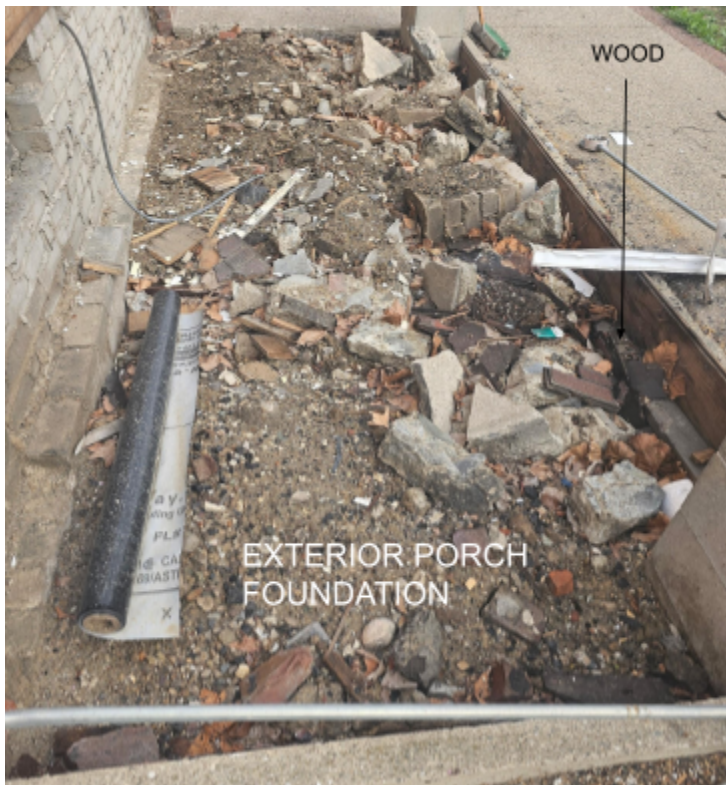


Fig. 9.0 - Rear office Foundation photo by w/Purpose

Garage Slab:

Existing cracks span the latitudinal/ longitudinal boundaries on the concrete slab. We measured the slab to be higher along latitudinal crack line.



Fig. 10.0 - Existing Garage Slab

Walls:

Existing Garage

Garage exterior walls are massively out of plumb and appear “wavy”. Exterior walls of the garage and rear addition were clad in matching vinyl siding that is well beyond a life cycle.

Stud framed walls: Studs were observed to be floating at foundation and/or directly on concrete slab. Dry rot was also observed on the bottom. 2-4” of studs. See Fig.

A spanning double top plate at the rear is severely warped. Indicating foundation issues at edges. It also speaks to incorrect sizing of structural members at bearing walls.



Fig. 11.0 - Existing Garage facing South



Fig. 12.0 - Existing Garage facing North

Rear Office

Existing Rear Office is 9' x 14'. The foundation of the existing porch was severely damaged prior to the house fire. Owner indicated the interior wood floors were sloping toward the back of the office. This highlights a failure of the foundation. Unfortunately, due to the fire the structure needed to be demolished.



Fig. 13.0 - Rear of 570 Lodge. The rear “office” was severely damaged in a fire. Exterior vinyl siding was damaged, as well as windows and soffit assembly.



Fig. 14.0 - Fire severely damaged interior of “office”

Proposal:

A . Existing Porch Addition

Due to unsafe structural and fire related issues identified the owner moved to have the structure demolished.

Building a new “screen in porch” is the best solution and perhaps brings it closer to its original program use. The solution would bring the structure into compliance with a coordinated color scheme and Hardie Cement board lap siding at the porches base, Black Aluminum railing, and Trex Flooring.

B. Paint

See our proposed color scheme per Staff’s Color Chart

C. Existing Garage

Due to multiple structural issues identified at our visit we conclude that repair of the garage is not a viable option.

We conclude that demolishing the structure in its entirety and building a new structure is the best solution. The solution would bring the structure into compliance with a matching masonry structure with similar architectural roof style and pitch.

D. Driveway

See proposed driveway scheme.

A. Existing Porch Addition

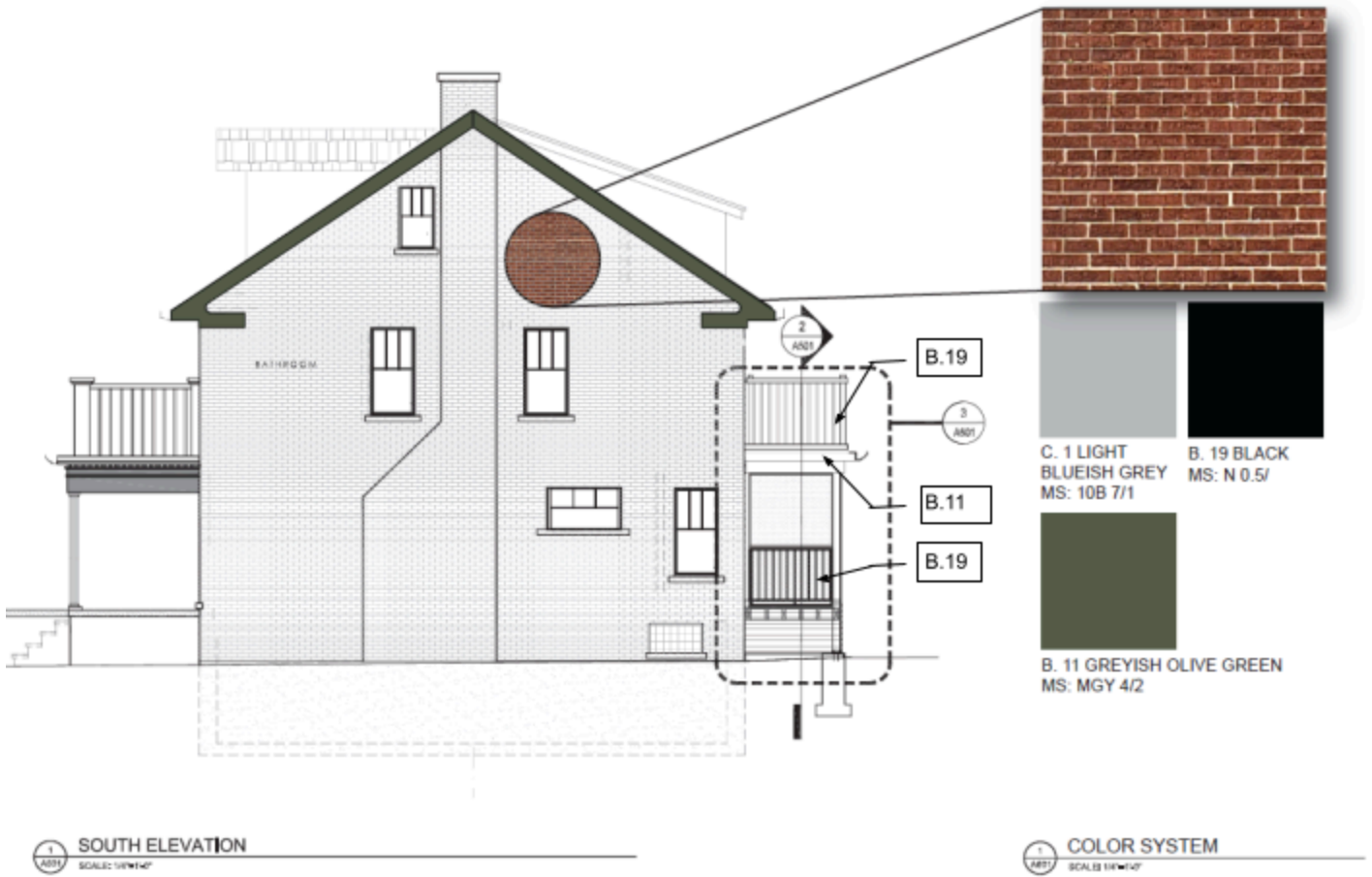
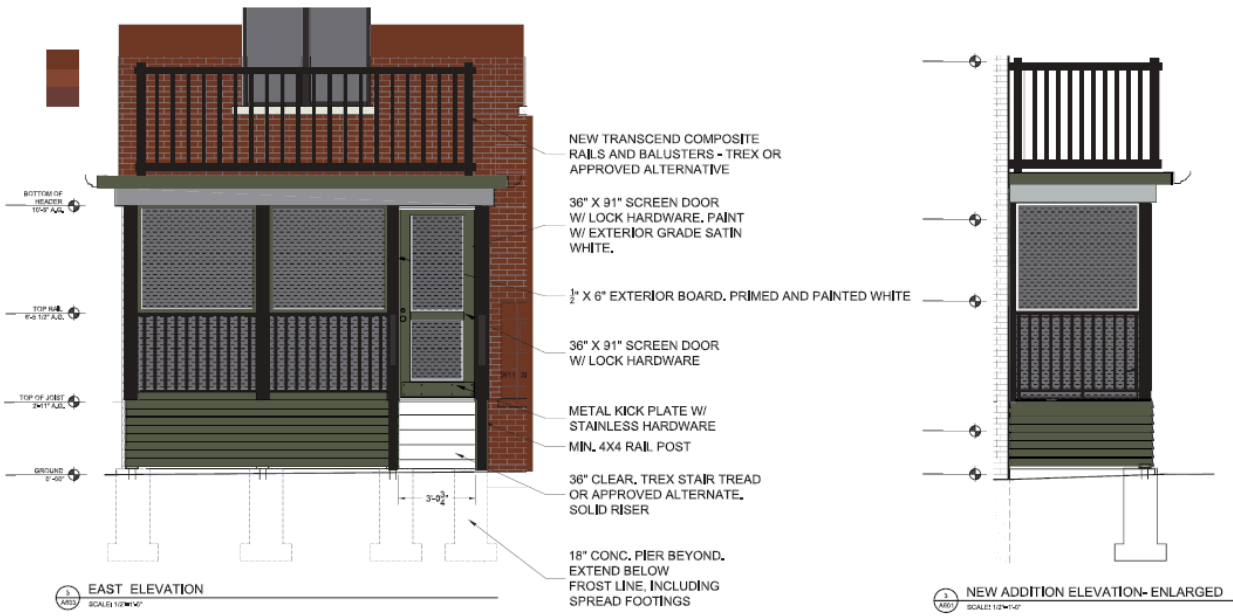


Fig. 15.0 - Fire severely damaged interior of "office" (Dashed Black)

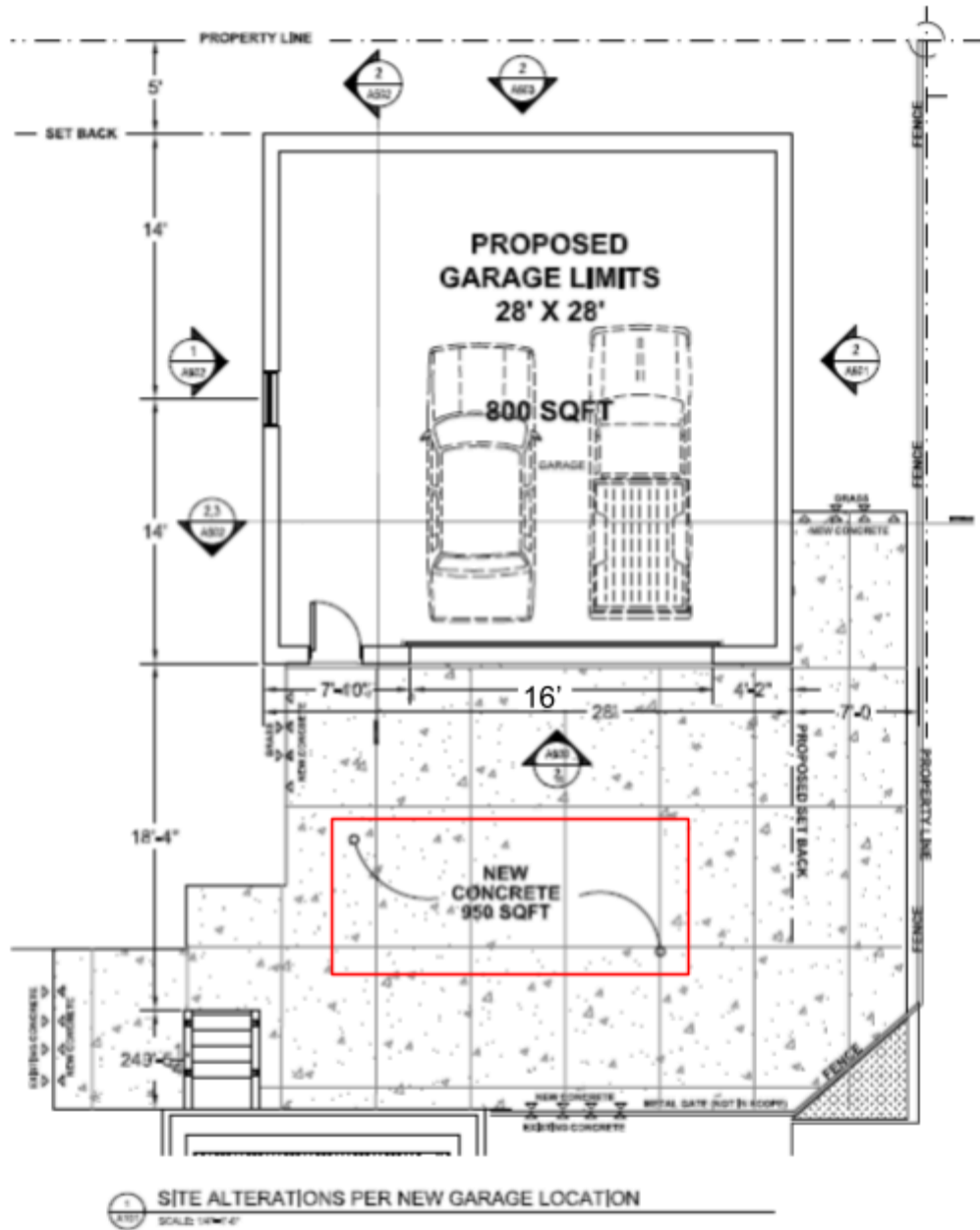
B. Paint Scheme

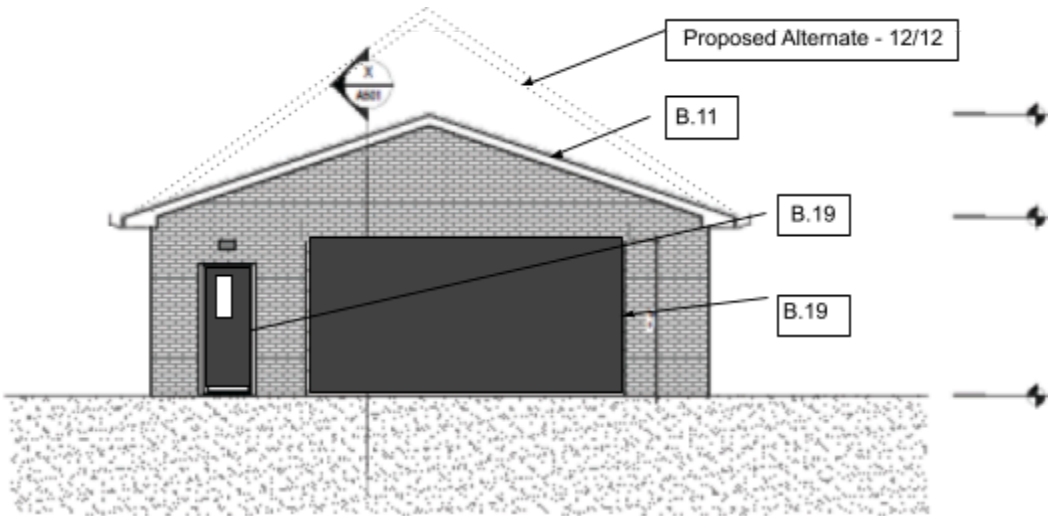


Fig. 15.0 - Fire severely damaged interior of "office"

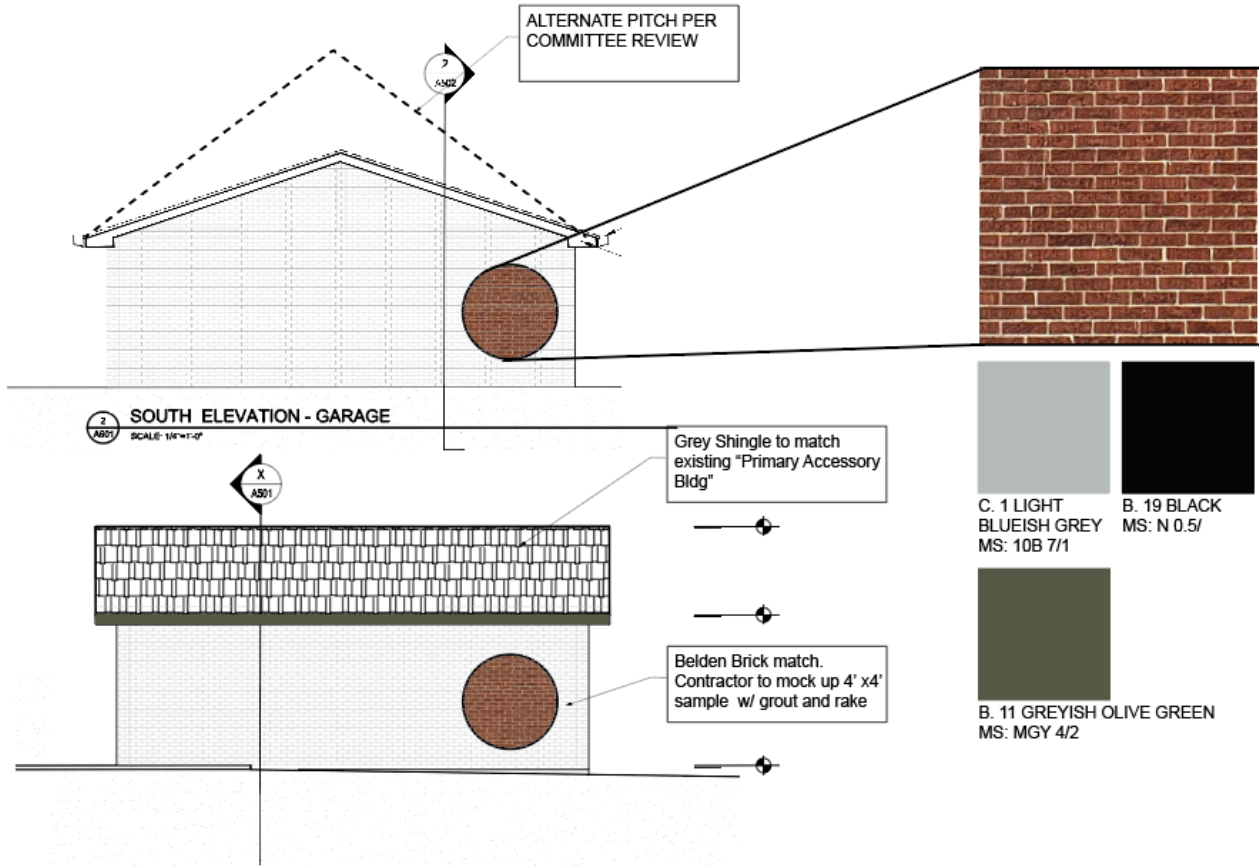


C. Proposed Garage and Driveway





2 WEST ELEVATION - GARAGE
 AB01 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION - GARAGE
 AB01 SCALE: 1/4"=1'-0"

Grey Shingle to match existing "Primary Accessory Bldg"

Belden Brick match. Contractor to mock up 4' x4' sample w/ grout and rake

C. 1 LIGHT BLUEISH GREY MS: 10B 7/1	B. 19 BLACK MS: N 0.5/ MS: 10B 7/1
B. 11 GREYISH OLIVE GREEN MS: MGY 4/2	

2 SOUTH ELEVATION - GARAGE
 AB01 SCALE: 1/4"=1'-0"