A. Paul and Carol C. Schaap Center for the Performing Arts
and
The Richard and Jane Manoogian Art Gallery

Grosse Pointe Park, Michigan

June 23, 2021

City of Detroit BSEED Submittal

SmithGroup Project Number: 12345.000

Prepared by:

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
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www.smithgroup.com

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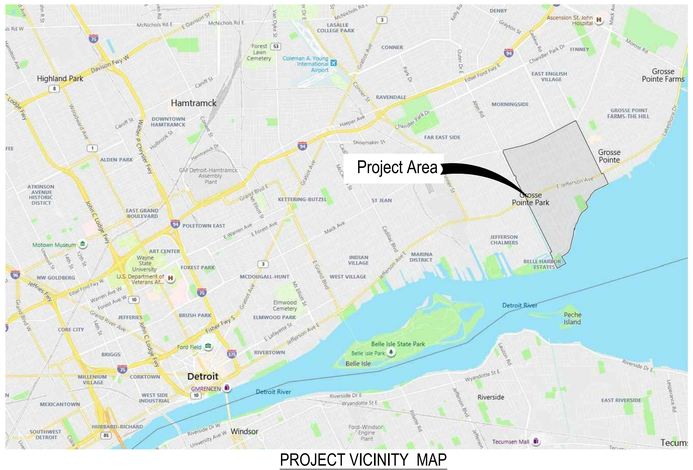


PROJECT VICINITY MAP
NTS

North

STATE OF MICHIGAN
GERALD J. VOGT, JR.
ENGINEER
No. 48175
LICENSED PROFESSIONAL ENGINEER

ZONING AND SITE PLANNING INFORMATION

THE PROJECT IS SUBJECT TO A MEMORANDUM OF UNDERSTANDING BETWEEN THE CITY OF DETROIT AND THE URBAN RENEWAL INITIATIVE FOUNDATION. THE MOU IS SHOWN IN ITS ENTIRETY ON THIS DRAWING SHEET AND ON THE FOLLOWING TWO SHEETS.

FURTHER PROJECT ZONING DETAILS ARE BELOW:

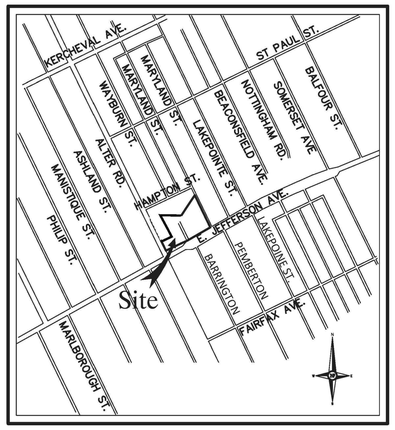
THE PROJECT PROPERTIES INCLUDE THE THREE CITY OF DETROIT PARCELS NOTED:
PARCEL ID-21000612 (ADDRESS: 14901 EAST JEFFERSON AVENUE, DETROIT, MICHIGAN 48215)
PARCEL ID-21000613 (ADDRESS: 14917 EAST JEFFERSON AVENUE, DETROIT, MICHIGAN 48215)
PARCEL ID-21000614 (ADDRESS: 14917 EAST JEFFERSON AVENUE, DETROIT, MICHIGAN 48215)

ALL THREE PARCELS ARE ZONED B4, GENERAL BUSINESS DISTRICT. BY-RIGHT USES INCLUDE PARKING LOTS OR PARKING AREAS FOR PASSENGER VEHICLES (SEC. 50-9-106, CITY OF DETROIT CODE OF ORDINANCES, CHAP. 50, ZONING).

ACCESSORY PARKING IS PERMITTED BY RIGHT IN THE ZONING DISTRICT.

THE LOT WILL BE OPERATED IN CONJUNCTION WITH A SPECIFIC LAND USE AND NO FEE WILL BE CHARGED FOR PARKING IN THE LOT OR AREA. LOT IS LOCATED NO FARTHER THAN THE MAXIMUM DISTANCE SPECIFIED IN ARTICLE XIV, DIVISION 1, SUBDIVISION B OF THIS CHAPTER AND ARTICLE XIV, DIVISION 1, SUBDIVISION C OF THIS CHAPTER FOR SAID LAND USE.

BASED ON THE MOU AND THE ZONING ORDINANCE, THE PARKING USE HAS BEEN INTERPRETED TO BE ACCESSORY AND BY RIGHT.



PROJECT LOCATION MAP
NTS

North

LEGAL DESCRIPTIONS (PARCELS A, B, C, D & 1)

(SEE SHEET 2 OF 2)

LEGAL DESCRIPTIONS (PARCELS E, F, & G)

(SEE SHEET 2 OF 2)

LEGAL DESCRIPTIONS (PARCELS H, I, & J)

(SEE SHEET 2 OF 2)

SITE DATA

(SEE SHEET 2 OF 2)

UTILITY NOTE

THE LOCATIONS AND ELEVATIONS OF SOME OF THE EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE SURVEY DRAWING WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANY RECORDS AND MAPS. THEREFORE, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CERTIFICATE OF SURVEY

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED.

KEVIN NAVAROLI, PLS
NO.: 53503

DATE: 6-27-2020
REVISION: 6-30-2020
REVISION: 10-22-2020

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A01490314, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON JUNE 26, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

COVID-19 PANDEMIC CONDITION

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS.

ALL SURVEYS BEING UTILIZED FOR DESIGN PURPOSES BY OTHERS; IT WILL BE THE CLIENT'S OBLIGATION TO UPDATE THE UTILITY INFORMATION AS IT BECOMES AVAILABLE. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26163C0140E BEARING AN EFFECTIVE DATE OF 2-12-2012.

LEGEND

MANHOLE	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
HYDRANT / GATE VALVE	EXISTING WATER MAIN
MANHOLE / CATCH BASIN	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
UTILITY POLE / GUY POLE / GUY WIRE	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN

NOWAK & FRAUS ENGINEERS
1969 – 2019
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL

STATE OF MICHIGAN ★ KEVIN NAVAROLI PROFESSIONAL SURVEYOR NO. 53503 ★ LICENSED PROFESSIONAL SURVEYOR

PROJECT
URIF - Schaap Center
Grosse Pointe Performing
Arts Center

CLIENT
URIF c/o CBRE
2000 Town Center
Suite 2200
Southfield, MI 48075
Contact
Gregory Boyle (CBRE)
Tel: (248) 936-6844
Email:
gregory.boyle@cbre.com

PROJECT LOCATION
Part of Lot 1 of Alters Plat
P.C. 570
City of Grosse Pointe Park
& City of Detroit,
Wayne County, Michigan

SHEET
Boundary / Topographic /
Tree Survey

811
Know what's below
Call before you dig.

DATE	ISSUED/REVISED
06-26-2020	ISSUED SURVEY
06-30-2020	REVISION 1
10-22-2020	REVISION 2

DRAWN BY:
C. Ellison

DESIGNED BY:

APPROVED BY:
K. Navaroli / B. Buchholz

DATE:
June 26, 2020

SCALE: 1" = 20'

NFE JOB NO. J678-01

SHEET NO. 1 of 2

TITLE NOTES

ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM FIRST AMERICAN TITLE COMMITMENT NO. 887593, WITH AN EFFECTIVE DATE OF 3-5-2020, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

2. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION OF THE LAND.

3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.

7. INTEREST OF DEPT OF STREET RAILWAY, AS DISCLOSED ON TAX ROLLS OF WAYNE COUNTY, AS TO THAT PART OF PARCEL F ASSESSED UNDER TAX ITEM NO. 39-008-07-0203-002

9. COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 834, PAGE 1245, REGISTER #230114, AS TO PARCELS A, B, C, D AND 1.
[THAT ALL BUILDINGS FRONTING JEFFERSON AVENUE SHALL BE NOT LESS THAT TWO STORIES IN HEIGHT. THAT NO BUILDING FACING MARYLAND AVENUE SHALL BE NEARER THAN 115 FEET TO THE JEFFERSON AVENUE LINE OF SAID LOT SHALL BE NOT LESS THAN TWO STORIES IN HEIGHT AND BE SET NO NEARER THAN 20 FEET TO THE MARYLAND LINE OF SAID LOT. ALL OUTBUILDINGS ON SAID LOT AND BUILDINGS BORDERING ON FOX CREEK, SHALL BE SET BACK AT LEAST 60 FEET FROM THE MARYLAND AVENUE LINE OF SAID LOTS IS NOT PLOTTED HEREON].

10. RIGHTS OF OTHERS OVER THE WESTERLY 5 FEET AS A PRIVATE RIGHT OF WAY FOR THE PURPOSE OF OBTAINING ACCESS TO FOX CREEK AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1020, PAGE 213, REGISTER #305613, AS TO PARCEL C.
[SAID EASEMENT IS PLOTTED HEREON].

11. GRANT OF EASEMENT IN FAVOR OF COMCAST CABLEVISION OF GROSSE POINTE, INC. AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 29828, PAGE 2044, AS TO PARCEL C.
[BLANKET EASEMENT. NOT PLOTTED HEREON].

12. COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 1171, PAGE 113, REGISTER #384506, AS TO PARCEL E. [TWO STORY MIN. HT. NOT PLOTTED HEREON]

13. COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 3171, PAGE 527, REGISTER #883928, AS TO PARCEL F. [NOT A PLOTTABLE EXCEPTION]

14. COVENANTS, CONDITIONS, RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 1928, PAGE 324, REGISTER #814719, AS TO PARCEL G AND H. [NOT A PLOTTABLE EXCEPTION]

15. RIGHT OF WAY IN FAVOR OF THE CITY OF DETROIT AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 6935, PAGE 215, REGISTER #737758, AS TO PARCELS G AND H.
[THE BANKS OF FOX CREEK DO NOT EXIST. NOT PLOTTED HEREON].

16. TERMS AND CONDITIONS CONTAINED IN ZONING LETTER AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 25623, PAGE 517, AS TO PARCELS G AND H.
[NOT A PLOTTABLE EXCEPTION]

17. OIL, GAS, MINERAL, AND ABORIGINAL ANTIQUITIES RESERVED BY THE STATE OF MICHIGAN, AND THE TERMS, COVENANTS AND PROVISIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 20888, PAGE 651, REGISTER #G511876, AS TO PARCEL I. [NOT A PLOTTABLE EXCEPTION]

18. EASEMENT FOR SIDEWALK PURPOSES AND FOR INGRESS AND EGRESS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 5883, PAGE 198, REGISTER #C551933, AND IN LIBER 7743, PAGE 152, REGISTER #C896308, AS TO PARCEL J.
[SAID SIDEWALK EASEMENT IS PLOTTED HEREON. SAID PARTY WALL WAS NOT OBSERVED. NOT PLOTTED HEREON].

19. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 23004, PAGE 595 AND IN LIBER 23004, PAGE 596.
[SAID LIMITS ARE PLOTTED HEREON].

20. TERMS AND CONDITIONS CONTAINED IN MODIFIED DEVELOPMENT PLAN FOR JEFFERSON-CHALMERS NEIGHBORHOOD DEVELOPMENT PLAN MICH. A-4-1 AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 24139, PAGE 872 AND IN LIBER 27707, PAGE 113, AS TO PARCEL I AND J.
[LIMITS OF HISTORIC DISTRICTS PLOTTED HEREON].

21. TERMS AND CONDITIONS CONTAINED IN RESOLUTION FOR ORDINANCE NO. 14-08 TO AMEND CHAPTER 25, ARTICLE II OF THE 1984 DETROIT CITY CODE BY ADDING SECTION 25-2-168 TO ESTABLISH THE JEFFERSON CHALMERS BUSINESS HISTORIC DISTRICT, AND TO DEFINE THE ELEMENTS OF DESIGN FOR THE DISTRICT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 55223, PAGE 68, AS TO PARCELS H, I AND J.
[LIMITS OF HISTORIC DISTRICTS PLOTTED HEREON].

22. TERMS AND CONDITIONS CONTAINED IN QUIT CLAIM DEED AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 55417, PAGE 352, AS TO PARCEL F.
[NOT A PLOTTABLE EXCEPTION]

24. RIGHTS OF THE UNITED STATES, STATE OF MICHIGAN AND THE PUBLIC FOR COMMERCE, NAVIGATION, RECREATION AND FISHERY, IN ANY PORTION OF THE LAND COMPRISING THE BED OF FOX CREEK, OR LAND CREATED BY FILL OR ARTIFICIAL ACCRETION, AS TO PARCELS C, F, G AND H.

25. THE NATURE, EXTENT OR LACK OF RIPARIAN RIGHTS OR THE RIPARIAN RIGHTS OF RIPARIAN OWNERS AND THE PUBLIC IN AND TO THE USE OF THE WATERS OF FOX CREEK, AS TO PARCELS C, F, G AND H.

UTILITY CONTACTS
(MISS DIG TICKET #A01490314 SUBMITTED 5-28-20)

AT&T
54 N. MILL ST, 4TH FLOOR
PONTIAC, MI 48342
PHONE: 248-456-8256
EMAIL: LD2154@ATT.COM
TICKET CONTACT: LINDA DENNISUK

DATE INFO RECEIVED: X-XX-XX

CROWN CASTLE
1500 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: 888-632-0931 EXT: 2
EMAIL: FIBER.DIG@CROWNCASTLE.COM
TICKET CONTACT: FIBER DIG TEAM

DATE INFO RECEIVED: X-XX-XX

COMCAST
25626 TELEGRAPH
SOUTHFIELD, MI 48034
PHONE: 248-809-2715
EMAIL: CRAIG_PUDAS@CABLE.COMCAST.COM
TICKET CONTACT: CRAIG PUDAS

DATE INFO RECEIVED: 6-9-20
RESPONDING CONTACT: CAMILLA DEAN
EMAIL: PCOMCAST@TEAMSIGMA.COM

DETROIT EDISON
ONE ENERGY PLAZA, 518 SB
DETROIT, MI 48226
PHONE: 313-235-5632
EMAIL: DESIGN_MISSDIG@DTEENERGY.COM

DATE INFO RECEIVED: 6-22-20
RESPONDING CONTACT: SARA KIPP
EMAIL: SARA.FORCE@DTEENERGY.COM

DETROIT PUBLIC LIGHTING
9449 GRINNELL
1340 3RD
DETROIT, MI 48226
PHONE: 586-803-3516 EXT: 715
EMAIL: AOROURKE@URGLLC.NET
TICKET CONTACT: AMY O'ROURKE/URG

DATE INFO RECEIVED: X-XX-XX

DETROIT WATER & SEWER
6425 HUBER ST
DETROIT, MI 48211
PHONE: 313-530-3628
EMAIL: VALERION.FARR@DETROITMI.GOV
TICKET CONTACT: VALERION O. FARR II

DATE INFO RECEIVED: 6-4-20
RESPONDING CONTACT: MALISA DURANT
EMAIL: MALISA.DURANT@DETROITMI.GOV

GREAT LAKES WATER AUTHORITY
6425 HUBER ST
DETROIT, MI 48211
PHONE: 313-267-4857
EMAIL: DALE.ECHOLS@GLWATER.ORG
TICKET CONTACT: DALE ECHOLS

DATE INFO RECEIVED: 5-28-20
RESPONDING CONTACT: ANUPAM KUMAR
EMAIL: ANUPAM.KUMAR@GLWATER.ORG

GROSSE POINTE PARK CITY
15115 E. JEFFERSON
1005 WAYBURN
GROSSE POINTE PARK, MI 48230
PHONE: 313-822-5100
EMAIL: VANDEPUTTE@GROSSEPOINTEPARK.ORG
TICKET CONTACT: TOM VANDEPUTTE

DATE INFO RECEIVED: X-XX-XX

LIGHTOWER FIBER NETWORKS
755 W. BIG BEAVER ROAD
SUITE 2040
TROY, MI 48004
PHONE: 585-568-8449
EMAIL: SHERALD@LIGHTOWER.COM
TICKET CONTACT: STEVEN HERALD

DATE INFO RECEIVED: X-XX-XX

DTE GAS DISTRIBUTION
ONE ENERGY PLAZA
DETROIT, MI 48226
PHONE: 313-235-5111
EMAIL: SAUNDERSB@DTEENERGY.COM
TICKET CONTACT: BARBARA SAUNDERS

DATE INFO RECEIVED: 5-29-20
RESPONDING CONTACT: ARAS P. BUTKUNAS
EMAIL: DET_MAPPINGTEAM@DTEENERGY.COM

PUBLIC LIGHTING AUTHORITY
65 CADILLAC SQUARE, SUITE 3100
DETROIT, MI 48226
PHONE: 313-558-0191
EMAIL: MPATEL@PLADETROIT.ORG
TICKET CONTACT: MUKESH PATEL

DATE INFO RECEIVED: X-XX-XX

SPRINT/NEXTEL
EAST FIELD SERVICES SUPPORT
400 W. GRAND AVE
ELMHURST, IL 60126
PHONE: 847-445-1869
EMAIL: GERRY.A.CRAIN@SPRINT.COM
TICKET CONTACT: GERRY A. CRAIN/ERICSSON

DATE INFO RECEIVED: X-XX-XX

COVID-19 PANDEMIC CONDITION

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS.

ALL SURVEYS BEING UTILIZED FOR DESIGN PURPOSES BY OTHERS; IT WILL BE THE CLIENT'S OBLIGATION TO UPDATE THE UTILITY INFORMATION AS IT BECOMES AVAILABLE. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

LEGAL DESCRIPTIONS (PARCELS A, B, C, D & 1)

PER FIRST AMERICAN FILE NO. 887593, PRINTED 3/5/2020
LAND SITUATED IN THE COUNTY OF WAYNE, CITY OF GROSSE POINTE PARK AND DETROIT, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

PARCEL A
THE EAST 30 FEET OF THE SOUTH 100 FEET OF LOT 205 AND THE WEST 30 FEET OF THE SOUTH 100 FEET OF LOT 206, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: SCHAAP DEVELOPMENT LLC.
ADDRESS: 15019 E. JEFFERSON, GROSSE POINTE PARK, MI 48230.
TAX ID: 39-008-07-0205-002

PARCEL B
THE WEST 20 FEET OF THE SOUTH 100 FEET OF LOT 205, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: SCHAAP DEVELOPMENT LLC.
ADDRESS:15017 E. JEFFERSON, GROSSE POINTE PARK, MI 48230
TAX ID: 39-008-07-0205-001

PARCEL C
LOTS 205 AND 206, EXCEPT THE SOUTHERLY 118 FEET THEREOF, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: SCHAAP DEVELOPMENT LLC.
ADDRESS:1011 MARYLAND, GROSSE POINTE PARK, MI 48230
TAX ID: 39-008-07-0205-004

PARCEL D
THE EAST 30.64 FEET OF THE SOUTH 100 FEET OF LOT 206, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: SCHAAP DEVELOPMENT LLC.
ADDRESS: 15027 E. JEFFERSON, GROSSE POINTE PARK, MI 48230
TAX ID: 39-008-07-0206-002

PARCEL 1
THE NORTH 18 FEET OF THE SOUTH 118 FEET OF LOTS 205 AND 206, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTER'S SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: SCHAAP DEVELOPMENT LLC.
TAX ID: NOT AVAILABLE

LEGAL DESCRIPTIONS (PARCELS E, F, & G)

PER FIRST AMERICAN FILE NO. 887593, PRINTED 3/5/2020
LAND SITUATED IN THE COUNTY OF WAYNE, CITY OF GROSSE POINTE PARK AND DETROIT, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

PARCEL E
THE SOUTHERLY 110 FEET OF THE WEST 50.64 FEET OF LOT 203, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: URBAN RENEWAL INITIATIVE FOUNDATION
ADDRESS: 15005 E. JEFFERSON, GROSSE POINTE PARK, MI 48230.
TAX ID: 39-008-07-0203-001.

PARCEL F
LOT 204 AND THE EASTERLY 10 FEET OF LOT 203, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.

ALSO

ALL THAT PART OF THE WESTERLY 50.64 FEET OF LOT 203, LYING BETWEEN A LINE 110 FEET NORTH OF THE NORTH LINE OF JEFFERSON AVENUE AND THE CENTER LINE OF FOX CREEK AND HAVING A FRONTAGE ON WAYBURN AVENUE OF 114.8 FEET, MORE OR LESS, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: URBAN RENEWAL INITIATIVE FOUNDATION
ADDRESS: 15003 E. JEFFERSON, GROSSE POINTE PARK, MI 48230.
TAX ID: 39-008-07-0203-002

PARCEL G
LOT 202, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER:THE CITY OF GROSSE POINTE PARK, A MICHIGAN MUNICIPAL CORPORATION.
ADDRESS: 1005 WAYBURN, GROSSE POINTE PARK, MI 48230.
TAX ID: 39-008-07-0202-000

LEGAL DESCRIPTIONS (PARCELS H, I, & J)

PER FIRST AMERICAN FILE NO. 887593, PRINTED 3/5/2020
LAND SITUATED IN THE COUNTY OF WAYNE, CITY OF DETROIT, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

PARCEL H
LOT 201, OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. OF PART OF LOT 1 OF ALTERS SUB. P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.
OWNER: THE CITY OF GROSSE POINTE PARK, A MICHIGAN MUNICIPAL CORPORATION.
ADDRESS: 14927 E JEFFERSON, DETROIT, MI 48215.
TAX ID: 000614/Ward 21

PARCEL I
A PARCEL OF LAND SITUATED IN THE NORTHERLY SIDE OF JEFFERSON AVENUE BETWEEN ALTER ROAD AND WAYBURN AVENUE, BEING A PART OF LOT 1, OF ALTER'S PLAT DIVIDING THE WEST PART OF P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 7 OF PLATS, PAGE 85, WAYNE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: LAND BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF JEFFERSON AVENUE, 120.00 FEET WIDE, AND THE EASTERLY LINE OF ALTER ROAD, 66.00 FEET WIDE; THENCE ALONG THE NORTHERLY LINE OF JEFFERSON AVENUE, ON A COURSE NORTH 58 DEGREES 00 MINUTES EAST 77.00 FEET TO A POINT SAID POINT BEING THE EXTREME SOUTHWESTERLY CORNER AND THE PLACE OF BEGINNING OF THE PARCEL HEREIN INTENDED TO BE DESCRIBED; THENCE CONTINUING ALONG THE NORTHERLY LINE OF JEFFERSON AVENUE, ON A COURSE NORTH 58 DEGREES 00 MINUTES EAST 47.96 FEET TO A POINT; THENCE NORTH 29 DEGREES 00 MINUTES WEST 90.00 FEET TO A POINT; THENCE SOUTH 58 DEGREES 00 MINUTES WEST 47.96 FEET TO A POINT THE LAST MENTIONED POINT BEING 77.00 FEET DISTANT ON A COURSE NORTH 58 DEGREES 00 MINUTES EAST FROM THE EASTERLY LINE OF ALTER ROAD; THENCE SOUTH 29 DEGREES 00 MINUTES EAST 90.00 FEET TO THE PLACE OF BEGINNING.
OWNER: CITY OF GROSSE POINTE PARK A MUNICIPAL CORPORATION.
ADDRESS: 14917 E JEFFERSON, DETROIT, MI 48215.
TAX ID:000613/WARD 21

PARCEL J
THE WEST 77.5 FEET OF THE SOUTH 90 FEET OF THAT PART OF LOT 1, LYING NORTH OF AND ADJACENT JEFFERSON AVENUE, OF ALTER'S PLAT DIVIDING THE WEST PART OF P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 7 OF PLATS, PAGE 85, WAYNE COUNTY RECORDS.
OWNER: CITY OF GROSSE POINTE PARK, A MUNICIPAL CORPORATION.
ADDRESS: 14901 E JEFFERSON, DETROIT, MI 48215.
TAX ID: 000612/WARD 21

SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

EASEMENTS SHOWN ON THE ABOVE SURVEY WERE OBTAINED FROM FIRST AMERICAN FILE NO. 887593 (TITLE SEARCH).

BASIS OF BEARING PER THE RIGHT-OF-WAY OF MARYLAND AVENUE OF THE TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB., OF PART OF LOT 1 OF ALTER'S SUBDIVISION P.C. 570, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 26 OF PLATS, PAGE 98, W.C.R. BEARING: SOUTH 21 DEGREES 15 MINUTES EAST.

CITY OF DETROIT PUBLIC LIGHTING FACILITIES EXIST IN JEFFERSON AVENUE RIGHT OF WAY, HOWEVER, RECORD MAPS ARE ILLEGIBLE.

NORTH LINE OF SUBJECT PROPERTY MAY VARY DUE TO THE LOCATION OF THE CENTER OF FOX CREEK PER THE PLAT OF TURNBULL AND EPSTEAN'S JEFFERSON AVE. SUB. (L. 98, P. 26, W.C.R.), BEING SUBSEQUENTLY ENCLOSED AFTER RECORDING OF SAID PLAT. NORTH LINE OF SUBJECT PROPERTY SHOWN WAS ESTABLISHED FROM FOUND MONUMENTATION AND RECORD PLAT DIMENSIONS NORTH OF SAID FOX CREEK.

THERE IS AN OVERLAP OF THE NORTH LINE OF JEFFERSON AVE. (120' WIDE) FROM ITS PLATTED DIMENSIONS TO THE LOCATION SHOWN OF APPROXIMATELY 8 FEET (±) BASED UPON FOUND MONUMENTATION AND OBSERVED EVIDENCE OF OCCUPATION.

THERE WAS NO OBSERVED EVIDENCE OF THE FOX CREEK ENCLOSURE THROUGH THE SITE. ITS LOCATION CAN ONLY BE DETERMINED WITH SPECIFICITY BY EXCAVATION OR OTHER AVAILABLE MEANS AND METHODS TO LOCATE UNDERGROUND SEWER. ON SEPTEMBER 22, 2020, TWO (2) AREAS OF SAID DRAIN ENCLOSURE WERE PARTIALLY UNCOVERED BY EXCAVATION: NEAR THE NORTHWEST CORNER OF "PARCEL F" (EAST SIDE OF WAYBURN AVE.), AND AT THE NORTHEAST CORNER OF "PARCEL C" (WEST SIDE OF MARYLAND STREET). THE RESULTS OF SURVEY SHOTS TAKEN DURING EXCAVATION ARE REFLECTED AS PART OF REVISION 2, DATED OCTOBER 22, 2020, AS SHOWN ON THE SURVEY PLAN.

CERTIFICATE OF SURVEY

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED.

KEVIN NAVAROLI, PLS
NO.: 53503

DATE: 6-27-2020
REVISION: 6-30-2020
REVISION: 10-22-2020

SITE DATA

PARCELS LYING WITHIN CITY OF GROSSE POINTE PARK LIMITS:

PARCELS A, B, C, D, 1, E, F, AND G, & WAYBURN AVENUE
ZONING: OS, OFFICE SERVICE

PARCELS LYING WITHIN CITY OF DETROIT LIMITS:

PARCELS H, I AND J
ZONING: B4, GENERAL BUSINESS DISTRICT

SITE AREAS:

PARCEL	AREA (SQ. FT.)	AREA (ACRES)
A	6,038.75	0.138
B	2,102.98	0.048
C	16,642.25	0.382
D	2,943.08	0.068
1	1,991.67	0.046
E	5,579.38	0.128
F	20,168.22	0.463
G	15,104.69	0.347
WAYBURN	14,188.66	0.326
SUBTOTAL	84,739.68	1.945
H	11,948.44	0.274
I	4,292.21	0.099
J	6,986.24	0.160
SUBTOTAL	23,226.89	0.533
TOTAL	107,966.57	2.479

NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL

PROJECT
URIF - Schaap Center
Grosse Pointe Performing Arts Center

CLIENT
URIF c/o CBRE
2000 Town Center
Suite 2200
Southfield, MI 48075
Contact
Gregory Boyle (CBRE)
Tel: (248) 936-6844
Email:
gregory.boyle@cbre.com

PROJECT LOCATION
Part of Lot 1 of Alters Plat
P.C. 570
City of Grosse Pointe Park
& City of Detroit,
Wayne County, Michigan

SHEET
Boundary / Topographic / Tree Survey

Know what's below
Call before you dig.

DATE	ISSUED/REVISED
06-26-2020	ISSUED SURVEY
06-30-2020	REVISION 1
10-22-2020	REVISION 2

DRAWN BY:
C. Ellison

DESIGNED BY:

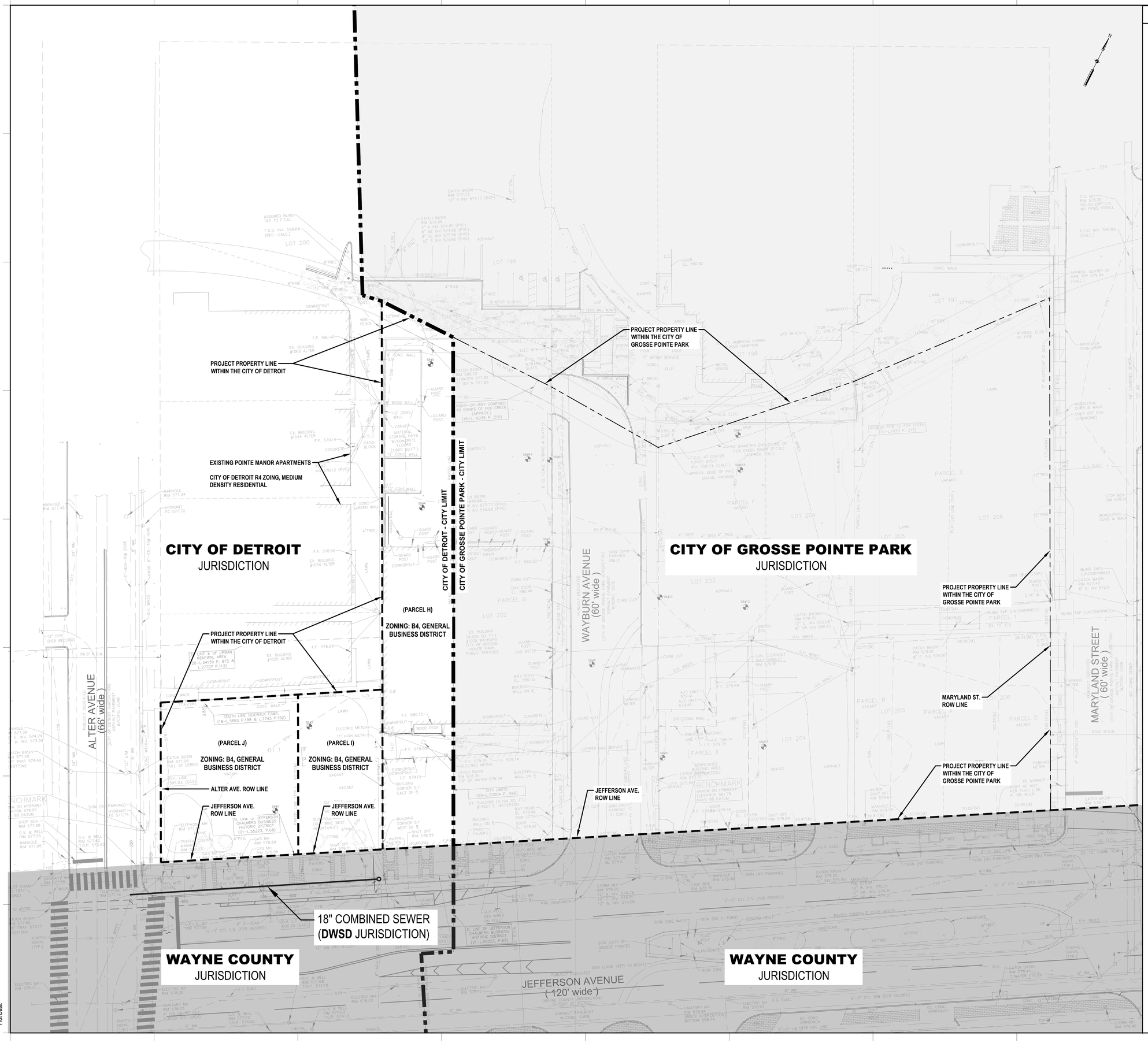
APPROVED BY:
K. Navaroli / B. Buchholz

DATE:
June 26, 2020

SCALE: 1" = 20'

NFE JOB NO.
J678-01

SHEET NO.
2 of 2



LEGEND

URBAN RENEWAL INITIATIVE FOUNDATION

A. PAUL AND CAROL C. SCHAAP CENTER FOR THE PERFORMING ARTS
AND
THE RICHARD AND JANE MANOOGIAN ART GALLERY

GROSSE POINTE PARK, MI 48230

SMITHGROUP

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SUITE 1700
DETROIT, MI 48226
313.983.3600
smithgroup.com

CBRE

EKAUSKAS ARCHITECTURE

Kirkegaard

THEATRE PLANNERS / LIGHTING DESIGNERS
Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

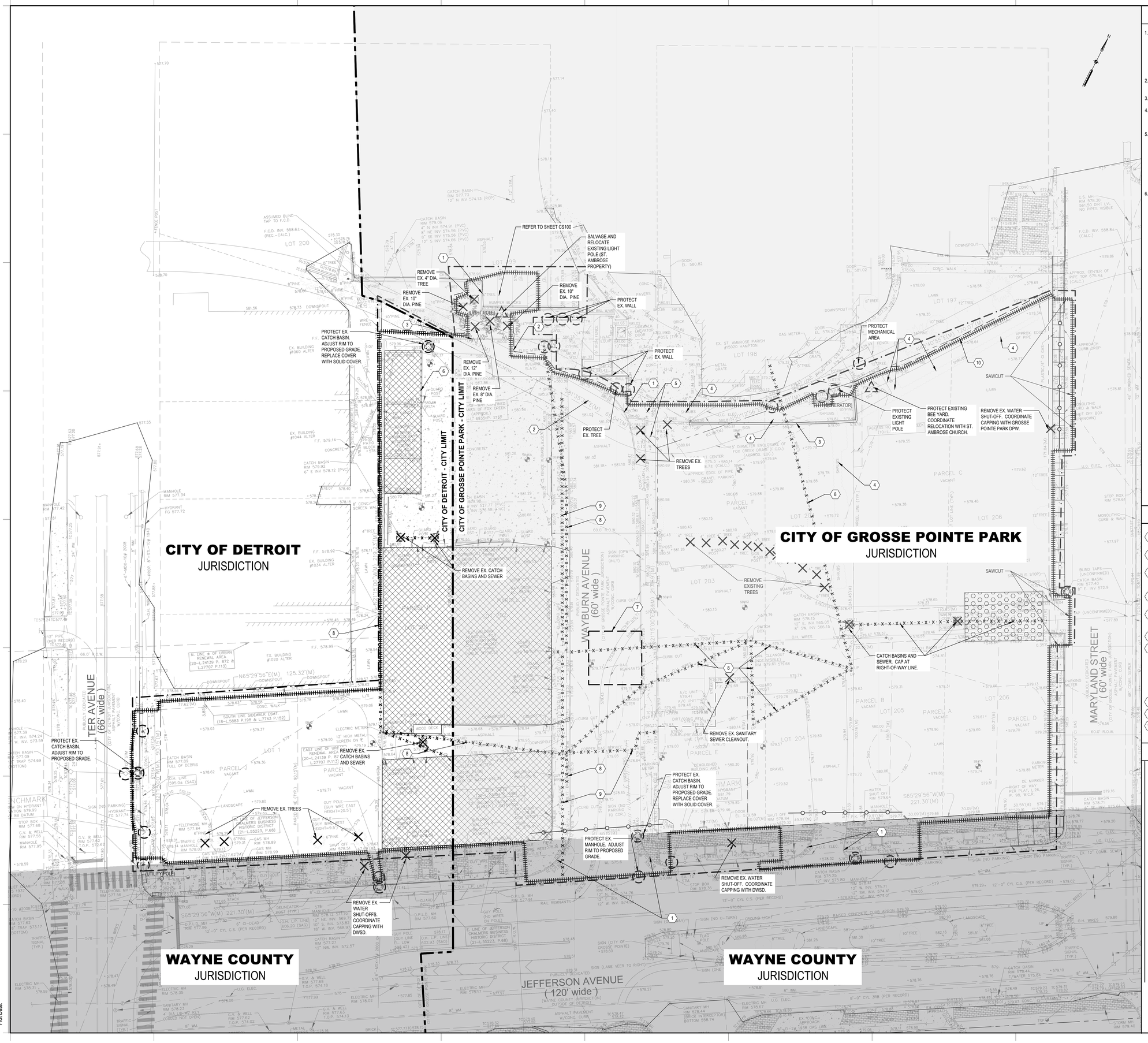
SHEET TITLE
JURISDICTION AND ZONING PLAN

SCALE: 1" = 20'

PROJECT NUMBER
12345.000

SHEET NUMBER
CV100

Plot Date:



SHEET NOTES

1. ALL SURFACE FEATURES WITHIN THE LIMITS OF REMOVAL ARE TO BE REMOVED UNLESS NOTED OTHERWISE. ITEMS TO BE REMOVED WITHIN THE LIMITS OF REMOVAL INCLUDE, BUT ARE NOT LIMITED TO: ABOVE AND BELOW GRADE STRUCTURES (INCLUDING FOUNDATIONS), PAVEMENT, CURBS, TREES (INCLUDING ROOTS), SHRUBS (INCLUDING ROOTS), AND LAWN. CURB AND GUTTER SHALL BE RETAINED EXCEPT WHERE NOTED.
2. ALL UNDERGROUND UTILITIES SHALL BE REMOVED AND CAPPED AT THE LIMITS OF REMOVAL UNLESS NOTED OTHERWISE.
3. COORDINATE AND CONFIRM ALL REMOVALS WITH UTILITY OWNERS.
4. ALL SOIL THAT WILL BE REMOVED FROM THE SITE REQUIRES DISPOSAL AT A TYPE II LANDFILL (DUE TO POTENTIAL SOIL CONTAMINATION).
5. SEVERAL BUILDINGS THAT PREVIOUSLY OCCUPIED THE SITE HAVE BEEN TORN DOWN. THE TEARDOWN METHODOLOGY IS NOT KNOWN. CONTRACTOR TO ASSUME THAT BUILDING FOUNDATIONS HAVE BEEN LEFT IN PLACE AND WILL REQUIRE REMOVAL. ALL EXISTING FOUNDATIONS WITHIN THE BUILDING FOOTPRINT REQUIRE FULL REMOVAL. FOUNDATIONS OUTSIDE OF THE BUILDING FOOTPRINT REQUIRE REMOVAL IF THEY ARE WITHIN 48" OF THE BOTTOM OF PAVEMENT SECTION OR WITHIN WITHIN 48" OF THE BOTTOM OF PLANTING SOIL.
6. IT IS POSSIBLE THAT DEBRIS FROM PAST DEMOLITION EXISTS THROUGHOUT THE SITE. DEBRIS WILL REQUIRE REMOVAL AS DIRECTED BY THE TESTING ENGINEER.

KEYED NOTES

1. REMOVE EXISTING CURB. (NOTE - REMOVAL LIMITS BEYOND PROPERTY BOUNDARY)
2. REMOVE EXISTING GRAVEL SURFACE. (NOTE - REMOVAL LIMITS BEYOND PROPERTY BOUNDARY)
3. REMOVE METAL / WOOD FENCE, INCLUDING POSTS AND FOUNDATIONS. (NOTE - REMOVAL LIMITS BEYOND PROPERTY BOUNDARY)
4. REMOVE TREES, AND LANDSCAPE HEDGE. SEE NOTE 1. (NOTE - REMOVAL LIMITS BEYOND PROPERTY BOUNDARY)
5. REMOVE CONCRETE SIDEWALK CONNECTION. SAWCUT AT LIMITS OF REMOVAL. (NOTE - REMOVAL LIMITS BEYOND PROPERTY BOUNDARY)
6. REMOVE STORAGE SHED
7. LOCATION OF HISTORIC GRANITE COBBLES WITHIN EXISTING WAYBURN ROW (COBBLES POSSIBLY EXIST THROUGH ENTIRE ROW). CM TO EVALUATE AN APPROXIMATE 5'X5' AREA FOR FEASIBILITY OF REUSE IN PROJECT. IN THE PRESENCE OF LANDSCAPE ARCHITECT OR CIVIL ENGINEER, EXTRACT EXISTING COBBLES, REMOVE ASPHALT PAVEMENTS AND ASSEMBLE PAVER FIELD ON SITE FOR FURTHER CONSULTANT EVALUATION FOR RE-PURPOSE IN PROJECT SITE WORK.
8. REMOVE OVERHEAD WIRES
9. REMOVE GAS LINES
10. TREE PROTECTION FENCE, SEE SESC DETAIL SHEETS

LEGEND

- LIMITS OF CONSTRUCTION
- PROPERTY LINES
- LIMITS OF GRADING AND REMOVAL
- TREE PROTECTION FENCE
- PROTECT (AS DENOTED)
- REMOVE (AS DENOTED)
- SALVAGE (AS DENOTED)
- RELOCATE (AS DENOTED)
- BUILDING REMOVAL
- INLET PROTECTION
- UTILITY REMOVAL
- CAP UTILITY
- STABILIZED CONSTRUCTION ENTRANCE

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Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

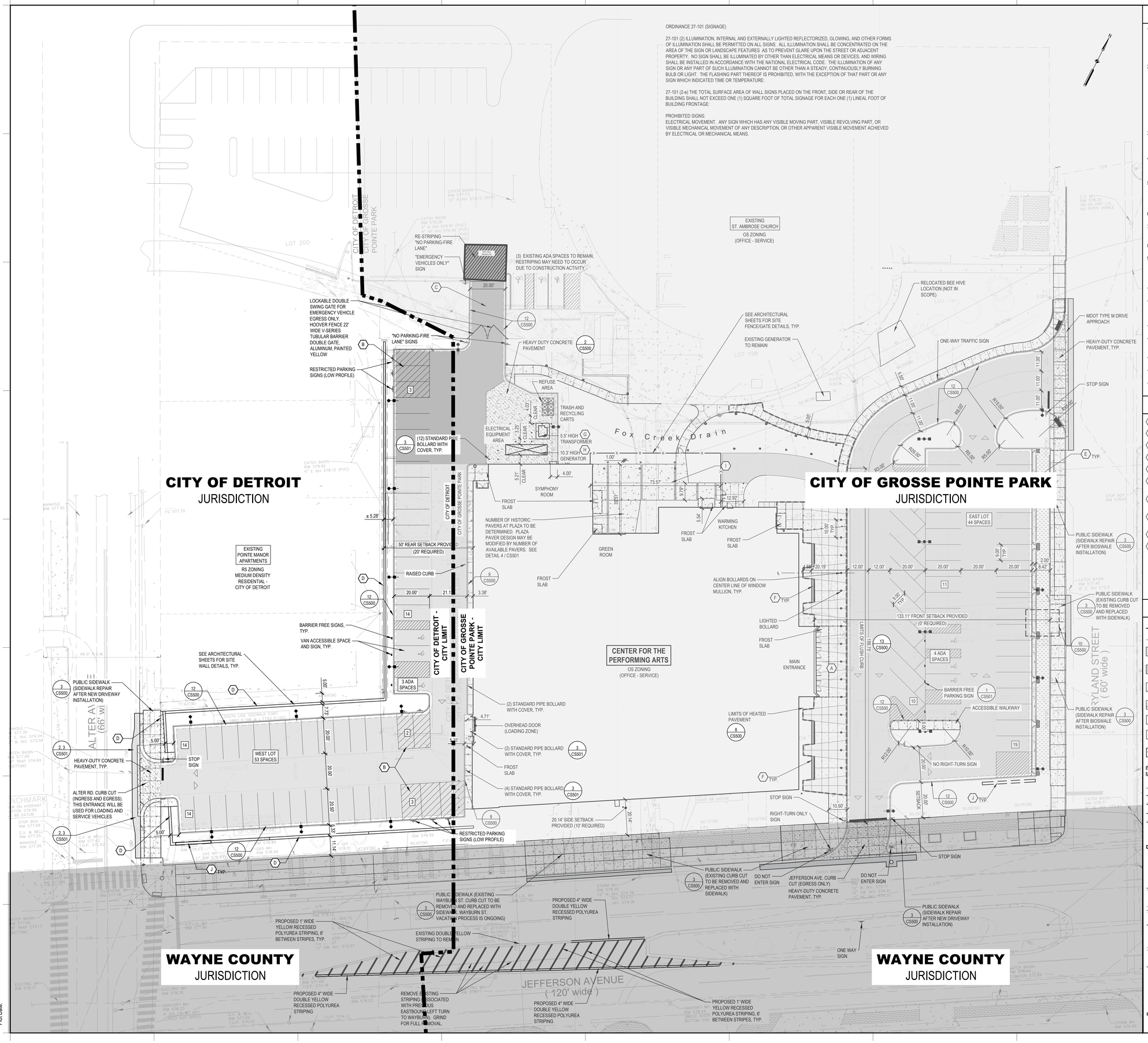
SHEET TITLE
DEMOLITION AND SITE PREPARATION PLAN

0' 10' 20' 40'
SCALE: 1" = 20'

PROJECT NUMBER 12345.000

SHEET NUMBER CD100

Plot Date:



ORDINANCE 27-101 (SIGNAGE)

27-101 (2) ILLUMINATION. INTERNAL AND EXTERNALLY LIGHTED REFLECTORIZED, GLOWING, AND OTHER FORMS OF ILLUMINATION SHALL BE PERMITTED ON ALL SIGNS. ALL ILLUMINATION SHALL BE CONCENTRATED ON THE AREA OF THE SIGN OR LANDSCAPE FEATURES AS TO PREVENT GLARE UPON THE STREET OR ADJACENT PROPERTY. NO SIGN SHALL BE ILLUMINATED BY OTHER THAN ELECTRICAL MEANS OR DEVICES, AND WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. THE ILLUMINATION OF ANY SIGN OR ANY PART OF SUCH ILLUMINATION CANNOT BE OTHER THAN A STEADY, CONTINUOUSLY BURNING BULB OR LIGHT. THE FLASHING PART THEREOF IS PROHIBITED, WITH THE EXCEPTION OF THAT PART OR ANY SIGN WHICH INDICATED TIME OR TEMPERATURE:

27-101 (2-e) THE TOTAL SURFACE AREA OF WALL SIGNS PLACED ON THE FRONT, SIDE OR REAR OF THE BUILDING SHALL NOT EXCEED ONE (1) SQUARE FOOT OF TOTAL SIGNAGE FOR EACH ONE (1) LINEAL FOOT OF BUILDING FRONTAGE:

PROHIBITED SIGNS:
ELECTRICAL MOVEMENT. ANY SIGN WHICH HAS ANY VISIBLE MOVING PART, VISIBLE REVOLVING PART, OR VISIBLE MECHANICAL MOVEMENT OF ANY DESCRIPTION, OR OTHER APPARENT VISIBLE MOVEMENT ACHIEVED BY ELECTRICAL OR MECHANICAL MEANS.

SHEET NOTES

1. PRIOR TO START OF PROJECT WORK, VERIFY ALL SITE CONDITIONS AND SUBMIT A PROJECT WORK PLAN TO THE ARCHITECT FOR REVIEW AND COMMENT. PRESENT THE WORK PLAN AT THE OWNER'S PRE-CONSTRUCTION MEETING. DO NOT BEGIN PRIOR TO THE "PRE-CONSTRUCTION MEETING" AND WRITTEN AUTHORIZATION TO PROCEED IS ISSUED BY THE OWNER.
2. NOTIFY THE ENGINEER IN WRITING OF ANY IDENTIFIED DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS PRIOR TO THE START OF WORK. DURING PERFORMANCE OF THE WORK, VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND CROSS-CHECK DETAILS AND DIMENSION SHOWN ON THE DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE ENGINEER SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
3. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
4. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC.
5. SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
6. ESTABLISH AND MAINTAIN SITE SECURITY UNTIL PROJECT ACCEPTANCE.
7. USE DIMENSIONS SHOWN ON DRAWINGS FOR LAYOUT OF THE WORK. DO NOT USE SCALE DIMENSIONS FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
8. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
9. DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
10. TAKE NOTE OF ALL GRADING AND DRAINAGE WAYS AND MAINTAIN THESE DRAIN WAYS FLOWS FREE OF OBSTRUCTIONS.
11. COORDINATE CONSTRUCTION OF PENETRATIONS, SLEEVES, VARIATIONS IN THE SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.
12. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
13. COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF ALL WORK.
14. ALL ABBREVIATIONS, SYMBOLS, AND LEGENDS SHOWN ON THIS DRAWING ARE NOT NECESSARILY USED.
15. ALL ADA RAMPS AND TRUNCATED DOMES TO ABIDE BY CURRENT R-28 MDOT STANDARDS
16. FOR CONCRETE CONTROL AND EXPANSION JOINTS, PROVIDE EQUIVALENT SPACING BETWEEN JOINTS THROUGHOUT.

KEYED NOTES

- A ARRIVAL PLAZA
- B RESTRICTED PARKING ON DESIGNATED DAYS
- C EMERGENCY ACCESS ONLY
- D MASONRY SCREEN WALL
- E SPILLWAY FOR DRAINAGE TO BIO-RETENTION, SEE DETAIL 10/CS500
- F INTEGRALLY LIT CONCRETE SEAT WALL WITH SEAT TOPPER (FOUR 3 PIECES SECTIONS FOR A TOTAL 12 EA.) SEE DETAIL 2/CS501
- G RAISED CONCRETE PAD FOR TRANSFORMER (EXTENDS 6" BEYOND EDGE OF TRANSFORMER, ALL SIDES)
- H RAISED CONCRETE PAD FOR GENERATOR AND TRANSFORMER (EXTENDS 6" BEYOND EDGE OF EQUIPMENT, ALL SIDES)
- I SYMPHONY PATIO
- J FUTURE SIGNAGE: PROJECT SIGNAGE TO MEET GROSSE POINTE PARK'S SIGANGE ORDINANCE AND WILL MAXIMIZE THE SIGN AREA ALLOWED BY ORDINANCE (SIGN MAY BE SINGLE-SIDED OR DOUBLE-SIDED, PER OWNER DIRECTION). SIGN AREA TO BE MAXIMUM 160 SF (1-SIDED) OR 320 SF (2-SIDED) BASED ON GPP ORDINANCE 27-101. THE CORRESPONDING AMOUNT OF BUILDING FRONTAGE ALONG MARYLAND (160 LINEAL FEET) WAS USED TO DETERMINE THE MAXIMUM AREA ALLOWED. SIGNS TO BE ILLUMINATED. SEE ELECTRICAL PLANS.

LEGEND

- PROPERTY BOUNDARY
- 20' SETBACK
- ASPHALT PAVEMENT (1/CS500)
- HEAVY DUTY ASPHALT PAVEMENT (2/CS500)
- CONCRETE PAVEMENT (3/CS500)
- HEAVY DUTY CONCRETE PAVEMENT (4/CS500)
- CONCRETE PAVEMENT, 2
- CONCRETE PAVEMENT, 3
- BIO-RETENTION, REFER TO LANDSCAPE PLAN
- LIMITS OF HEATED PAVEMENT (SNOW-MELT SYSTEM) (8/CS500)
- FROST SLAB, REFER TO STRUC. PLANS (8/CS501)
- CONTROL JOINT (7/LP500)
- EXPANSION JOINT
- MASONRY SCREEN WALL (5/CS500)
- DONOR IDENTIFICATION SIGN (BY OTHERS), ELECTRICAL CONNECTION TO BE COORDINATED REFER TO ELECT. PLANS (6/CS500)
- CONCRETE SEATWALL WITH INTREGRAL LIGHTING COMPONENT, REFER TO ELECT. PLANS
- CONCRETE CURB AND GUTTER(6" WIDTH CURB, 12" WIDE GUTTER) (2/CS501)
- CONCRETE CURB AND GUTTER (24" WIDTH CURB, 12" WIDE GUTTER
- CONCRETE CURB AND GUTTER (6" WIDTH CURB, NO GUTTER) (12/CS500)
- CONCRETE FLUSH CURB (13/CS500)
- STRAIGHT CONCRETE CURB (9/CS500)
- LIGHTED BOLLARD, (REFER TO ELECTRICAL PLANS)
- PARKING LOT AREA LIGHT (REFER TO ELECTRICAL PLANS)
- DECORATIVE STONE
- BARRIER FREE PARKING SIGN

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CBRE
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Kirkegaard
THEATRE PLANNERS / LIGHTING DESIGNERS Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

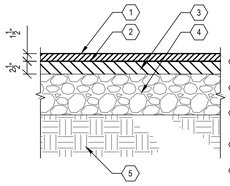
SHEET TITLE
SITE LAYOUT AND MATERIALS PLAN

0' 10' 20' 40'
SCALE: 1" = 20'

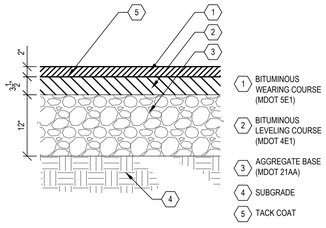
PROJECT NUMBER 12345.000

SHEET NUMBER CS100

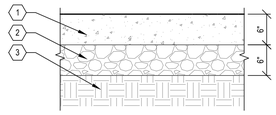
Plot Date:



1 ASPHALT PAVEMENT
SCALE: 1" = 1'-0"

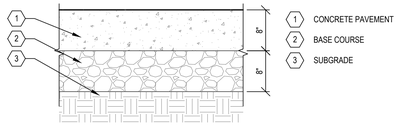


2 HEAVY DUTY ASPHALT PAVEMENT
SCALE: 1" = 1'-0"

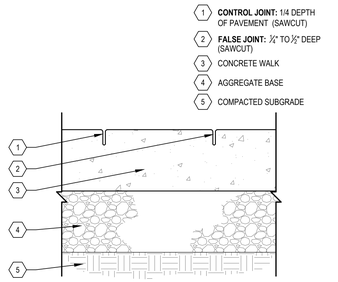


NOTES:
1. CONCRETE FINISH - SEE PLANS FOR LOCATIONS
   - SIDEWALK, 6-IN
   - SIDEWALK, 6-IN, INTEGRAL COLOR, FINISH "A"
   - SIDEWALK, 6-IN, INTEGRAL COLOR, FINISH "B"

3 CONCRETE PAVEMENT
SCALE: 1" = 1'-0"

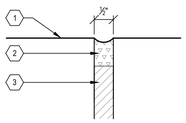


4 HEAVY DUTY CONCRETE PAVEMENT
SCALE: 1" = 1'-0"

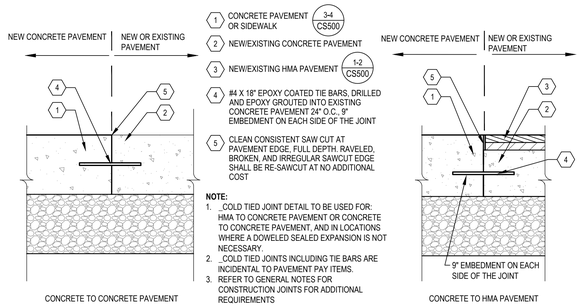


5 CONTROL JOINT
SCALE: NTS

NOTE:
SEALANT PER MANUFACTURER'S RECOMMENDATIONS

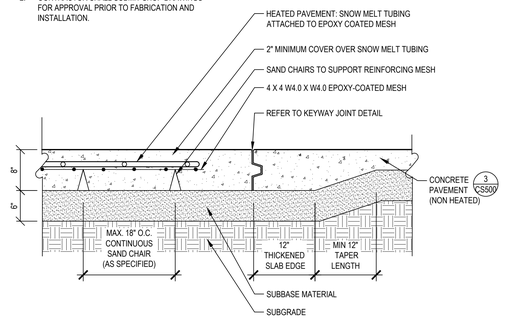


6 EXPANSION JOINT
SCALE: NTS

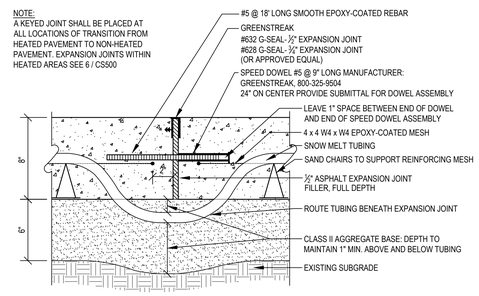


7 COLD TIED JOINT
SCALE: 1" = 1'-0"

NOTES:
1. THE DRAWINGS OF THE HEATED PAVEMENT ARE INTENDED TO GIVE THE OVERALL DIMENSIONS OF THE HEATED PAVEMENT, IT'S COMPONENTS, AND IT'S RELATIONSHIP TO OTHER SITE ELEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED DESIGN, FABRICATION, AND INSTALLATION OF THE HEATED PAVEMENT.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A FULLY OPERATIONAL HEATED PAVEMENT SYSTEM, REVIEWING ALL OPERATIONAL ASPECTS WITH THE OWNER, AND SUBMITTING ALL EQUIPMENT INFORMATION AND MAINTENANCE MANUALS TO THE OWNER.
4. HEATED PAVEMENT AT FROST SLABS SHALL MEET THE REQUIREMENTS OF THE TYPICAL FROST SLAB, SEE STRUCTURAL

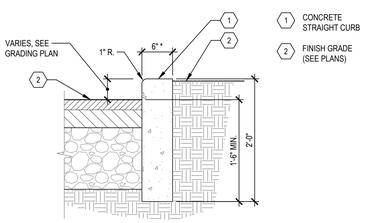


NOTE:
A KEYED JOINT SHALL BE PLACED AT ALL LOCATIONS OF TRANSITION FROM HEATED PAVEMENT TO NON-HEATED PAVEMENT. EXPANSION JOINTS WITHIN HEATED AREAS SEE 6 / CS500

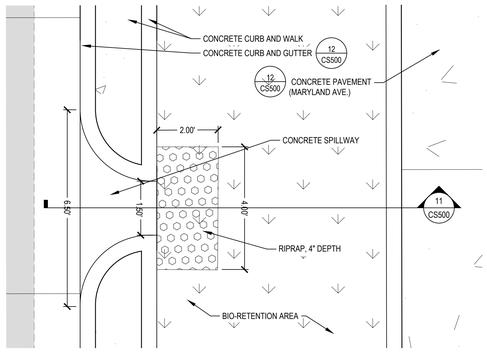


HEATED PAVEMENT EXPANSION JOINT

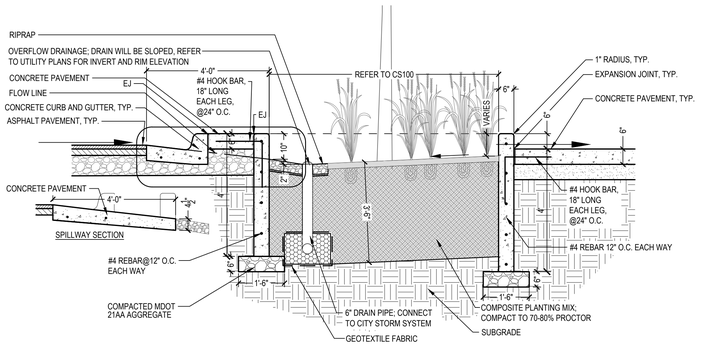
8 HEATED PAVEMENT
SCALE: NTS



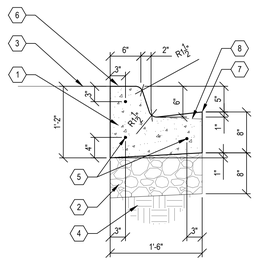
9 STRAIGHT CONCRETE CURB
SCALE: 1" = 1'-0"



10 SPILLWAY ENLARGEMENT
SCALE: 1" = 1'-0"



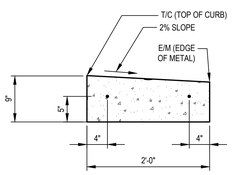
11 BIO-RETENTION AREA SECTION
SCALE: NTS



NOTES:
1. REFER TO MDOT DETAIL F4 AND ASSOCIATED JOINT PLACEMENT NOTES (R-30D) FOR ADDITIONAL INFORMATION.
2. TOP OF CURB TO EDGE OF METAL DISTANCE IS 7" FOR SPILLOUT CURBS

1 CONCRETE PAVEMENT
2 AGGREGATE BASE
3 FINISH GRADE
4 SUBGRADE
5 #4 BARS CONT. (#4 DWLS @ JOINTS)
6 TOP OF CURB (T/C) LOCATION ON GRADING PLANS
7 EDGE OF METAL (E/M) LOCATION ON GRADING PLANS
8 SPILLOUT CURB CONDITION

12 CONCRETE CURB AND GUTTER
SCALE: NTS



NOTES:
1. AT 90° ANGLE POINTS IN THE CURB LINE, PLACE EXPANSION JOINTS IN THE "LONG LET" 18" FROM THE BACK OF CURB OF THE "SHORT LEG"
2. ALL REINFORCING #4 REBAR, CONTINUOUS BETWEEN EXPANSION JOINTS

13 CONCRETE FLUSH CURB
SCALE: NTS

Plot Date:

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ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

SHEET TITLE
SITE DETAILS

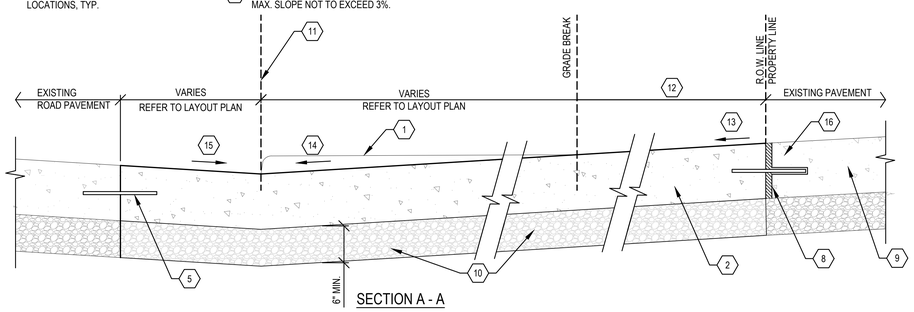
SCALE: AS SHOWN

PROJECT NUMBER 12345.000

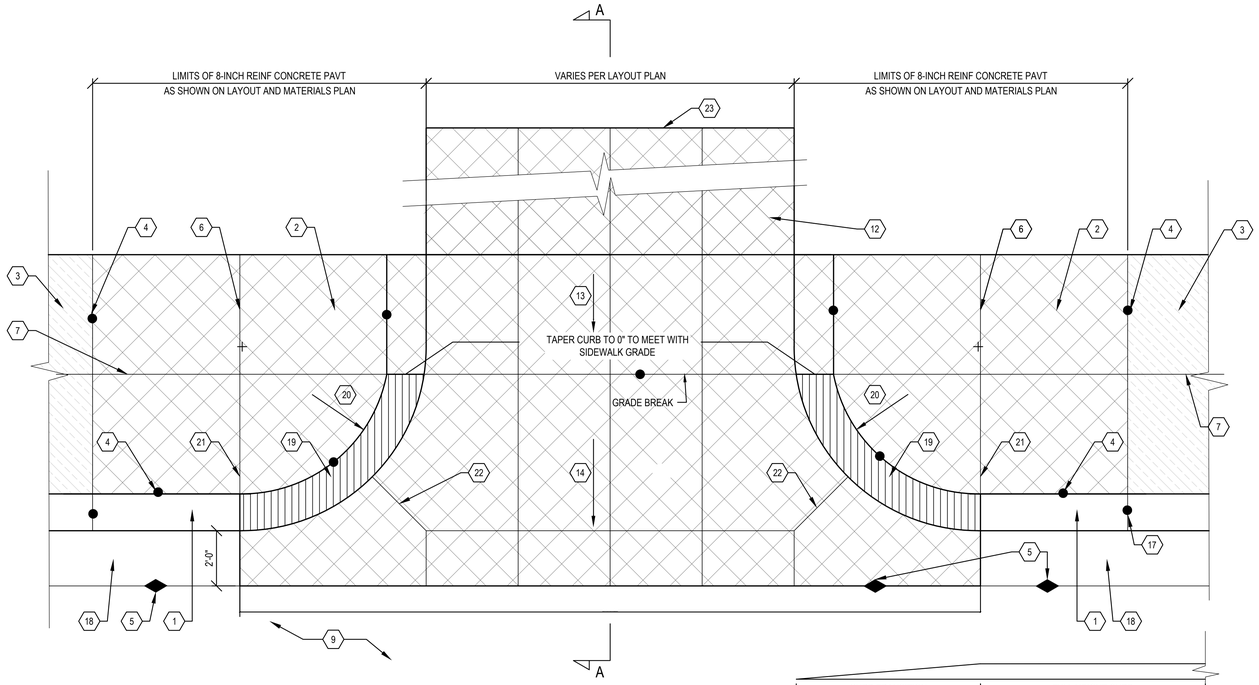
SHEET NUMBER CS500

1. 2-FOOT INTEGRAL CURB & SIDEWALK
2. 8-INCH REINF CONCRETE PAVT
3. 6-INCH CONCRETE PAVT AS INDICATED ON LAYOUT & MATERIALS PLAN
4. SEALED EXPANSION JOINT, TYP.
5. TIED COLD (CONSTRUCTION) JOINT
6. CONTROL JOINT, TYP.
7. CONTROL JOINT, SEE LAYOUT & MATERIALS PLAN FOR JOINT LOCATIONS, TYP.
8. WHEN DRIVE APPROACH TERMINATES AT CONCRETE PAVEMENT OR CONCRETE BASE PAVEMENT PROVIDE DOWELED SEALED EXPANSION JOINT
9. EXISTING CONCRETE
10. _AGGREGATE BASE, 21AA, MODIFIED
11. GUTTER LINE/FACE OF CURB LINE
12. EXTEND CONCRETE TO R.O.W. LINE AT A MINIMUM UNLESS SHOWN OTHERWISE ON LAYOUT AND MATERIALS PLAN
13. MAX CROSS-SLOPE 2% SLOPE AS SHOWN ON GRADING PLANS
14. SLOPE AS SHOWN ON GRADING PLANS. MAX SLOPE TO NOT EXCEED 8%.
15. SLOPE AS SHOWN ON GRADING PLANS. MAX. SLOPE NOT TO EXCEED 3%.
16. IF EXISTING CONCRETE PAVEMENT OR CONCRETE BASE IS LESS THAN 6" AT RIGHT-OF-WAY LINE, CONSTRUCT COLD JOINT WITHOUT TIE BAR.
17. SEALED EXPANSION JOINT IN CURB TO ALIGN WITH SEALED EXPANSION JOINT IN SIDEWALK
18. HMA PAVT - PARKING AREA AS INDICATED ON LAYOUT & MATERIALS PLAN
19. CURB TRANSITION FROM FULL HEIGHT TO FLUSH
20. RADIUS AS SHOWN ON LAYOUT PLANS
21. JOINTS IN SIDEWALK TO ALIGN WITH CURB JOINTS AS SHOWN, TYP.
22. JOINTS TO ALIGN WITH CENTER POINTS AS SHOWN, TYP.
23. MEET GRADE AS SHOWN ON GRADING PLAN
24. MEET GRADE AS SHOWN ON GRADING PLAN

NOTES:
1. SEE CITY OF DETROIT STANDARD DETAIL FOR DRIVE APPROACH NO. C-4384.



SECTION A - A



PLAN

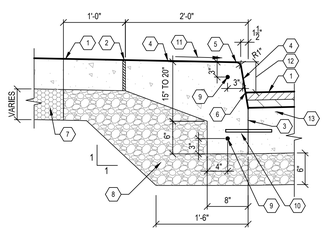
CURB PROFILE

1 DRIVEWAY APPROACH

SCALE: NTS

NOTE:

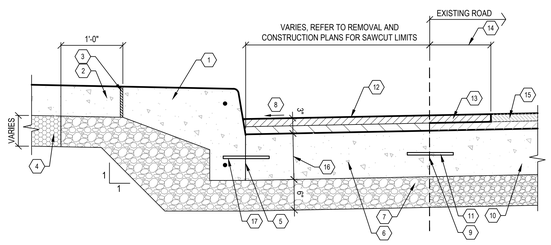
SLIP FORMING OF CONCRETE CURBS WILL NOT BE PERMITTED. CONCRETE CURBS SHALL BE CONSTRUCTED USING CONVENTIONAL FORM WORK.



1. ADJACENT SURFACE VARIES, REFER TO CONSTRUCTION PLANS
2. 1" SEALED EXPANSION JOINT AT BACK OF CURB (WHEN ADJACENT TO PAVEMENT) (6 / CS500)
3. _COLD TIED JOINT (7 / CS500)
4. MEDIUM BROOM FINISH ON EXPOSED SURFACES PARALLEL WITH CURB
5. TOP OF CURB ELEVATION NOTED ON GRADING PLAN
6. GUTTER ELEVATION NOTED ON GRADING PLANS
7. BASE MATERIAL PER PAVEMENT TYPE
8. _AGGREGATE BASE 21AA
9. #4 BAR, EPOXY COATED, CONTINUOUS
10. WHEN ADJACENT TO CONCRETE PAVEMENT OR CONCRETE BASE PROVIDE #4 x 9" EPOXY COATED TIE BARS, 24" O.C. CENTERED ON JOINT
11. SLOPE TO MATCH CROSS SLOPE AT ADJACENT SIDEWALK IN AREA WITHOUT ADJACENT SIDEWALK SLOPE AT 1.5%.
12. CURB HEIGHT DEFINED ON GRADING PLANS
13. _CONC., BASE CSE, NON REINF, 8 INCH

2 INTEGRAL CURB AND SIDEWALK 2 FOOT MODIFIED

SCALE: 1" = 1'-0"



1. _INTERGRAL CURB AND SIDEWALK, 2 FOOT, MODIFIED (15 / CS500)
2. ADJACENT SURFACE VARIES, REFER TO CONSTRUCTION PLANS
3. 1" SEALED EXPANSION JOINT AT BACK OF CURB (WHEN ADJACENT TO PAVEMENT) (6 / CS500)
4. BASE MATERIAL PER PAVEMENT TYPE
5. _COLD TIED JOINT (7 / CS500)
6. _CONC, BASE CSE, NON REINF, 8 INCH
7. _AGGREGATE BASE 21AA
8. SLOPE TO MATCH ADJACENT PAVEMENT AS SHOWN ON GRADING PLANS MIN. SLOPE AT GUTTER 1%
9. SAWCUT, FULL DEPTH, REFER TO DEMOLITION PLANS FOR LOCATION
10. EXISTING SUB-BASE CONCRETE
11. #4 X 18" EPOXY COATED TIE BARS, DRILLED AND EPOXY GROUTED INTO EXISTING CONCRETE PAVEMENT 24" O.C.
12. HMA, 4E3 OR HAND PATCHING (1½" 4E3 WEARING SURFACE ON ½" 4E3 BASE COURSE.) (1-2 / CS500)
13. COLD MILL EXISTING BITUMINOUS SURFACE & RESURFACE W/ 1½" HMA, 5E3
14. HMA BUTT JOINT WIDTH TO BE 1'-0" MIN. UNLESS NOTED OTHERWISE ON PLANS
15. EXISTING HMA PAVEMENT
16. DEPTH OF CONCRETE TO MATCH DEPTH OF ADJACENT CONCRETE BASE, MIN. 8" TO MAX. 10"
17. WHEN ADJACENT TO CONCRETE PAVEMENT OR CONCRETE BASE PROVIDE #4 x 9" EPOXY COATED TIE BARS, 24" O.C. CENTERED ON JOINT

3 INTEGRAL CURB AND SIDEWALK 2 FOOT MODIFIED (ADJACENT TO HMA OVERLAY CONC. BASE)

SCALE: 1" = 1'-0"

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ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

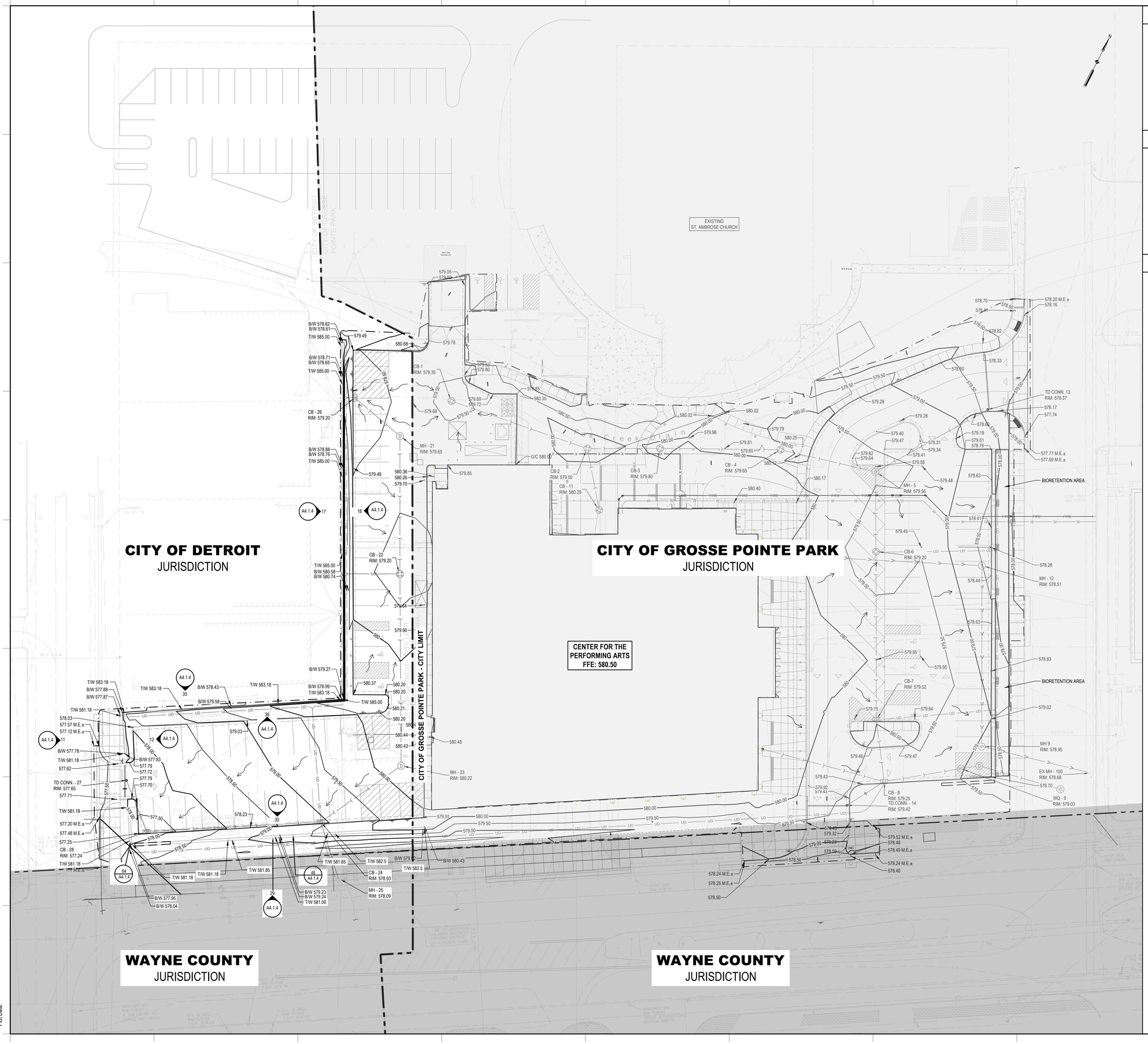
SHEET TITLE
SITE DETAILS 3

SCALE: AS SHOWN

PROJECT NUMBER 12345.000

SHEET NUMBER CS502

Plot Date:



SHEET NOTES

KEYED NOTES

LEGEND

- 865 — EXISTING MAJOR CONTOUR
- 864 — EXISTING MINOR CONTOUR
- 861.50 — EXISTING SPOT ELEVATION
- 865 — PROPOSED MAJOR CONTOUR
- 864 — PROPOSED MINOR CONTOUR
- GRADING LIMITS
- GRADE BREAK LINE
- PROFILE - EXISTING GRADE
- PROFILE - FINISH GRADE
- 861.50 — PROPOSED SPOT ELEVATION
- 861.50 M.E. — APPROX. SPOT ELEVATION: MATCH EXISTING GRADE
- 861.50 M.R. — APPROX. SPOT ELEVATION: MATCH EXISTING GRADE & CROSS SLOPE OF ROADWAY
- RIM 861.50 — STRUCTURE RIM ELEVATION
- T/C 861.50 — TOP OF CURB ELEVATION
- G/C 861.50 — GUTTER OF CURB ELEVATION
- E/P 861.50 — EDGE OF PAVEMENT ELEVATION
- T/F 861.50 — TOP OF FOOTING ELEVATION
- B/F 861.50 — BOTTOM OF FOOTING ELEVATION
- T/S 861.50 — TOP OF SWALE ELEVATION
- B/S 861.50 — BOTTOM OF SWALE ELEVATION
- T/W 861.50 — TOP OF WALL ELEVATION
- B/W 861.50 — BOTTOM OF WALL ELEVATION
- HP 861.50 — HIGH POINT ELEVATION
- LP 861.50 — LOW POINT ELEVATION
- FLOW DIRECTION (ARROW POINTS DOWNTSTREAM
- AREAS WITHIN GROSSE POINTE PARK (TO BE REVIEWED BY GROSSE POINTE PARK BUILDING DEPARTMENT)
- AREAS WITHIN JEFFERSON RIGHT-OF-WAY ARE UNDER THE JURISDICTION OF WAYNE COUNTY, WITH THE EXCEPTION OF THE STORM SEWERS AND CONNECTIONS, WHICH ARE UNDER DWSD JURISDICTION.

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CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

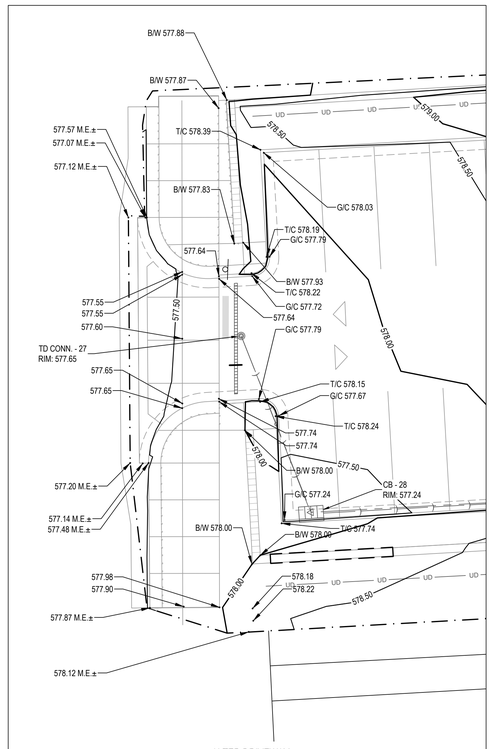
SHEET TITLE
SITE GRADING PLAN

0' 10' 20' 40'
SCALE: 1" = 20'

PROJECT NUMBER
12345.000

SHEET NUMBER
CG100

Plot Date:



ALTER DRIVEWAY

SHEET NOTES

KEYED NOTES

LEGEND

865	EXISTING MAJOR CONTOUR
864	EXISTING MINOR CONTOUR
861.50	EXISTING SPOT ELEVATION
865	PROPOSED MAJOR CONTOUR
864	PROPOSED MINOR CONTOUR
	GRADING LIMITS
	GRADE BREAK LINE
	PROFILE - EXISTING GRADE
	PROFILE - FINISH GRADE
861.50	PROPOSED SPOT ELEVATION
861.50 M.E.	APPROX. SPOT ELEVATION: MATCH EXISTING GRADE
861.50 M.R.	APPROX. SPOT ELEVATION: MATCH EXISTING GRADE & CROSS SLOPE OF ROADWAY
RIM 861.50	STRUCTURE RIM ELEVATION
T/C 861.50	TOP OF CURB ELEVATION
G/C 861.50	GUTTER OF CURB ELEVATION
E/P 861.50	EDGE OF PAVEMENT ELEVATION
T/F 861.50	TOP OF FOOTING ELEVATION
B/F 861.50	BOTTOM OF FOOTING ELEVATION
T/S 861.50	TOP OF SWALE ELEVATION
B/S 861.50	BOTTOM OF SWALE ELEVATION
T/W 861.50	TOP OF WALL ELEVATION
B/W 861.50	BOTTOM OF WALL ELEVATION
HP 861.50	HIGH POINT ELEVATION
LP 861.50	LOW POINT ELEVATION
	EROSION EEL
	INLET PROTECTION
	FLOW DIRECTION (ARROW POINTS DOWNTSTREAM

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ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

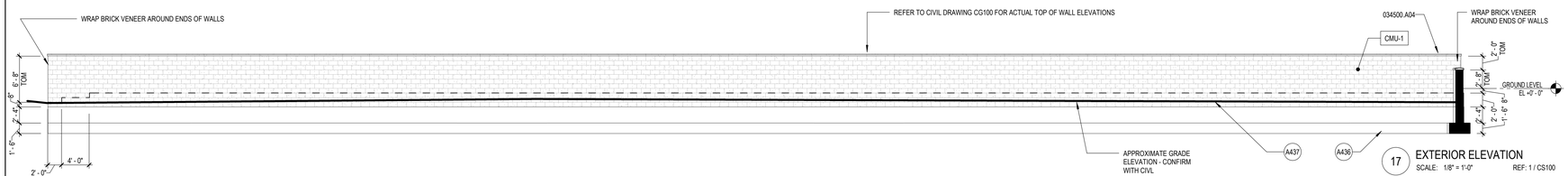
SHEET TITLE
GRADING ENLARGEMENTS

0' 5' 10' 20'
SCALE: 1" = 10'

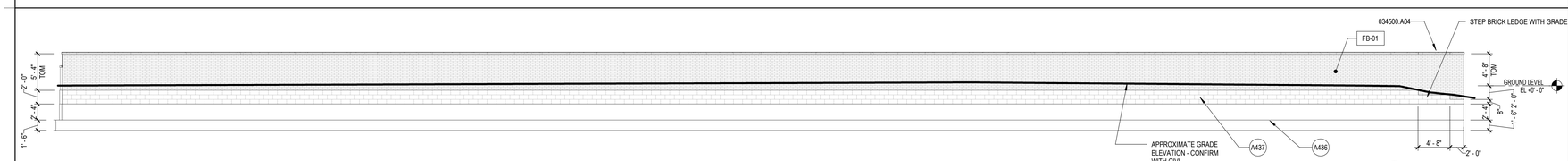
12345.000
PROJECT NUMBER

CG400
SHEET NUMBER

Plot Date:



17 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



18 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100

EXTERIOR FINISH LEGEND

- FB-01 STANDARD BRICK
- FB-02 CUSTOM BRICK #1
- MCM-01 ARCHITECTURAL COMPOSITE METAL PANELS
- ST-01 LIMESTONE PANEL
- APC-1 ARCHITECTURAL PRECAST CONCRETE PANEL

GENERAL SHEET NOTES

A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.

B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET.

C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.

D. REFER TO THE A4.4.X SERIES SHEETS FOR ENLARGED EXTERIOR ELEVATIONS.

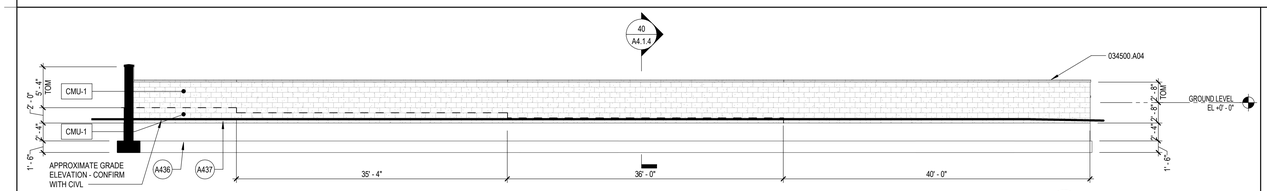
E. REFER TO THE A5.4.X SERIES SHEETS FOR EXTERIOR WINDOW AND LOUVER FRAME ELEVATIONS.

SHEET KEYNOTES

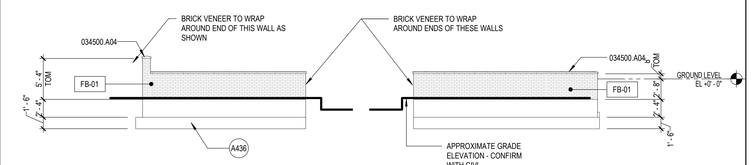
A436	STRUCTURAL FOUNDATIONS; REFER TO DETAILS THIS SHEET
A437	GROUT FILLED CMU BELOW GRADE - TYP

REFERENCE KEYNOTES

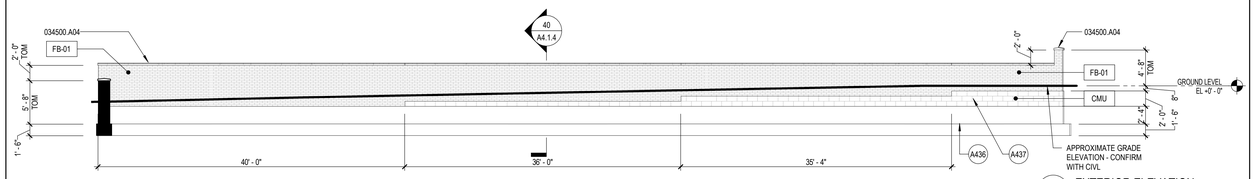
033000.A01	CONCRETE FOOTING
033000.A02	CONCRETE FOUNDATION WALL
033000.B01	STEEL REINFORCEMENT
034500.A04	PRECAST ARCHITECTURAL CONCRETE COPING
034500.A05	PREFABRICATED PRECAST ARCHITECTURAL CONCRETE CORNER COPING
034500.B02	PRECAST ARCHITECTURAL CONCRETE COPING - RAKE JOINTS BETWEEN CAPS, FILL WITH SEALANT
034500.C02	PRECAST STAINLESS STEEL ANCHOR TIES (2) MINIMUM PER PIECE OF CAP, MAXIMUM 4'-0" O.C., GROUT INTO CAP, SEALANT AT FLASHING PENETRATION
042000	SECTION 042000 - UNIT MASONRY
042000.A04	6" CONCRETE MASONRY UNIT
042000.A05	8" CONCRETE MASONRY UNIT
042000.A11	DECORATIVE CMU, SPLIT-FACE FINISH
042000.A18	FACE BRICK
042000.B02	GROUT
042000.C09	ADJUSTABLE MASONRY-VENEER ANCHOR
042000.C31	STAINLESS STEEL FLASHING
064800.E02	EXTERIOR SHIM
079200.A02	SEALANT AND BACKER



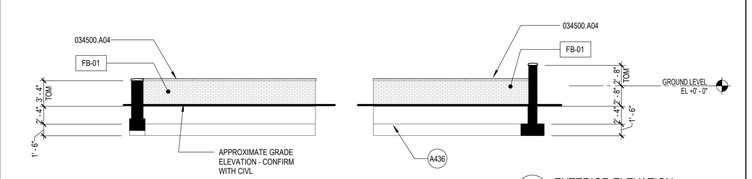
35 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



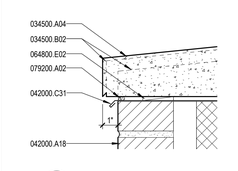
11 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



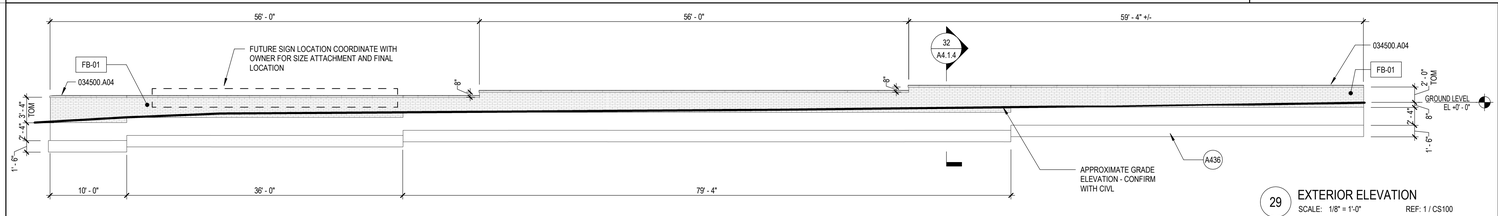
36 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



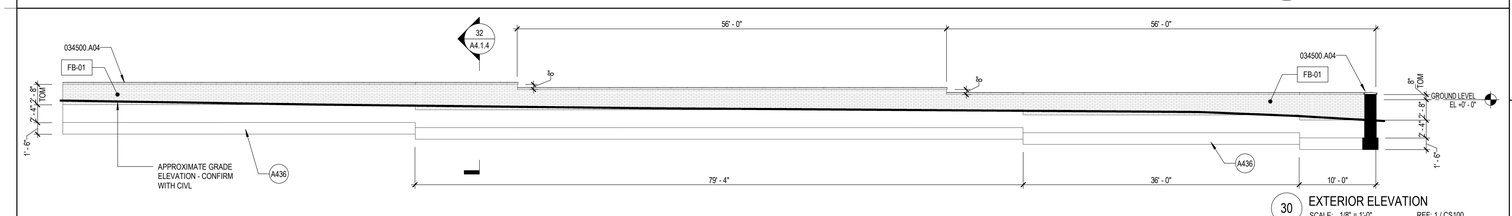
12 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



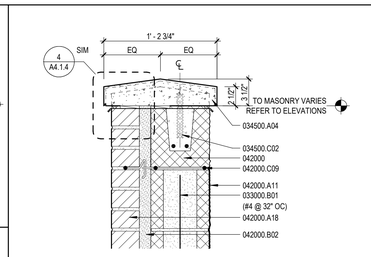
4 EXTERIOR SECTION DETAIL
SCALE: 3" = 1'-0" REF: 6 / A4.1.4



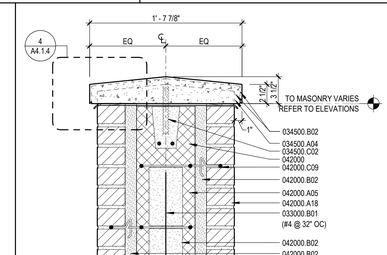
29 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



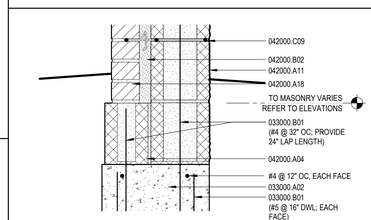
30 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" REF: 1 / CS100



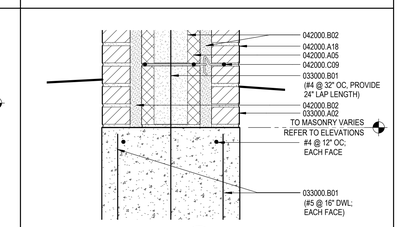
22 EXTERIOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0" REF: 40 / A4.1.4



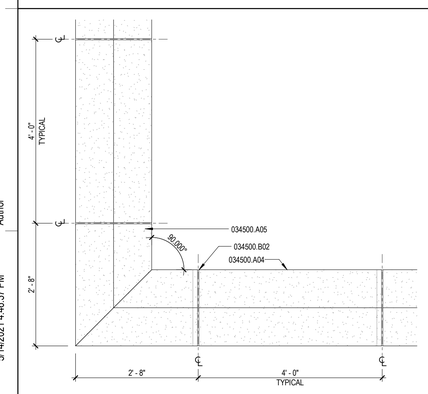
6 EXTERIOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0" REF: 32 / A4.1.4



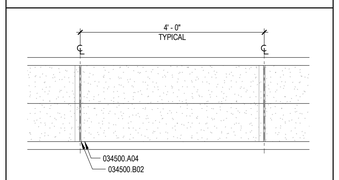
23 EXTERIOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0" REF: 40 / A4.1.4



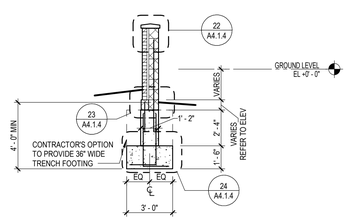
7 EXTERIOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0" REF: 32 / A4.1.4



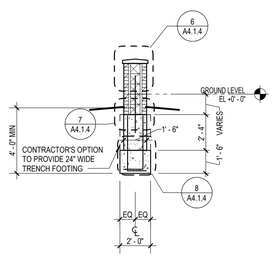
72 EXTERIOR PLAN DETAIL
SCALE: 3/4" = 1'-0" REF: 1 / CS100



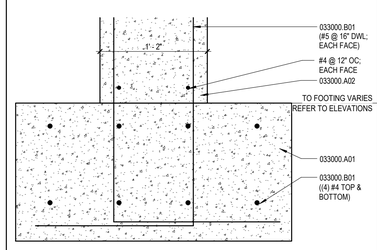
56 EXTERIOR PLAN DETAIL
SCALE: 3/4" = 1'-0" REF: 1 / CS100



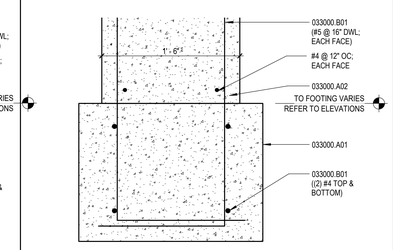
40 EXTERIOR WALL SECTION
SCALE: 1/4" = 1'-0" REF: 29 / A4.1.4



32 EXTERIOR WALL SECTION
SCALE: 1/4" = 1'-0" REF: 29 / A4.1.4



24 EXTERIOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0" REF: 40 / A4.1.4



8 EXTERIOR SECTION DETAIL
SCALE: 1 1/2" = 1'-0" REF: 32 / A4.1.4

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Kirkegaard
THEATRE PLANNERS / LIGHTING DESIGNERS Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL	1	23JUN21

SEALS AND SIGNATURES

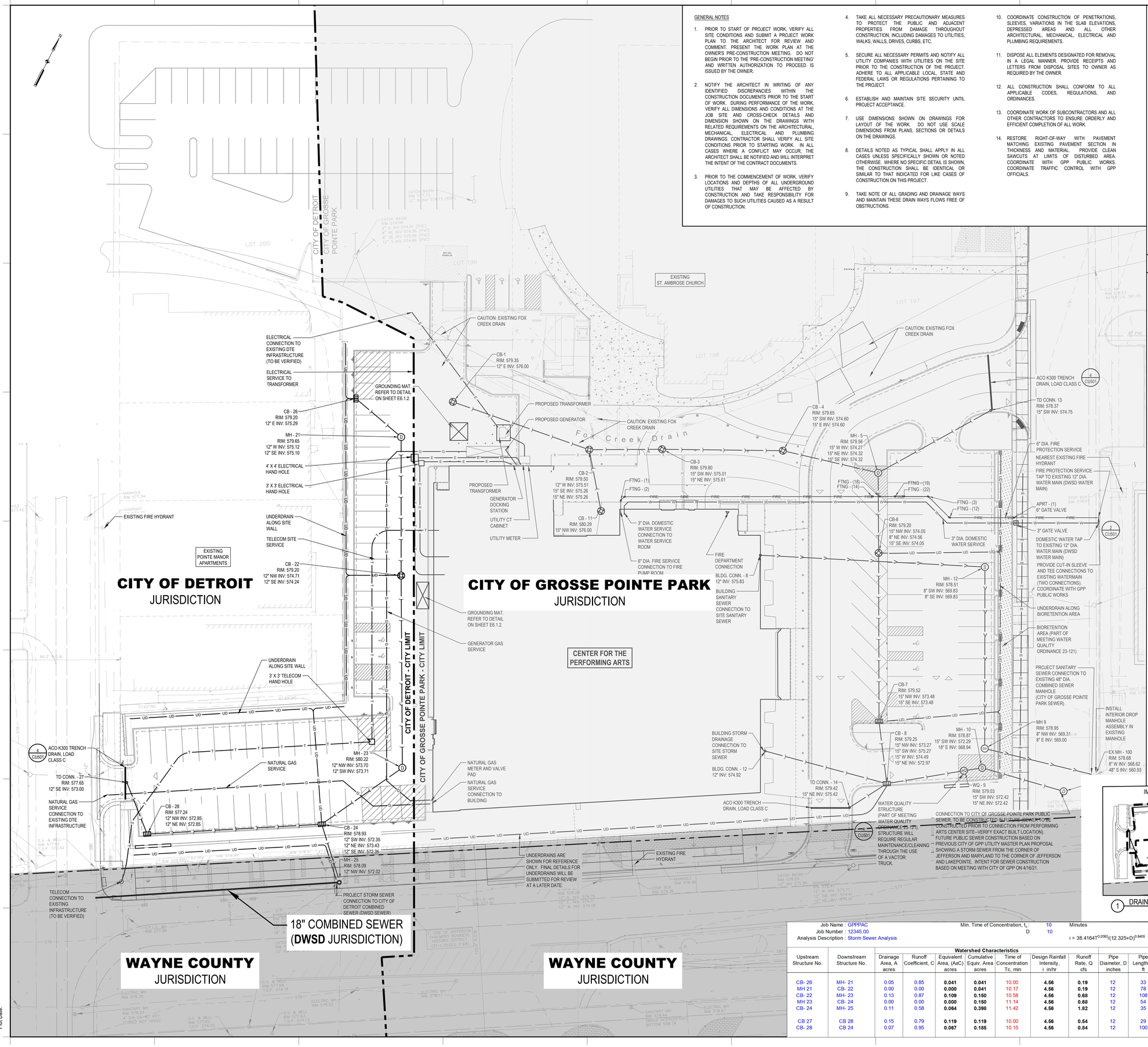
STATE OF MICHIGAN
JEFFREY J. KAUSHAN
31762
LICENSED ARCHITECT

SHEET TITLE
EXTERIOR SITE ELEVATIONS, SECTIONS AND DETAILS

PROJECT NUMBER 12345.000

SHEET NUMBER **A4.1.4**

Author
5/14/2021 4:46:37 PM
Plot Date:



GENERAL NOTES

1. PRIOR TO START OF PROJECT WORK, VERIFY ALL SITE CONDITIONS AND SUBMIT A PROJECT WORK PLAN TO THE ARCHITECT FOR REVIEW AND COMMENT. PRESENT THE WORK PLAN AT THE OWNER'S PRE-CONSTRUCTION MEETING. DO NOT BEGIN PRIOR TO THE 'PRE-CONSTRUCTION MEETING' AND WRITTEN AUTHORIZATION TO PROCEED IS ISSUED BY THE OWNER.
2. NOTIFY THE ARCHITECT IN WRITING OF ANY IDENTIFIED DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS PRIOR TO THE START OF WORK. DURING PERFORMANCE OF THE WORK, VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND CROSS-CHECK DETAILS AND DIMENSION SHOWN ON THE DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE ARCHITECT SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
3. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
4. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC.
5. SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
6. ESTABLISH AND MAINTAIN SITE SECURITY UNTIL PROJECT ACCEPTANCE.
7. USE DIMENSIONS SHOWN ON DRAWINGS FOR LAYOUT OF THE WORK. DO NOT USE SCALE DIMENSIONS FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
8. DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
9. TAKE NOTE OF ALL GRADING AND DRAINAGE WAYS AND MAINTAIN THESE DRAIN WAYS FLOWS FREE OF OBSTRUCTIONS.
10. COORDINATE CONSTRUCTION OF PENETRATIONS, SLEEVES, VARIATIONS IN THE SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.
11. DISPOSE ALL ELEMENTS DESIGNATED FOR REMOVAL IN A LEGAL MANNER. PROVIDE RECEIPTS AND LETTERS FROM DISPOSAL SITES TO OWNER AS REQUIRED BY THE OWNER.
12. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
13. COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETION OF ALL WORK.
14. RESTORE RIGHT-OF-WAY WITH PAVEMENT MATCHING EXISTING PAVEMENT SECTION IN THICKNESS AND MATERIAL. PROVIDE CLEAN SAWCUTS AT LIMITS OF DISTURBED AREA. COORDINATE WITH GPP PUBLIC WORKS. COORDINATE TRAFFIC CONTROL WITH GPP OFFICIALS.

WATER MAIN NOTES

1. FIRE PROTECTION AND DOMESTIC WATER PIPING TO BE DUCTILE IRON CONFORMING WITH AWWA C151, THICKNESS CLASS 52.
2. D.I. BITUMINOUS OUTER COATING TO COMPLY WITH AWWA C151 AND PIPE MORTAR LINING TO CONFORM WITH AWWA C104, DOUBLE THICKNESS.
3. WATER PIPING AND FITTINGS TO HAVE POLYETHYLENE ENCASEMENT IN ACCORDANCE WITH AWWA C105, MINIMUM THICKNESS 8 MIL.
4. FITTINGS TO CONFORM WITH AWWA C110. COATING AND LINING SPECIFICATIONS TO BE THE SAME AS FOR MAINLINE PIPING.
5. MECHANICAL JOINT FITTING TO CONFORM WITH AWWA C111. FLANGED JOINTS TO CONFORM WITH AWWA C115. RESTRAINED JOINTS TO BE BOLTLESS, PUSH-ON TYPE, JOINT RESTRAINT INDEPENDENT OF SEAL.
6. MINIMUM GROUND COVER FROM FINISHED GRADE TO OUTSIDE TOP OF PIPE IS 5'-0".

SANITARY SEWER AND COMBINED SEWER NOTES

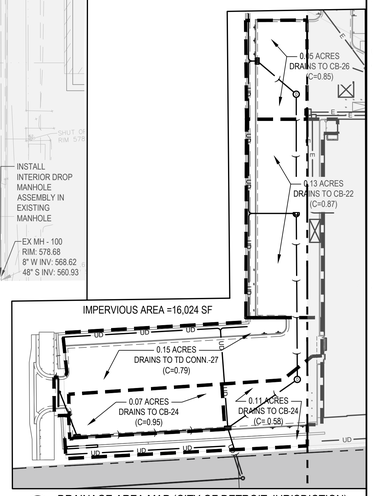
1. SANITARY SEWER AND COMBINED SEWER PIPING AND FITTINGS TO CONFORM TO ASTM D1785 AND ASTM D2665. SCHEDULE 80 PIPE IS REQUIRED FOR COMBINED SEWER WORK WITHIN THE MARYLAND ST. RIGHT-OF-WAY. ALL OTHER SANITARY SEWER PIPING TO BE PVC SCH 40.
2. INSTALLATION TO CONFORM TO DWSD SPECIFICATIONS.

STORM SEWER NOTES

1. REINFORCED CONCRETE PIPE TO CONFOR TO ASTM C 76, CLASS IV, WALL B.
2. MANHOLES TO CONFORM TO ASTM C 478 WITH RESILIENT PIPE CONNECTORS CONFORMING TO ASTM C 923.
3. INSTALLATION TO CONFORM WITH DWSD SPECIFICATIONS.

LEGEND

- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- COMBINED SEWER
- UNDERDRAIN
- NATURAL GAS LINE
- FIRE WATER LINE
- ELECTRICAL LINE UNDERGROUND
- TELECOM LINE UNDERGROUND
- FIRE DEPARTMENT CONNECTION
- SANITARY MANHOLE (2 / CU500)
- COMBINED SEWER MANHOLE (2 / CU500)
- STORM STRUCTURE (2 / CU500)
- INLET (3,4 / CU500)
- YARD DRAIN (3,4 / CU500)
- WATER QUALITY STRUCTURE (5 / CU500)
- ELECTRICAL VAULT
- TELECOMMUNICATION MANHOLE
- GATE VALVE BOX (1 / CU501)
- AREAS WITHIN GROSSE POINTE PARK (TO BE REVIEWED BY GROSSE POINTE PARK BUILDING DEPARTMENT)
- AREAS WITHIN JEFFERSON RIGHT-OF-WAY ARE UNDER THE JURISDICTION OF WAYNE COUNTY, WITH THE EXCEPTION OF THE STORM SEWERS AND CONNECTIONS, WHICH ARE UNDER DWSD JURISDICTION.



1 DRAINAGE AREA MAP (CITY OF DETROIT JURISDICTION)
SCALE: 1" = 40'

Job Name : GPPPAC					Min. Time of Concentration, t_c :		10	Minutes					Pipe Material :		RCP
Job Number : 12345.00					D		10						Manning n :		0.013
Analysis Description : Storm Sewer Analysis					$i = 38.4164T^{0.2082}/(12.325+D)^{0.8405}$								Minimum Velocity :	2.5	ft/sec
													Maximum Velocity :	10.0	ft/sec
		Watershed Characteristics										Pipe Characteristics			
Upstream Structure No.	Downstream Structure No.	Drainage Area, A acres	Runoff Coefficient, C	Equivalent Area, (AxC) acres	Cumulative Equiv. Area acres	Time of Concentration Tc, min	Design Rainfall Intensity, i in/hr	Runoff Rate, Q cfs	Pipe Diameter, D inches	Pipe Length, L ft	Pipe Slope, S %	Pipe Flow Capacity,* Qfull, cfs	Pipe Flow Velocity, Vfull, fps	Pipe Flow Q/Qfull	Time to Next Structure, Tt min
CB- 26	MH- 21	0.05	0.85	**0.041**	**0.041**	10.00	**4.56**	**0.19**	12	33	0.50	**2.52**	**3.21**	**0.07**	**10.17**
MH 21	CB- 22	0.00	0.00	**0.000**	**0.041**	10.17	**4.56**	**0.19**	12	78	0.50	**2.52**	**3.21**	**0.07**	**10.58**
CB- 22	MH- 23	0.13	0.87	**0.109**	**0.150**	10.58	**4.56**	**0.68**	12	108	0.50	**2.52**	**3.21**	**0.27**	**11.14**
MH 23	CB- 24	0.00	0.00	**0.000**	**0.150**	11.14	**4.56**	**0.68**	12	54	0.50	**2.52**	**3.21**	**0.27**	**11.42**
CB- 24	MH- 25	0.11	0.58	**0.064**	**0.398**	11.42	**4.56**	**1.82**	12	35	0.99	**3.54**	**4.51**	**0.51**	**11.55**
CB 27	CB 28	0.15	0.79	**0.119**	**0.119**	10.00	**4.56**	**0.54**	12	29	0.50	**2.52**	**3.21**	**0.21**	**10.15**
CB- 28	CB 24	0.07	0.95	**0.067**	**0.185**	10.15	**4.56**	**0.84**	12	100	0.50	**2.52**	**3.21**	**0.34**	**10.67**

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CBRE
EKAUSKAS ARCHITECTURE
Kirkegaard
THEATRE PLANNERS / LIGHTING DESIGNERS
Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

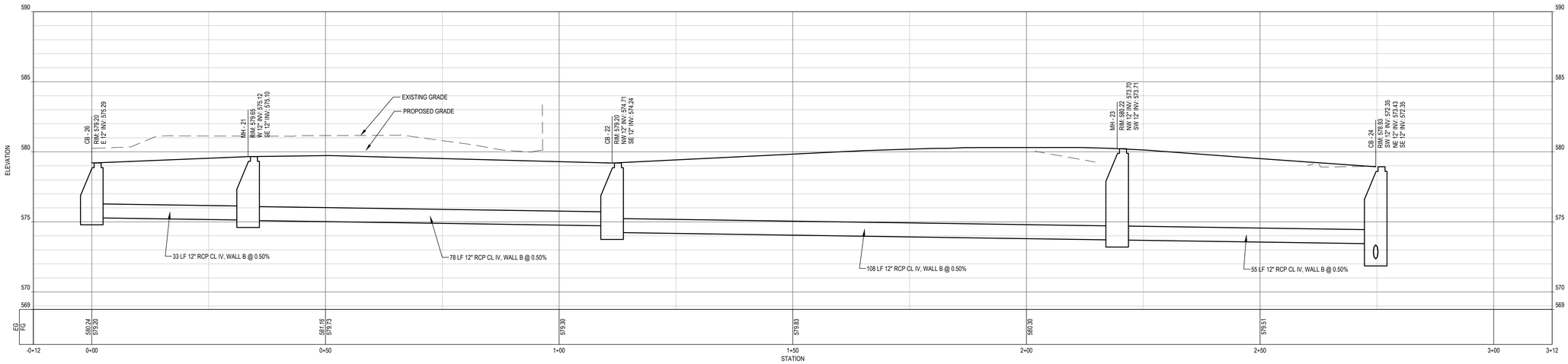
SHEET TITLE
SITE UTILITY PLAN

0' 10' 20' 40'
SCALE: 1" = 20' (MAIN PLAN)
SCALE: 1" = 40' (DRAINAGE AREA MAP)

PROJECT NUMBER
12345.000

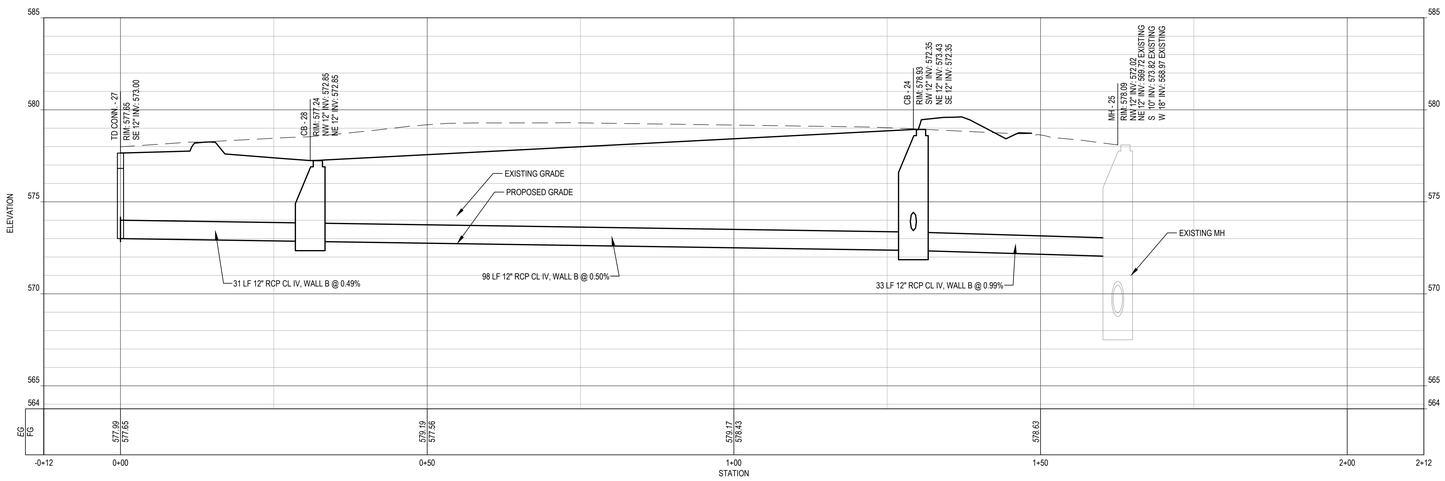
SHEET NUMBER
CU100

Plot Date:



1 PROFILE VIEW - STORM (CITY OF DETROIT)

HORIZ SCALE: 1" = 10'
VERT SCALE: 1" = 3.33'



2 PROFILE VIEW - STORM (CITY OF DETROIT)

HORIZ SCALE: 1" = 10'
VERT SCALE: 1" = 3.33'

Plot Date:

URBAN RENEWAL INITIATIVE FOUNDATION

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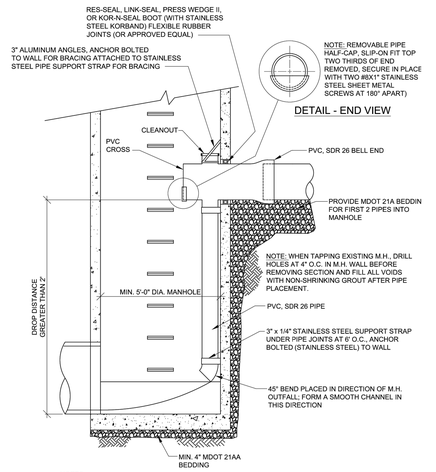
ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

SHEET TITLE
UTILITY PROFILES

SCALE: AS SHOWN

PROJECT NUMBER
12345.000

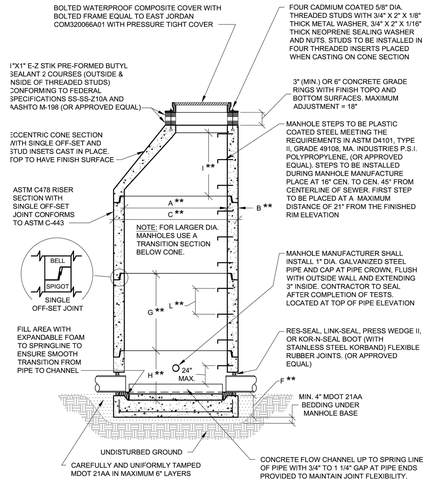
SHEET NUMBER
CU200



NOTES:
1. SIZE OF DROP PIPE WILL BE LIMITED BY SIZE OF MANHOLE AND AVAILABLE PVC CROSSES.
2. SEE STANDARD MANHOLE DRAWING FOR OTHER MANHOLE DETAILS.

1 INTERIOR DROP MANHOLE ASSEMBLY

SCALE: NTS



NOTE:
REFER TO DETAIL SHEET 330561-05 FOR MANHOLE ASSEMBLY TABLE **.

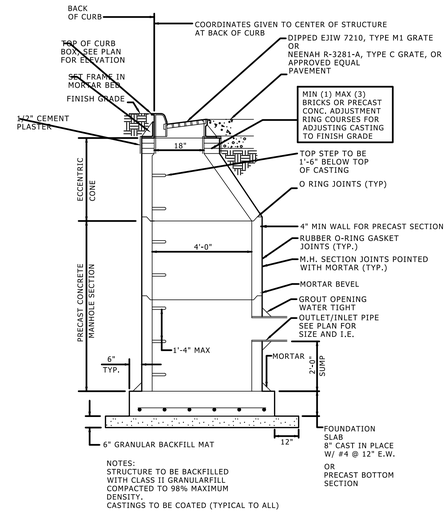
2 STANDARD MANHOLE PRECAST

SCALE: NTS

A	RISER DIAMETER	IN	24	48	60	72	84	96	108	120
B	WALL THICKNESS	IN	3	5	6	7	8	9	9	10
C	OUTSIDE DIAMETER	IN	30	58	72	86	100	114	126	140
D	JOINT DEPTH	IN	2.75	2.75	4.75	5	5	5	5.25	7.5
E	-	-	-	-	-	-	-	-	-	-
F	INTEGRAL BASE	IN	6	8	8	8	8	8	8	8
G	RISER HEIGHTS	FT	2	1.33	1.33	1.33				
		FT	3	2.67	2.67	2.67	2.67	2.67	2.67	2.67
		FT		4	4	4	4	4	4	4
		FT		5.33	5.33	5.33	5.33	5.33	5.33	5.33
		FT			8	8	8	8	8	
H	BASE HEIGHT RISER HEIGHTS CAN ALSO BE USED AS BASE SECTIONS	FT	2		2	2	2	2	2	2
		FT	3		3	3	3	3	3	3
		FT	4	3.33	3.33	3.33	3.33	3.33	3.33	3.33
		FT	4.5		3.67	3.67	3.67	3.67	3.67	3.67
		FT		4.67	4.67	4.67	4.67	4.67	4.67	4.67
		FT		5	5	5	5	5	5	5
		FT		6	6	6	6	6	6	6
		FT			7	7	7	7	7	
I	CONE HEIGHT TO 24"	FT			2.5	3				
					CON.	CON.				
				3						
				4						
	CONE HEIGHT TO 48"	FT			2.67	2.67				
K	LOOSE BASE - OUTSIDE DIA. 6" THK.	IN	44							
	8" THK.	IN	48	72	84	96				
	12" THK.	IN			84	96	108	120		156
L	STEP SPACING	IN		16	16	16	16	16	16	16
	APPROX. WEIGHT / FT.	LB	264	867	1295	1811	2409	3090	3400	4200

NOTES:
1. SOME DIMENSIONS MAY VARY BY MANUFACTURER. DESIGN ENGINEER SHALL ENSURE DETAIL MEETS AGENCY REQUIREMENTS.
2. SEE DETAIL SHEET 330561-02 FOR STANDARD MANHOLE PRECAST DESIGN.

MANHOLES ASTM C-478
WEIGHTS AND DIMENSIONS - US CUSTOMARY



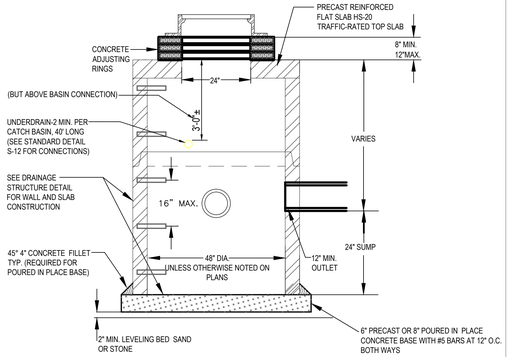
NOTES:
STRUCTURE TO BE BACKFILLED WITH CLASS II GRANULARFILL COMPACTED TO 98% MAXIMUM DENSITY.
CASTINGS TO BE COATED (TYPICAL TO ALL)

3 48" DIAMETER PRECAST CATCH BASIN

SCALE: NTS

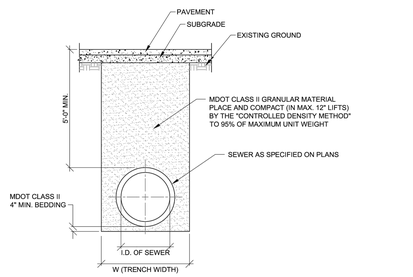
NOTES

1. REFER TO STORM SEWER PROFILES FOR MANHOLE LOCATIONS REQUIRING FLAT TOP STRUCTURES.



4 FLAT TOP STRUCTURE

SCALE: NTS

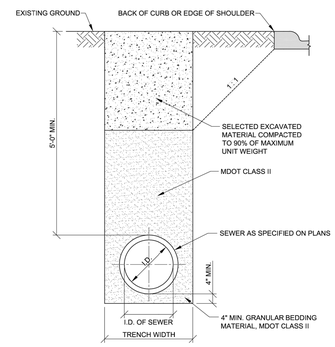


I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	21	30	36	42	48	54	60	66	72
MINIMUM TRENCH WIDTH (FEET)	3.00	3.50	4.00	5.00	6.00	7.00	8.00	9.50	10.00	10.50	11.00

STANDARD TRENCH DETAIL FOR SEWER UNDER ROAD BED, PARKING LOTS, SIDEWALKS, DRIVEWAYS, CURBS, GRAVEL ROADS AND ALLEYS

5 TRENCH DETAIL

SCALE: NTS



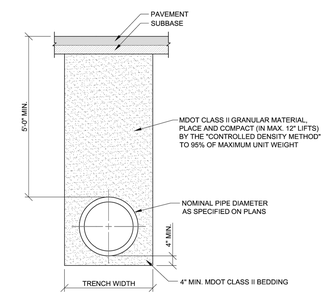
I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	24	30	36	42	48	54	60	66	72
MINIMUM TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0	7.0	8.0	9.5	10.0	10.5	11.0

TRENCH WIDTH FROM MDOT

STANDARD TRENCH DETAIL FOR SEWER WITHIN INFLUENCE OF ROAD BED

6 TRENCH DETAIL

SCALE: NTS



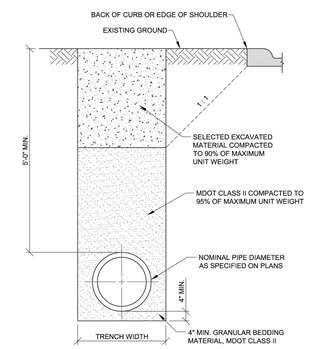
NOTE:
REFER TO RESTORATION DETAILS FOR PAVEMENT WIDTH.

NOMINAL PIPE DIAMETER	MAXIMUM TRENCH WIDTH UP TO 12" ABOVE CROWN OF PIPE
LESS THAN 18"	30"
18" TO 24"	PIPE DIAMETER PLUS 18"
GREATER THAN 24"	PIPE DIAMETER PLUS 24"

STANDARD TRENCH DETAIL FOR WATERMAIN UNDER ROAD BED, PARKING LOTS, SIDEWALKS, DRIVEWAYS, CURBS, GRAVEL ROADS AND ALLEYS

7 UTILITY TRENCH, WATERMAIN

SCALE: NTS

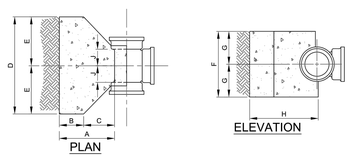


NOMINAL PIPE DIAMETER	MAXIMUM TRENCH WIDTH UP TO 12" ABOVE CROWN OF PIPE
LESS THAN 18"	30"
18" TO 24"	PIPE DIAMETER PLUS 18"
GREATER THAN 24"	PIPE DIAMETER PLUS 24"

STANDARD TRENCH DETAIL FOR WATERMAIN WITHIN INFLUENCE OF ROAD BED

8 UTILITY TRENCH, WATERMAIN

SCALE: NTS



PLAN

ELEVATION

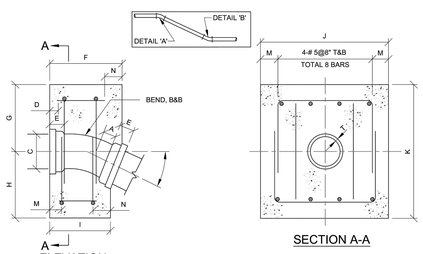
SIZE OF PIPE (IN)	A (FT)	B MIN. (FT)	C (FT)	D (FT)	E (FT)	F (FT)	G (FT)	H MIN (FT)	J (FT)
6X6	1.75	0.75	1.00	2.50	1.25	1.50	0.75	2.25	0.50
8X8	1.75	0.75	1.00	3.00	1.50	2.00	1.00	2.25	0.50
12X8	1.75	0.75	1.00	3.00	1.50	2.00	1.00	2.42	0.50
12X12	2.08	0.75	1.33	4.00	2.00	3.00	1.50	2.75	0.67
16X8	1.75	0.75	1.00	3.00	1.50	2.00	1.00	2.75	0.50
16X12	2.08	0.75	1.33	4.00	2.00	3.00	1.50	3.08	0.67
16X16	2.67	1.00	1.67	5.00	2.50	4.00	2.00	3.67	0.92

NOTE:
1. THE THRUST BLOCK FACE SHALL BE POURED AGAINST UNDISTURBED EARTH.

CONCRETE THRUST BLOCK FOR TEES

9 THRUST BLOCK, TEES

SCALE: NTS



ELEVATION

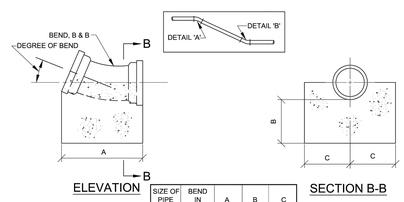
SECTION A-A

SCHEDULE OF THRUST BLOCK DIMENSIONS												DIMENSIONS - INCHES					
SIZE OF PIPE (IN)	BEND IN DEGREE	F (FT)	G (FT)	H (FT)	I (FT)	J (FT)	K (FT)	L (FT)	M (FT)	N (FT)	**	A	C	E	R	D	T
6	22i	1.583	1.33	1.67	1.33	2.67	3.00	0.00	0.33	0.25	3@8"	5.0	10.6	4.0	15.06	1.50	0.55
6	45	1.583	1.33	1.67	1.00	2.67	3.00	0.00	0.33	0.25	3@8"	5.0	10.6	4.0	07.25	1.50	0.55
8	22i	1.583	1.33	1.67	1.33	2.67	3.00	0.33	0.33	0.25	4@8"	5.5	13.0	4.0	17.62	1.50	0.60
8	45	1.67	1.50	2.50	1.00	4.00	4.00	0.50	0.50	0.25	4@12"	5.5	13.0	4.0	08.44	1.50	0.60
10	22i	1.83	1.50	2.50	1.42	3.50	4.00	0.50	0.50	0.25	4@10"	6.5	15.3	4.0	22.62	1.50	0.68
10	45	1.92	1.67	2.83	1.00	4.00	4.50	0.67	0.67	0.25	4@12"	6.5	15.3	4.0	10.88	1.50	0.68
12	22i	2.00	1.50	2.50	1.583	4.00	4.00	0.67	0.50	0.33	4@12"	7.5	17.6	4.0	27.62	1.50	0.75
12	45	2.08	1.50	3.00	1.17	5.00	4.50	0.92	0.75	0.25	4@14"	7.5	17.6	4.0	13.25	1.50	0.75
16	22i	2.17	1.67	2.83	1.583	5.00	4.50	0.83	0.75	0.33	4@14"	8.0	22.2	4.0	27.62	1.75	0.89

DETAIL "A"

10 THRUST BLOCK, VERTICAL BEND

SCALE: NTS



ELEVATION

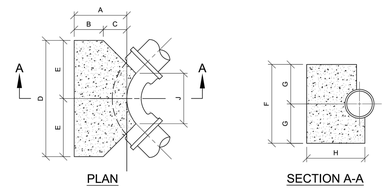
SECTION B-B

SIZE OF PIPE (IN)	BEND IN DEGREE	A (FT)	B (FT)	C (FT)
6	22.5	1.67	1.00	1.00
6	45	1.67	1.00	1.00
8	22.5	1.75	1.00	1.00
8	45	1.75	1.00	1.00
10	22.5	1.92	1.00	1.00
10	45	1.92	1.00	1.00
12	22.5	2.17	1.00	1.00
12	45	2.17	1.00	1.00
16	22.5	2.25	1.00	1.25
16	45	2.25	1.00	1.25

DETAIL "B"

11 THRUST BLOCK, VERTICAL BEND

SCALE: NTS



PLAN

SECTION A-A

HORIZONTAL BENDS, 22.5, 45 & 90 DEGREE TURNS										
SIZE OF PIPE (IN)	DEGREE OF BEND	A (FT)	B MIN. (FT)	C (FT)	D (FT)	E (FT)	F (FT)	G (FT)	H MIN. (FT)	J (FT)
6	45	1.75	0.75	1.00	2.00	1.00	1.50	0.75	1.92	1.33
6	90	1.75	0.75	1.00	2.50	1.25	1.50	0.75	1.92	1.17
8	45	1.75	0.75	1.00	2.33	1.17	2.00	1.00	1.92	1.33
8	90	1.75	0.75	1.00	3.33	1.67	2.50	1.25	1.92	1.08
12	22i	1.75	0.75	1.00	2.50	1.25	2.00	1.00	2.00	1.33
12	45	2.08	0.75	1.33	3.50	1.75	2.50	1.25	2.33	1.33
12	90	2.08	0.75	1.33	5.50	2.75	3.00	1.50	2.33	1.67
16	22i	2.67	1.00	1.67	3.33	1.67	2.50	1.25	3.00	1.17
16	45	2.67	1.00	1.67	5.33	2.67	3.00	1.50	3.00	2.50
16	90	2.67	1.00	1.67	6.00	3.00	5.00	2.50	3.00	2.67

NOTE:
1. THE THRUST BLOCK FACE SHALL BE POURED AGAINST UNDISTURBED EARTH.

12 THRUST BLOCK, HORIZONTAL BEND

SCALE: NTS

Plot Date:

URBAN RENEWAL INITIATIVE FOUNDATION

A. PAUL AND CAROL C. SCHAAP CENTER FOR THE PERFORMING ARTS
AND
THE RICHARD AND JANE MANOOGIAN ART GALLERY

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CBRE

EKAUSKAS ARCHITECTURE

Kirkegaard

THEATRE PLANNERS / LIGHTING DESIGNERS
Schuler Shook

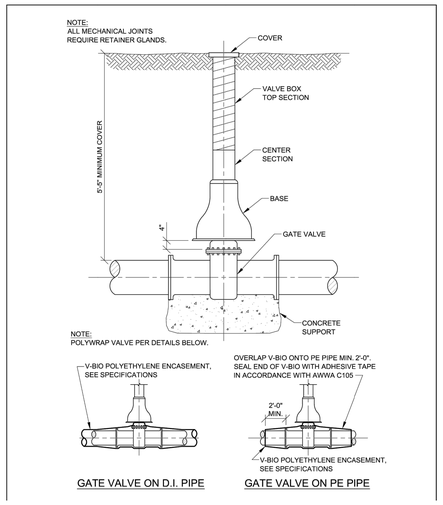
ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

SHEET TITLE
UTILITY DETAILS

SCALE: AS SHOWN

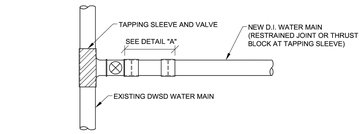
PROJECT NUMBER
12345.000

SHEET NUMBER
CU500

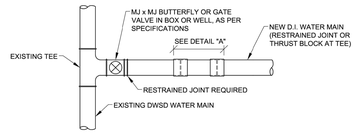


1 VALVE BOX INSTALLATION

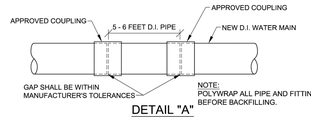
SCALE: NTS



CONNECTION WITH EXISTING DWSD MAIN
WITH TAPPING SLEEVE AND VALVE



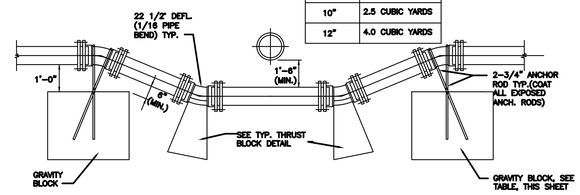
CONNECTION AT EXISTING DWSD MAIN
WITH TEE / VALVE



2 CONNECTION WITH EXISTING WATERMAIN

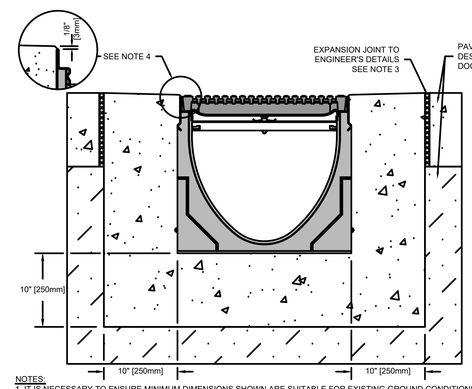
SCALE: NTS

PIPE SIZE	GRAVITY BLOCK
6"	1.0 CUBIC YARDS
8"	1.5 CUBIC YARDS
10"	2.5 CUBIC YARDS
12"	4.0 CUBIC YARDS



3 PIPE DEFLECTION

SCALE: NTS



NOTES:
1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. *ENGINEERING ADVICE MAY BE REQUIRED.*
2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. *ENGINEERING ADVICE MAY BE REQUIRED.*
4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

SPECIFICATION CLAUSE

K300 KLASSIKDRAIN - LOAD CLASS C

GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K300 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:

COMPRESSIVE STRENGTH:	14,000 PSI
FLEXURAL STRENGTH:	4,000 PSI
TENSILE STRENGTH:	1,500 PSI
WATER ABSORPTION:	0.07%
FROST PROOF	YES
DILUTE ACID AND ALKALI RESISTANT	YES
B117 SALT SPRAY TEST COMPLIANT	YES

THE SYSTEM SHALL BE 12" (300mm) NOMINAL INTERNAL WIDTH WITH A 14.2" (390mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'QUICKLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

4 TRENCH DRAIN

SCALE: NTS

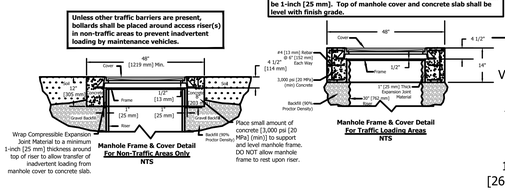
Aqua-Swirl Polymer Coated Steel (PCS) Stormwater Treatment System

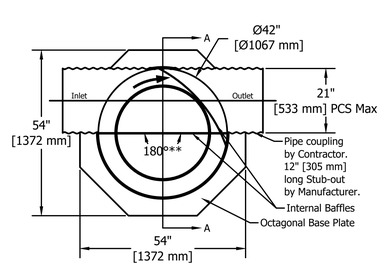
If traffic loading (HS-25) is required or anticipated, a 4-foot [1.22 m] diameter, 14-inch [356 mm] thick reinforced concrete pad must be placed over the Stormwater Treatment System Riser to support and level the manhole frame, as shown. The top of riser pipe must be wrapped with compressible expansion joint material to a minimum 1-inch [25 mm] thickness to allow transfer of wheel loads from manhole cover to concrete slab. Manhole cover shall bear on concrete slab and not on riser pipe. The concrete slab shall have a minimum strength of 3,000 psi [20 MPa] and be reinforced with #4 [13 mm] reinforcing steel as shown. Minimum cover over reinforcing steel shall be 1-inch [25 mm]. Top of manhole cover and concrete slab shall be level with finish grade.

Note: As an alternative, 42-inch OD, HS-20/25 rated precast concrete rings may be substituted. 14-inch thickness must be maintained.

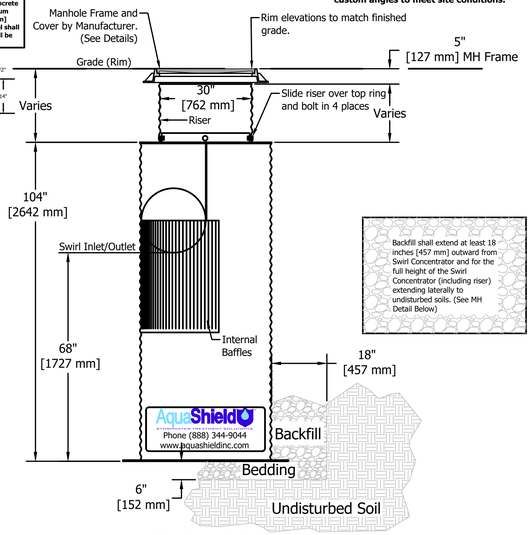
*** Please see accompanied Aqua-Swirl specification notes.**
*** See Site Plan for actual system orientation.**
**** Orientation may vary from 90°, 180°, or custom angles to meet site conditions.**

Unless other traffic barriers are present, bollards shall be placed around access riser(s) in non-traffic areas to prevent inadvertent loading by maintenance vehicles.





Plan View



Section A-A

AquaShield
INTERNATIONAL
2733 Kanasita Drive, Suite 111, Chattanooga, TN 37343
Phone (888) 344-9044 Fax (423) 826-2112
www.aquashieldinc.com

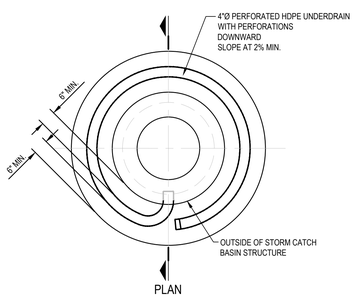
Document:	AS-3 PCS STD
Drawn By:	JCW
Scale:	1:20
Date:	01/06/15

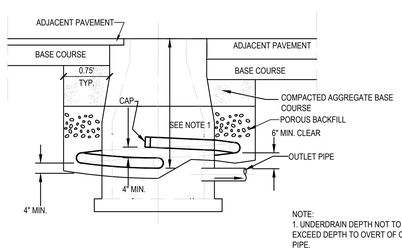
U.S. Patent No. 6524473 and other Patent Pending

Aqua-Swirl Concentrator Model AS-3 BYP PCS Standard Detail

5 WATER QUALITY STRUCTURE

SCALE: NTS

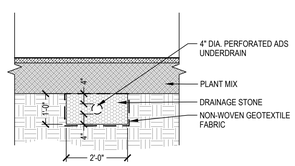




NOTE:
1. UNDERDRAIN DEPTH NOT TO EXCEED DEPTH TO OVERT OF OUTLET PIPE.

6 UNDERDRAIN AT CATCH BASINS

SCALE: NTS



7 SITE UNDERDRAIN ON JEFFERSON SIDE OF BUILDING

SCALE: NTS

URBAN RENEWAL INITIATIVE FOUNDATION

A. PAUL AND CAROL C. SCHAAP CENTER FOR THE PERFORMING ARTS
AND
THE RICHARD AND JANE MANOOGIAN ART GALLERY

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smithgroup.com

CBRE

EKAUSKAS ARCHITECTURE

Kirkegaard

THEATRE PLANNERS / LIGHTING DESIGNERS
Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

SHEET TITLE
UTILITY DETAILS

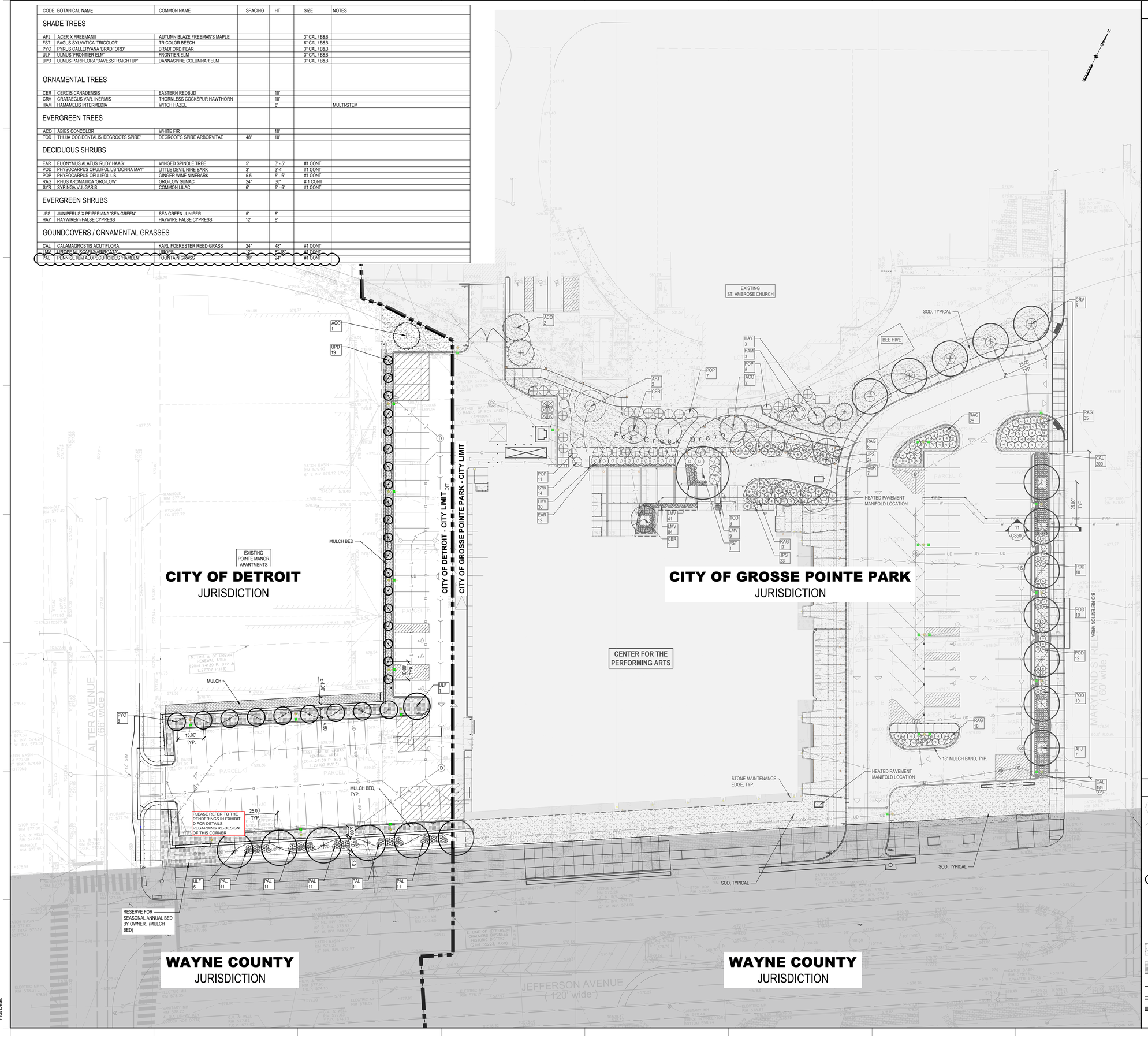
SCALE: AS SHOWN

PROJECT NUMBER
12345.000

SHEET NUMBER
CU501

Plot Date:

CODE	BOTANICAL NAME	COMMON NAME	SPACING	HT	SIZE	NOTES
SHADE TREES						
AFJ	ACER X FREEMANII	AUTUMN BLAZE FREEMAN'S MAPLE			3" CAL / B&B	
FST	FAGUS SYLVATICA "TRICOLOR"	TRICOLOR BEECH			6" CAL / B&B	
PYC	PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR			3" CAL / B&B	
ULF	ULMUS "FRONTIER ELM"	FRONTIER ELM			3" CAL / B&B	
UPD	ULMUS PARIFLORA 'DAVESSTRAIGHTUP'	DANNASPIRE COLUMNAR ELM			3" CAL / B&B	
ORNAMENTAL TREES						
CER	CERCIS CANADENSIS	EASTERN REDBUD		10'		
CRV	CRATAEGUS VAR. INERMIS	THORNLESS COCKSPUR HAWTHORN		10'		
HAM	HAMAMELIS INTERMEDIA	WITCH HAZEL		8'		MULTI-STEM
EVERGREEN TREES						
ACO	ABIES CONCOLOR	WHITE FIR		10'		
TOD	THUJA OCCIDENTALIS 'DEGROOTS SPIRE'	DEGROOT'S SPIRE ARBORVITAE	48"	10'		
DECIDUOUS SHRUBS						
EAR	EUONYMUS ALATUS 'RUDY HAAG'	WINGED SPINDLE TREE	5'	3' - 5'	#1 CONT	
POD	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL NINE BARK	3'	3'-4'	#1 CONT	
POP	PHYSOCARPUS OPULIFOLIUS	GINGER WINE NINEBARK	5.5'	5' - 6'	#1 CONT	
RAG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	24"	30"	# 1 CONT	
SYR	SYRINGA VULGARIS	COMMON LILAC	6'	5' - 6'	#1 CONT	
EVERGREEN SHRUBS						
JPS	JUNIPERUS X PFIZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	5'	5'		
HAY	HAYWIREtm FALSE CYPRESS	HAYWIRE FALSE CYPRESS	12'	8'		
GOUNDCOVERS / ORNAMENTAL GRASSES						
CAL	CALAMAGROSTIS ACUTIFLORA	KARL FOERESTER REED GRASS	24"	48"	#1 CONT	
LMV	LIRIOPE MUSCARI VARIEGATA	LIROPE	12"	8"-18"	#1 CONT	
PAL	PENNISETUM ALOPECUROIDES 'HAMELN'	FOUNTAIN GRASS	30"	24"	#1 CONT	



SHEET NOTES

1. ENGINEER WILL REVIEW PLANT MATERIAL AND RESERVES THE RIGHT TO REJECT ANY MATERIAL THAT DOES NOT MEET THE SPECIFICATIONS OR DESIGN REQUIREMENTS OF THE PROJECT. PLANTS INSTALLED THAT DO NOT COMPLY WITH THE SPECIFICATIONS TO BE IMMEDIATELY REMOVED.
2. ALL MATERIAL SUPPLIED FOR AN INDIVIDUAL ITEM OF THE PLANT LIST SHALL MATCH SIZE SHAPE FORM AND NOTED COMMENTS. IN ADDITION THE PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS.
3. ENGINEER TO REVIEW PLACEMENT OF PLANT MATERIAL PRIOR TO INSTALLATION, IN RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS IN DESIGN INTENT AT NO ADDITIONAL COST. ALL PLANTING SHALL BE INSTALLED IN A LOGICAL SEQUENCE WITHIN THE SAME PLANTING TIME FRAME. IF THE PLANT MATERIAL IS INSTALLED WITHOUT PRIOR APPROVAL THE ENGINEER RESERVES THE RIGHT TO REQUEST LAYOUT ADJUSTMENTS AT NO ADDITIONAL COST.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT PLANTS AND ENSURE HEALTH AND PLANT QUALITY DURING SHIPMENT, HANDLING, INSTALLATION AN ESTABLISHMENT.
5. ALL LANDSCAPE ADD SHALL RECEIVE 12 INCHES OF PLANTING MIX AND LAST OTHERWISE NOTED.
6. ALL PLANTING SHALL RECEIVE A MINIMUM OF THREE INCHES OF COMPOSED DOUBLE PROCESSED SHREDDED HARDWOOD BARK MULCH. WHERE LANDSCAPE BEDS MEET PAVEMENTS OR LAWNS, CUT THE GRADE TO ALLOW FOR MULCH AN ONE INCH DROP FROM THE ADJOINING FINISH GRADE. KEEP MULCH 4 INCHES FROM TREE TRUNKS AND SHRUB CROWNS.
7. ALL DISTURBED LAWN AREAS SHALL RECEIVE A MINIMUM OF FOUR INCH DEEP TOPSOIL. TOPSOIL THAT WAS SALVAGE DURING DEMOLITION PREPARATION CAN BE REUSED, HOWEVER IT MUST MEET OR EXCEED THE TOPSOIL REQUIREMENTS IN THE SPECIFICATIONS. ADDITIONAL TOPSOIL REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR FROM OFF-SITE SOURCES.
8. RESTORATION LIMITS ARE APPROXIMATE AND SHALL APPLY TO ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, EVEN IF THESE ACTIVITIES EXTEND BEYOND THE SEATING LIMITS APPROXIMATED. CONTRACTOR SHALL FIELD VERIFY ALL SEEDING LIMITS WITH ENGINEER.
9. MINIMIZE CULTIVATION WITHIN THE GEOMETRY PAIR SOIL FOR SEATING AREAS BY MINIMIZING DISTURBANCE TO 4 INCH DEPTH. HAND CULTIVATE WHEN ENCOUNTERING ROOTS. NO HEAVY EQUIPMENT ALLOWED WITHIN DRIP LINES OF EXISTING TREES.
10. ALL SHRUB/PERENNIAL BEDS SHALL HAVE LANDSCAPE EDGING. CONTRACTOR SHALL MARK BED EDGES WITH MARKER PAINT PRIOR TO INSTALLATION FOR APPROVAL BY ENGINEER. ALL LANDSCAPE EDGING SHALL BE INSTALLED AS SHOWN ON DRAWINGS AND SHALL BE STRAIGHT, CONSISTENT, WITH EVEN RADIUS SLASH CURVES AND FREE OF IRREGULARITIES IN ALIGNMENT.
11. INDEPENDENT OF NUMERIC QUANTITIES ON DRAWINGS OR IN THE PLANT SCHEDULE, DETERMINE THE PLANT MATERIAL QUANTITIES REQUIRED BY THE PLANS. SPACE PLANT MATERIALS AS SHOWN ON PLANS AND INDICATED IN PLANT SCHEDULE. PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES AND SIZES SHALL BE THE MINIMUM INDICATED ON THE PLANT SCHEDULE OR LARGER. INSTALLATION OF LARGER PLANTS AT NO ADDITIONAL COST TO OWNER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANLA "STANDARDS FOR NURSERY STOCK".
12. PRIOR TO INSTALLATION, DEMARCATE LAYOUT OF ALL PLANTING BEDS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. INCLUDE PERENNIAL GROUPINGS BY SPECIES FOR INTERNAL BED LAYOUTS. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE FIELD APPROVER WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAY MAKE MINOR ADJUSTMENTS AS NECESSARY. SUCH ADJUSTMENTS WILL BE AT NO ADDITIONAL COST TO THE OWNER.
13. ALL NEW LAWN SHALL BE SOD. ALL EXISTING LAWN AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH SOD BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
14. REPAIR ANY DISTURBED AREAS TO THE SAME CONDITION AS ORIGINALLY FOUND AND TO THE OWNER'S SATISFACTION. IN AREAS WHERE LAWN IS DISTURBED BEYOND THE LIMITS OF CONSTRUCTION, REPLACE LAWN WITH NEW LAWN (INCLUDING TOPSOIL, SEED AND MULCH) AT NO ADDITIONAL COST TO THE OWNER. REFER TO SPECIFICATIONS FOR SEED MIXES.
15. SHOVEL-CUT PLANTING BED EDGES UNLESS LABELED OTHERWISE.
16. A STONE MAINTENANCE EDGE WILL BE FURNISHED BETWEEN ANY PLANTED AREA, LAWN AREA OR ADJACENT HARDSCAPE AND BUILDING FACADE AND INCLUDE A METAL EDGE RESTRAINT.
17. A TWO-YEAR MAINTENANCE AND WARRANTY PERIOD SHALL BE INCLUDED IN THE LANDSCAPE AND IRRIGATION CONTRACT.
18. SEE IRRIGATION ZONE SHEET TO COORDINATE IRRIGATION CONDUIT PLACEMENT TO NOT INTERFERER WITH PLANTING. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONDUIT LOCATION ADJUSTMENTS PRIOR TO INSTALLATION.

LEGEND

- EXISTING TREES
- EXISTING TREE LINE / WOODLAND EDGE
- DECIDUOUS SHADE TREE
- CONIFEROUS EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- MULCH
- METAL LANDSCAPE EDGE (4 / LP500)
- STONE MAINTENANCE EDGE (8 / LP500)
- DECORATIVE STONE

URBAN RENEWAL INITIATIVE FOUNDATION

A. PAUL AND CAROL C. SCHAAP CENTER FOR THE PERFORMING ARTS
AND
THE RICHARD AND JANE MANOOGIAN ART GALLERY

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CBRE
EKAUSKAS ARCHITECTS
Kirkegaard
THEATRE PLANNERS / LIGHTING DESIGNERS Schuler Shook

ISSUED FOR	REV	DATE
CITY OF DETROIT BSEED SUBMITTAL		23JUN21

PROJECT NORTH

SHEET TITLE
SITE PLANTING PLAN

SCALE: 1" = 20'

PROJECT NUMBER 12345.000

SHEET NUMBER LP100

Plot Date: