1760 Wabash Renovation

1760 Wabash St.

Detroit, MI 48216

PROJECT INFORMATION

PROJECT ADDRESS:

1760 Wabash St.
Detroit, MI 48216

BUILDING INFORMATION:

AREA:
FIRST FLOOR: 1,090 SQ. FT.
SECOND FLOOR: 1,013 SQ. FT.
HABITABLE AREA: 2,103 SQ. FT.

TOTAL FOOTPRINT: 1,090 SQ. FT.
MAX BUILDING HEIGHT: 25'-5"

APPLICABLE CONSTRUCTION CODES AND STANDARDS

BUILDING CODE:
DEPARTMENT OF ENERGY, LABOR AND ECONOMIC GROWTH MICHIGAN
RESIDENTIAL BUILDING CODE 2015

JURISDICTION: CITY OF DETROIT

PROJECT TEAM

OWNER
SHARIF AFFAS
T: 313.510.1228
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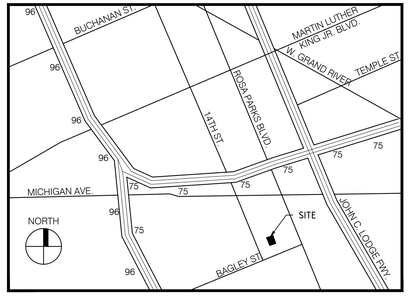
ARCHITECT
DESIGNHAUS ARCHITECTURE
3300 AUBURN RD.
AUBURN HILLS, MI 48326
T: 248.601.4422
F: 248.453.5854
PROJECT MANAGER: JOE LATOZAS
PROJECT ARCHITECT:
PETER STUHLREYER, A.I.A

STATEMENT OF SELECTED DESIGN PROFESSIONAL

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REGISTERED DESIGN PROFESSIONAL IN CHARGE:
PETER STUHLREYER. A.I.A.
MICHIGAN IDENTIFICATION # 44668
DESIGNHAUS ARCHITECTURE

LOCATION MAP



INDEX OF DRAWINGS

SHEET NO:	DRAWING NAME	---/ ----	---/ ----	---/ ----	---/ ----	Permit Revision #1/24.03.07	Permits/ 24.02.12	50% Owner Review/ 24.01.05
GENERAL								
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SITE & LANDSCAPE								
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ARCHITECTURAL DEMOLITION								
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AD1.1	Demolition Floor Plan						☐	☐
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ARCHITECTURAL								
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A6.1	Details						☐	

☐ SHEET ISSUED
⚠ REVISED
■ SHEET REISSUED

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ISSUANCE	DATE
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Detroit, MI 48216

Title Sheet & Index

23138

G1.1

RESIDENTIAL CODE DATA

PROJECT IDENTIFICATION	■ ADDRESS : 1760 Wabash St., Detroit, MI 48216 ■ PROPERTY ID : 08008710I ☐ OTHER : -	☐ -
PROJECT TYPE	☐ NEW CONSTRUCTION ■ ALTERATION ☐ ADDITION ☐ REPAIR	☐ -
PROJECT DESCRIPTION	■ Remodel 2,103 Sq. Ft. Single-Family Home	☐ -
APPLICABLE CODES	■ BUILDING 2015 MICHIGAN RESIDENTIAL BUILDING CODE W/ ADMINISTRATIVE RULES PART 5 ■ FIRE 2015 NFPA 13D ■ FIRE ALARM 2013 NFPA 72 ■ ENERGY 2015 MICHIGAN RESIDENTIAL BUILDING CODE - CHAPTER 11 WITH ADMINISTRATIVE RULES PART 5	☐ -

ZONING DATA

ZONING DISTRICT	■ R1-B One Family Residential	☐ -
BUILDING AREA	■ EXISTING ■ NEW ■ TOTAL ■ BASEMENT 1,090 SF XXX SF 1,090 SF ■ FIRST FLOOR 1,090 SF XXX SF 1,090 SF ■ SECOND FLOOR 787 SF 226 SF 1,013 SF ■ TOTAL GROSS AREA 2,967 SF 226 SF 3,193 SF ■ TOTAL HABITABLE 1,877 SF 226 SF 2,103 SF	☐ -
LOT COVERAGE	■ LOT AREA 20,161 SF (.462982 ACRE) ■ BUILDING FOOTPRINT XXX SF ■ LOT COVERAGE XX % ■ ALLOWABLE LOT COVERAGE XX %	☐ -
SETBACKS	■ FRONT 4'-0" ■ REAR 4'-0" ■ SIDE 4'-0" ■ HEIGHT 30' or 2 Stories	☐ -
FLOOD HAZARD	☐ FLOOD ZONE PRESENT ■ NOT APPLICABLE	☐ -
GROUND SNOW LOAD/WIND SPEED	■ GROUND SNOW LOAD 25 LB/FT ■ WIND SPEED 90 LB/FT	☐ -

BUILDING PLANNING

FIRE SEPARATION DISTANCE	■ GREATER THAN 5' ☐ LESS THAN 5'	☐ -
DWELLING GARAGE SEPARATION	☐ FROM THE RESIDENCE AND ATTICS - MIN 1/2" GYP BD ☐ FROM HABITABLE ROOMS ABOVE THE GARAGE - MIN 5/8" TYPE X GYP BD ☐ FROM STRUCTURE SUPPORTING FLOOR/CEILING USED FOR SEPARATION- MIN 1/2" GYP BD ☐ FROM GARAGES LESS THAN 3' AWAY FROM DWELLING UNITS - MIN 1/2" GYP BD	■ N/A
GARAGE OPENING PROTECTION	☐ FROM GARAGE TO RESIDENCE - SOLID DOOR MIN 1 3/8" THICK, OR 20 MINUTE FIRE-RATED DOOR	■ N/A
BATHROOM GLAZING/EXHAUST	☐ WINDOW WITH GLAZING AREA GREATER THAN 3 SF AND 1/2 OF WINDOW OPERABLE ■ 50 CFM MECHANICAL EXHAUST FAN	☐ -
CEILING HEIGHT	■ 7 FT OR GREATER ☐ SLOPED CEILING WITH MORE THAN 50% OF ROOM 7 FT OR GREATER	☐ -
CLOTHES WASHER CONNECTION	■ AUTOMATIC CLOTHES WASHER CONNECTION PROVIDED	☐ -
BATHROOM FIXTURE LOCATION	■ WATER CLOSET TO WALL - 15" ■ FRONT OF WATER CLOSET TOTUB - 21" ■ FRONT OF SHOWER TO WALL - 24" ■ FRONT OF WATER CLOSET TO WALL - 21"	☐ -
HAZARDOUS GLAZING LOCATIONS	☐ GLAZING IN DOORS ☐ INDIVIDUAL PANE IN WINDOW GREATER THAN 9 SF ☐ GLAZING ADJACENT TO DOORS ☐ BOTTOM EDGE OF GLAZING IN WINDOW LESS THAN 18" AFF ☐ GLAZING IN GUARD RAILS AND RAILINGS ☐ GLAZING ABOVE 36" AT STAIR ☐ GLAZING WITHIN 60" OF STAIR LANDING ☐ GLAZING AT WET LOCATIONS LESS THAN 60" FROM WALKING SURFACE	■ N/A
GARAGE FLOOR SURFACE SLOPE	☐ FLOOR SLOPE TOWARDS MAIN VEHICLE ENTRY DOORWAY	■ N/A
EMERGENCY ESCAPE OPENING - BASEMENT	☐ EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED ☐ EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED AT EACH SLEEPING ROOM ☐ EMERGENCY OPENING WITH NOT LESS THAN 5.7 SF ☐ HEIGHT OF OPENING NOT MORE THAT 24" A.F.F ☐ WIDTH OF OPENING NOT LESS THAN 20"	■ N/A
EMERGENCY ESCAPE OPENING - BEDROOMS	■ EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED ■ EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED AT EACH SLEEPING ROOM ■ EMERGENCY OPENING WITH NOT LESS THAN 5.7 SF ■ HEIGHT OF OPENING NOT MORE THAT 24" A.F.F ■ WIDTH OF OPENING NOT LESS THAN 20"	☐ -
EMERGENCY ESCAPE OPENING - HABITABLE ATTICS	☐ EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED ☐ EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED AT EACH SLEEPING ROOM ☐ EMERGENCY OPENING WITH NOT LESS THAN 5.7 SF ☐ HEIGHT OF OPENING NOT MORE THAT 24" A.F.F ☐ WIDTH OF OPENING NOT LESS THAN 20"	■ N/A
EGRESS DOOR	■ EXIT DOOR IS SIDE HINGED AND NOT LESS THAN 3'-0" WIDE AND 6'-8" IN HEIGHT ■ INTERIOR DOORS ARE NOT LESS THAN 2'-0" WIDE AND 6'-6" IN HEIGHT	☐ -
STAIRS	■ WIDTH - 36" CLEAR ■ RISER HEIGHT -MAX HEIGHT 8 1/4" ■ HEADROOM - NOT LESS THAN 6'8" ■ TREAD DEPTH - MINIMUM DEPTH 9" ■ LANDING - NOT LESS THAN STAIR WIDTH ■ HANDRAILS - CONTINUOUS MIN ONE SIDE AT 34" - 38" A.F.F. ■ VERTICAL RISE - LESS THAN 147" ■ HANDRAIL GRIP SIZE - MINIMUM N 1 -1/4" DIA, MAXIMUM 2" DIA	☐ -
SMOKE ALARMS	■ PROVIDED IN EACH SLEEPING ROOM ■ PROVIDED IN EACH ADDITIONAL STORY OF DWELLING ■ PERMANENT WIRED POWER SUPPLY WITH BATTERY BACK UP	☐ -
CARBON MONOXIDE ALARMS	■ PROVIDED ☐ NOT REQUIRED (NO FUEL FIRED APPLIANCES AR ATTACHED GARAGE) ☐ PERMANENT WIRED POWER SUPPLY WITH BATTERY BACK UP	☐ -

FOOTINGS AND FOUNDATIONS

FOOTING SIZE	■ MEET OR EXCEEDS TABLE R403.1(1)	☐ -
MINIMUM DEPTH	■ EXTEND MINIMUM 42" BELOW ACTUAL GRADE ■ MEET OR EXCEED REQUIREMENTS PER TABLE R301.2(1)	☐ -
FOUNDATION HORIZONTAL REINFORCEMENT	■ LESS THAN OR EQUAL TO 8' UNSUPPORTED HEIGHT - (1) #4 BAR WITHIN 12" OF TOP OF WALL - (1) #4 BAR NEAR MID-HEIGHT OF WALL ☐ GRATER THAN 8' UNSUPPORTED HEIGHT - (1) #4 BAR WITHIN 12" OF TOP OF WALL - (1) #4 BAR NEAR THIRD POINTS OF WALL	☐ -
FOUNDATION VERTICAL REINFORCEMENT	☐ 6" WALL - MEET OR EXCEEDS TABLE R404.1.2(2) ■ 8" WALL - MEET OR EXCEEDS TABLE R404.1.2(3) ☐ 10" WALL - MEET OR EXCEEDS TABLE R404.1.2(4)	☐ -
FOUNDATION ANCHORAGE	■ MIN 1/2" DIA ANCHOR BOLTS OR APPROVED ANCHORS OR STRAPS ARE PROVIDED AT 6' ON CENTER AND WITHIN 12" OF END OF PLATE SECTION. BOLTS OR ANCHORS SHALL EXTEND 7" INTO CONCRETE OR GROUTED CMU. BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE PLATE. SILL PLATES AND SOLE PLATES SHALL HAVE A SILL GASKET BETWEEN PLATE AND FOUNDATION.	☐ -
FOUNDATION DRAINAGE	■ 4" PERFORATED DRAIN TILE IN FILTER FABRIC PROVIDED ON EXTERIOR OF FOUNDATION BELOW THE FOUNDATION WALL ON 2" GRAVEL AND COVERED BY 6" OF GRAVEL	☐ -
FOUNDATION WATERPROOFING	■ FOUNDATION WALL IS WATERPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE WITH AN APPROVED WATERPROOFING SYSTEM	☐ -
CRAWL SPACE VENTILATION	☐ VENTED CRAWL SPACE - 1 SQFT PER 1,500 SF OF UNDER FLOOR SPACE. CLASS I VAPOR RETARDER PROVIDED ☐ UNVENTED CRAWL SPACE - CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION @ 1 CUBIC FOOT PER 50 SF OF UNDER FLOOR AREA OR CONDITIONED AIR @ 1 CUBIC FOOT PER 50 SF OF UNDER FLOOR AREA PROVIDED	■ N/A
CRAWL SPACE ACCESS	☐ THROUGH FLOOR - MIN 18"X24" ☐ THROUGH WALL - MIN 16"X24"	■ N/A

FLOORS

GRADING OF LUMBER	■ ALL LUMBER SHALL BE SPF #2 UNLESS NOTED OTHERWISE ☐ ALL LUMBER SHALL BE SPF #1 UNLESS NOTED OTHERWISE ☐ ALL LUMBER SHALL BE SPF SS UNLESS NOTED OTHERWISE	☐ -
ENGINEERED LUMBER SPAN INFORMATION	☐ MEET OR EXCEEDS ABILITY TO ACCOMMODATE ALL LOADS ☐ ENGINEERED LUMBER DESIGN PROVIDED AS DEFERRED SUBMITTAL	☐ -
WIDE FLANGE BEAM/POST SPANS	☐ MEET OR EXCEEDS ABILITY TO ACCOMMODATE ALL LOADS	☐ -
LUMBER JOIST SPANS	☐ FLOOR JOIST SPANS ARE LESS THAN SPANS ALLOWABLE IN TABLE R502.3.1(2)	☐
FRAMING OPENINGS	■ SEE PLANS FOR HEADER SCHEDULE	☐ -

CONCRETE FLOORS

BASEMENT BASE AND VAPOR BARRIER	☐ 4" THICK BASE OF CLEAN GRADED SAND, GRAVEL, CRUSHED STONE, OR CRUSHED CONCRETE ☐ 6 MIL VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BETWEEN SLAB AND BASE ☐ WELDED WIRE MESH REINFORCEMENT OR EQUAL	■ N/A
GARAGE BASE, VAPOR BARRIER, REINFORCEMENT	☐ 4" THICK BASE OF CLEAN GRADED SAND, GRAVEL, CRUSHED STONE, OR CRUSHED CONCRETE ☐ 6 MIL VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BETWEEN SLAB AND BASE ☐ WELDED WIRE MESH REINFORCEMENT OR EQUAL	■ N/A

WALLS

HEADER SIZE	■ SEE PLANS FOR HEADER SCHEDULE	☐ -
STUD SIZES	☐ LOADBEARING 2X4 - MAX UNSUPPORTED HEIGHT 10' - SPACING 16" O.C. ■ LOADBEARING 2X6 - MAX UNSUPPORTED HEIGHT 10' - SPACING 16" O.C. ■ NONLOADBEARING 2X4 - MAX UNSUPPORTED HEIGHT 14' - SPACING 16" O.C. ☐ NON LOADBEARING 2X6 - MAX UNSUPPORTED HEIGHT 20" - SPACING 16" O.C.	☐ -
VAPOR RETARDER	■ CLASS I OR II VAPOR RETARDER PROVIDED ON THE INTERIOR SIDE OF FRAME WALLS	☐ -

ROOF / CEILING

RAFTER SPANS	■ RAFTER SPANS ARE LESS THAN SPANS ALLOWABLE IN TABLE R802.5.1(3)	☐
CEILING JOIST SPANS	■ CEILING SPANS ARE LESS THAN SPANS ALLOWABLE IN TABLE R802.4(1-2)	☐
CATHEDRAL CEILING, LOAD BEARING RIDGE CONNECTOR	☐ CEILING, JOISTS AND RAFTERS SHALL BE NAILED TO EACH OTHER PER REQUIREMENTS OF TABLE R802.5.1(9) ☐ RAFTER TIES (2X4) AND RAFTERS SHALL BE NAILED TO EACH OTHER PER REQUIREMENTS OF TABLE R802.5.1(9) ☐ COLLAR TIES (1X4) LOCATED IN UPPER THIRD OF THE ATTIC SPACE AND LOCATED NO MORE THEN 4' O.C.	■ N/A
WOOD TRUSS DESIGN	■ MEET OR EXCEEDS ABILITY TO ACCOMMODATE ALL LOADS ☐ ENGINEERED LUMBER DESIGN PROVIDED AS DEFERRED SUBMITTAL	☐ -
ICE BARRIER	☐ ICE BARRIER PROVIDED ON ALL EAVES FROM EDGE OF OVERHAND TO 24" PAST INSIDE FACE OF WALL BELOW ■ 8/12 SLOPE OR GREATER ICE BARRIER PROVIDED ON ALL EAVES FROM EDGE OF OVERHAND TO 36" PAST INSIDE FACE OF WALL BELOW ☐ ICE BARRIER PROVIDED 12" PAST EACH SIDE OF ALL ROOF VALLEYS	☐ -
ROOF VENTILATION CALCULATIONS	☐ SEE ROOF PLAN FOR CLACULATIONS ☐ MINIMUM NET FREE VENTILATING AREA IS GREATER THAN 1/150 OF THE VENTILATED SPACE ■ MINIMUM NET FREE VENTILATING AREA IS GREATER THAN 1/300 OF THE VENTILATED SPACE - 40% TO 50% OF THE REQUIRED VENTILATION IS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE	☐ -

ENERGY CODE

PRESCRIPTIVE METHOD MET	☐ FENESTRATION U FACTOR = 0.32 ☐ MASS WALL R-VALUE = R-13/R-17 ☐ SKYLIGHT U FACTOR = 0.55 ☐ FLOOR R-VALUE = R-30 ☐ CEILING R-VALUE = R-38 ☐ BASEMENT WALL R-VALUE = R-10/R-13 ☐ WOOD FRAME WALL R-VALUE = R-20 OR R-13 + R-5 CONTINUOUS ☐ SLAB R VALUE = R-10, 2FT ☐ CRAWL SPACE WALL R-VALUE = R-15/R-19	☐
UA ALTERNATE MATCHES PLAN (RESCHECK)	☐ SEE PROVIDED RESCHECK	■ N/A

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ISSUANCE	DATE

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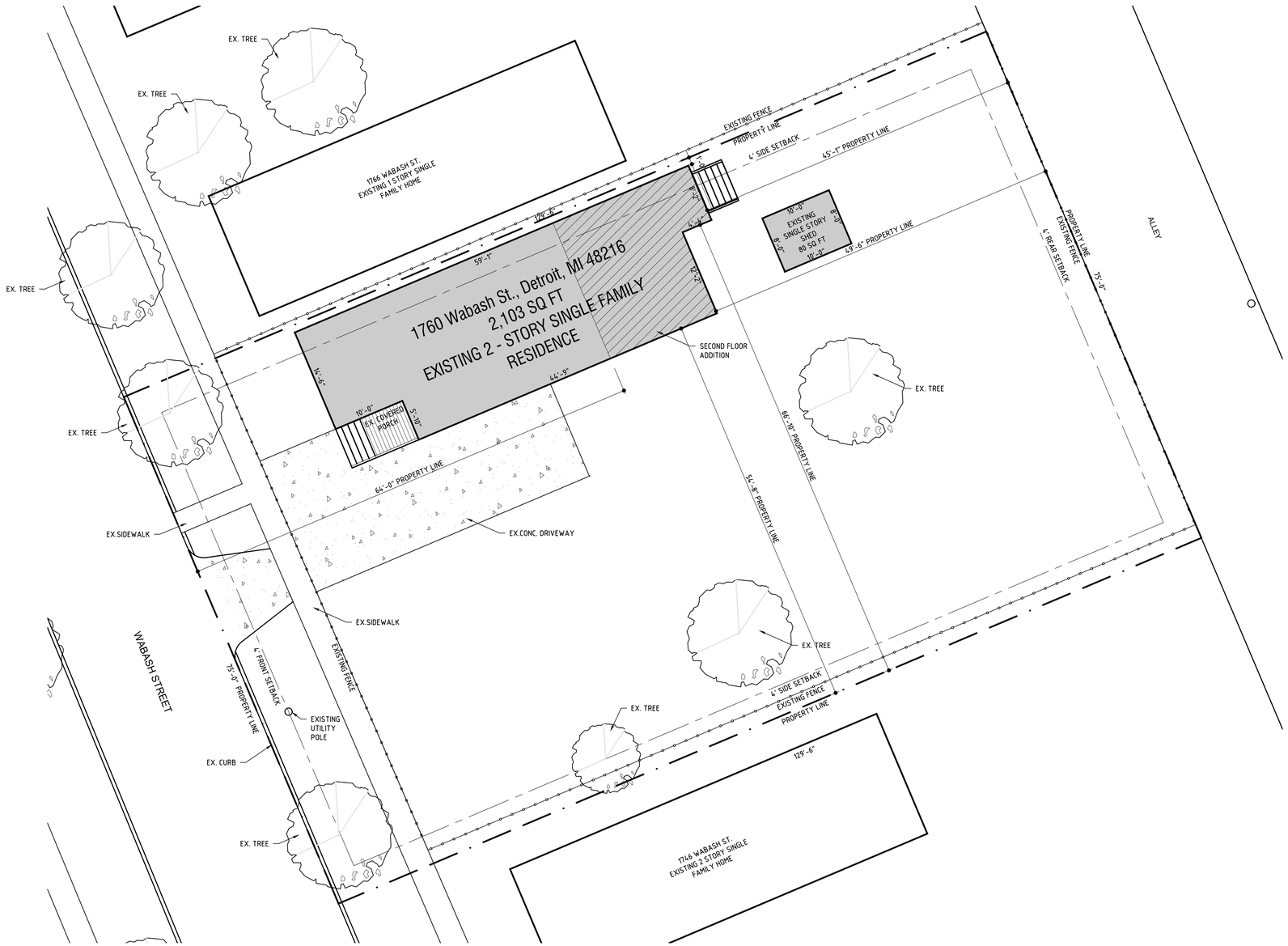
Code Data

23138

G2.1



1 Site Plan

SCALE: 1/8" = 1'

NORTH

ZONING REGULATIONS

Regulation	Information
Parcel I.D.	# 080087101
Address	1760 Wabash St., Detroit, MI 48216
Zoning	R-2 Single Family Residential
Lot Area	9,712.5 Sq. Ft. (0.22 Acres)

ZONING SCHEDULE

Regulation	Required	Provided
Setbacks	F: 4' - 0" S: 4' - 0" R: 4' - 0"	F: 4' - 0" S: 4' - 0" & 4' - 0" R: 4' - 0"
Building Height	35' - 0"	25' - 5"

SITE NOTES

Lot Area: 9,712.5 Sq.Ft.

House Footprint: 1,092 Sq. Ft.
Porch Footprint: 58 Sq. Ft.
Deck Footprint: 131 Sq. Ft.
Shed Footprint: 80 Sq. Ft.

Total: 1,361 Sq.Ft.

Allowable Coverage at 35%: 3,399 Sq.Ft.

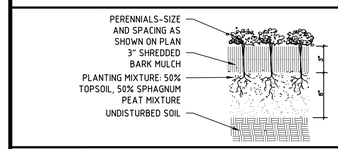
FLOOR AREAS

Existing First Floor: 1,092 Sq.Ft.
Existing Second Floor: 790 Sq.Ft.
Addition on Second Floor: 223 Sq.Ft.

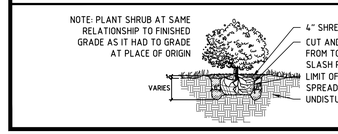
Combined: 2,103 Sq.Ft.

PLANTING DETAILS

PERENNIALS



SHRUBS



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Architectural Site Plan

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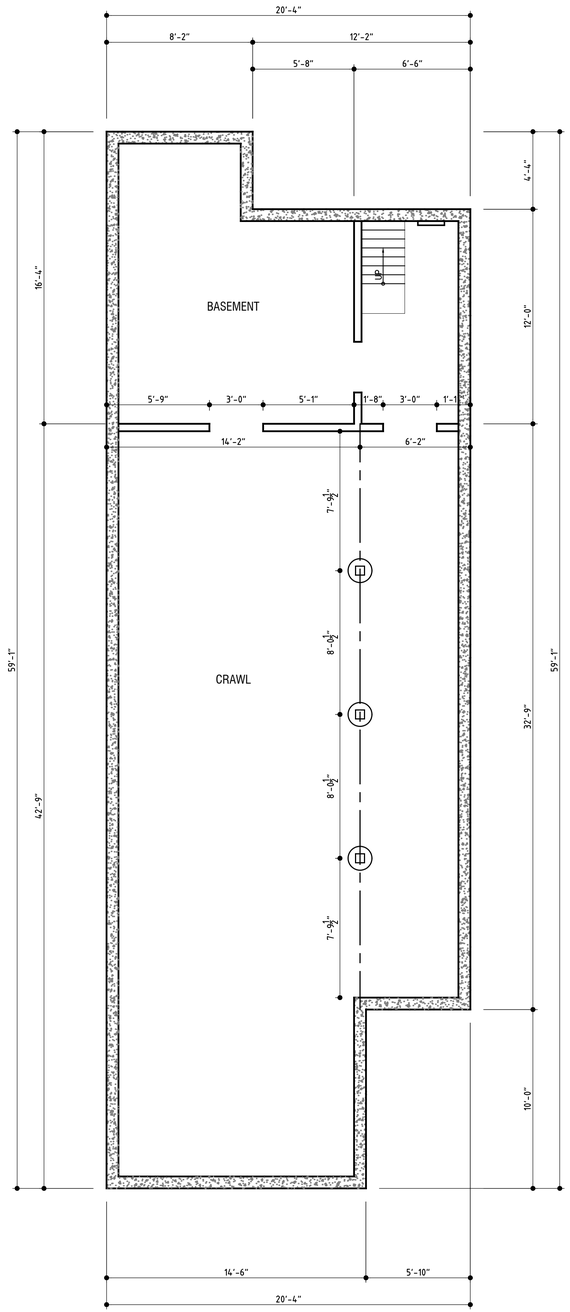

1 Existing Foundation Plan

SCALE: 1/4" = 1'

NORTH

LEGEND

EXISTING WALL TO REMAIN	EXISTING DOOR AND FRAME TO REMAIN
WALL TO BE REMOVED	DOOR AND FRAME TO BE REMOVED

DEMOLITION NOTES

IT IS THE INTENT THAT THE ENTIRE SPACE IS TO BE CLEARED OF ALL PARTITIONS, FIXTURES, FINISHES, AND SIGNAGE (UNLESS OTHERWISE NOTED IN THE DEMOLITION PLAN NOTES). THE REMAINING SPACE SHOULD CONSIST OF EXISTING DEMISING WALLS, STRIPPED COLUMNS, EXISTING CONCRETE FLOOR EXISTING LANDLORD BULKHEAD AT STOREFRONT AND EXPOSED UNDERSIDE OF STRUCTURE (UNLESS OTHERWISE NOTED). COORDINATE WITH ENGINEERS DRAWINGS FOR EXISTING EQUIPMENT AND FIXTURES TO REMAIN.

CONDUCT WORK, OPERATION IN COMPLIANCE WITH LAWS, CODE, ORDINANCES, AND RESTRICTIONS OF PUBLIC AUTHORITIES AS REQUIRED TO ENSURE SAFETY OF PERSONS & TO PREVENT DAMAGE TO EXISTING STRUCTURE & UTILITIES; CONSTRUCTION IN PROGRESS & OTHER PROPERTIES.

CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO START OF DEMOLITION.

EXISTING SPRINKLER LINES TO REMAIN UNLESS NOTED OTHERWISE

PREVENT MOVEMENT OR SETTLEMENT OFF STRUCTURE(S). PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.

CEASE OPERATIONS AND NOTIFY THE LANDLORD IMMEDIATELY IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

ARRANGE FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF ALL UTILITIES AFFECTED BY THE DEMOLITION WORK NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE PRIOR TO THIS WORK.

ALL SERVICES DISCONNECTED TO BE COORDINATED WITH OWNERS REPRESENTATIVE
CONTACT:

PROVIDE & MAINTAIN TEMPORARY LIGHTING & POWER AS REQUIRED FOR THE DEMOLITION & CONSTRUCTION PHASES AS INDICATED ON ENGINEERING PLAN

PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.

CONCRETE: PATCH & REPAIR: NON-SHRINK, FAST SETTING, TROWELLABLE, UNDERLAYMENT, "ARDEX K-55" OR FLOORSTONE BY TAMUS INDUSTRIES" OR "RESURFACE BY DAYTON SUPERIOR."

CONCRETE FILL TO BE SELF-LEVELING
LEVEL1 BY DAYTON SUPERIOR OR ARDEX 15 BY ARDEX PRODUCTS
CEMENT BINDER TO MEET ASTM C150
COMPRESSIVE STRENGTH OF 4100 PSI @ 28 DAYS
SEE SPECIFICATIONS FOR FURTHER INFORMATION,

AGGREGATE: SHALL BE WELL WASHED GRAVEL ¼ TO ¾ IN DIA

CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES FOR PORTIONS OF THE BUILDING THAT REMAIN OCCUPIED DURING CONSTRUCTION.

COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.

REFER TO MECHANICAL ELECTRICAL DOCUMENTS FOR ADDITIONAL INFORMATION.

THE LANDLORD RESERVES THE RIGHT TO SAVE ANY ITEMS, GENERAL CONTRACTOR TO IDENTIFY ITEMS TO OWNER TO BE SAVED.

ALL OBJECTS INDICATION WITH SOLID LINE TO REMAIN.

ALL HAZARDOUS WASTE MUST BE HANDLED AS PER FEDERAL, STATE AND LOCAL REGULATIONS.

CUTTING, PATCHING, REPAIRING & OTHER ALTERATION WORK PERFORMED TO RESTORE SURFACES COMPLY WITH GENERAL CONDITIONS & REQUIREMENTS.

MATCH EXISTING EXPOSED SURFACE MATERIALS IN FINISH, COLOR, TEXTURE WHERE REQUIRED TO PATCH OR EXTEND EXISTING CONSTRUCTION.

ALL DEMOLITION TO FOLLOW ANSI A10.6 - SEE SPECIFICATIONS FOR FURTHER INFORMATION.

DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR PROTECTION OF EXISTING STRUCTURAL MEMBERS, PHASE DEMO IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.

PERFORM DEMOLITION IF ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.

REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.

DEMOLISH WITHOUT EXCESSIVE NOISE OR FUMES, SO AS NOT TO DISRUPT BUSINESS OF ADJACENT TENANTS.

PROTECT EXISTING UTILITIES AND SERVICES WITHIN AND ADJACENT TO THESE AREAS FROM DEMOLITION.

IF UTILITIES OR SERVICES ARE UNCOVERED THAT ARE NOT INDICATED ON DRAWING ADVISE ARCHITECT, AND DO NOT WORK IN IMMEDIATE AREA UNTIL INDICATED BY ARCHITECT.

REMOVE ALL UNUSED ELECTRICAL AND MECHANICAL EQUIPMENT U.N.O. COORDINATE WITH ELECTRICAL, MECHANICAL AND GENERAL CONTRACTOR.

ALL FINISHES TO BE REMOVED UNLESS NOTED OTHERWISE.

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Permit Revision #1	24.03.07
Permits	24.02.12
50% Owner Review	24.01.05
ISSUANCE	DATE

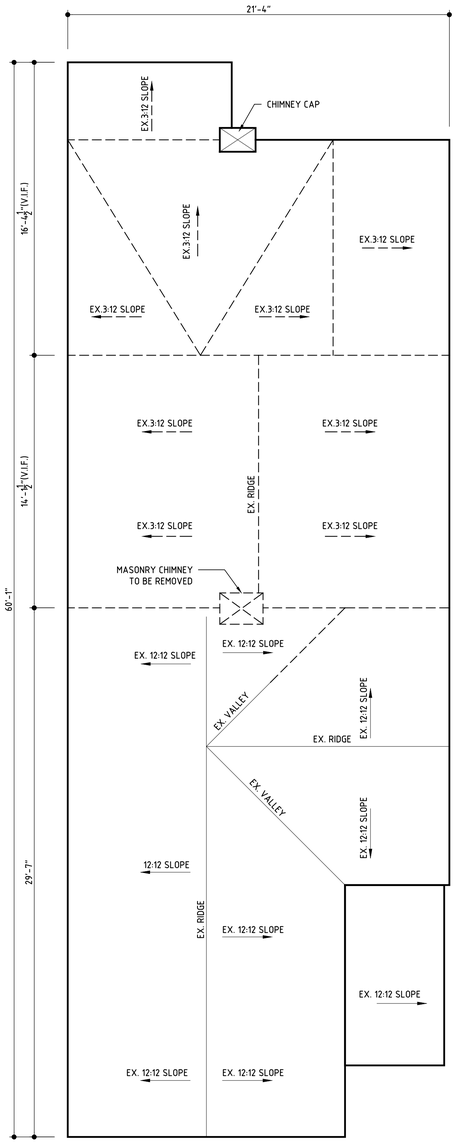
1760 Wabash Renovation

1760 Wabash St.
Detroit, MI 48216

Demolition Foundation Plan

23138

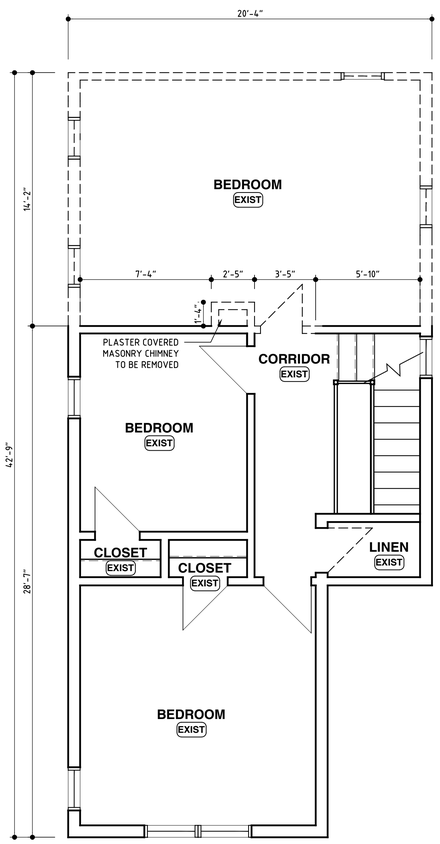
AD1.0



3 Demo Roof Plan

SCALE: 1/4" = 1'

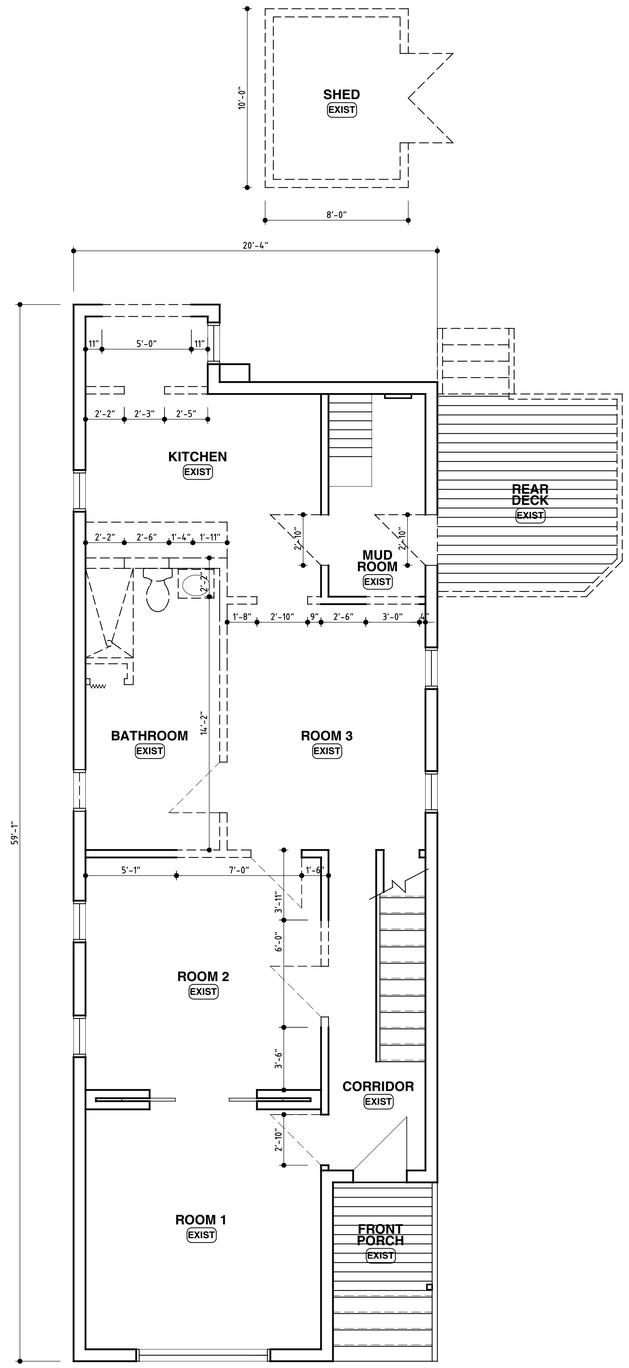
NORTH



2 Demo Second Floor Plan

SCALE: 1/4" = 1'

NORTH



1 Demo First Floor Plan

SCALE: 1/4" = 1'

NORTH

LEGEND

EXISTING WALL TO REMAIN	EXISTING DOOR AND FRAME TO REMAIN
WALL TO BE REMOVED	DOOR AND FRAME TO BE REMOVED

DEMOLITION NOTES

IT IS THE INTENT THAT THE ENTIRE SPACE IS TO BE CLEARED OF ALL PARTITIONS, FIXTURES, FINISHES, AND SIGNAGE (UNLESS OTHERWISE NOTED IN THE DEMOLITION PLAN NOTES). THE REMAINING SPACE SHOULD CONSIST OF EXISTING DEMISING WALLS, STRIPPED COLUMNS, EXISTING CONCRETE FLOOR EXISTING LANDLORD BULKHEAD AT STOREFRONT AND EXPOSED UNDERSIDE OF STRUCTURE (UNLESS OTHERWISE NOTED). COORDINATE WITH ENGINEERS DRAWINGS FOR EXISTING EQUIPMENT AND FIXTURES TO REMAIN.

CONDUCT WORK, OPERATION IN COMPLIANCE WITH LAWS, CODE, ORDINANCES, AND RESTRICTIONS OF PUBLIC AUTHORITIES AS REQUIRED TO ENSURE SAFETY OF PERSONS & TO PREVENT DAMAGE TO EXISTING STRUCTURE & UTILITIES; CONSTRUCTION IN PROGRESS & OTHER PROPERTIES.

CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO START OF DEMOLITION.

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CONTACT:

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CONCRETE FILL TO BE SELF-LEVELING
LEVEL1 BY DAYTON SUPERIOR OR ARDEX 15 BY ARDEX PRODUCTS
CEMENT BINDER TO MEET ASTM C150
COMPRESSIVE STRENGTH OF 4100 PSI @ 28 DAYS
SEE SPECIFICATIONS FOR FURTHER INFORMATION,

AGGREGATE: SHALL BE WELL WASHED GRAVEL 1/8" TO 3/4" IN DIA

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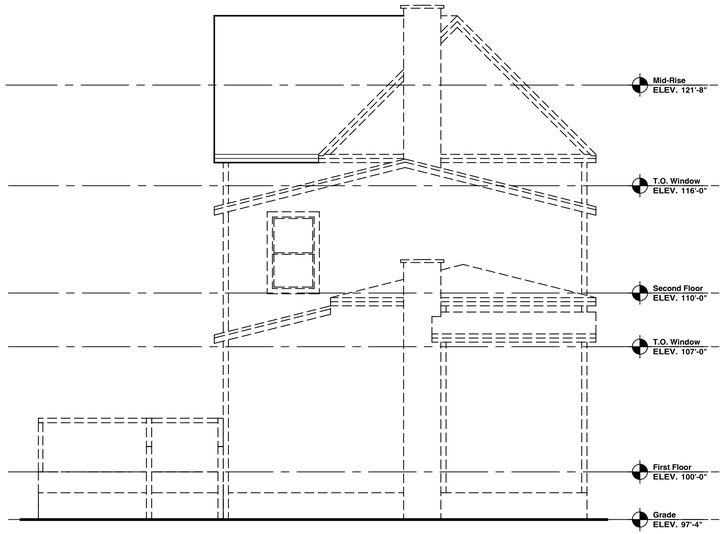
Demolition Floor Plan

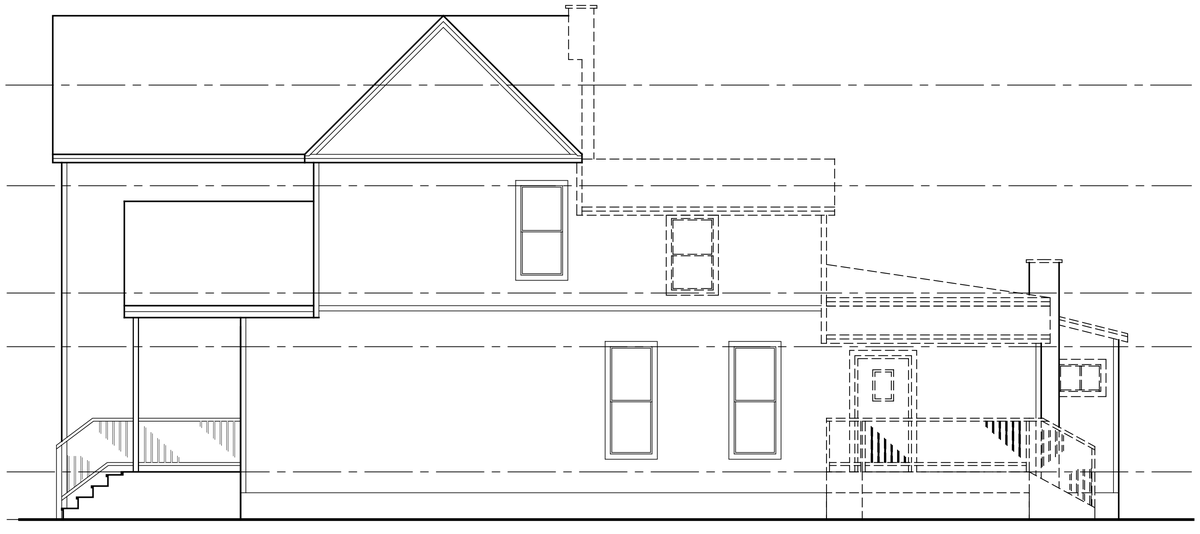
23138

AD1.1



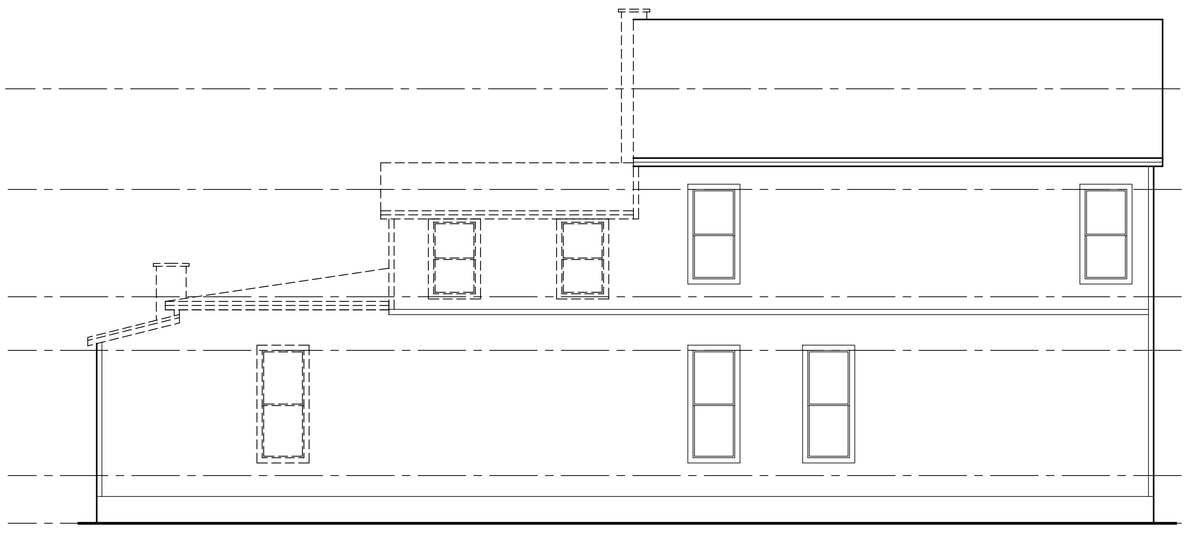
4 Existing Rear Elevation

SCALE: 1/4" = 1'



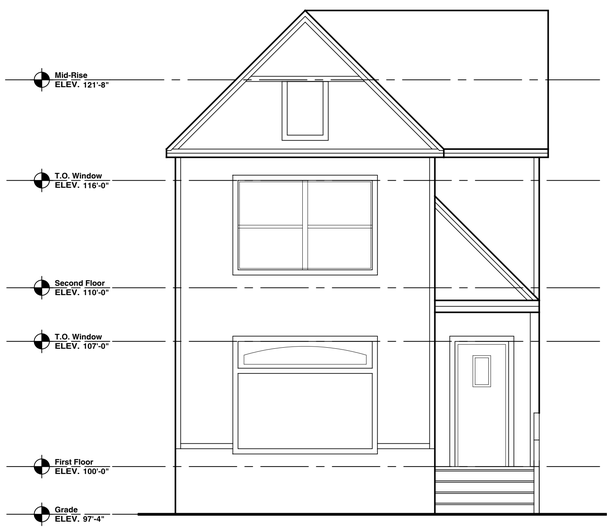
3 Existing Right Elevation

SCALE: 1/4" = 1'



2 Existing Left Elevation

SCALE: 1/4" = 1'



1 Existing Front Elevation

SCALE: 1/4" = 1'

LEGEND

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WALL TO BE REMOVED	DOOR AND FRAME TO BE REMOVED

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1760 Wabash Renovation

1760 Wabash St.
Detroit, MI 48216

Demolition Elevations

23138

AD1.2

AD1.2 Demolition Elevations.dwg
3/11/2024
DH User 02

AIR SEALING GENERAL NOTES:

1. PENETRATIONS TO UNCONDITIONED SPACE SHALL BE FULLY SEALED WITH SOLID BLOCKING OR FLASHING AS NEEDED AND GAPS SEALED WITH CAULK OR FOAM
   A. DUCT OR FLUE SHAFT
   B. PLUMBING/ PIPING
   C. ELECTRICAL WIRING
   D. BATHROOM FANS
   E. RECESSED LIGHTING FIXTURES

CRACKS IN BUILDING ENVELOPE SHALL BE FULLY SEALED.
ALL SILL PLATES ADJACENT TO CONDITIONED SPACE

SEALED TO FOUNDATION OR SUBFLOOR WITH CAULK, FOAM OR EQUIVALENT MATERIAL. FOAM GASKET PLACED BENEATH SILL PLATE IF RESTING ATOP CONCRETE OR MASONRY AND ADJACENT TO MATERIAL.

ATOP OF WALLS ADJOINING UNCONDITIONED SPACES, CONTINUOUS TOP PLATES OR SEALED BLOCKING USING CAULK, FOAM OR EQUIVALENT MATERIAL

DRYWALL SEALED TO TOP PLATE AT ALL UNCONDITIONED ATTIC/WALL INTERFACES USING CAULK, FOAM, DRYWALL ADHESIVE (BUT NOT CONSTRUCTION ADHESIVE) OR EQUIVALENT MATERIAL. EITHER APPLY SEALANT DIRECTLY BETWEEN DRYWALL AND TOP PLATE OR TO THE SEAM BETWEEN THE TWO FROM ATTIC ABOVE.

ROUGH OPENING AROUND WINDOWS AND EXTERIOR DOORS SEALED WITH CAULK OR FOAM.

OTHER OPENINGS
ATTIC ACCESS PANEL THAT IS GASKETED.

INSULATION

ALL EXTERIOR CORNERS SHALL BE CONSTRUCTED TO ALLOW ACCESS FOR THE INSTALLATION OF R-6 INSULATION THAT EXTENDS TO THE EXTERIOR WALL SHEATHING.

HEADER INSULATION SHALL BE R-3 FOR WALL ASSEMBLIES WITH 2X4 FRAMING AND R-5 FOR 2X6 FOR ALL OTHER ASSEMBLIES. COMPLIANCE OPTIONS INCLUDE CONTINUOUS RIGID INSULATION, SIP HEADERS, OTHER PREFABRICATED INSULATED HEADERS, SINGLE MEMBER OF DOUBLE MEMBER HEADERS WITH EITHER INSULATION BETWEEN OR ON ONE SIDE, OR AN EQUIVALENT ASSEMBLY. EXCEPT WHERE A FRAMING PLAN PROVIDED BY THE BUILDER, ARCHITECT , DESIGNER OR ENGINEER INDICATES THAT A FULL-DEPTH SOLID HEADER ARE TO BE USED. R-VALUE REFERS TO MANUFACTURERS NOMINAL INSULATION VALUE.

FRAMING AT WINDOWS SHALL BE LIMITED TO MAXIMUM OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW OPENING TO SUPPORT HEADER AND WINDOW SILL. ADDITIONAL JACK STUDS SHALL BE USED ONLY AS NEEDED FOR STRUCTURAL SUPPORT.

INSULATION SHALL RUN BEHIND INTERIOR/EXTERIOR WALL INTERSECTION USING LADDER BLOCKING.

DUCT INSULATION APPLIES TO ALL HEATING, COOLING SUPPLY VENTILATION.

CAULK @ INTERIOR SEPARATION

BASIC INTERIOR WALL COVERAGE
AROUND ANY PENETRATION THROUGH GYPSUM BOARD. INCLUDING ELECTRICAL BOXES, LIGHT FIXTURES AND RECESSED EQUIPMENT
JUNCTION OF BOTTOM PLATE AND SLAB @ FIRST FLOOR.
GYPSUM BOARD SEALED AT TOP PLATE AT CEILING WALL INTERFACES AND @ ROOF/CEILING

CEILING APPLICATIONS
AROUND ANY GYPSUM PENETRATION INCLUDING EXHAUST , LIGHT FIXTURES AND PIPING

FLOORS
SEAMS AT RIM JOISTS
JUNCTION OF ANY SILL PLATE AND SUBFLOOR
GYPSUM BOARD MUST EXTEND BEHIND THE TUB/SHOWE ENCLOSURES AND BE SEALED TO THE FLOOR ASSEMBLY.

SPRAY APPLIED WATER BASED ELASTOMERIC SEALANT @EXTERIOR

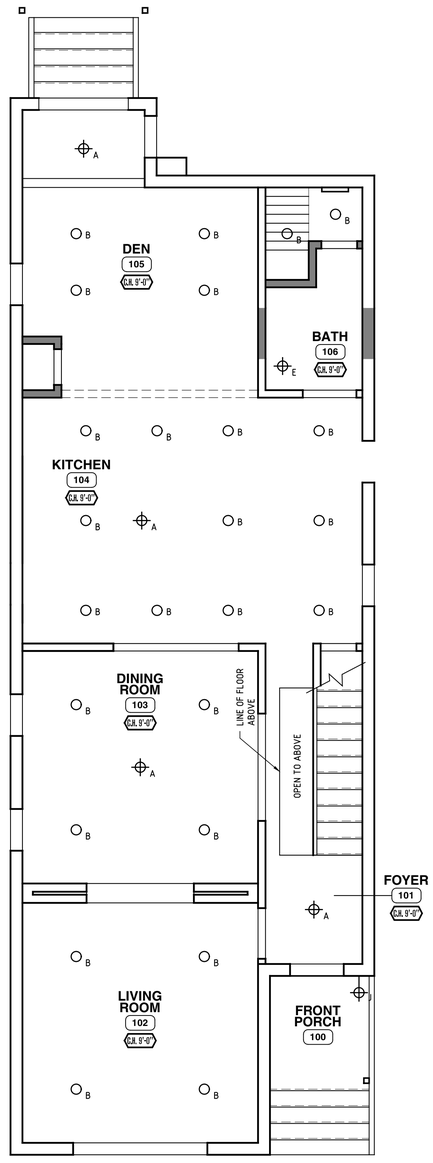
BASIC EXTERIOR WALL COVERING
JUNCTION OF BOTTOM PLATE AND SUBFLOOR/SLAB
SEAM BETWEEN DOUBLE 2X TOP PLATE
CORNER TEES AND INTERSECTION OF WALL TIES
SEAMS AT RIM JOISTS

CEILING APPLICATION
AROUND ANY PENETRATION THOROUGH GYPSUM BOARD
SEAMS AT DRYWALL
JUNCTION OF DRYWALL AND CEILING JOISTS
SEAMS AT TOP OF PENETRATIONS.

FLOORS
SEAMS AT RIM JOISTS
JUNCTION OF SILL PLATE

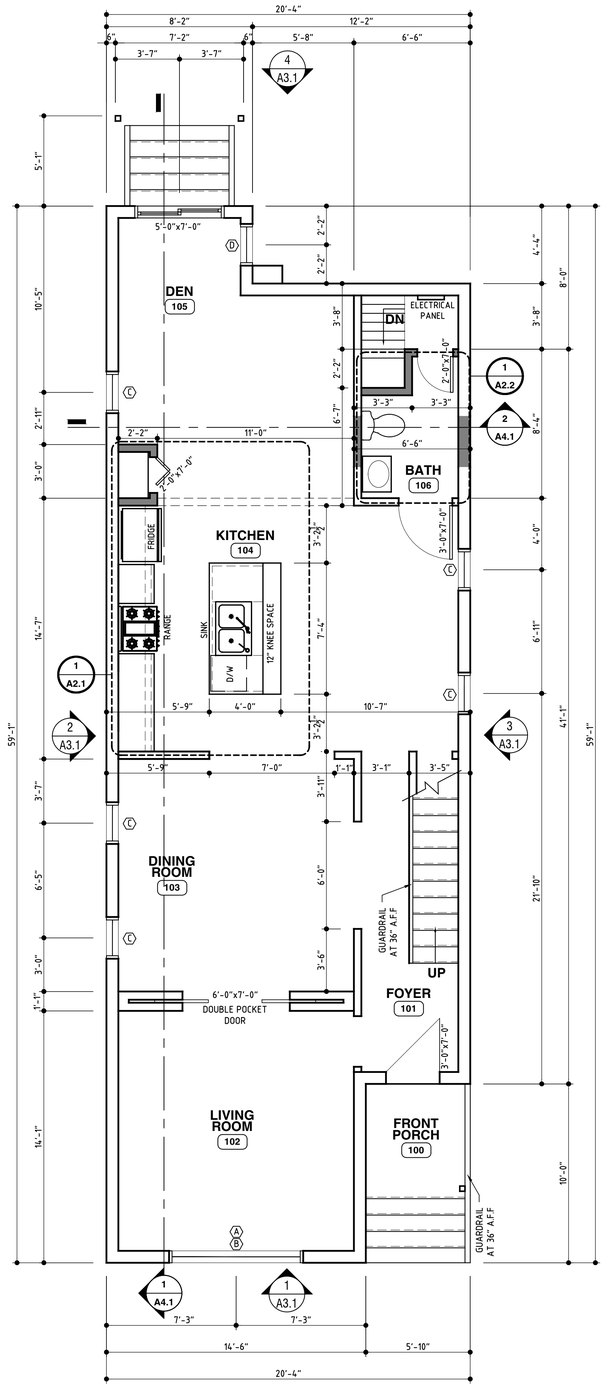
MICHIGAN ENERGY CODE PART 10 - ZONE 5A REQUIREMENTS- SECTION N1105 PRESCRIPTIVE PERFORMANCE

SLAB – R10
WALL INSULATION – R-21
ROOF CEILING INSULATION – R-38
WINDOWS U – .35



2 First Floor Reflected Ceiling Plan
SCALE: 1/4" = 1'

NORTH



2 First Floor Plan
SCALE: 1/4" = 1'

NORTH

Window Legend

MARK	SIZE	TYPE	REMARKS
A	9060	FIXED	
B	9012	FIXED	TRANSOM ABOVE A
C	2472	CASEMENT	
D	2448	CASEMENT	
E	7260	FIXED	
F	2436	CASEMENT	
G	2460	CASEMENT	

NOTE - 2660 = 26"x60"
NOTE - WINDOWS TO BE ALUMINUM CLAD WOOD, BLACK, PRE-PRIMED INTERIOR, MARVIN OR PELLA EQUIVALENT

Square Footages

FIRST FLOOR	1,090 SQ.FT.
SECOND FLOOR	1,013 SQ.FT.
TOTAL	2,103 SQ.FT.

Header Schedule

OPENING SIZE	HEADER SIZE	JACK STUD
3'-0"	2-2X8	2
4'-0"	2-2X10	3
6'-0"	3-2X12	3
9'-0"	2- 9 3/4" LVL	3
12'-0"	3-11 7/8" LVL	3

General Notes

1. ALL EXTERIOR WALLS TO BE 2X6 WD STUD @ 16" O.C. @ 9'-0" IN HEIGHT U.N.O.
2. HEADER HEIGHT OF ALL DOORS AND WINDOW TO BE 6'-8" A.F.F. U.N.O.
3. ALL BEARING WALLS SHALL HAVE FLOOR JOISTS UNDER EACH BEARING STUD, (TYP OF ALL BEARING WALLS)
4. ALL BEARING ENDS OF HEADERS, GIRDERS, AND POINT LOADS SHALL HAVE MIN (3)2X MEMBERS FOR BEARING, 2X MEMBERS SHALL BE RELATED TO WALL SIZE.
5. FIRST FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR:
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF
6. ATTIC FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR:
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF
7. ALL HEADERS IN BEARING WALLS SHALL BE MINIMUM OF 2X12 HEM FIR #2 OR BETTER. PROVIDE MIN (2) 2X4 OR 2X6 DEPENDING ON WALL THICKNESS SPF STUD GRADE OR BETTER UNDER EACH END OF ALL HEADERS AND BEAMS U.N.O.
8. JOIST LAYOUT IS ONLY FOR GUIDANCE AND SHALL NOT BE USED AS SHOP DRAWINGS. SUPPLIER TO ENSURE THE UNOBSTRUCTED OF PLUMBING AND HVAC OPENING AND HEADER CLEARANCE.
9. ALL STEEL BEAMS MUST DIRECTLY BEAR ON STEEL COLUMNS.
10. PROVIDE DOUBLE RIM JOIST ABOVE ALL OPENINGS IN FOUNDATION WALL
11. ALL MULTI JACK STUDS TO BE GLUED AND NAILED WITH 2 ROWS OF 12D NAILS @ 12" O.C.
12. SPACING OF JOISTS UNDER ALL TILE FINISHES SHALL NOT BE MORE THAN 16" O.C.
13. PROVIDE DOUBLE JOISTS UNDER ALL PARTITION WALLS PARALLEL TO JOIST DIRECTION.
14. PROVIDE SOLID BLOCKING PER MANUFACTURER
15. ALL GLASS SHOWER AND BATHTUB DOORS AND ENCLOSURES TO BE TEMPERED GLAZING

MI Building Code Notes

1. EACH BEDROOM TO HAVE A MIN WINDOW OPENING OF 5.7 SQ.FT. WITH A MIN WIDTH OF 20" AND A SILL LESS THAN 44" ABOVE FINISHED FLOOR.
2. ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOORS ARE TO HAVE SAFETY TEMPERED GLAZING
3. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOOR AND WINDOWS
4. CONNECT ALL SMOKE DETECTORS (SEE PLANS FOR LOCATIONS) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE SO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL ALARM.
5. PROVIDE COMBUSTION AIR VENTS WITH SCREEN AND BACK DAMPER FOR FIREPLACES, WOOD STOVE, AND ANY APPLIANCE WITH OPEN FLAME.
6. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO OUTSIDE AIR WITH A MIN OF A 90 CFM FAN.
7. RANGE HOODS TO BE VENTED TO OUTSIDE AIR.
8. ENCLOSED ATTIC SPACES OR RAFTER SPACES TO HAVE 1 SQ.FT. OF FREE VENTILATING AREA FOR EVERY 130 SQ.FT. OF AREA WHERE A CEILING IS APPLIED TO THE UNDERSIDE OF ROOF RAFTERS.
9. HANDRAILS SHALL BE 36" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL NOT PROJECT MORE THEN 3" INTO THE WIDTH OF THE STAIRS.
10. ALL OPEN SIDES OF STAIRWAYS OR WALKWAYS SHALL HAVE GUARDRAILS. RAISED FLOORS EXCEEDING 18" ABOVE FLOOR OR GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. BALUSTERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIA CANNOT PASS THROUGH ANY OPENING.
11.STAIRS SHALL HAVE A MIN CLEAR WIDTH OF 36", A MIN TREAD DEPTH OF 10", MIN NOSING DEPTH OF 1", AND RISER HEIGHT OF 8" MAX. PROVIDE MIN OF 7'-0" CLEAR HEADROOM MEASURED VERTICALLY FROM NOSING OF THE TREAD.
12. NOTCHES IN SOLID LUMBER SHALL NOT EXCEED ONE SIXTH OF THE DEPTH OF THE MEMBER, NO LONGER THAN ONE THIRD OF THE DEPTH, AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. ALL NOTCHES SHALL CONFIRM TO R602.6, R802.7 OF THE MICHIGAN RESIDENTIAL CODE.
13. STUD SPACING IN BEARING WALLS SHALL BE IN ACCORDANCE W/ R602.3

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ISSUANCE	DATE

1760 Wabash Renovation

1760 Wabash St.
Detroit, MI 48216

First Floor Plans

23138

A1.1

A1.1 First Floor Plans.dwg
3/11/2024
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AIR SEALING GENERAL NOTES:

1. PENETRATIONS TO UNCONDITIONED SPACE SHALL BE FULLY SEALED WITH SOLID BLOCKING OR FLASHING AS NEEDED AND GAPS SEALED WITH CAULK OR FOAM
   A. DUCT OR FLUE SHAFT
   B. PLUMBING/ PIPING
   C. ELECTRICAL WIRING
   D. BATHROOM FANS
   E. RECESSED LIGHTING FIXTURES

CRACKS IN BUILDING ENVELOPE SHALL BE FULLY SEALED.
ALL SILL PLATES ADJACENT TO CONDITIONED SPACE
SEALED TO FOUNDATION OR SUBFLOOR WITH CAULK, FOAM OR EQUIVALENT MATERIAL. FOAM GASKET PLACED BENEATH SILL PLATE IF RESTING ATOP CONCRETE OR MASONRY AND ADJACENT TO MATERIAL.

ATOP OF WALLS ADJOINING UNCONDITIONED SPACES, CONTINUOUS TOP PLATES OR SEALED BLOCKING USING CAULK, FOAM OR EQUIVALENT MATERIAL

DRYWALL SEALED TO TOP PLATE AT ALL UNCONDITIONED ATTIC/WALL INTERFACES USING CAULK, FOAM, DRYWALL ADHESIVE (BUT NOT CONSTRUCTION ADHESIVE) OR EQUIVALENT MATERIAL. EITHER APPLY SEALANT DIRECTLY BETWEEN DRYWALL AND TOP PLATE OR TO THE SEAM BETWEEN THE TWO FROM ATTIC ABOVE.

ROUGH OPENING AROUND WINDOWS AND EXTERIOR DOORS SEALED WITH CAULK OR FOAM.

OTHER OPENINGS
ATTIC ACCESS PANEL THAT IS GASKETED.

INSULATION

ALL EXTERIOR CORNERS SHALL BE CONSTRUCTED TO ALLOW ACCESS FOR THE INSTALLATION OF R-6 INSULATION THAT EXTENDS TO THE EXTERIOR WALL SHEATHING.

HEADER INSULATION SHALL BE R-3 FOR WALL ASSEMBLIES WITH 2X4 FRAMING AND R-5 FOR 2X6 FOR ALL OTHER ASSEMBLIES. COMPLIANCE OPTIONS INCLUDE CONTINUOUS RIGID INSULATION, SIP HEADERS, OTHER PREFABRICATED INSULATED HEADERS, SINGLE MEMBER OF DOUBLE MEMBER HEADERS WITH EITHER INSULATION BETWEEN OR ON ONE SIDE, OR AN EQUIVALENT ASSEMBLY. EXCEPT WHERE A FRAMING PLAN PROVIDED BY THE BUILDER, ARCHITECT , DESIGNER OR ENGINEER INDICATES THAT A FULL-DEPTH SOLID HEADER ARE TO BE USED. R-VALUE REFERS TO MANUFACTURERS NOMINAL INSULATION VALUE.

FRAMING AT WINDOWS SHALL BE LIMITED TO MAXIMUM OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW OPENING TO SUPPORT HEADER AND WINDOW SILL. ADDITIONAL: JACK STUDS SHALL BE USED ONLY AS NEEDED FOR STRUCTURAL SUPPORT.

INSULATION SHALL RUN BEHIND INTERIOR/EXTERIOR WALL INTERSECTION USING LADDER BLOCKING.

DUCT INSULATION APPLIES TO ALL HEATING, COOLING SUPPLY VENTILATION.

CAULK @ INTERIOR SEPARATION

BASIC INTERIOR WALL COVERAGE
AROUND ANY PENETRATION THROUGH GYPSUM BOARD. INCLUDING ELECTRICAL BOXES, LIGHT FIXTURES AND RECESSED EQUIPMENT
JUNCTION OF BOTTOM PLATE AND SLAB @ FIRST FLOOR.
GYPSUM BOARD SEALED AT TOP PLATE AT CEILING WALL INTERFACES AND @ ROOF/CEILING

CEILING APPLICATIONS
AROUND ANY GYPSUM PENETRATION INCLUDING EXHAUST , LIGHT FIXTURES AND PIPING

FLOORS
SEAMS AT RIM JOISTS
JUNCTION OF ANY SILL PLATE AND SUBFLOOR
GYPSUM BOARD MUST EXTEND BEHIND THE TUB/SHOWE ENCLOSURES AND BE SEALED TO THE FLOOR ASSEMBLY.

SPRAY APPLIED WATER BASED ELASTOMERIC SEALANT @EXTERIOR

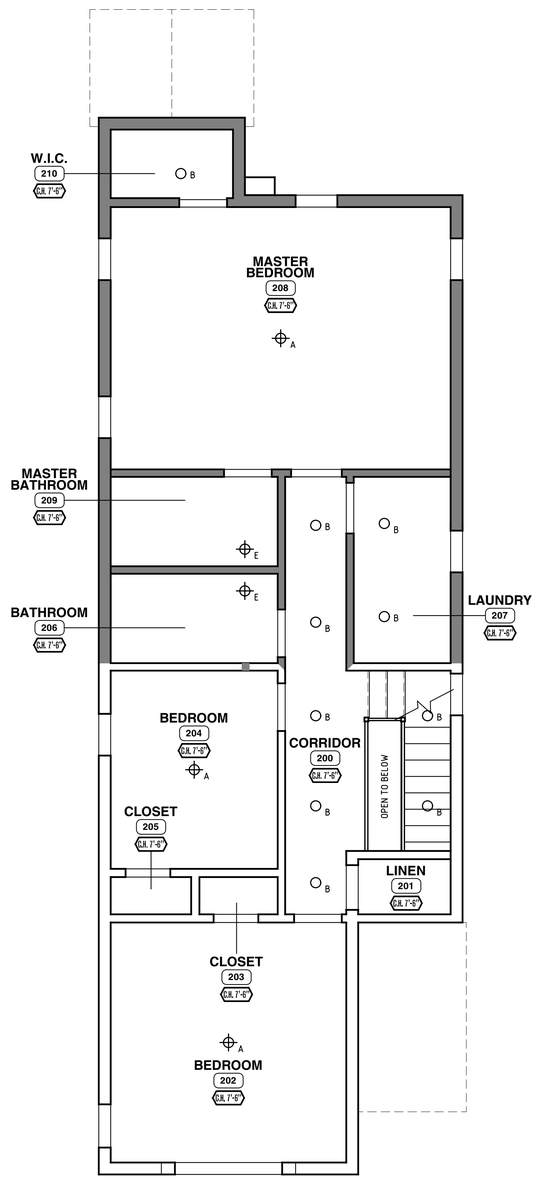
BASIC EXTERIOR WALL COVERING
JUNCTION OF BOTTOM PLATE AND SUBFLOOR/SLAB
SEAM BETWEEN DOUBLE 2X TOP PLATE
CORNER TEES AND INTERSECTION OF WALL TIES
SEAMS AT RIM JOISTS

CEILING APPLICATION
AROUND ANY PENETRATION THOROUGH GYPSUM BOARD
SEAMS AT DRYWALL
JUNCTION OF DRYWALL AND CEILING JOISTS
SEAMS AT TOP OF PENETRATIONS.

FLOORS
SEAMS AT RIM JOISTS
JUNCTION OF SILL PLATE

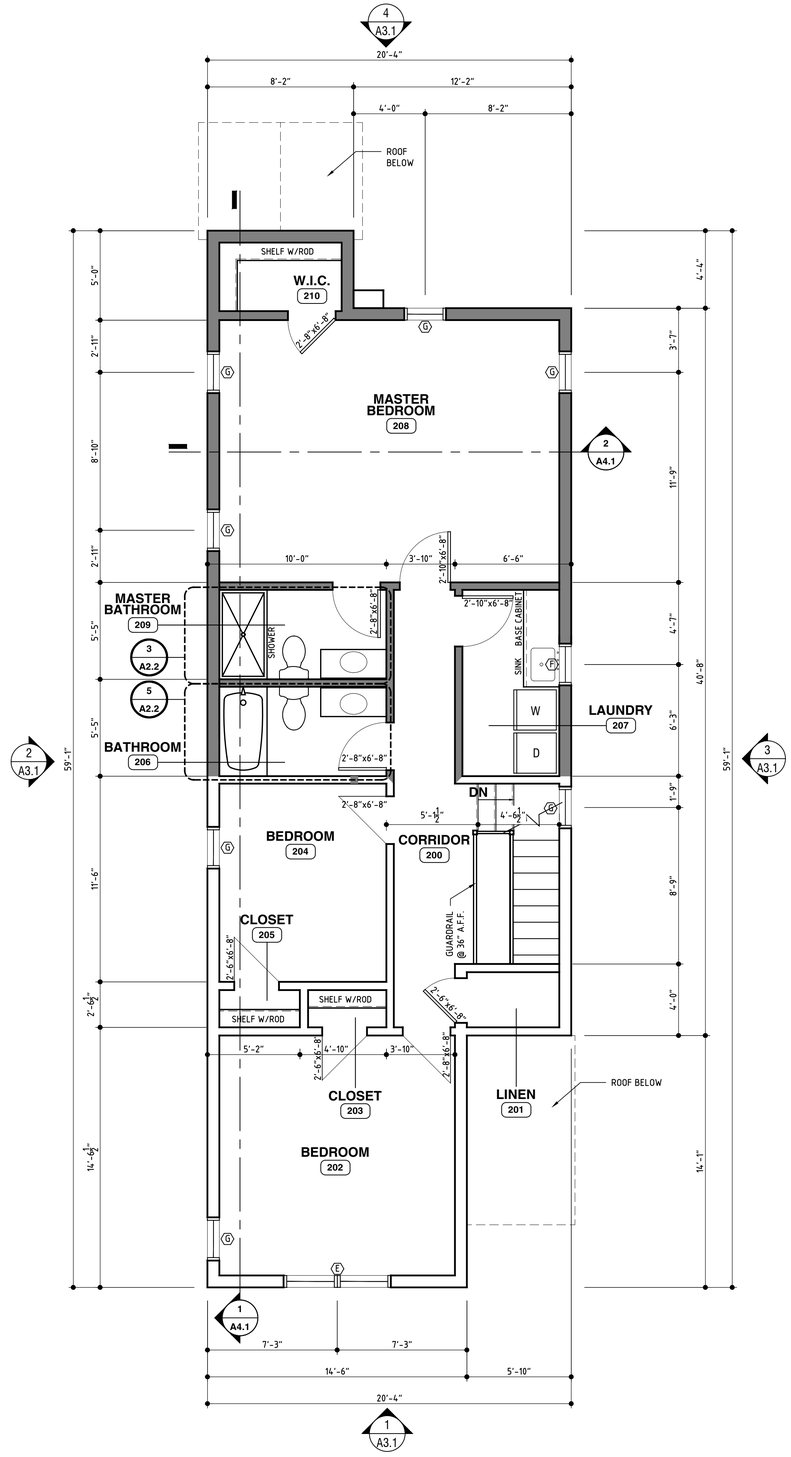
MICHIGAN ENERGY CODE PART 10 - ZONE 5A REQUIREMENTS- SECTION N1105 PRESCRIPTIVE PERFORMANCE

SLAB – R10
WALL INSULATION – R-21
ROOF CEILING INSULATION – R-38
WINDOWS U – .35



2 Second Floor Reflected Ceiling Plan
SCALE: 1/4" = 1'

NORTH



1 Second Floor Plan
SCALE: 1/4" = 1'

NORTH

Window Legend

MARK	SIZE	TYPE	REMARKS
A	9060	FIXED	
B	9012	FIXED	TRANSOM ABOVE A
C	2472	CASEMENT	
D	2448	CASEMENT	
E	7260	FIXED	
F	2436	CASEMENT	
G	2460	CASEMENT	

NOTE - 2660 = 26"x60"
NOTE - WINDOWS TO BE ALUMINUM CLAD WOOD, BLACK, PRE-PRIMED INTERIOR, MARVIN OR PELLA EQUIVALENT

Square Footages

FIRST FLOOR	1,090 SQ.FT.
SECOND FLOOR	1,013 SQ.FT.
TOTAL	2,103 SQ.FT.

Header Schedule

OPENING SIZE	HEADER SIZE	JACK STUD
3'-0"	2-2X8	2
4'-0"	2-2X10	3
6'-0"	3-2X12	3
9'-0"	2- 9 1/4" LVL	3
12'-0"	3-11 7/8" LVL	3

General Notes

1. ALL EXTERIOR WALLS TO BE 2X6 WD STUD @ 16" O.C. @ 9'-0" IN HEIGHT U.N.O.
2. HEADER HEIGHT OF ALL DOORS AND WINDOW TO BE 6'-8" A.F.F. U.N.O.
3. ALL BEARING WALLS SHALL HAVE FLOOR JOISTS UNDER EACH BEARING STUD, (TYP OF ALL BEARING WALLS)
4. ALL BEARING ENDS OF HEADERS, GIRDERS, AND POINT LOADS SHALL HAVE MIN (3)2X MEMBERS FOR BEARING, 2X MEMBERS SHALL BE RELATED TO WALL SIZE.
5. FIRST FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR:
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF
6. ATTIC FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR:
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF
7. ALL HEADERS IN BEARING WALLS SHALL BE MINIMUM OF 2X12 HEM FIR #2 OR BETTER. PROVIDE MIN (2) 2X4 OR 2X6 DEPENDING ON WALL THICKNESS SPF STUD GRADE OR BETTER UNDER EACH END OF ALL HEADERS AND BEAMS U.N.O.
8. JOIST LAYOUT IS ONLY FOR GUIDANCE AND SHALL NOT BE USED AS SHOP DRAWINGS. SUPPLIER TO ENSURE THE UNOBSTRUCTED OF PLUMBING AND HVAC OPENING AND HEADER CLEARANCE.
9. ALL STEEL BEAMS MUST DIRECTLY BEAR ON STEEL COLUMNS.
10. PROVIDE DOUBLE RIM JOIST ABOVE ALL OPENINGS IN FOUNDATION WALL
11. ALL MULTI JACK STUDS TO BE GLUED AND NAILED WITH 2 ROWS OF 12D NAILS @ 12" O.C.
12. SPACING OF JOISTS UNDER ALL TILE FINISHES SHALL NOT BE MORE THAN 16" O.C.
13. PROVIDE DOUBLE JOISTS UNDER ALL PARTITION WALLS PARALLEL TO JOIST DIRECTION.
14. PROVIDE SOLID BLOCKING PER MANUFACTURER
15. ALL GLASS SHOWER AND BATHTUB DOORS AND ENCLOSURES TO BE TEMPERED GLAZING

MI Building Code Notes

1. EACH BEDROOM TO HAVE A MIN WINDOW OPENING OF 5.7 SQ.FT. WITH A MIN WIDTH OF 20" AND A SILL LESS THAN 44" ABOVE FINISHED FLOOR.
2. ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOORS ARE TO HAVE SAFETY TEMPERED GLAZING
3. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOOR AND WINDOWS
4. CONNECT ALL SMOKE DETECTORS (SEE PLANS FOR LOCATIONS) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE SO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL ALARM.
5. PROVIDE COMBUSTION AIR VENTS WITH SCREEN AND BACK DAMPER FOR FIREPLACES, WOOD STOVE, AND ANY APPLIANCE WITH OPEN FLAME.
6. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO OUTSIDE AIR WITH A MIN OF A 90 CFM FAN.
7. RANGE HOODS TO BE VENTED TO OUTSIDE AIR.
8. ENCLOSED ATTIC SPACES OR RAFTER SPACES TO HAVE 1 SQ.FT. OF FREE VENTILATING AREA FOR EVERY 130 SQ.FT. OF AREA WHERE A CEILING IS APPLIED TO THE UNDERSIDE OF ROOF RAFTERS.
9. HANDRAILS SHALL BE 36" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL NOT PROJECT MORE THEN 3" INTO THE WIDTH OF THE STAIRS.
10. ALL OPEN SIDES OF STAIRWAYS OR WALKWAYS SHALL HAVE GUARDRAILS. RAISED FLOORS EXCEEDING 18" ABOVE FLOOR OR GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. BALUSTERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIA CANNOT PASS THROUGH ANY OPENING.
11.STAIRS SHALL HAVE A MIN CLEAR WIDTH OF 36", A MIN TREAD DEPTH OF 10", MIN NOSING DEPTH OF 1", AND RISER HEIGHT OF 8" MAX. PROVIDE MIN OF 7'-0" CLEAR HEADROOM MEASURED VERTICALLY FROM NOSING OF THE TREAD.
12. NOTCHES IN SOLID LUMBER SHALL NOT EXCEED ONE SIXTH OF THE DEPTH OF THE MEMBER, NO LONGER THAN ONE THIRD OF THE DEPTH, AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. ALL NOTCHES SHALL CONFIRM TO R602.6, R802.7 OF THE MICHIGAN RESIDENTIAL CODE.
13. STUD SPACING IN BEARING WALLS SHALL BE IN ACCORDANCE W/ R602.3

DESIGNHAUS EST 1998 ARCHITECTURE
3300 AUBURN RD. SUITE 300
AUBURN HILLS, MI 48326
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WWW.DESIGNHAUS.COM
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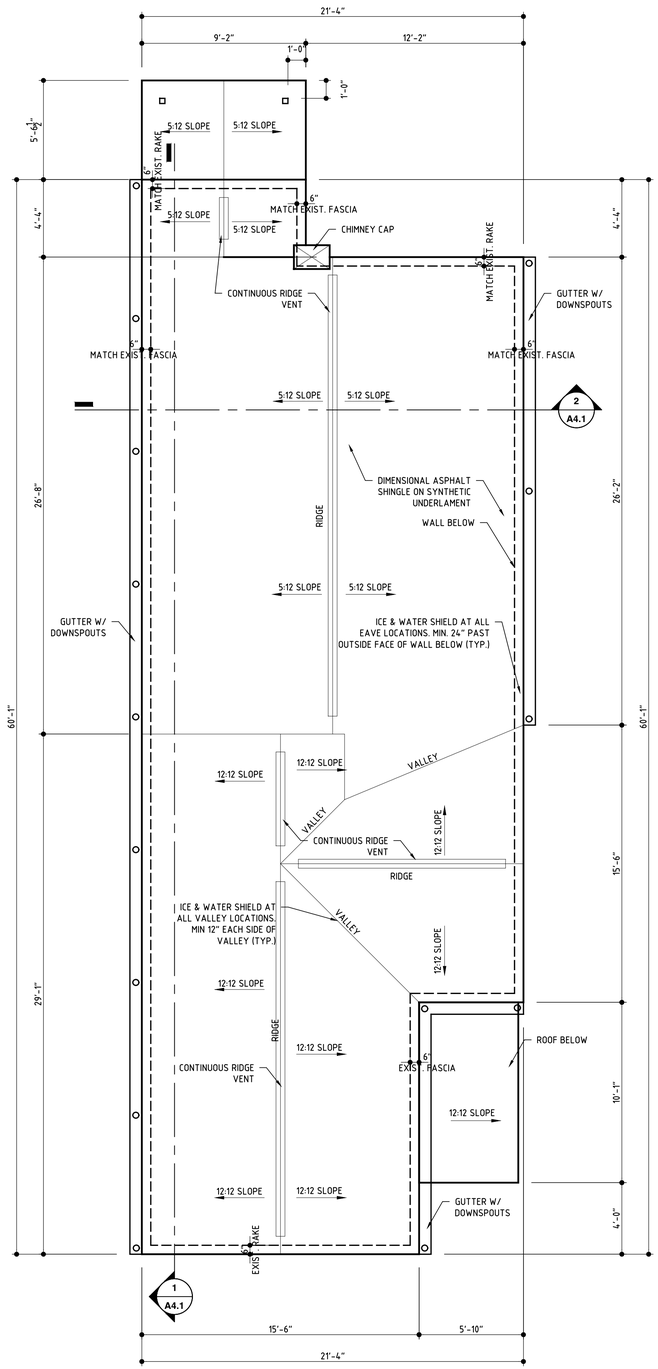
Second Floor Plans

23138

A1.2

A1.2 Second Floor Plans.dwg
3/11/2024
Designhaus



1 Roof Plan

SCALE: 1/4" = 1'

NORTH

ROOF VENTING CALC

PROPOSED VENTING AREA:
ATTIC AREA: 3,296 SQ FT/150 = 22.0 VENT AREA
VENT AREA REQ: 22.0 SQ FTX144 = 3,168 SQ IN

RIDGE VENTING:
CONTINUOUS RIDGE TYPE W/ 16 SQ IN PER LINEAR FOOT
16X149FT= 2,384 SQ IN
TOTAL VENTING @ RIDGE VENTS: = 2,384SQ IN

SOFFIT VENTING:
CONTINUOUS SOFFIT VENT W/ 12 SQ IN PER LINEAR FT
12 X 193 = 2,316 SQ IN

TOTAL ROOF VENTING = 2,384 + 2,316 = 4,700 SQ IN

NOTE: VENTILATION PROVIDED VARIES BY MNFR AND PRODUCT. VERIFY VENTILATION SPECIFICATIONS WITH MNFR.

Down Spouts

CONNECT ALL DOWN SPOUTS DIRECTLY TO STORM DRAIN
PROVIDE ADEQUATE CLEAN OUTS

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Roof Plan

23138

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A1.3 Roof Plan.dwg
3/11/2024
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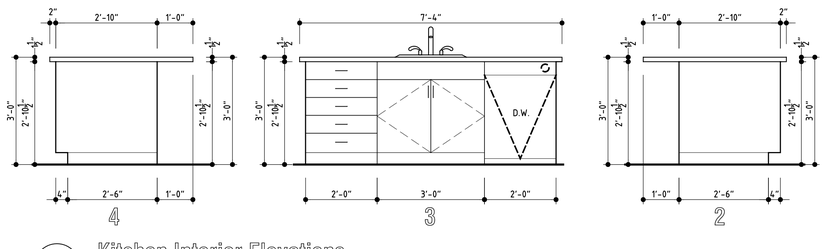
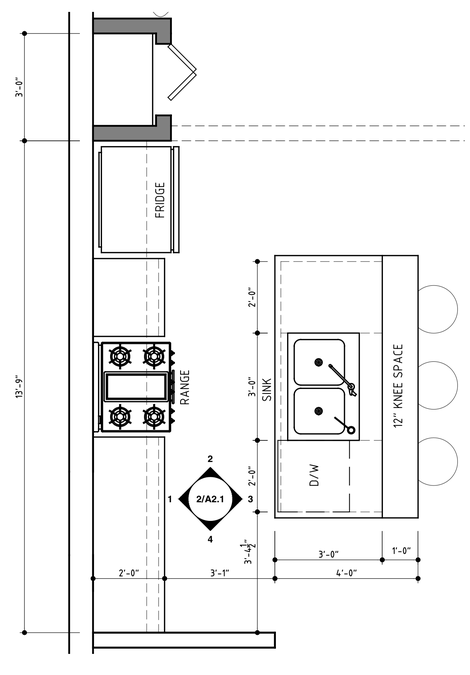


2 Kitchen Interior Elevations

SCALE: 1/2" = 1'



1 Enlarged Kitchen Plan

SCALE: 1/2" = 1'

NORTH

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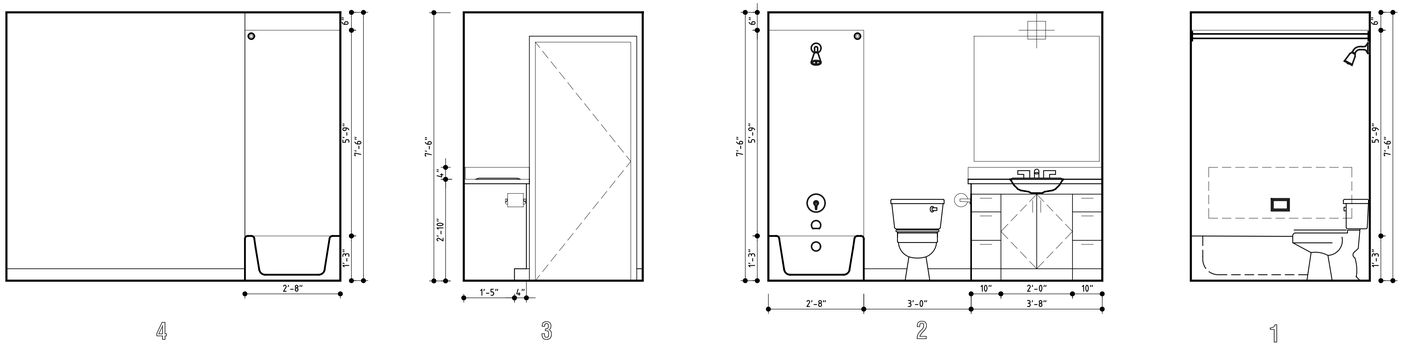
23138

Enlarged Kitchen Plan

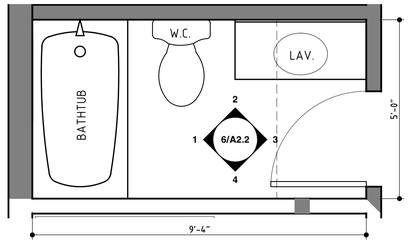
A2.1

A2.1 Enlarged Kitchen Plan.dwg
3/11/2024
DH User 02



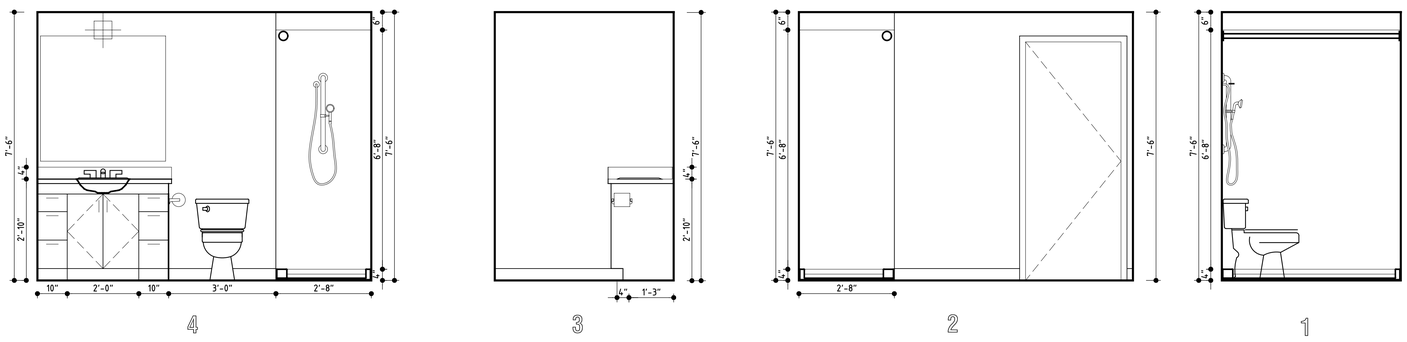
6 Bathroom Interior Elevations

SCALE: 1/2" = 1'



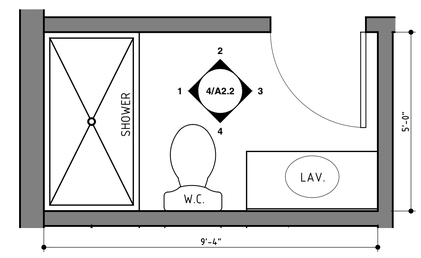
5 Enlarged Bathroom Plan

SCALE: 1/2" = 1'



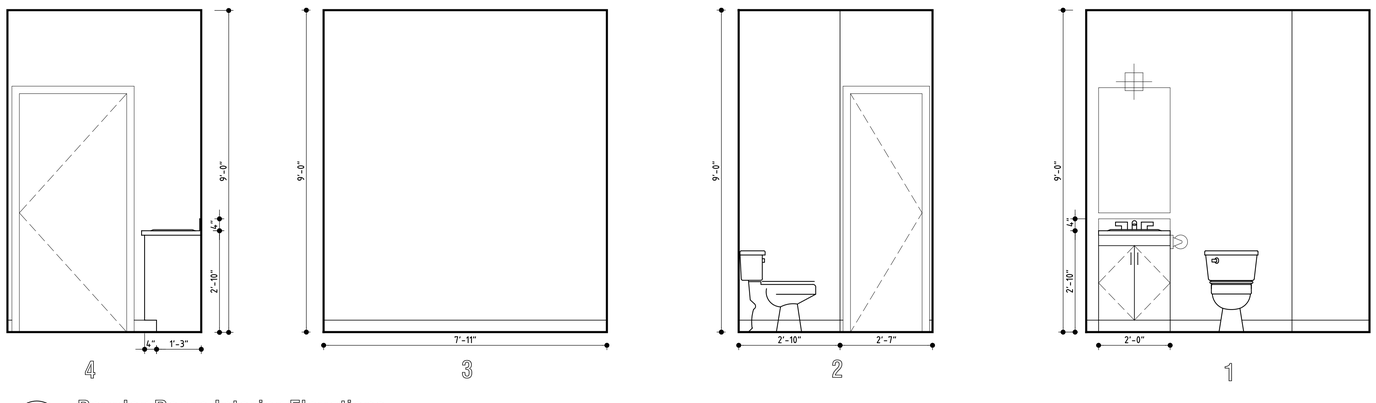
4 Master Bath Interior Elevations

SCALE: 1/2" = 1'



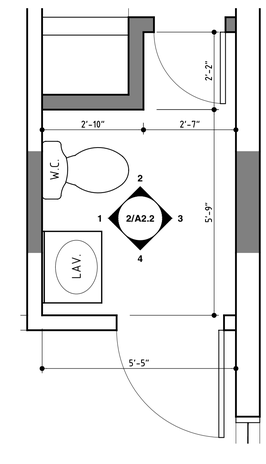
3 Enlarged Master Bath Plan

SCALE: 1/2" = 1'



2 Powder Room Interior Elevations

SCALE: 1/2" = 1'



1 Enlarged Powder Room Plan

SCALE: 1/2" = 1'

General Notes

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8. ENCLOSED ATTIC SPACES OR RAFTER SPACES TO HAVE 1 SQ.FT. OF FREE VENTILATING AREA FOR EVERY 130 SQ.FT. OF AREA WHERE A CEILING IS APPLIED TO THE UNDERSIDE OF ROOF RAFTERS.
9. HANDRAILS SHALL BE 36" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL NOT PROJECT MORE THEN 3" INTO THE WIDTH OF THE STAIRS.
10. ALL OPEN SIDES OF STAIRWAYS OR WALKWAYS SHALL HAVE GUARDRAILS. RAISED FLOORS EXCEEDING 18" ABOVE FLOOR OR GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. BALUSTERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIA CANNOT PASS THROUGH ANY OPENING.
11.STAIRS SHALL HAVE A MIN CLEAR WIDTH OF 36", A MIN TREAD DEPTH OF 10", MIN NOSING DEPTH OF 1", AND RISER HEIGHT OF 8" MAX. PROVIDE MIN OF 7'-0" CLEAR HEADROOM MEASURED VERTICALLY FROM NOSING OF THE TREAD.
12. NOTCHES IN SOLID LUMBER SHALL NOT EXCEED ONE SIXTH OF THE DEPTH OF THE MEMBER, NO LONGER THAN ONE THIRD OF THE DEPTH, AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. ALL NOTCHES SHALL CONFIRM TO R602.6, R802.7 OF THE MICHIGAN RESIDENTIAL CODE.
13. STUD SPACING IN BEARING WALLS SHALL BE IN ACCORDANCE W/ R602.3

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Permit Revision #1	**24.03.07**
Permits	**24.02.12**
50% Owner Review	**24.01.05**
ISSUANCE	DATE

1760 Wabash Renovation

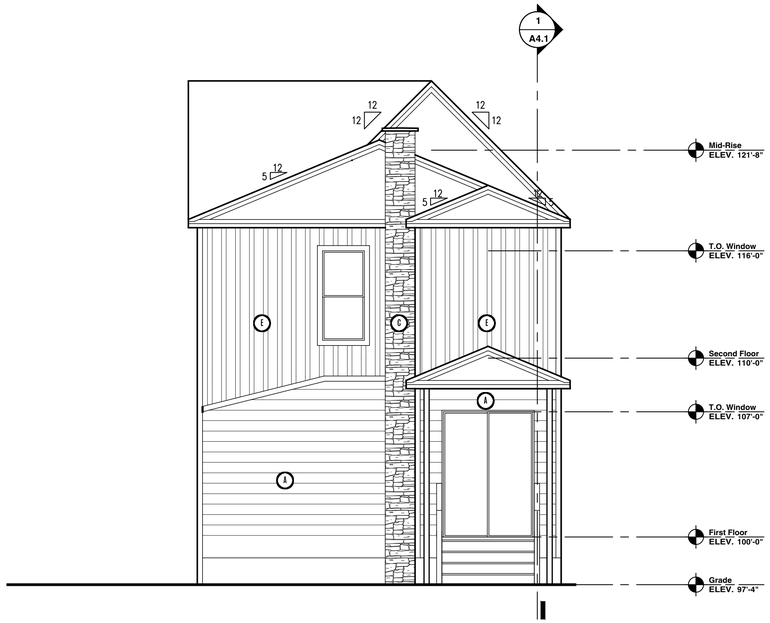
1760 Wabash St.
Detroit, MI 48216

23138

Enlarged Bathroom Plans

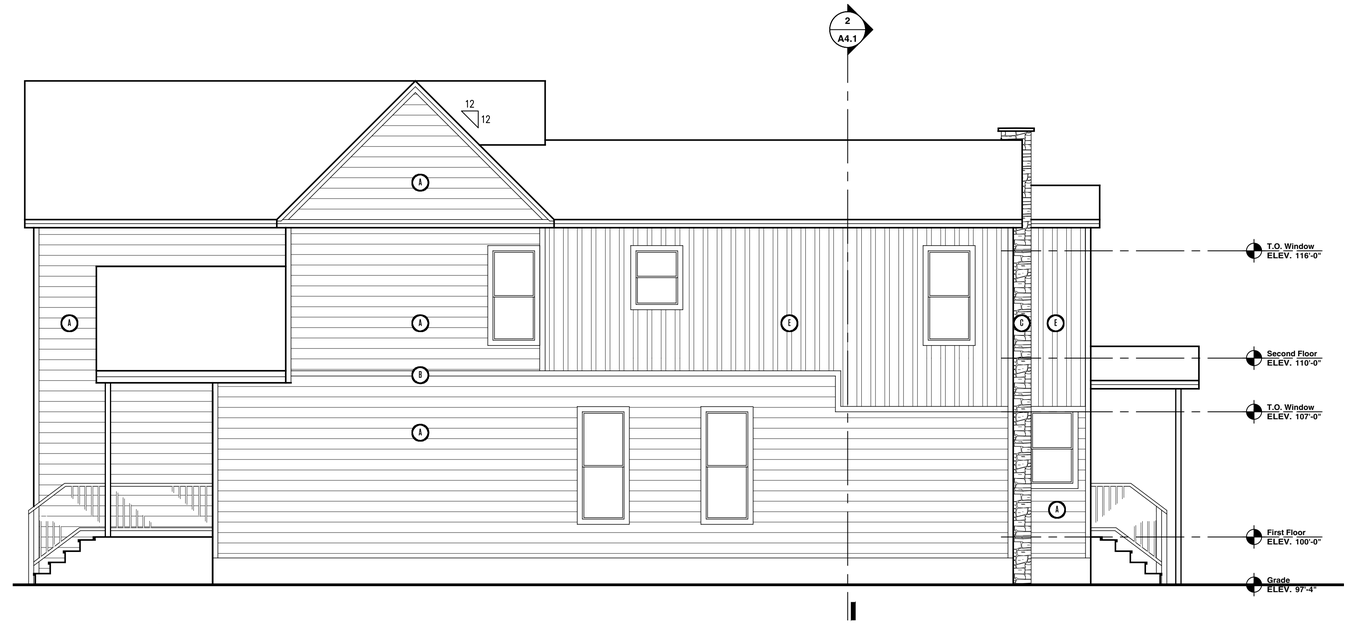
A2.2

MATERIAL LEGEND	
A	NEW WOOD SIDING
B	1x TRIM
C	STONE CHIMNEY
D	BRICK SIDING
E	NEW VERTICAL SIDING



4 Rear Elevation

SCALE: 1/4" = 1'

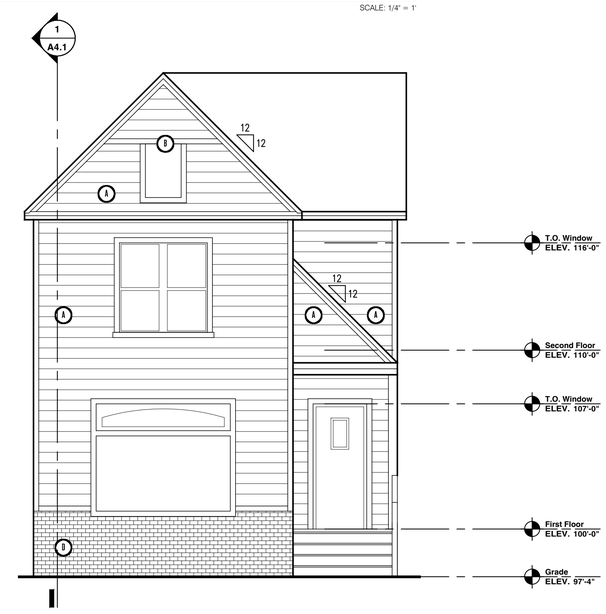


3 Right Side Elevation

SCALE: 1/4" = 1'

2 Left Side Elevation

SCALE: 1/4" = 1'



1 Front Elevation

SCALE: 1/4" = 1'

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Building Elevations

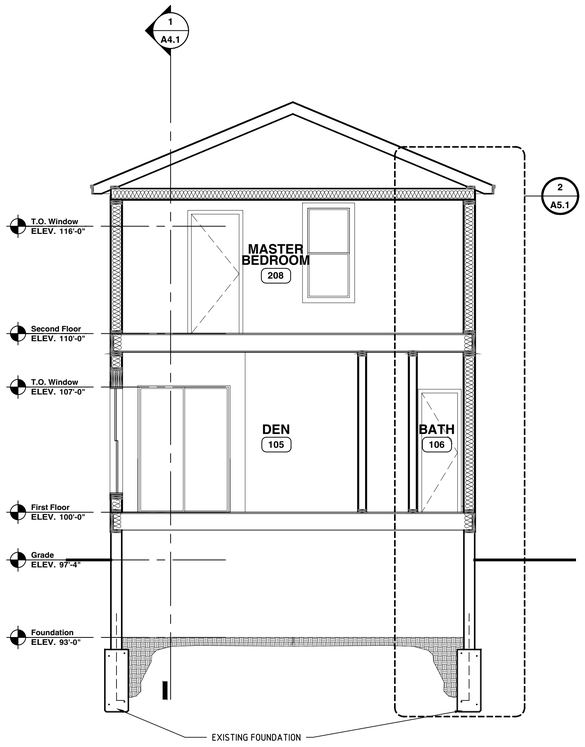
23138

A3.1

A3.1 Building Elevations.dwg

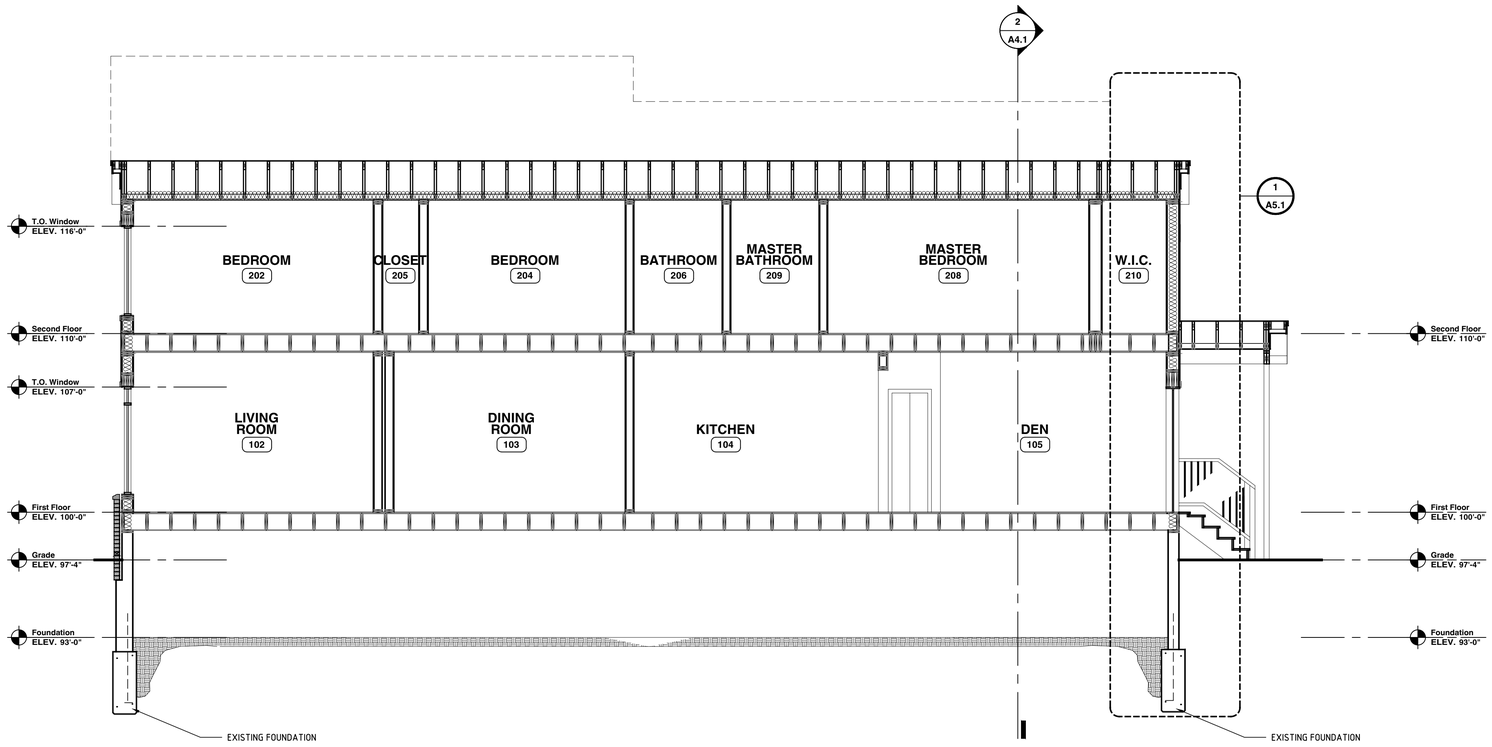
3/11/2024

Designhaus



2 Building Section

SCALE: 1/4" = 1'



1 Building Section

SCALE: 1/4" = 1'

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Building Sections

23138

A4.1

A4.1 Building Sections.dwg

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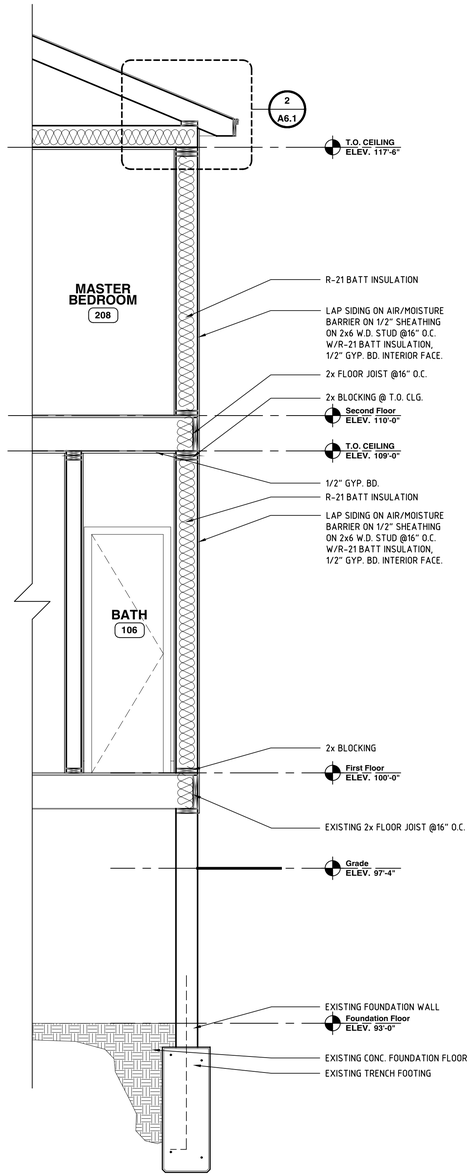
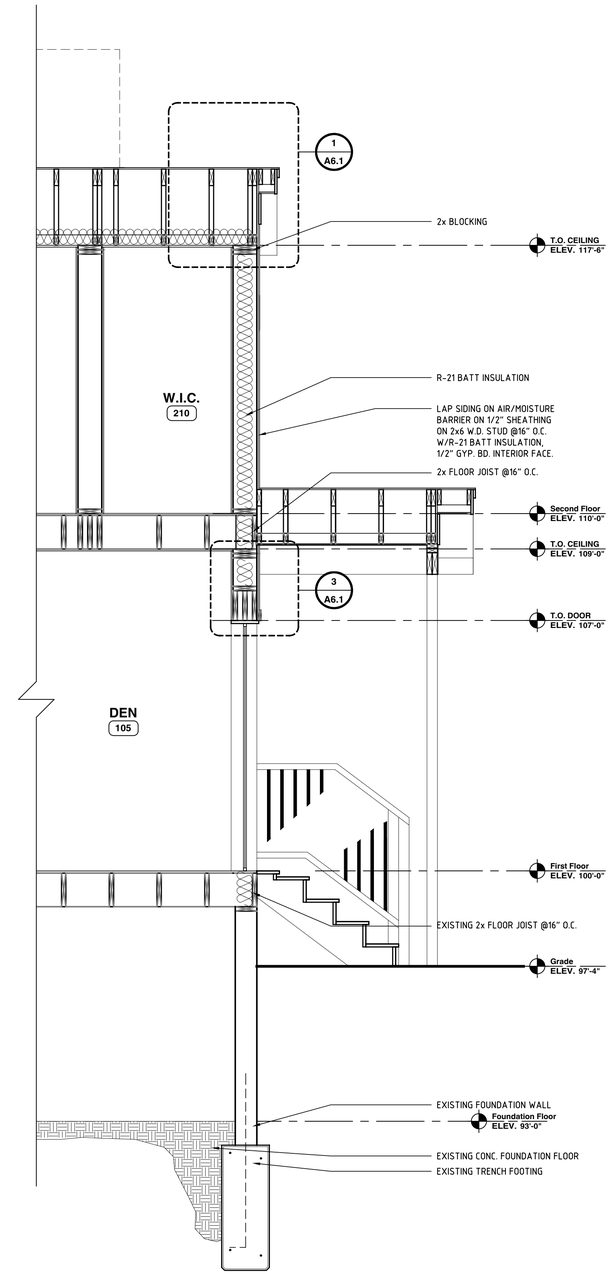
Designhaus



2 Wall Section

SCALE: 1/2" = 1'



1 Wall Section

SCALE: 1/2" = 1'

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Wall Sections

23138

A5.1

A5.1 Wall Sections.dwg

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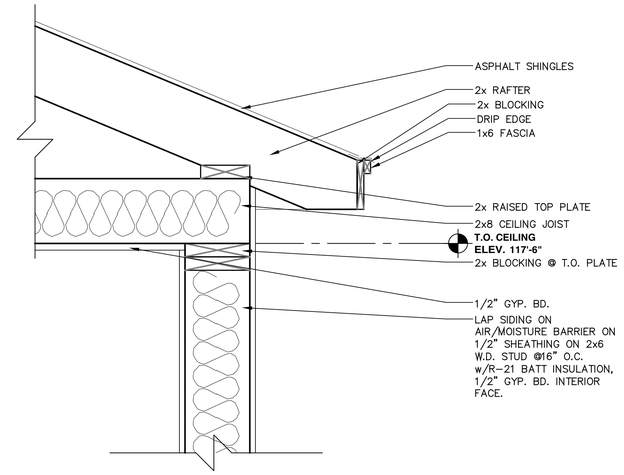
Designhaus

8

SCALE: 1 1/2" = 1'

5

SCALE: 1 1/2" = 1'



2 EAVE DETAIL

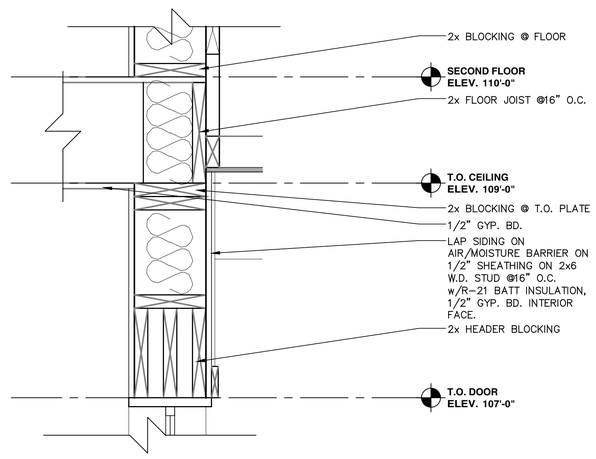
SCALE: 1 1/2" = 1'

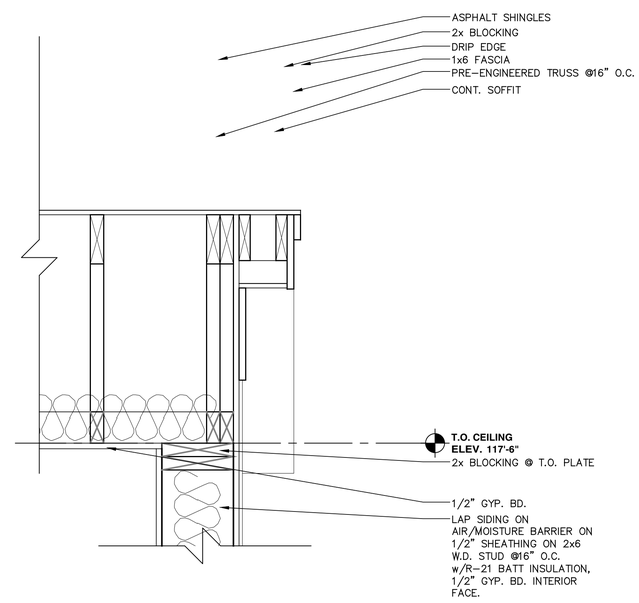
7

SCALE: 1 1/2" = 1'

4 SILL DETAIL @ HIGH GRADE

SCALE: 1 1/2" = 1'





6

SCALE: 1 1/2" = 1'

3 HEADER DETAIL

SCALE: 1 1/2" = 1'

1 RAKE DETAIL

SCALE: 1 1/2" = 1'

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Details

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A6.1

A6.1 Details.dwg

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DH User 02