

▲ LOCATION PLAN

ISSUED FOR:

ENGINEERING COORDINATION

10.31.23

NEMO'S RENOVATION

1384 MICHIGAN AVE., DETROIT, MI 48226

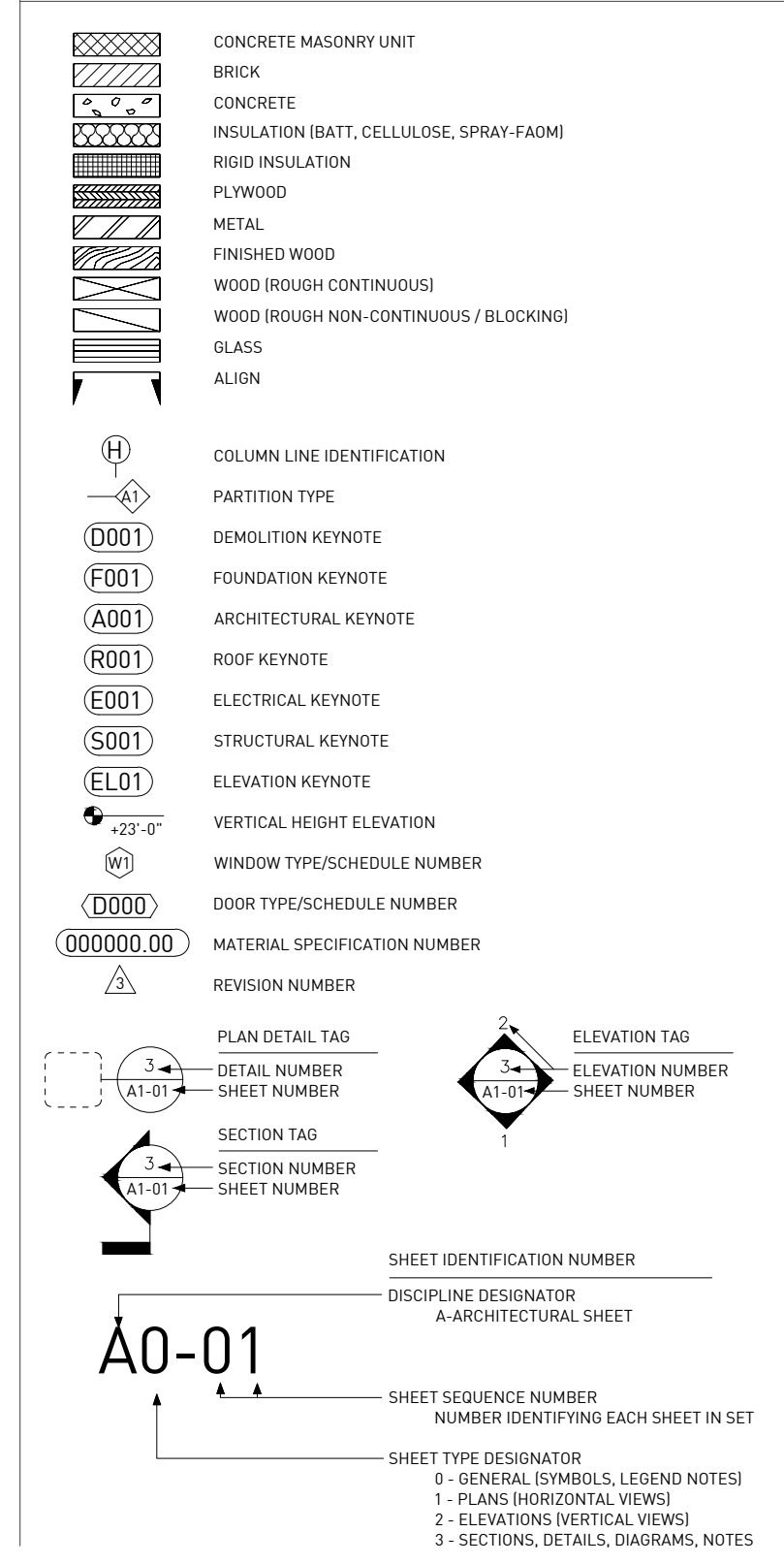
GENERAL NOTES

1. ANY MENTION OF "CONTRACTOR" INCLUDES THE GENERAL CONTRACTOR (G/C), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTOR(S) AS THEY RELATE TO THE CONTRACTUAL DELIVERY METHOD AGREED TO BY THE OWNER AND ENTITY RESPONSIBLE FOR UNDERTAKING CONSTRUCTED IMPROVEMENTS OF THE PROPERTY. ACCORDINGLY, THE USE OF THE TERM "CONTRACTOR" IS TO REFER TO ANY AND ALL ENTITIES AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB (GENERAL CONTRACTOR / CONSTRUCTION MANAGER) AND/OR A SPECIFIC TRADE (SUBCONTRACTOR'S).
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE ADVISED, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
3. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR ELEVATORS AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
4. THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF INFLUENCE OF THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATIONS AND / OR DIRECTIVES WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THESE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
8. THE CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
9. THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
10. THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
11. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL, BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION, AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REVIEWS ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
12. CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED / APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
13. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, GUYS, OR TIE-DOWNS IF NECESSARY MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
14. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.
15. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION.
16. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
17. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREAL, MAINTAIN LEGAL EXISTING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.
18. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED, WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS (IF APPLICABLE) AND THE LOCAL JURISDICTION.
19. ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO THE OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
21. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
22. IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS; NOTIFY THE ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION, REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS.
23. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS INCLUDING PIPING, TEXTILES, EQUIPMENT, DUCTWORK, WIRING, DRIVES, PANELS, AND ACCESSORIES AS REQUIRED BACK TO THE POINT OF ORIGIN. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION DIRECTION PRIOR TO.
24. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL AND GAS SERVICES, ETC., BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
25. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
26. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE

GENERAL NOTES

27. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
28. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
29. IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (G/C) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE G/C SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, WITHIN THE SCOPE OF THE CONTRACT.
30. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE TENANT SPACE AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY 2015 MICHIGAN BUILDING CODE, NFPA 10 AND THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
31. PROVIDE EXIT SIGNS PER 2015 MICHIGAN BUILDING CODE WITH 4" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES. PROVIDE GREEN LETTERING.
32. PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGN, COMPLYING WITH ICC 117.1.1 ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, EXIT PASSAGEWAY, EXIT ESCALARE, OR OTHERWISE REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
33. PROVIDE EMERGENCY LIGHTING LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL, COMPLY WITH BUILDING CODES.
34. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
35. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
36. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING PER SECTION 803, BASED UPON OCCUPANCY GROUP SPECIFIED IN TABLE 803.9 P. 199 OF THE 2015 MI BUILDING CODE.
37. DECORATIONS (PRIVACY CURTAINS, DRAPES, SHADES, HANGINGS, WALL COVERINGS, ETC.) SHALL CONFORM TO THE REQUIREMENTS OF SECTION 803 OF 2015 MICHIGAN BUILDING CODE.
38. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

LEGEND



PROJECT INFORMATION

PROJECT ADDRESS:
1384 MICHIGAN AVENUE, DETROIT MI 48226

PROJECT DESCRIPTION:
FIRST FLOOR COMMERCIAL KITCHEN AND DINING ROOM ADDITION AND SECOND FLOOR INTERIOR RENOVATION OF OFFICE SPACE

APPLICABLE CODES:
ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO:
1. 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - ALTERATION LEVEL 3
2. 2015 MICHIGAN MECHANICAL CODE
3. 2014 MICHIGAN ELECTRICAL CODE
4. 2015 MICHIGAN PLUMBING CODE
5. ACCESSIBILITY REQUIREMENTS - ANSIA117.1-2009

ACCESSIBILITY REQUIREMENTS:
ANSIA117.1-2009

ZONING DATA:
ZONING DISTRICT: B4

AREAS:
NOT IN CONTRACT: 2200 SF
BASEMENT: 3058 SF
FIRST FLOOR: 2207 SF
SECOND FLOOR:
NEW ADDITION: 317 SF
KITCHEN ADDITION:
EXISTING ALTERATION: 770 SF
KITCHEN ALTERATION:
TOTAL EXISTING BUILDING: 8283 SF
TOTAL EXISTING + NEW ADDITION: 8952 SF

DRAWING LIST

GENERAL SHEETS
G0-00 COVER SHEET GENERAL NOTES, LEGENDS, SYMBOLS

ARCHITECTURAL SHEETS
D1-00 DEMO PLANS

A0-00 SITE PLAN
A1-00 ARCHITECTURE PLANS
A1-01 ROOF PLAN AND WALL TYPES
A2-02 EXTERIOR ELEVATIONS
A3-02 WALL SECTIONS

DRAWING ISSUE DATES

DESCRIPTION	DATE OF ISSUE
1. PLAN REVIEW	10.10.18
2. PLAN REVIEW REVISED	03.18.19
3. ENGINEERING COORDINATION	06.05.19
4. ENGINEERING COORDINATION	10.31.23
5. -	-
6. -	-

SIGNATURE BLOCK

NAME OF AUTHORIZED REPRESENTATIVE
[owner] Bedrock Detroit
[Architect] Christian Hurttienne Architects, LLC
[General Contractor]

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Christian Hurttienne Architects, LLC
2111 Woodward Avenue, Suite #201, Detroit, MI 48201
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Millis & Associates
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The Monahan Company

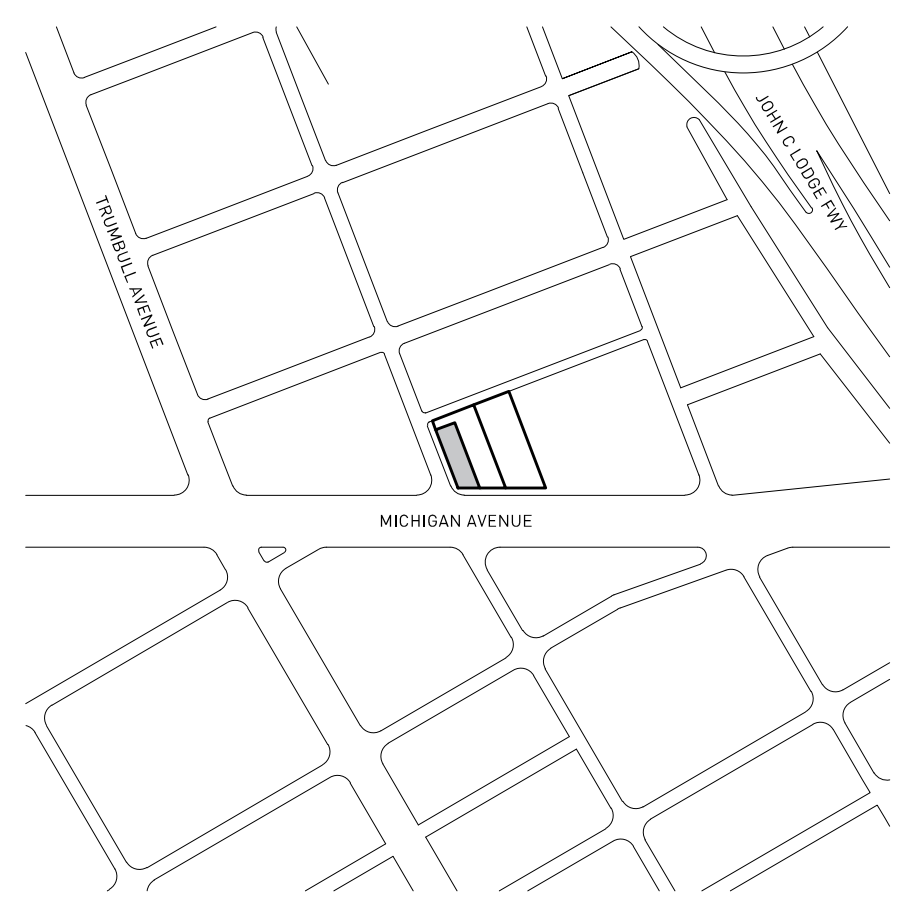
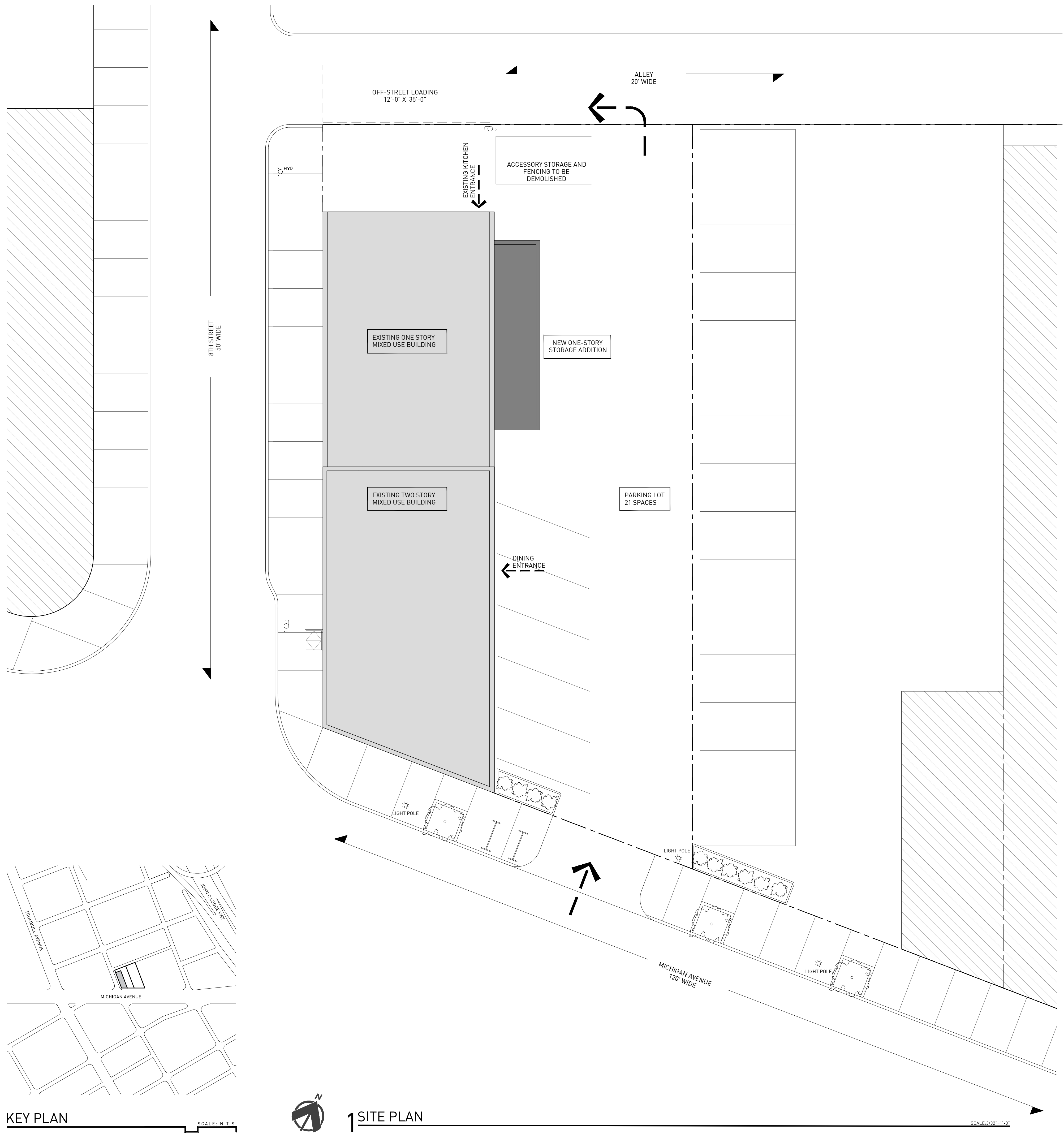
OWNER

ARCHITECT

FOODSERVICE CONSULTANT

MEP ENGINEER

CONTRACTOR



KEY PLAN
SCALE: N.T.S.



1 SITE PLAN
SCALE: 3/32"=1'-0"

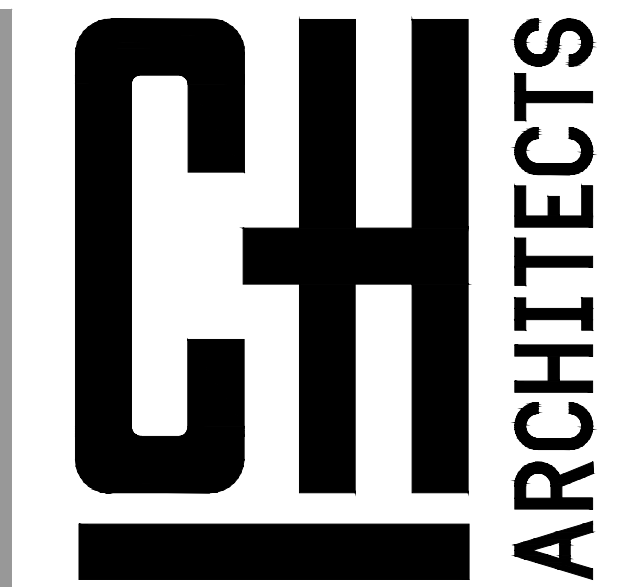
SITE SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- EXISTING BUILDING
- LOT BOUNDARY

SITE GENERAL NOTES

1. EXISTING TRASH LOCATION TO REMAIN AS IS.
2. EXISTING DRIVEWAY TO REMAIN AS IS.
3. EXISTING SIDEWALK TO REMAIN AS IS.



CHRISTIAN HURTTIENNE ARCHITECTS
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CONTRACTOR NOTE
 ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



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NEMO'S RENOVATION
 1384 Michigan Ave. Detroit, MI 48216

ENGINEERING COORDINATION

REVISIONS	DATE	DESCRIPTION
1.	10.10.18	PLAN REVIEW
2.	03.18.19	PLAN REVIEW REVISED
3.	08.05.19	ENGINEERING COORDINATION
4.	10.31.23	ENGINEERING COORDINATION

SITE PLAN

DRAWING NO. **A0-00**

ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

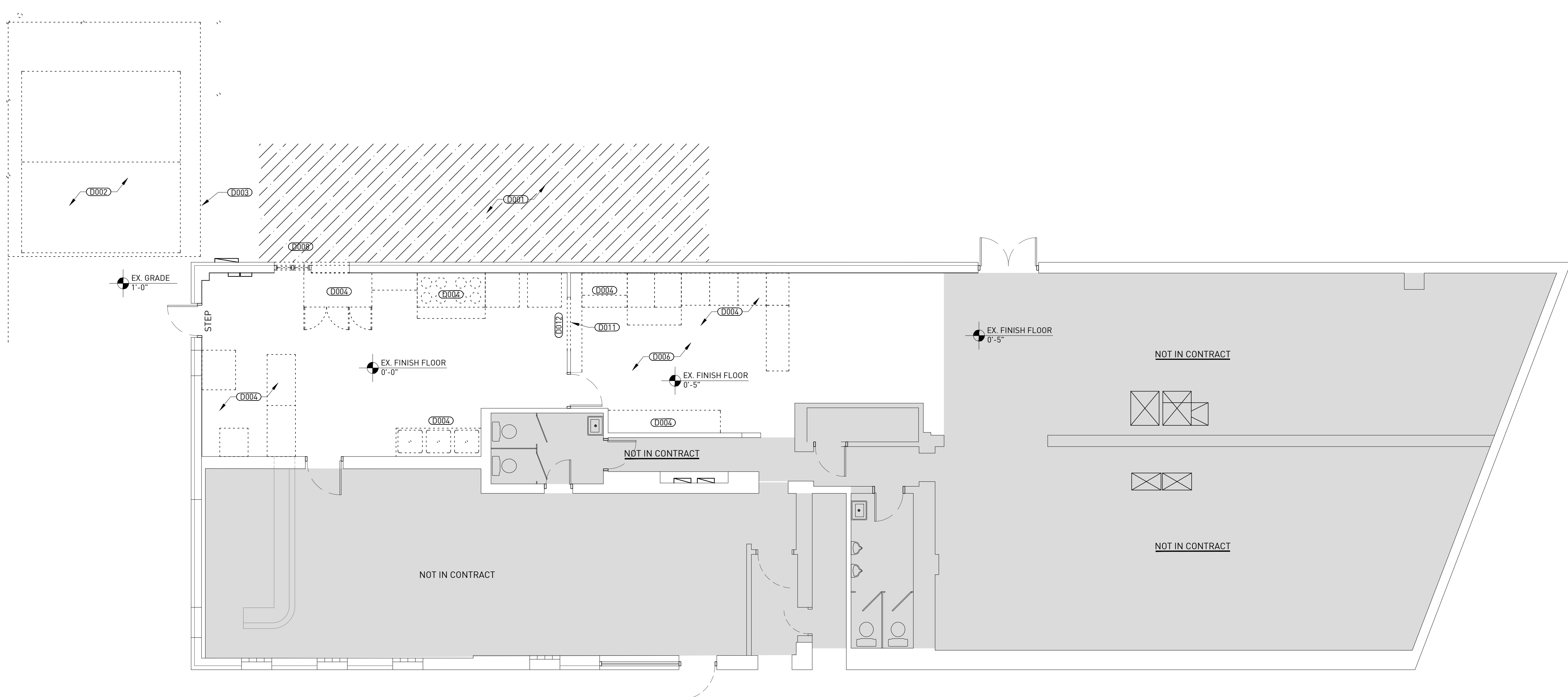
- EXISTING FLOOR / SLAB CONSTRUCTION TO BE REMOVED.
- PORTION OF MASONRY WALL CONSTRUCTION TO BE REMOVED.
- PARALLEL LINES (SOLID) INDICATE EXISTING PARTITION OR WALL CONSTRUCTION WALLS TO REMAIN UN-ALTERED.
- PARALLEL DASHED LINES INDICATE EXISTING PARTITION, OR PORTION THEREOF, TO BE REMOVED.
- PLASTER AND LATH TO BE REMOVED BACK TO EXISTING WOOD FRAMING.
- SINGULAR ELEMENT, OR PORTION OF ASSEMBLY, TO BE REMOVED.
- DEMISING WALL - 1 HR RATED

DEMOLITION GENERAL NOTES

1. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL FLOOR AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
2. CONTACT ARCHITECT IMMEDIATELY PRIOR TO DEMOLITION OF ANY DISCREPANCIES FOUND BETWEEN THE DOCUMENTS AND FIELD CONDITIONS.
3. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS BOTH TO BE REMOVED AND TO REMAIN IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
4. IF DEMOLITION OF EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS OF DEMOLITION.
5. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXITING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES.
6. REMOVE ALL EXISTING WALL FINISHES ON ALL EXISTING WALLS TO REMAIN, INCLUDING MASONRY PATCH, REPAIR, AND REPLACE EXISTING WALL STRUCTURE. PROVIDE NAILERS OR BLOCKING AS REQUIRED IN PREPARATION TO RECEIVE NEW WALL FINISHES.
7. EXISTING HARDWOOD FLOORING TO REMAIN. REMOVE ALL OTHER FLOOR COVERINGS TO SUBFLOOR IN AREA OF WORK.
8. REMOVE ALL CABINETS IN AREA OF WORK.
9. REMOVE CEILING AND WALL PLASTER AND LATH BACK TO EXISTING FRAMING THROUGHOUT AREA OF WORK UNLESS OTHERWISE NOTED.
10. GENERAL CONTRACTOR IS TO PROTECT ALL ASSEMBLIES/SPACES/AREAS FROM WEATHER AT ALL TIMES AND DURING ENTIRETY OF PROJECT.

DEMOLITION PLAN KEY NOTES

- D0001** EXCAVATE, PREPARE, AND COORDINATE AREA FOR NEW CONCRETE FOOTING AND SLAB. DO NOT UNDERMINE ADJACENT EXISTING FOUNDATION.
- D0002** DEMOLISH ACCESSORY STORAGE STRUCTURE DOWN TO FOUNDATION.
- D0003** REMOVE EXISTING SECURITY FENCE SURROUNDING ACCESSORY STRUCTURE TO BE DEMOLISHED.
- D0004** MOVE EXISTING KITCHEN EQUIPMENT/MILLWORK OR PORTIONS THEREOF AND COORDINATE WITH OWNER FOR STORAGE LOCATIONS.
- D0005** NOT USED.
- D0006** REMOVE PORTION OF SLAB AND EXCAVATE, COORDINATE, AND PREPARE AREA FOR NEW CONCRETE SLAB TO BE FLUSH WITH EXISTING KITCHEN AND NEW ADDITION SLABS.
- D0007** NOTE USED.
- D0008** REMOVE EXISTING WINDOW, FRAME, AND SILL AND PORTION OF WALL.
- D0009** NOT USED.
- D0010** NOT USED.
- D0011** DEMOLISH EXISTING MASONRY WALL AND DOOR.
- D0012** NOT USED.
- D0013** NOT USED.
- D0014** NOT USED.
- D0015** NOT USED.



1 FIRST LEVEL DEMOLITION PLAN

SCALE: 3/16"=1'-0"

REVISIONS	DATE	DESCRIPTION
1.	10.10.18	PLAN REVIEW
2.	03.18.19	PLAN REVIEW REVISED
3.	04.05.19	ENGINEERING COORDINATION
4.	10.31.23	ENGINEERING COORDINATION

DEMOLITION PLANS

D1-00

NEMO'S RENOVATION

1384 Michigan Ave. Detroit, MI 48216

ENGINEERING COORDINATION

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SYSTEMS SOLUTION CONSULTANT
 4893 Rochester Road, Suite A Troy, MI 48065-3733 221.993.334
 ssc@systemsolution.net

LIGHT FIXTURE SCHEDULE

NO.	FIXTURE TYPE/MOUNTING	MANUFACTURER	MODEL NUMBER	NOTES
A	OUTDOOR SCENE	-	-	-
B	-	-	-	-
C	PENDANT	-	-	-
D	-	-	-	-
E	-	-	-	-
F	WET LOCATION RECESSED DOWNLIGHT	-	-	-
G	-	-	-	-
H	LAY-IN FIXTURE	-	-	-
J	-	-	-	-
EF	-	-	-	-

ARCHITECTURE SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- NEW MASONRY INFILL
- EXISTING MASONRY WALL WITH NEW 2x4 WOOD 'FURRED' CONSTRUCTION WITH BAT INSULATION AND 5/8" GYPSUM BOARD.
- EXISTING MASONRY WALL WITH NEW 7/8" HAT CHANNEL METAL-FRAMED 'FURRED' CONSTRUCTION AND 5/8" GYPSUM BOARD.
- PARALLEL LINES (SOLID) INDICATE EXISTING PARTITION OR WALL CONSTRUCTION WALLS TO REMAIN UN-ALTERED.
- NEW WOOD WALL CONSTRUCTION
- DEMISING WALL - 2 HR RATED
- BEAM/HEADER ABOVE
- LEDGER ABOVE
- INDICATES SPAN DIRECTION OF JOIST OR STRUCTURAL SYSTEM ABOVE

ARCHITECTURE GENERAL NOTES

- NEW PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY 'A2' SHEET A5-00, UNLESS OTHERWISE NOTED.
- ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
- FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
- ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
- ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.

ARCHITECTURE PLAN KEY NOTES

(A102) GRIND, POLISH, AND SEAL, CONCRETE FLOOR (ICC-01).

(A104) AREA OF BRICK INFILL.

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- FIXTURE 'A' WET LOCATION DIRECTIONAL WALL MOUNT
- FIXTURE 'B' PENDANT
- FIXTURE 'C' PENDANT
- FIXTURE 'D' WALL MOUNT
- FIXTURE 'E' RECESSED DOWNLIGHT
- FIXTURE 'F' WET LOCATION RECESSED DOWNLIGHT
- FIXTURE 'G' SURFACE MOUNT
- FIXTURE 'H' 2x4 LAY-IN FIXTURE
- FIXTURE 'J' UTILITY STRIP PENDANT
- FIXTURE 'EF' EXHAUST FAN

RCP GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY AS-BUILT CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED FROM THESE DRAWINGS.
- ALL EXIT SIGNS ARE TO MATCH BUILDING STANDARDS.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK ABOVE THE CEILING SHALL BE LOCATED TO MINIMIZE REQUIRED ACCESS IN INACCESSIBLE CEILING AREAS. GENERAL CONTRACTOR SHALL SUBMIT COORDINATED LAYOUT DRAWINGS FOR ALL REQUIRED ACCESS PANELS TO ARCHITECT FOR REVIEW PRIOR TO FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY ACCESS-PANEL REQUIREMENTS NOT SHOWN ON THE COORDINATION DRAWINGS.
- INSTALL SIGHT BAFFLES PAINTED FLAT BLACK AT RETURN AIR SLOTS.
- ALL DIFFUSERS, SMOKE DETECTORS, ELECTRICAL DEVICES, FACE PLATES, SPEAKER GRILLES, AND OTHER DEVICES SHALL BE WHITE UNLESS NOTED OTHERWISE OR DIRECTED BY OWNER.
- PROVIDE OCCUPANCY SENSORS PER CODE REQUIREMENTS.

RCP PLAN KEY NOTES

(CP01) NEW GYPSUM BOARD DROP CEILING. MATCH HEIGHT OF EXISTING ADJACENT DINING AREA PLASTER CEILING.

(CP02) NEW 2x4 LAY-IN CLEAN TILE CEILING.

REVISIONS	DATE	DESCRIPTION
1.	10.10.18	PLAN REVIEW
2.	03.18.19	PLAN REVIEW REVISED
3.	06.05.19	ENGINEERING COORDINATION
4.	10.31.23	ENGINEERING COORDINATION

ARCHITECTURE PLANS

A1-00

DRAWING NO.

CONTRACTOR NOTE

MEP ENGINEER

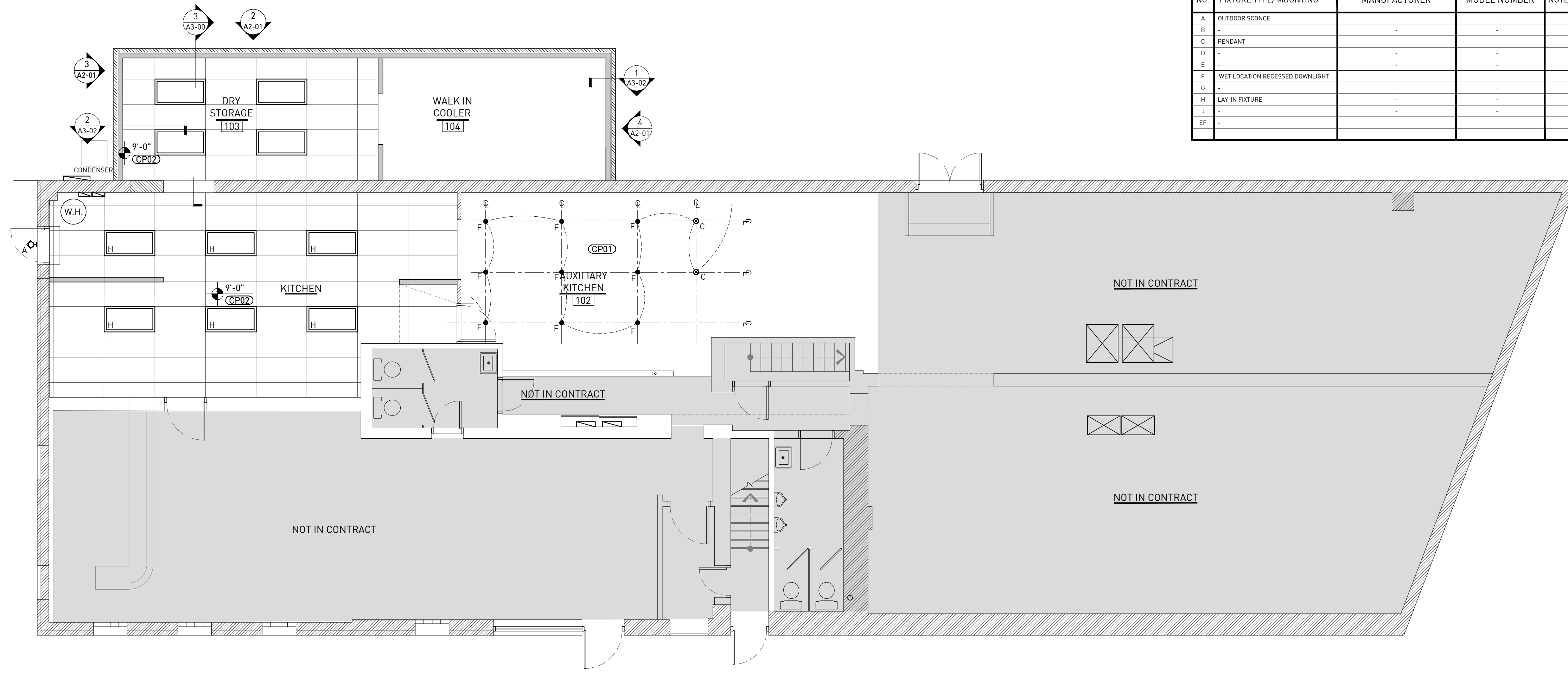
SEAL

NEMO'S RENOVATION
1384 Michigan Ave. Detroit, MI 48216

ENGINEERING COORDINATION

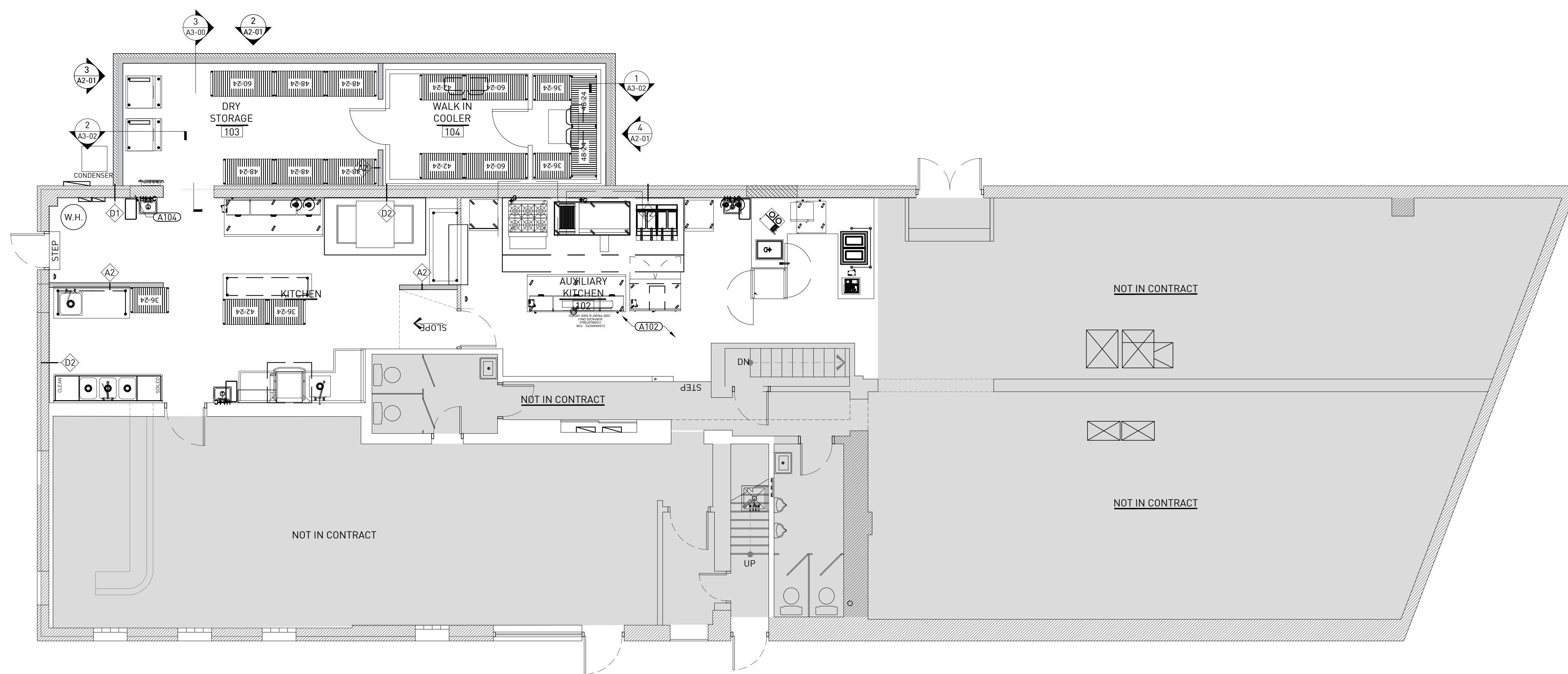
2 FIRST LEVEL CEILING PLAN

SCALE: 3/16"=1'-0"



1 FIRST LEVEL PLAN

SCALE: 3/16"=1'-0"



ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

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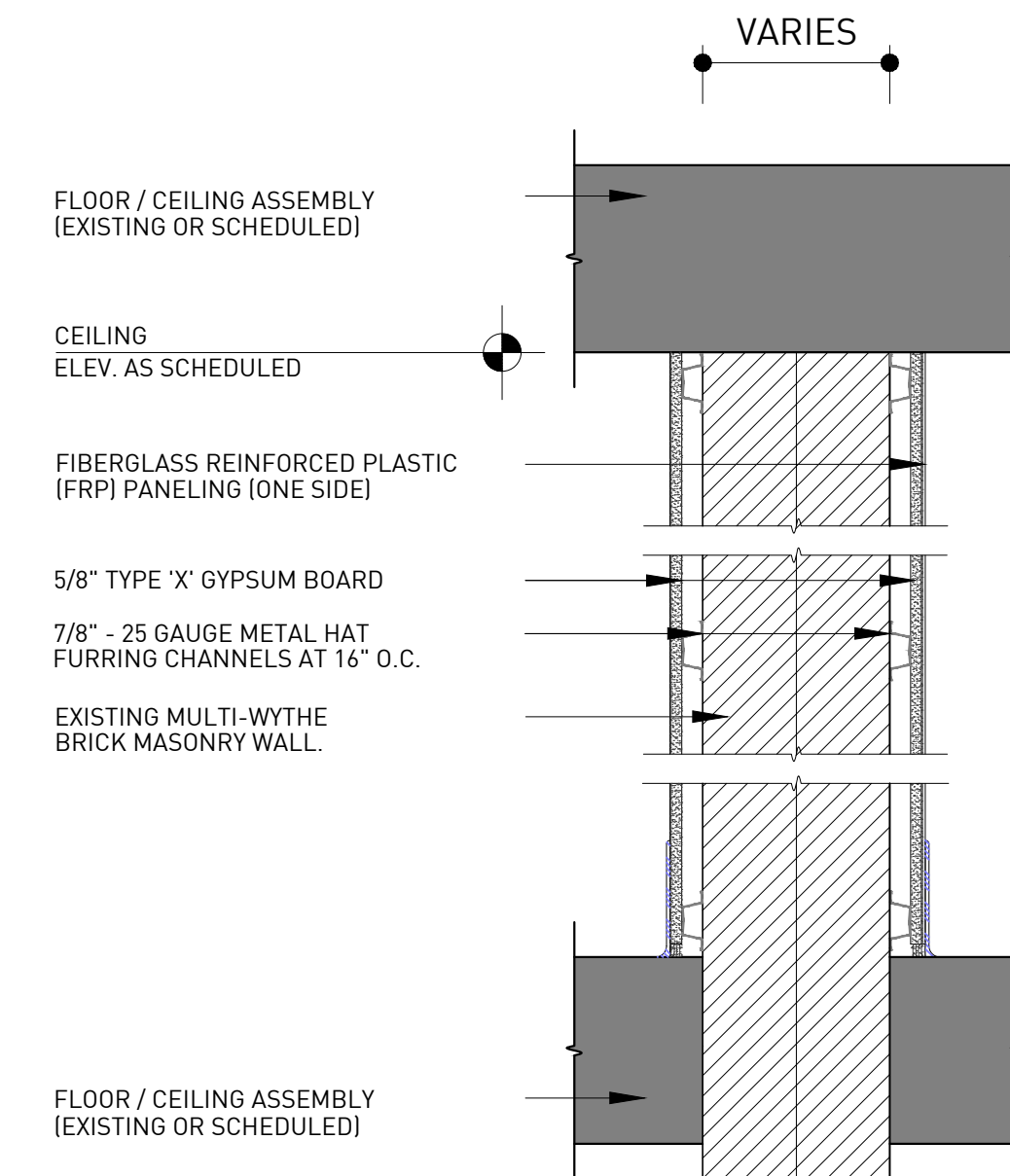
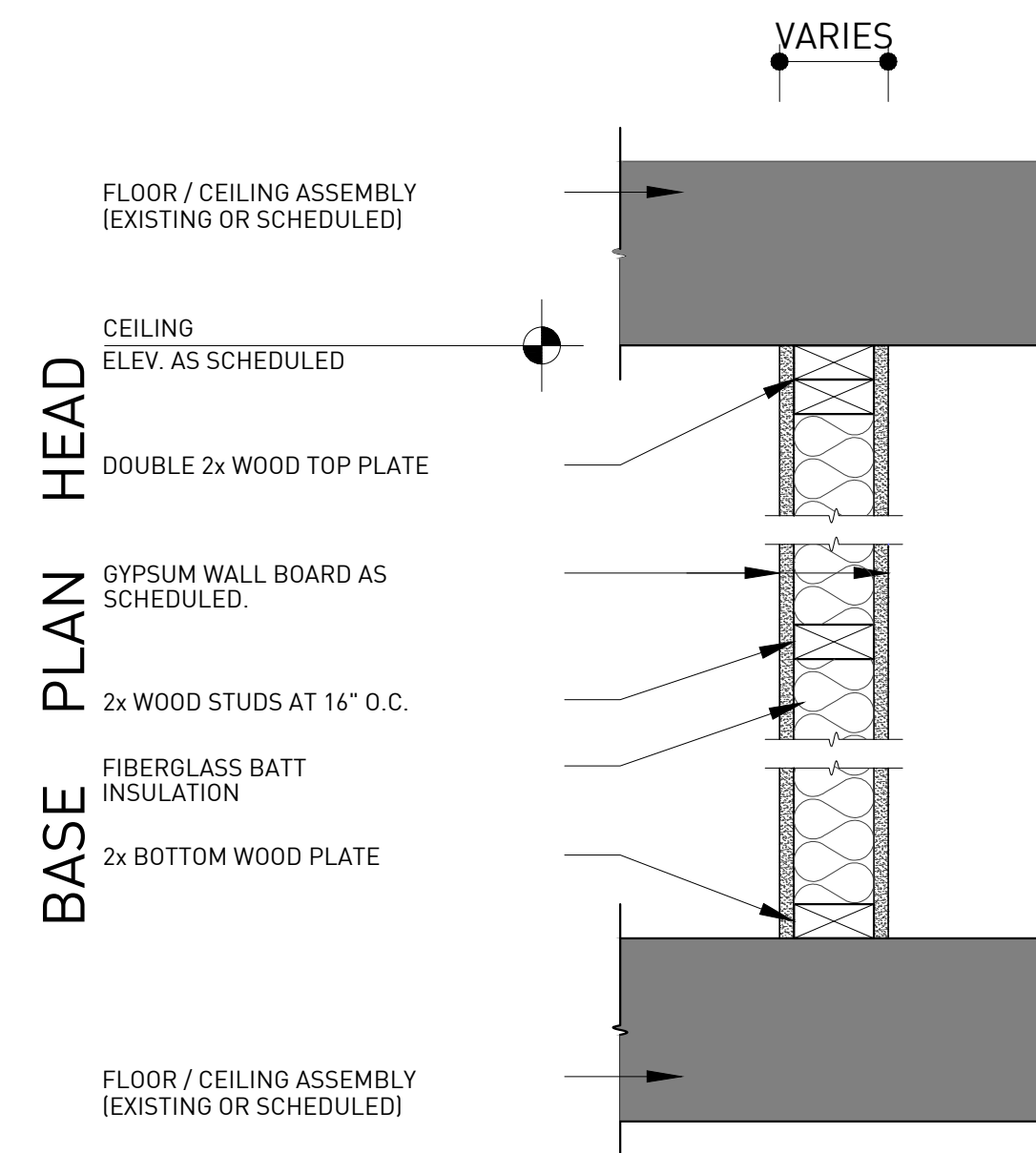
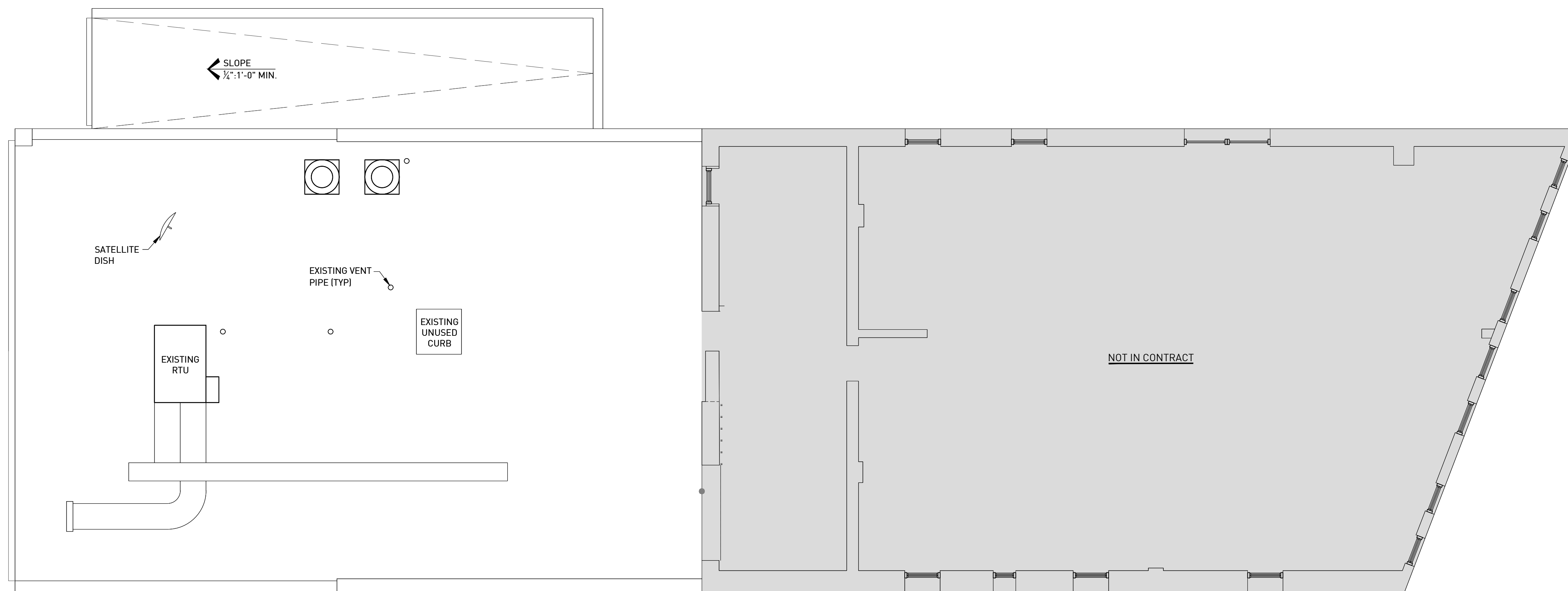
ARCHITECTURE SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- NEW MASONRY INFILL
- EXISTING MASONRY WALL WITH NEW 2x4 WOOD 'FURRED' CONSTRUCTION WITH BAT INSULATION AND 5/8" GYPSUM BOARD.
- EXISTING MASONRY WALL WITH NEW 7/8" HAT CHANNEL METAL-FRAMED 'FURRED' CONSTRUCTION AND 5/8" GYPSUM BOARD.
- PARALLEL LINES (SOLID) INDICATE EXISTING PARTITION OR WALL CONSTRUCTION WALLS TO REMAIN UN-ALTERED.
- NEW WOOD WALL CONSTRUCTION
- DEMISING WALL - 2 HR RATED
- BEAM/HEADER ABOVE
- LEDGER ABOVE
- INDICATES SPAN DIRECTION OF JOIST OR STRUCTURAL SYSTEM ABOVE

ARCHITECTURE GENERAL NOTES

1. NEW PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY 'A2' THIS SHEET, UNLESS OTHERWISE NOTED.
2. ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
3. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
4. FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
5. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
6. ALL DAMP LOCATIONS ARE TO RECEIVE MOLD RESISTANT GYPSUM BOARD.
7. ALL WET LOCATIONS ARE TO RECEIVE CEMENTITIOUS TILE BACKER BOARD.
8. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
9. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.
10. ALL GYPSUM BOARD SCHEDULED AT CEILINGS IS TO BE RATED FOR APPLICATION.



- A1** NON-FIRE RATED WALL ASSEMBLY
2x4 WOOD CONSTRUCTION
5/8" GYPSUM WALL BOARD - ONE SIDE
WALL THICKNESS = 4-1/8"
- A2** NON-FIRE RATED WALL ASSEMBLY
2x4 WOOD CONSTRUCTION
5/8" TYPE 'X' GYPSUM WALL BOARD - EACH SIDE
WALL THICKNESS = 4-3/4"
- A3** 1-HOUR FIRE RATED WALL ASSEMBLY
UL ASSEMBLY #U305
2x4 WOOD CONSTRUCTION
5/8" TYPE 'X' GYPSUM WALL BOARD - EACH SIDE
WALL THICKNESS = 4-3/4"
- A4** 1-HOUR FIRE RATED WALL ASSEMBLY
UL ASSEMBLY #U379
2x4 WOOD CONSTRUCTION
5/8" TYPE 'X' GYPSUM WALL BOARD - EACH SIDE
WALL THICKNESS = 6-3/4"

- D1** 2-HOUR FIRE RATED WALL ASSEMBLY
FIBERGLASS REINFORCED PLASTIC (FRP) PANELING - ONE SIDE
5/8" GYPSUM WALL BOARD - EACH SIDE
7/8" - 25 GAUGE METAL HAT FURRING CHANNELS AT 16" O.C.
EXISTING MULTI-WYTHE MASONRY WALL
- D2** 2-HOUR FIRE RATED WALL ASSEMBLY
FIBERGLASS REINFORCED PLASTIC (FRP) PANELING - ONE SIDE
5/8" GYPSUM WALL BOARD - ONE SIDE
7/8" - 25 GAUGE METAL HAT FURRING CHANNELS AT 16" O.C. - ONE SIDE
EXISTING MULTI-WYTHE MASONRY WALL - EXTERIOR TO REMAIN

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ROOF PLANS AND WALL TYPES

A1-01

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SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

NEW MASONRY IN-FILL.

ELEVATION GENERAL NOTES

- ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER / INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR) PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK, WHERE DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION / SCOPE OF WORK EXIST, ALERT THE ARCHITECT IMMEDIATELY FOR REVIEW AND APPROVAL.
- CONTRACTOR TO CLEAN ALL MASONRY AND STONE WITH A GENTLE WATER ABRASIVE CLEANING METHOD PRIOR TO RESTORATION PROCESS FOR EVALUATION OF ALL MASONRY AND STONE SURFACES, ASSEMBLIES AND CONDITIONS. ALERT ARCHITECT UPON COMPLETION OF MASONRY CLEANING FOR INSPECTION OF ALL SURFACES PRIOR TO COMMENCEMENT OF FURTHER WORK.
- CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
- THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A LOCATION INDICATED BY THE ARCHITECT FOR REVIEW AND APPROVAL. BY THE ARCHITECT PRIOR TO THE START OF THE MASONRY RESTORATION WORK. (CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED).
- CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
- ALL REMOVED BRICK AND STONE MASONRY IS TO BE SALVAGED, CLEANED, AND STORED ON-SITE FOR POSSIBLE REUSE UP TO COMPLETION OF THE WORK. ONLY RETAIN FULL MASONRY UNITS, AND ALL STONE UNITS. THE REMAINDER WILL BE HANDED OVER TO THE OWNER AT THE COMPLETION OF THE WORK.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING (MASONRY OR OTHER) DIMENSIONS.
- ALL EXISTING STEEL LINTELS TO REMAIN ARE TO BE CLEANED AND PAINTED WITH THREE (3) COATS OF RUST INHIBITOR PAINT.
- PATCH AND REPAIR EXTERIOR WALLS AT ALL ITEMS REMOVED FROM THE EXISTING SURFACE. MATCH ADJACENT AREAS.
- ALL WINDOWS ARE TO BE ALUMINUM CLAD WOOD WINDOWS WITH ONE-PIECE INTEGRAL BRICK MOULD BY KELLY WINDOWS AND DOORS OF DETROIT MICHIGAN. SASH AND FRAME COLOR ARE TO MATCH, UNLESS OTHERWISE NOTED. REFER TO DOOR AND WINDOW SCHEDULES.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY, MATERIAL AND APPLICATION. REFER TO SPECIFICATIONS.
- GLAZING SYSTEMS ARE TO HAVE CLEAR, INSULATED, LOW-E GLASS. INSTALL SAFETY GLASS AT ALL REQUIRED LOCATIONS, PER CODE.
- ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE.

ELEVATION KEY NOTES

NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

- NEW BRICK WALL TO MATCH EXISTING - PAINT GREEN TO MATCH EXISTING BUILDING.
- NEW PRESSURE SENSITIVE PARAPET CAP.
- NOT USED.

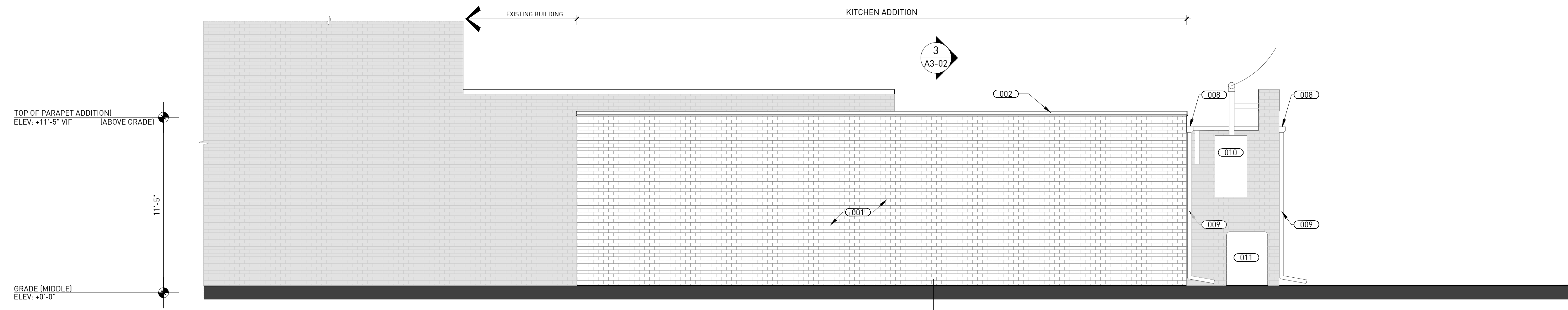
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.

- 5" K-TYPE SEAMLESS 0.27 GAUGE ALUMINUM GUTTER TO MATCH TRIM COLOR. INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS - BLACK.
- 4" SEAMLESS 0.27 GAUGE ALUMINUM DOWNSPOUT AND 6'-0" HORIZONTAL LEADER TO MATCH TRIM COLOR. INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS - BLACK.

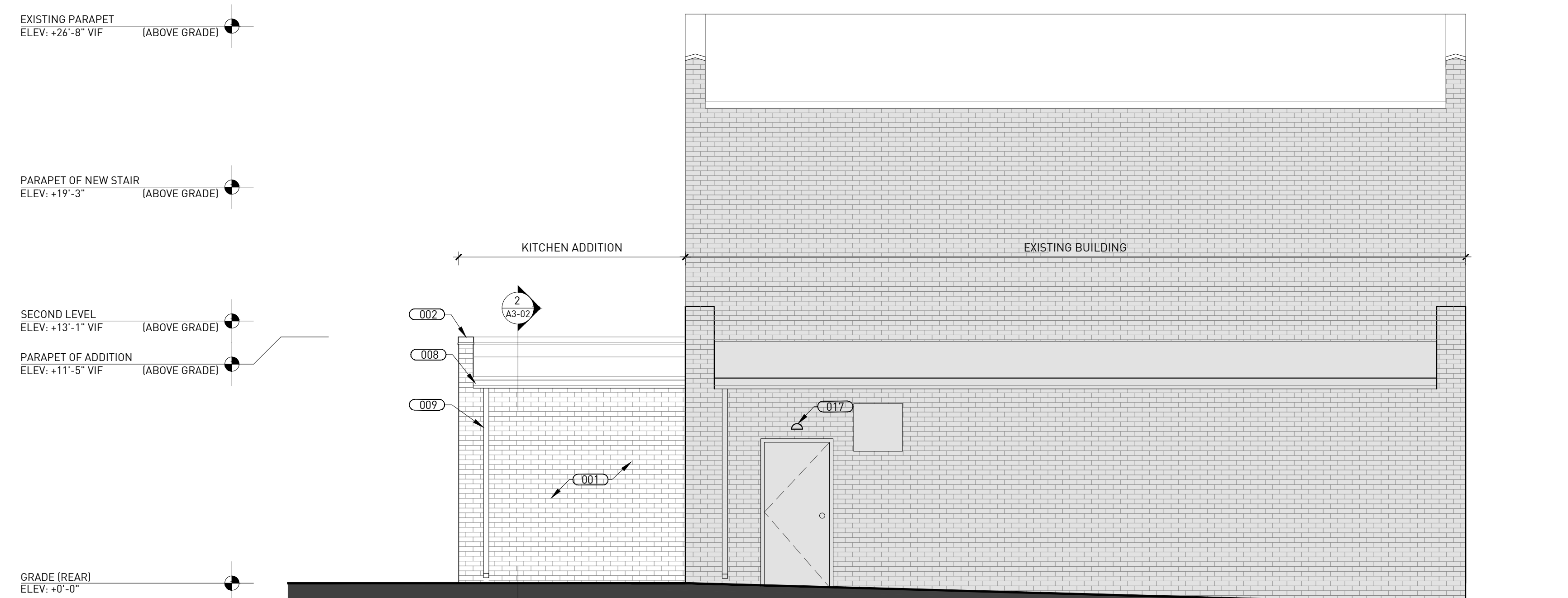
- EXISTING ELECTRICAL PANEL TO REMAIN UNALTERED
- NEW AIR CONDENSER FOR WALK-IN COOLER
- NOT USED.

- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.

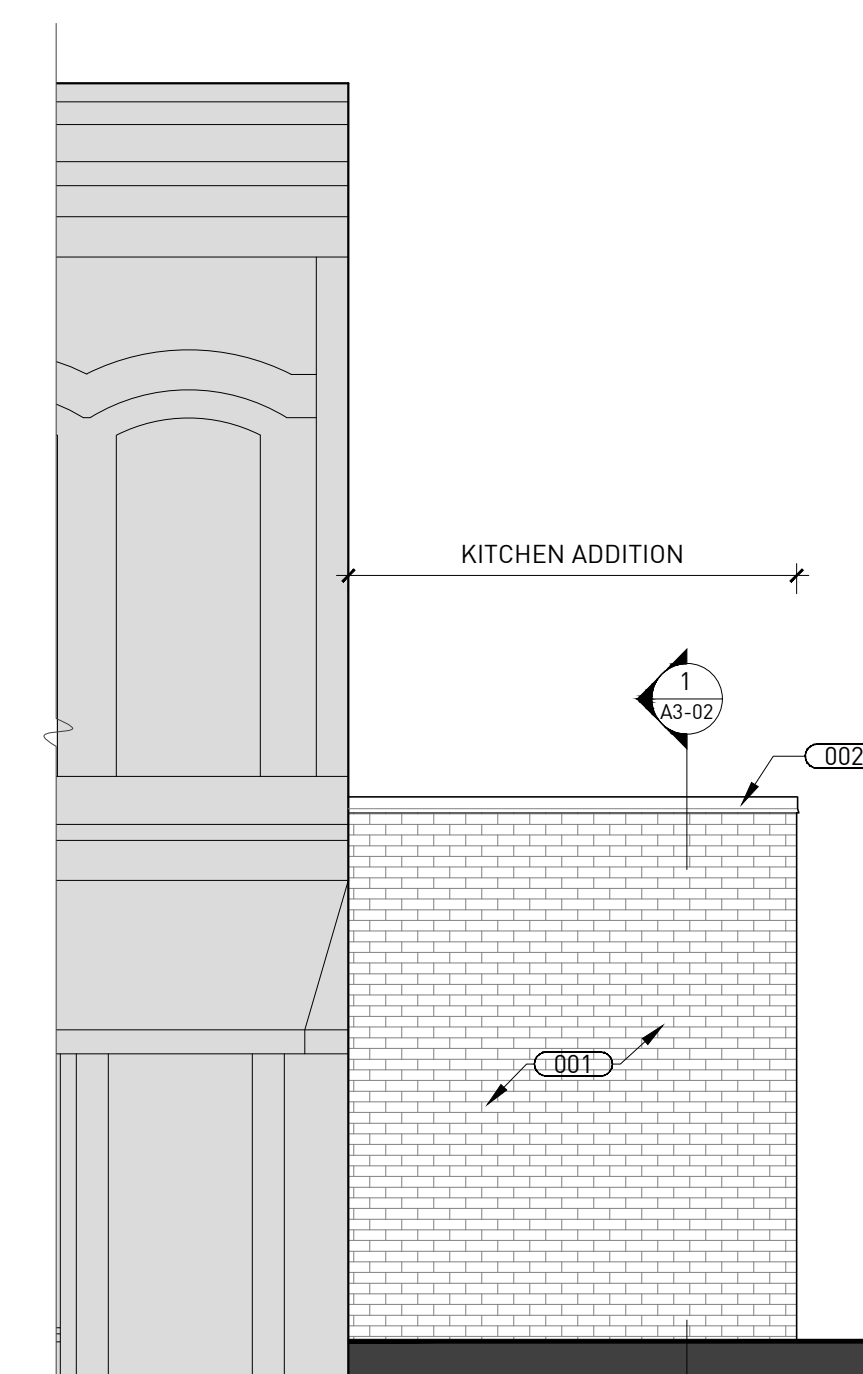
- WALL SCONCE DIRECTIONAL DOWNLIGHT



2 WEST EXTERIOR ELEVATION (PARTIAL)



3 NORTH EXTERIOR ELEVATION



4 SOUTH EXTERIOR ELEVATION (ADDITION)

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EXTERIOR ELEVATIONS

A2-01

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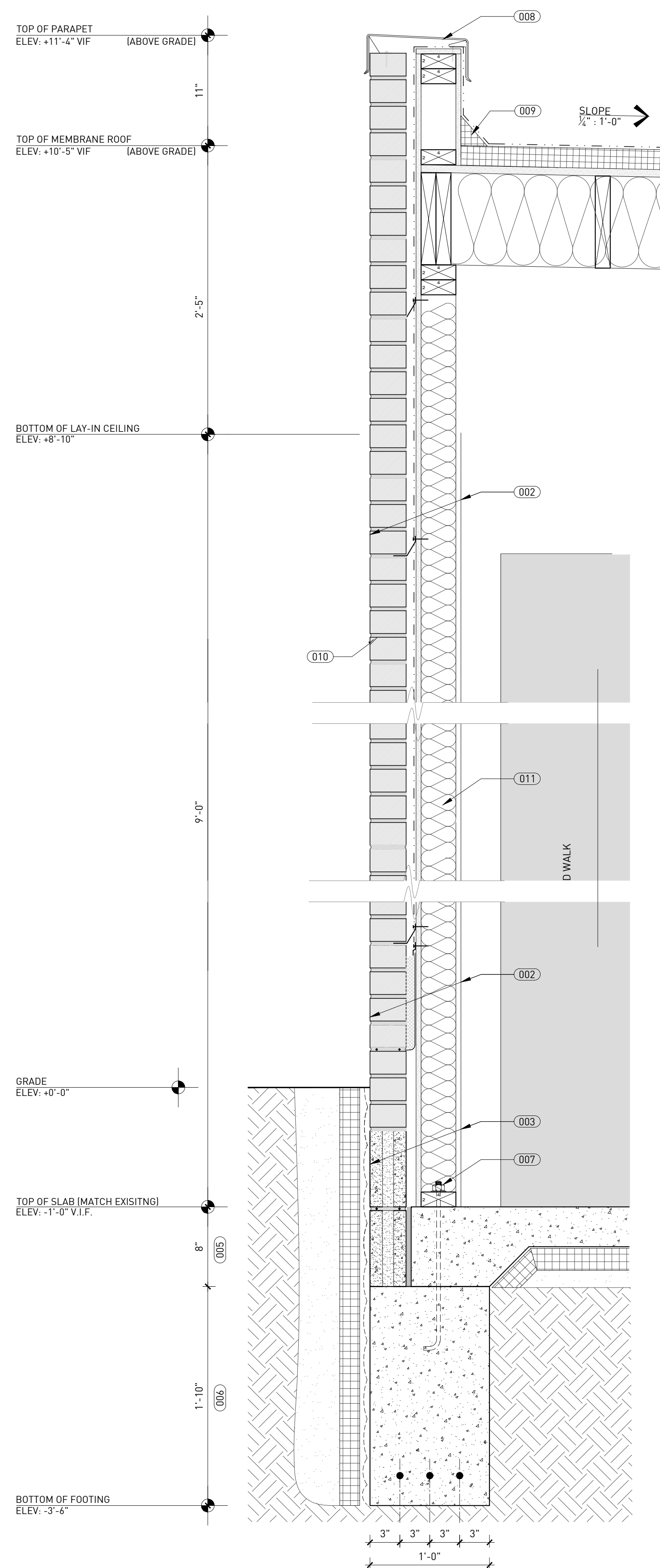
MEP ENGINEER
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SECTION KEY NOTES

- 001 ROOF ASSEMBLY**
- CONTINUOUS 90MILL TPO ROOFING MEMBRANE OVER PROTECTION BOARD.
 - TAPERED RIGID INSULATION (2" MINIMUM)
 - 23/32" ENGINEERED ROOF DECK SECURED TO RAFTERS BELOW WITH CONSTRUCTION ADHESIVE & SCREWED AT 8" O.C. (TYP.)
 - 2x10 WOOD JOIST FRAMING AT 16" O.C. (MINIMUM)
 - RIM BOARD AT OUTER FRAMING PERIMETER
 - R-38 MINIMUM INSULATION (TOTAL ASSEMBLY)
 - 2'-0" X 2'-0" LAY-IN CEILING
- 002 MASONRY VENEER WALL ASSEMBLY:**
- MASONRY BRICK VENEER.
 - SECURED WITH BRICK TIE ANCHORS SPACED AS PER INDUSTRY STANDARDS.
 - MORTAR NET, 10" IN HEIGHT, MINIMUM. MECHANICALLY FASTEN W/ TERMINATION BAR.
 - PROVIDE WEEP HOLES PLACED AT 2'-0" O.C.
 - INSTALL FLEXIBLE FLASHING AROUND ALL OPENINGS, PENETRATIONS, OVER ALL LINTELS AND UNDER ALL SILLS.
 - 1" AIR CAVITY AIR & VAPOR BARRIER (TYVEK OR EQUAL), TAPE ALL SEAMS.
 - MORTAR NET AT CMU LEDGE, 10" IN HEIGHT, MINIMUM. PROVIDE WEEP HOLES PLACED AT 2'-0" O.C. TYPICAL. MECHANICALLY FASTEN WITH TERMINATION BAR.
 - 15/32" EXT. GRADE PLYWOOD SHEATHING (NO OSB).
 - 2x4 WOOD STUD FRAMING AT 16" O.C. (TYP.)
 - BATT INSULATION, R-20 MINIMUM
 - VAPOR BARRIER (WARMSIDE) - TAPE ALL JOINTS & PENETRATIONS
 - 5/8" GYPSUM WALL BOARD.
- 003 MASONRY VENEER WALL ASSEMBLY:**
- MASONRY BRICK VENEER.
 - SECURED WITH BRICK TIE ANCHORS SPACED AS PER INDUSTRY STANDARDS.
 - MORTAR NET, 10" IN HEIGHT, MINIMUM. MECHANICALLY FASTEN W/ TERMINATION BAR.
 - PROVIDE WEEP HOLES PLACED AT 2'-0" O.C.
 - INSTALL FLEXIBLE FLASHING AROUND ALL OPENINGS, PENETRATIONS, OVER ALL LINTELS AND UNDER ALL SILLS.
 - 1" AIR CAVITY AIR & VAPOR BARRIER (TYVEK OR EQUAL), TAPE ALL SEAMS.
 - MORTAR NET AT CMU LEDGE, 10" IN HEIGHT, MINIMUM. PROVIDE WEEP HOLES PLACED AT 2'-0" O.C. TYPICAL. MECHANICALLY FASTEN WITH TERMINATION BAR.
 - 15/32" EXT. GRADE PLYWOOD SHEATHING (NO OSB).
 - 2x4 WOOD STUD FRAMING AT 16" O.C. (TYP.)
 - BATT INSULATION, R-20 MINIMUM
 - VAPOR BARRIER (WARMSIDE) - TAPE ALL JOINTS & PENETRATIONS
 - 5/8" GYPSUM WALL BOARD.
- 004 MASONRY VENEER BRICK LEDGE**
- 2" OWENS CORNING FOAMULAR RIGID INSULATION (OR EQUAL) OVER DRAINAGE BOARD (WITH FILTER FABRIC) OVER FLUID APPLIED WATERPROOFING MEMBRANE. BACKFILL WITH WASHED STONE.
 - CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION, REFER TO STRUCTURAL PLANS FOR SCHEDULED WALL SIZE, PLACEMENT AND REINFORCING REQUIREMENTS. MASONRY VENEER IS TO BEAR UPON FULLY GROUTED CMU LEDGE.
 - 1" AIR SPACE
 - 2x4 WOOD STUD FRAMING AT 16" O.C. (TYP.)
 - BATT INSULATION, R-20 MINIMUM
 - VAPOR BARRIER (WARMSIDE) - TAPE ALL JOINTS & PENETRATIONS
 - 5/8" GYPSUM WALL BOARD.
- 005 SLAB ASSEMBLY**
- 4" CONCRETE SLAB (3500 PSI), 5 TO 8% AIR ENTRAINED, THICKENED AT BEARING EDGE.
 - 6 MIL VAPOR AND RADON BARRIER.
 - 3" FULLY COMPACTED SUBGRADE.
 - 6 x 6 #10 WELDED WIRE FABRIC (CENTERED VERTICALLY).
 - PROVIDE FIBEROUS EXPANSION STRIP AT THE INTERSECTION WITH CONCRETE OR MASONRY FOUNDATION WALL ASSEMBLIES.
 - SMOOTH TROWEL FINISH. PREPARE FOR FUTURE SLAB GRINDING / POLISHING.
- 006 12" WIDE CONCRETE TRENCH FOOTING.** REFER TO STRUCTURAL DRAWINGS FOR SCHEDULED WALL SIZE, PLACEMENT, AND REINFORCING REQUIREMENTS.
- 007 2x4 PRESSURE TREATED BASE PLATE SECURED TO FOUNDATION THROUGH SLAB WITH NUT AND WASHER OVER 5/8" DIAMETER x 18" ANCHOR BOLTS AT 6'-0" O.C.**
- 008 NEW PRESSURE-SENSITIVE PARAPET CAP - BLACK**
- 009 CANT STRIP**
- 010 NEW L5 x 3-1/2" x 3/4" BRICK LINTEL. PROVIDE NO LESS THAN 8" OF POSITIVE BEARING OVER STABLE MASONRY.**
- 011 ALUMINUM-WRAPPED PLYWOOD SERVICE COUNTER.**
- 012 5" K-TYPE SEAMLESS 0.27 GAUGE ALUMINUM GUTTER TO MATCH TRIM COLOR. INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS - BLACK**
- 013 4" SEAMLESS 0.27 GAUGE ALUMINUM DOWNSPOUT AND 2" HORIZONTAL LEADER TO MATCH TRIM COLOR. INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS - BLACK**
- 014 WRAP ROOF MEMBRANE UP EXISTING PARAPET AND CONCEAL BENEATH EXISTING PARAPET CAP.**
- 015 SIMPSON STRONG-TIE JOIST HANGER SECURED TO NEW LEDGER BOARD.**
- 016 NEW 2x10 LEDGER BOARD SECURED TO BLOCKING**
- 017 4x4 PRESSURE-TREATED BLOCKING INFILLED INTO EXCAVATED MASONRY CAVITIES. ALTERNATE CAVITY EXCAVATION EVERY OTHER COURSE VERTICALLY.**
- 018 NEW (2) L5 x 3-1/2" x 3/4" COMBINED BRICK LINTEL AND 3/4" PLATE. PROVIDE NO LESS THAN 8" OF POSITIVE BEARING OVER STABLE MASONRY**
- 019 SADDLE THRESHOLD AT OPENING.**
- 020 THICKENED SLAB EDGE AT EXISTING MASONRY WALL.**
- 021 NEW RETRACTABLE SLIDING GLASS DOOR WALLS (MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS FOR INSTALLATION)**
- 022 EXISTING SLAB-ON-GRADE FOOTING**

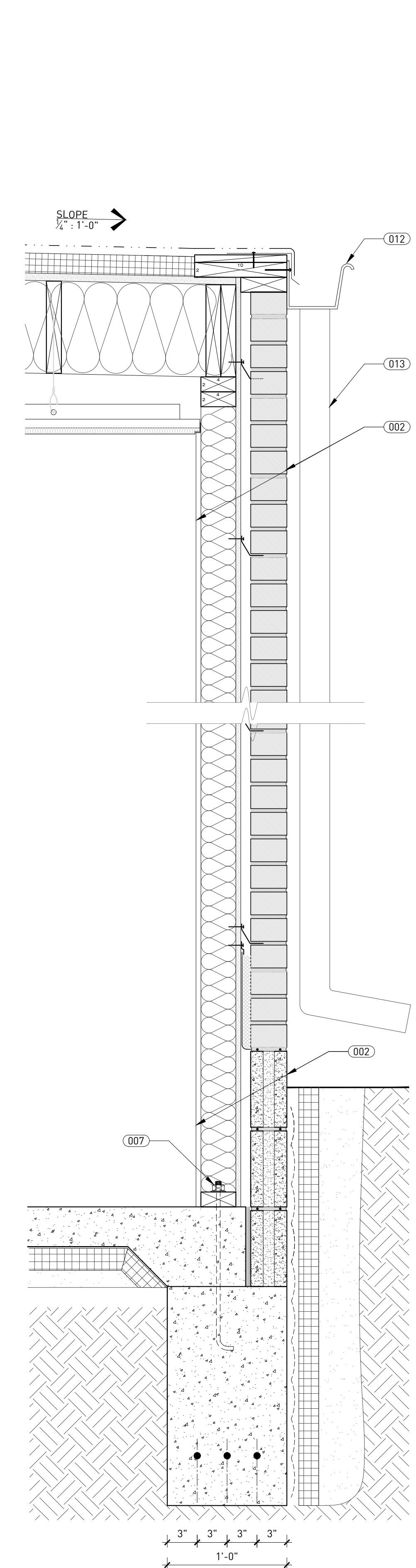
ELEVATION KEY NOTES

- NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.
- 001** NEW BRICK WALL TO MATCH EXISTING - PAINT.
- 002** NEW PRESSURE SENSITIVE PARAPET CAP.



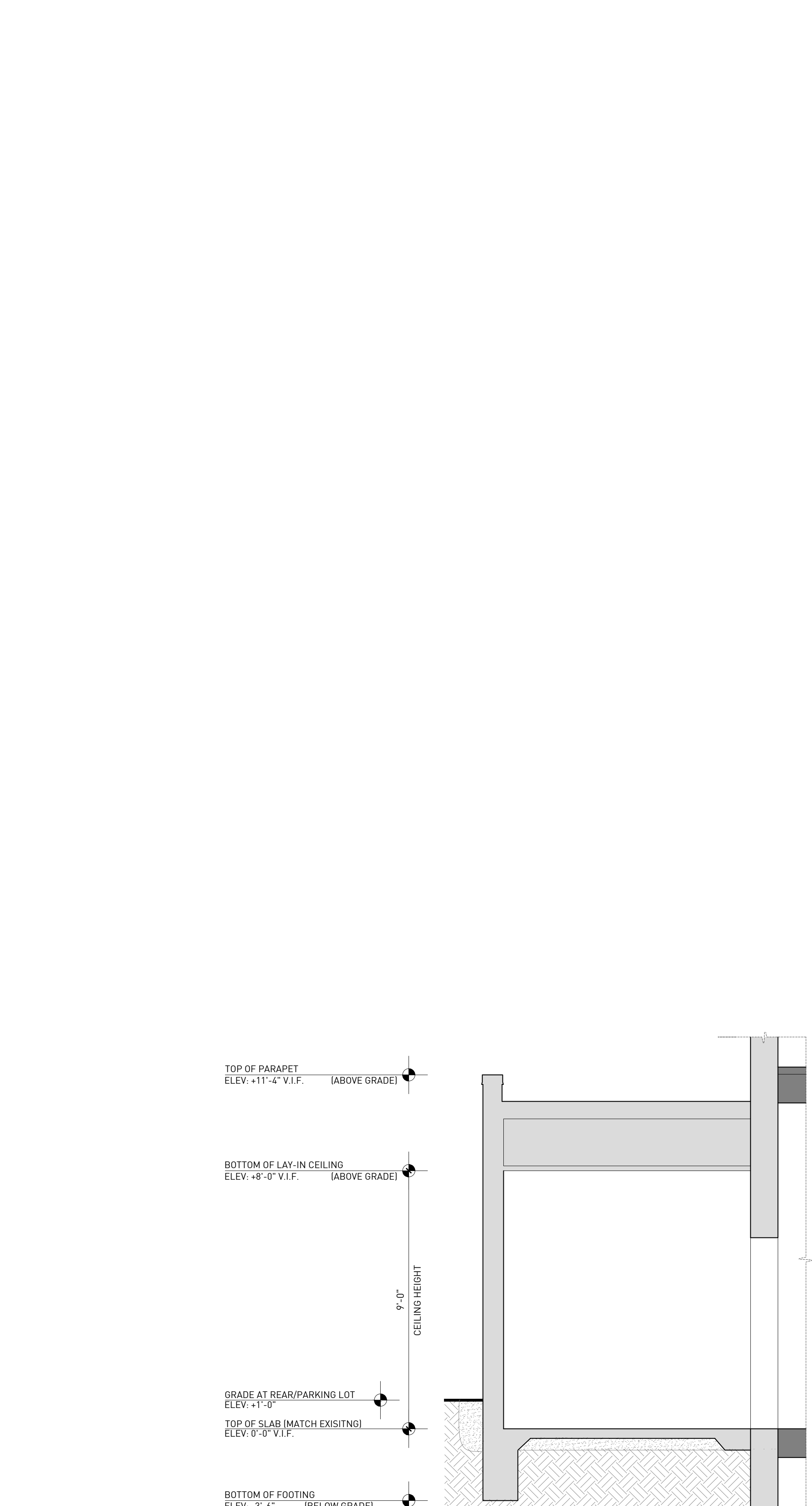
1 SOUTH WALL SECTION - KITCHEN ADDITION

SCALE: 1/16" = 1'-0"



2 NORTH WALL SECTION

SCALE: 3/16" = 1'-0"



3 KITCHEN ADDITION TRANSVERSE SECTION

SCALE: 3/16" = 1'-0"

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BUILDING SECTIONS AND ELEVATIONS

A3-02